

Development Services

From Concept to Construction

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More Contact Info (<http://www.portlandoregon.gov/bds/article/519984>)



APPEAL SUMMARY

Status: Decision Rendered

Appeal ID: 23423

Project Address: 1410 SW Jefferson St

Hearing Date: 2/5/20

Appellant Name: Seth Sorenson

Case No.: B-016

Appellant Phone: 503 224 9560

Appeal Type: Building

Plans Examiner/Inspector: David Bartley

Project Type: commercial

Stories: 1 **Occupancy:** B **Construction Type:** V-B

Building/Business Name: Galaxy Wine Distribution **Fire Sprinklers:** No

Appeal Involves: Alteration of an existing structure **LUR or Permit Application No.:** 20-106575-CO

Plan Submitted Option: pdf [File 1]

Proposed use: Office - Existing

APPEAL INFORMATION SHEET

Appeal item 1

Code Section 2019 OSSC 2902.1

Requires

Calculating the occupant load of this office space per Table 1004.5: Total occupants = 61;
Office (1/150sf): 20 occ, Conference and Reception (1/15sf): 40 occ, Storage (1/300sf): 1 occ.

For Occupancy Type B (business) areas, Table 2902.1 requires 1 water closet per 25 occupants up to the first 50 occupants, and one per 50 additional occupants.

With the occupant load for the entire space being over 50 occupants, we are required to construct a new unisex toilet, or new Men's and Women's toilet rooms in the existing office space.

Code Modification or Alternate Requested With non-simultaneous use of the offices and conference room, the occupancy of the tenant space will not reach >50 occupants.

Proposed Design

Without an occupancy change in the small proposed alteration, we are proposing to keep the existing (2) restrooms. The number of plumbing fixtures will be adequate for the small number of occupants within the office. The occupants within the office space will be using the conference room non-simultaneously which results in a lower occupant load for the space.

Additionally, referencing other similar appeals, a "Maximum Occupant Load: 49" sign can be installed in the lobby.

Reason for alternative According to OSSC 2019, this building with 61 occupants require (2) restrooms per gender, however, the occupants of the office area will be using the conference room resulting in a non-simultaneous use of the space. Reaching the calculated occupant load (40 occupants) in the conference would not occur. Overall this results in over-counting in the occupancy load

calculations and the space will not exceed 49 persons. The two existing restrooms are sufficient for the current space.

Additionally, the extra restroom construction would require a disproportionate amount of floor space and additional costs to the small tenant improvement project, is not necessary based on the typical use of the space and the currently available parking.

APPEAL DECISION

Reduction in minimum required number of plumbing fixtures: Granted as proposed for this use and configuration.

The Administrative Appeal Board finds that the information submitted by the appellant demonstrates that the approved modifications or alternate methods are consistent with the intent of the code; do not lessen health, safety, accessibility, life, fire safety or structural requirements; and that special conditions unique to this project make strict application of those code sections impractical.

Pursuant to City Code Chapter 24.10, you may appeal this decision to the Building Code Board of Appeal within 90 calendar days of the date this decision is published. For information on the appeals process, go to www.portlandoregon.gov/bds/appealsinfo, call (503) 823-7300 or come in to the Development Services Center.

GALAXY WINE COMPANY

WILSON DANIELS WHOLESALE
1410 SW JEFFERSON STREET, PORTLAND, OR

PERMIT SET - JANUARY 17, 2020

BUILDING INFORMATION

1410 SW JEFFERSON STREET, PORTLAND, OR 97201
BUILDING AREA: 3,600 SF
TENANT AREA: 3,600 SF

PROJECT DESCRIPTION

- THE PROJECT INCLUDES DEMOLITION OF THREE EXISTING PARTITION WALLS AND DOORS, AND CONSTRUCTION OF THREE NEW PARTITION WALLS.
- THE EXISTING DOORS WITHIN THE WALLS TO BE DEMOLISHED WILL BE REINSTALLED AT THE NEW WALL LOCATIONS.

SHEET INDEX

G0.01 TITLE SHEET, CODE ANALYSIS
A1.10 FLOOR PLAN AND DETAILS

DEFERRED SUBMITTALS

- DESIGN BUILD MECHANICAL, ELECTRICAL, EGRESS LIGHTING
- NOTE: ALL DEFERRED SUBMITTALS TO BE PREPARED ON A DESIGN-BUILD BASIS BY THE RESPECTIVE SUBCONTRACTORS.
- DESIGN BUILDERS ARE FULLY RESPONSIBLE FOR THE DESIGN OF THESE SYSTEMS/ COMPONENTS
- THESE SYSTEMS/ COMPONENTS SHOWN ON DOCUMENTS ARE SCHEMATIC ONLY. THEY ARE NOT INTENDED TO REPRESENT FINAL/ CODE COMPLIANT DESIGN. PROVIDE DESIGN DOCUMENT SUBMITTAL TO ARCHITECT OF RECORD FOR REVIEW PRIOR TO SUBMITTAL TO CITY OF PORTLAND, OREGON

BUILDING CODE DATA

- ORIGINAL SHELL:
-BUILT IN 1978
- ANALYSIS BASED ON 2019 OSSC:
-CONSTRUCTION TYPE: V-B
-OCCUPANCIES: B (OFFICE)
-FIRE PROTECTION: NOT SPRINKLERED
-ALLOWABLE BUILDING HEIGHT: 40 FEET, TWO STORIES
-EXISTING BUILDING HEIGHT: 20 FEET, SINGLE STORY
-ALLOWABLE BUILDING AREA: 9,000 SF
-EXISTING BUILDING AREA: 3,600 SF
- 2019 OREGON ZERO ENERGY READY COMMERCIAL CODE
- EXISTING ENVELOPE INSULATION TO REMAIN UNCHANGED. NO MODIFICATION TO CONDITIONING. NO ENERGY CODE UPGRADES REQUIRED.

CHAPTER 10 - MEANS OF EGRESS

SECTION 1008- MEANS OF EGRESS ILLUMINATION

PRESENT IN SPACE TODAY. PROVIDE MEANS OF EGRESS ILLUMINATION AT A MINIMUM OF ONE FOOT-CANDLE AT PATH OF EGRESS TO MEET SECTION 1008. EXTEND TO 5'-0" OUTSIDE EGRESS DOORS.

SECTION 1010- DOORS, GATES, AND TURNSTILES

SIZES AND HARDWARE PROVIDED TO MEET SECTION 1010 - SEE PLANS

SECTION 1013- EXIT SIGNS

PRESENT IN SPACE TODAY. PROVIDE EXIT SIGNAGE TO MEET SECTION 1013.1. EXIT SIGNAGE TO BE A PART OF DESIGN-BUILD ELECTRICAL PLANS

SECTION 1016- EXIT ACCESS

ALL SPACES EXIT DIRECTLY TO THE EXTERIOR, THROUGH AN ENTRY FOYER OR THROUGH AN INTERVENING ROOM (SECTION 1016.2)

SECTION 1017- EXIT ACCESS TRAVEL DISTANCE

WITHOUT A SPRINKLER SYSTEM IN PLACE AND WITH 2 EXITS, THE MAXIMUM EXIT TRAVEL DISTANCE IS 200' (TABLE 1017.2)

SECTION 1022- EXITS

COMPONENTS AND OPENINGS ARE SHOWN ON THIS SHEET

SECTION 1028- EXIT DISCHARGE

ALL EXITS DISCHARGE AT THE GROUND LEVEL

SYMBOLS LEGEND

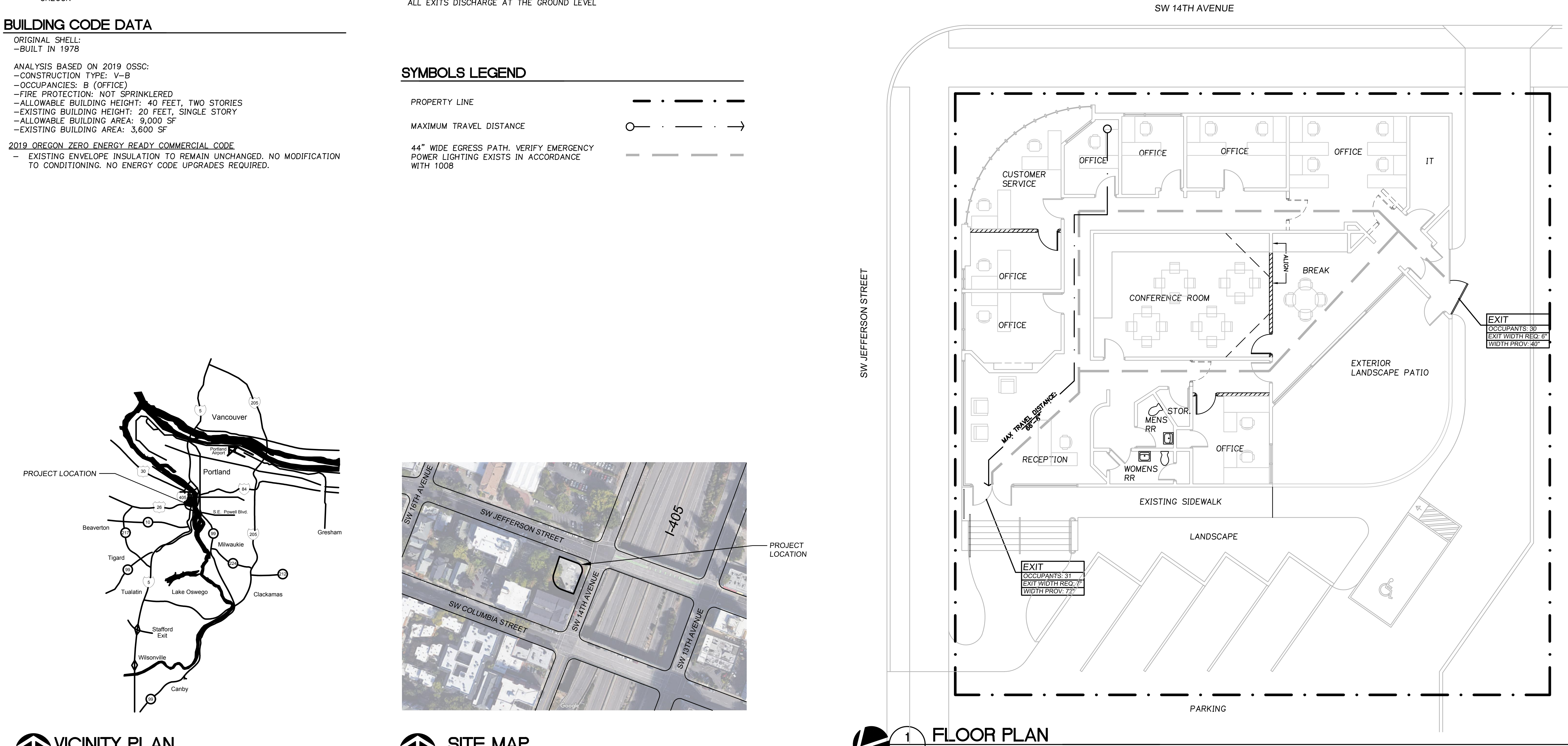
- PROPERTY LINE
- MAXIMUM TRAVEL DISTANCE
- 44" WIDE EGRESS PATH. VERIFY EMERGENCY POWER LIGHTING EXISTS IN ACCORDANCE WITH 1008

OCCUPANCY CALCULATION

USE	OCCUPANCY				1005.3.2			1006.2.1		1018		1006.2.1	
	OCCUPANCY TYPE (CHAP. 3)	LOAD FACTOR 1004.5	AREA	OCCUPANT LOAD	EGRESS WIDTH FACTOR	EGRESS WIDTH	WIDTH PROVIDED	COMMON PATH MAXIMUM	COMMON PATH PROVIDED	MAX TRAVEL DISTANCE	TRAVEL DISTANCE PROVIDED	EXITS REQUIRED	EXITS PROVIDED
OFFICE	B	150	2,864	20	0.2	4"	108"	100'-0"	N/A	200'-0"	66'-6"	1	1
CONFERENCE, RECEPTION	B	15	596	40	0.2	8"	108"	100'-0"	N/A	200'-0"	66'-6"	1	1
STORAGE	B	300	140	1	0.2	1"	108"	100'-0"	N/A	200'-0"	66'-6"	-	-
SUBTOTALS			3,600	61		13"	108"					2	2

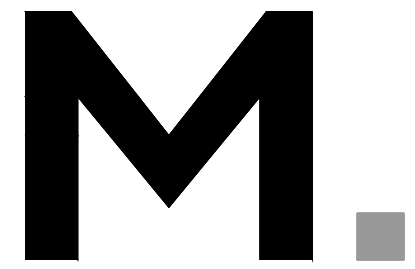
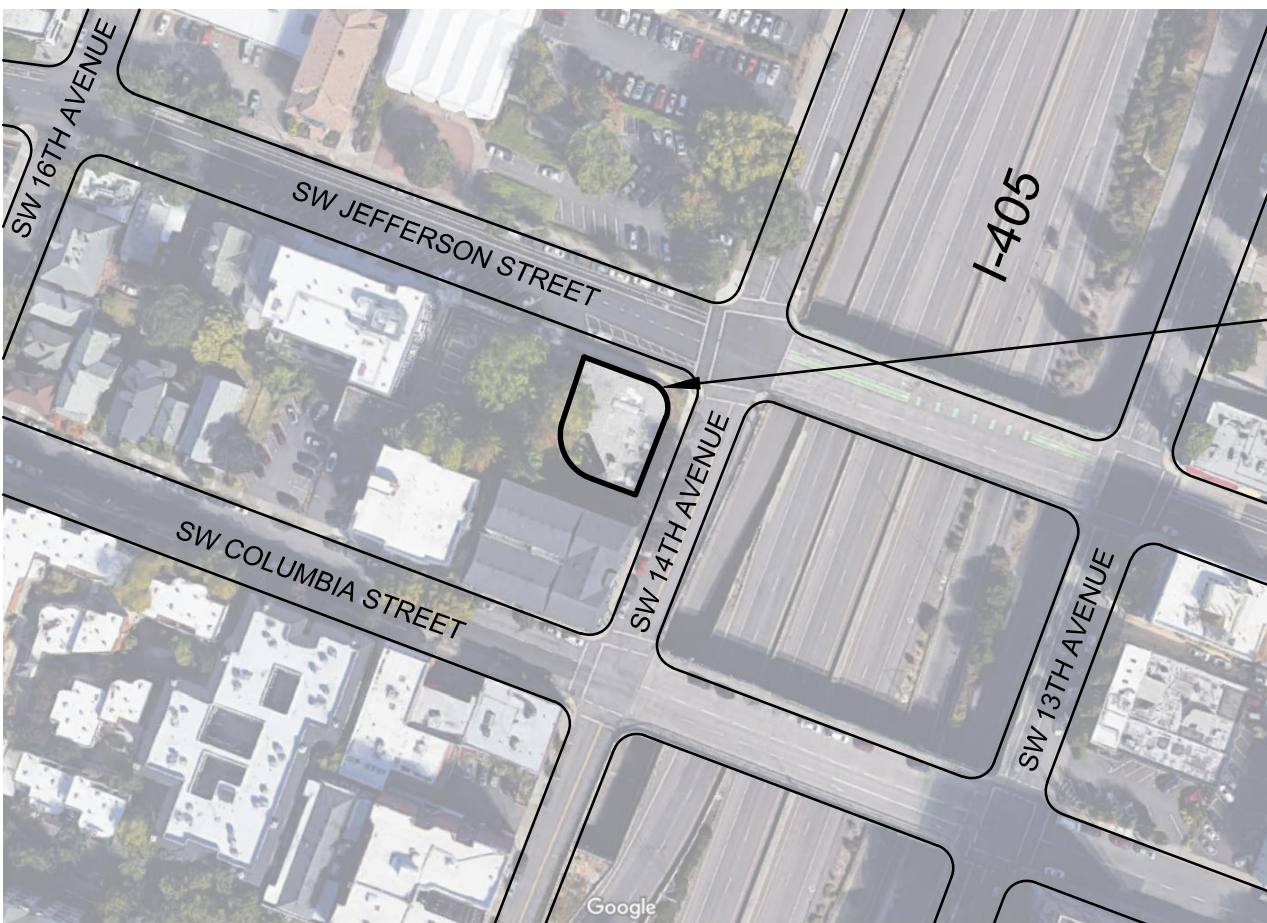
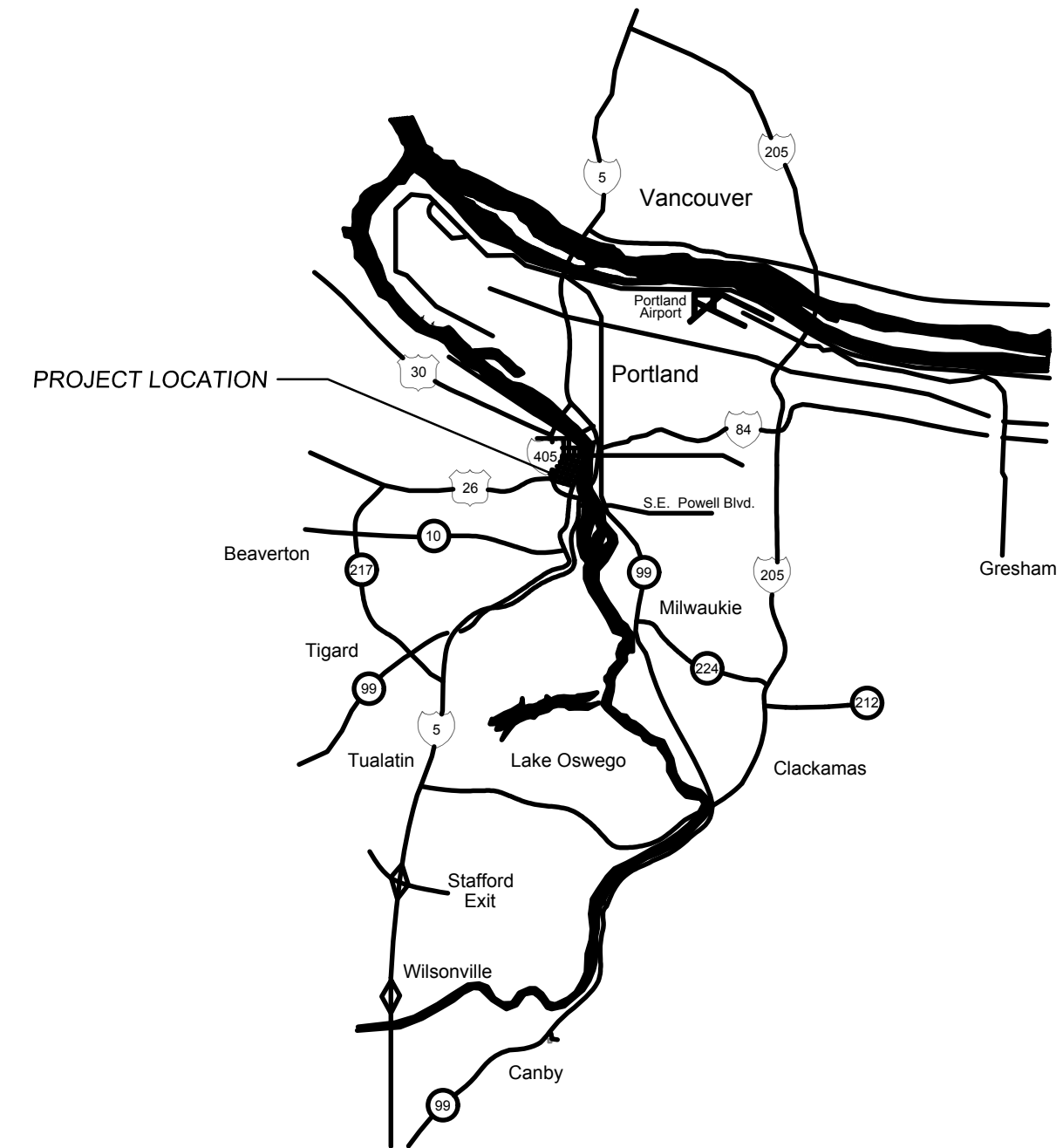
PLUMBING CALCULATION

USE	OCCUPANCY TYPE	OCCUPANCY			WATER CLOSETS			LAVATORIES			DRINKING FOUNTAINS
		LOAD FACTOR 1004.1.2	AREA	OCCUPANCY LOAD	RATIO	MEN'S WATER CLOSETS	WOMEN'S WATER CLOSETS	RATIO	MEN'S LAVATORIES	WOMEN'S LAVATORIES	
OFFICE	B	150	2,864.00	20	1 PER 25 ≤ 50, 1 PER 50 REMAINDER	0.40	0.40	1 PER 40 ≤ 80, 1 PER 80 REMAINDER	0.25	0.25	NONE REQUIRED
CONFERENCE, RECEPTION	B	15	596.00	40	1 PER 25 ≤ 50, 1 PER 50 REMAINDER	0.80	0.80	1 PER 40 ≤ 80, 1 PER 80 REMAINDER	0.50	0.50	NONE REQUIRED
STORAGE	B	300	140.00	1	1 PER 25 ≤ 50, 1 PER 50 REMAINDER	0.02	0.02	1 PER 40 ≤ 80, 1 PER 80 REMAINDER	0.01	0.01	NONE REQUIRED
SUBTOTALS				61.00		1.22	1.22		0.76	0.76	
REQUIRED TOTALS			3,600.00			2	2		1	1	
PROVIDED						1	1		1	1	



1 FLOOR PLAN

1/8" = 1'-0"



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Client

WILSON DANIELS
WHOLESALE

19 WEST 24TH ST
7TH FLOOR
NEW YORK, NY 10010

Project
GALAXY WINE CO
TENANT IMPROVEMENT

1410 SW JEFFERSON ST
PORTLAND, OR 97201

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REVISIONS:

NO.	REVISIONS THIS SHEET	REVISION CLOSING DATE
1		
2		
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SHEET TITLE:
TITLE SHEET,
CODE ANALYSIS

DRAWN BY: SOS

CHECKED BY: BC

SHEET:

G0.01

JOB NO. 2190574.00

PERMIT SET - 01/17/2020

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