

# Development Services

## From Concept to Construction

Phone: 503-823-7300 Email: [bds@portlandoregon.gov](mailto:bds@portlandoregon.gov) 1900 SW 4th Ave, Portland, OR 97201

More Contact Info (<http://www.portlandoregon.gov/bds/article/519984>)



### APPEAL SUMMARY

**Status:** Decision Rendered

<b>Appeal ID:</b> 23396	<b>Project Address:</b> 4420 NE Sumner St
<b>Hearing Date:</b> 1/29/20	<b>Appellant Name:</b> Brinton Riggs
<b>Case No.:</b> B-013	<b>Appellant Phone:</b> 5037014494
<b>Appeal Type:</b> Building	<b>Plans Examiner/Inspector:</b> Preliminary
<b>Project Type:</b> residential	<b>Stories:</b> 1 <b>Occupancy:</b> Residential <b>Construction Type:</b> Wood Frame
<b>Building/Business Name:</b>	<b>Fire Sprinklers:</b> No
<b>Appeal Involves:</b> Alteration of an existing structure	<b>LUR or Permit Application No.:</b>
<b>Plan Submitted Option:</b> pdf [File 1]	<b>Proposed use:</b> Single-family dwelling

### APPEAL INFORMATION SHEET

#### Appeal item 1

<b>Code Section</b>	R311.7.1 Width; R311.7.2 Headroom; R311.7.4 Stair treads and risers; R311.7.5 Landings for stairways; & Brochure 9 - Converting Attics, Basements and Garages to Living Space – Residential
<b>Requires</b>	Existing stairways: An existing stairway leading to new living space may be steeper, narrower and have lower headroom than the current code allows: <ul style="list-style-type: none"> <li>• Rise and run: The stairway must have treads (runs) no smaller than nine inches and risers no higher than nine inches.</li> <li>• Width: Must be at least 30 inches.</li> <li>• Headroom: Must be at least 6'2" measured vertically from the slope of the stair nosings to the lowest overhead projection or ceiling.</li> <li>• Landings: Are required at the top and bottom of stairs. The landing's length and width must be at least 30" wide and 30" long and have at least 6'2" headroom.</li> </ul>
<b>Code Modification or Alternate Requested</b>	Allow the existing stair to remain and used as built.
<b>Proposed Design</b>	Retain the existing stair which has the following dimensions: <ul style="list-style-type: none"> <li>• 8-1/2" risers and 8-1/2" treads (Replace the existing treads with new, adding 1" nosings)</li> <li>• 30" width</li> <li>• 6' – 2" minimum headroom at all locations</li> <li>• 30" intermediate landing depth</li> </ul>
<b>Reason for alternative</b>	The stair is original to the 1939 house and serves the basement which was finished prior to the new owners purchase of the house in 2015. The work done by the previous homeowner was not

permitted, and the current owner is attempting to permit the basement and bring it into code compliance. The existing stair does not meet current regulations and altering or replacing it to meet BDS's Brochure #9 requirements would require extensive renovations. The stair currently functions very adequately for accessing the basement and the current owner does not see it as a safety hazard. The stair runs are relatively short in length, will have a new code compliant handrails, new (replaced) treads with nosing, adequate head room, and have otherwise been in service to the basement throughout the life of the house.

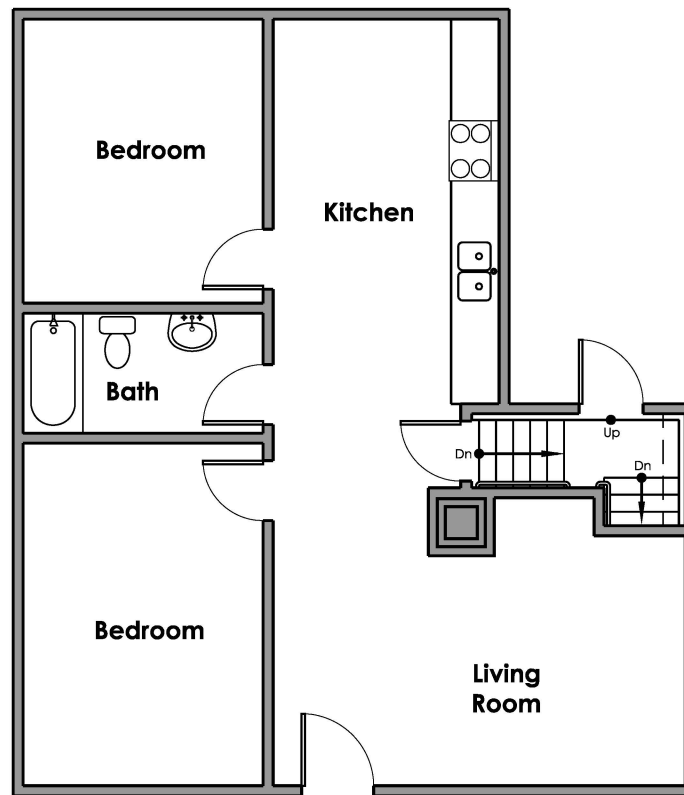
## APPEAL DECISION

- 1a. Existing stairs with 8.5 inch risers to remain: Granted provided code compliant handrails are provided on both sides of stairs with code compliant guard at the bottom of stair on the open side.**
- 1b. Existing stairs with 8.5 inch treads to remain: Granted provided code compliant handrails are provided on both sides of stairs with code compliant guard at the bottom of stair on the open side.**
- 1c. Existing 30 inch wide stairs to remain: Granted provided code compliant handrails are provided on both sides of stairs with code compliant guard at the bottom of stair on the open side.**
- 1d. Existing stairs with 6 feet 2 inch headroom to remain: Granted provided code compliant handrails are provided on both sides of stairs with code compliant guard at the bottom of stair on the open side.**
- 1e. Existing stairs with 30 inch intermediate landing depth to remain: Granted provided code compliant handrails are provided on both sides of stairs with code compliant guard at the bottom of stair on the open side.**

**Appellant may contact John Butler (503 823-7339) with questions.**

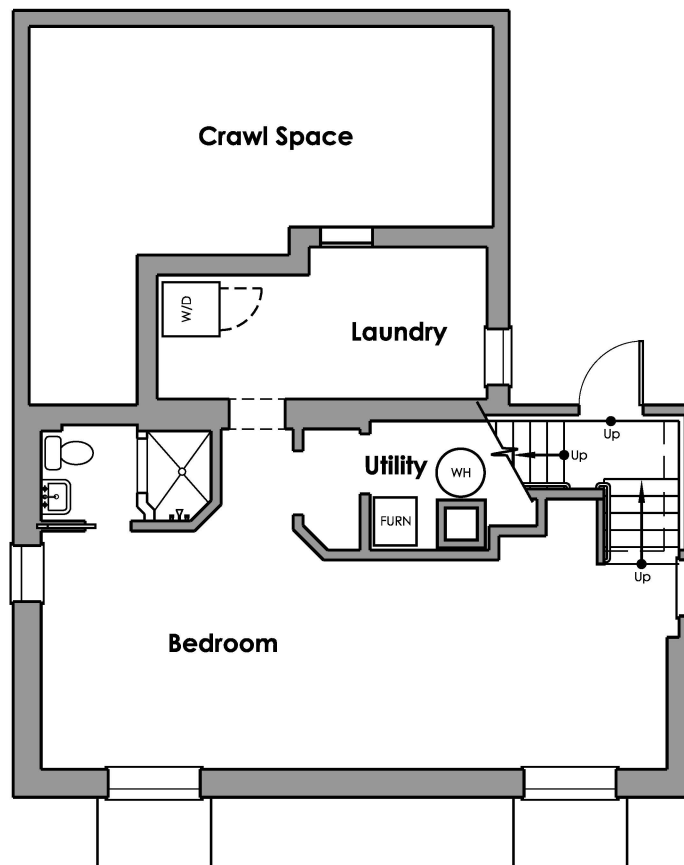
The Administrative Appeal Board finds with the conditions noted, that the information submitted by the appellant demonstrates that the approved modifications or alternate methods are consistent with the intent of the code; do not lessen health, safety, accessibility, life, fire safety or structural requirements; and that special conditions unique to this project make strict application of those code sections impractical.

Pursuant to City Code Chapter 24.10, you may appeal this decision to the Building Code Board of Appeal within 90 calendar days of the date this decision is published. For information on the appeals process, go to [www.portlandoregon.gov/bds/appealsinfo](http://www.portlandoregon.gov/bds/appealsinfo), call (503) 823-7300 or come in to the Development Services Center.



## 1st Floor Plan

Scale: 1/8" = 1'-0"

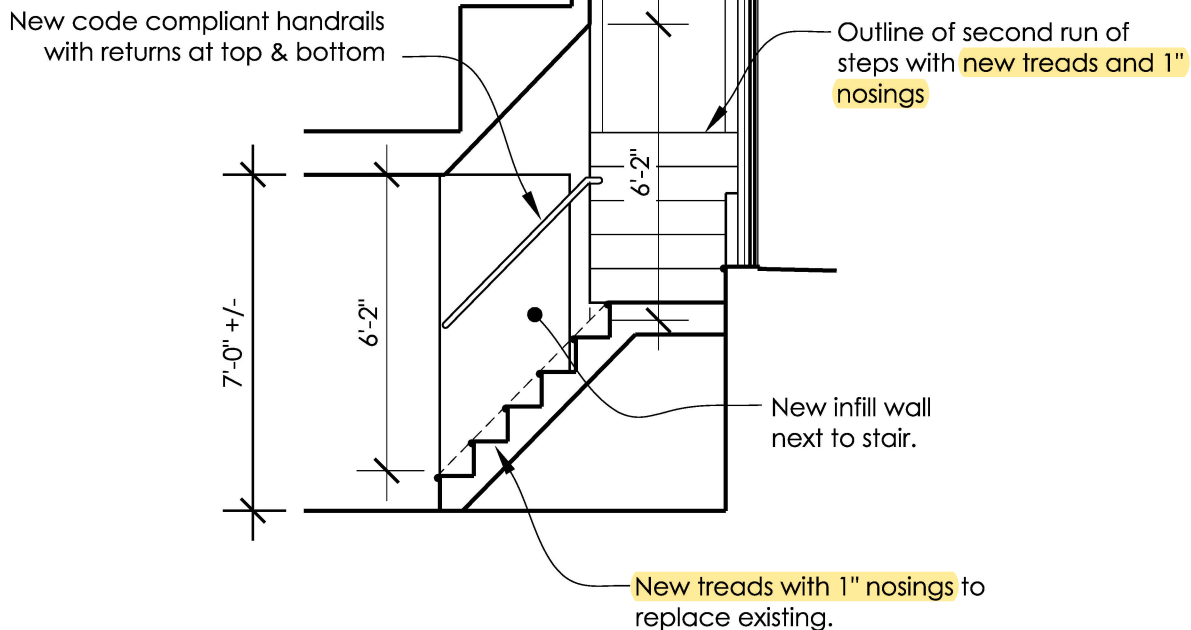


## Basement Plan

Scale: 1/8" = 1'-0"

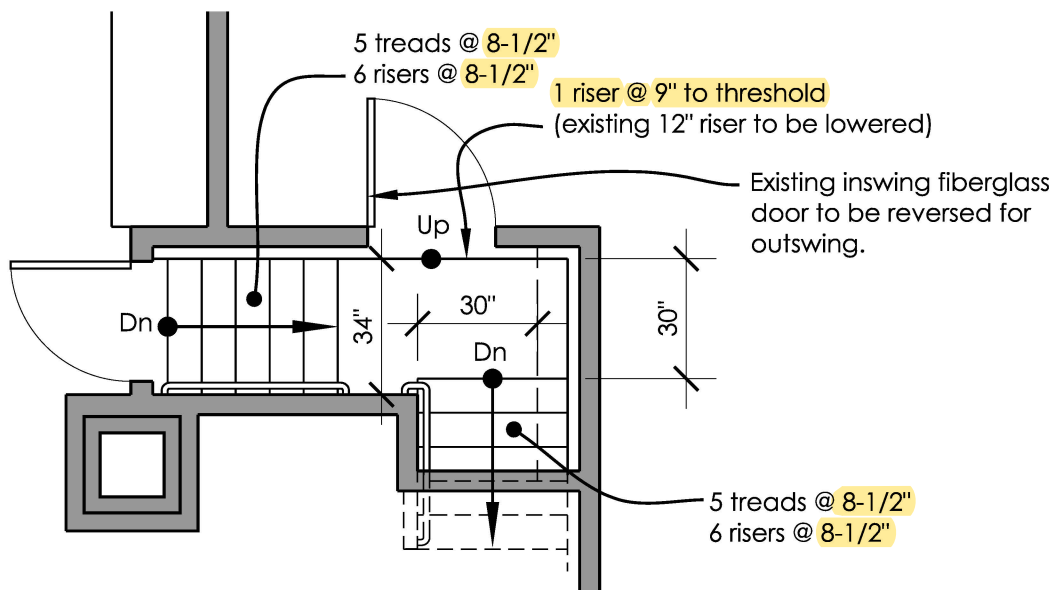
## Signorelli Basement

Appeal ◇ 2020.01.22  
4420 NE Sumner Street, Portland



## Section at Existing Stair

Scale: 1/4" = 1'-0"



## Existing Stair Plan

Scale: 1/4" = 1'-0"

## Signorelli Basement

Appeal ◇ 2020.01.22

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Signorelli Building Code Appeal - 4420 NE Sumner Street