

Development Services

From Concept to Construction

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More Contact Info (<http://www.portlandoregon.gov/bds/article/519984>)



APPEAL SUMMARY

Status: Decision Rendered

Appeal ID: 23375	Project Address: 111 SW 5th Ave
Hearing Date: 1/29/20	Appellant Name: Tom Jaleski
Case No.: B-007	Appellant Phone: 971-238-5266
Appeal Type: Building	Plans Examiner/Inspector: Jeff Rago
Project Type: commercial	Stories: 42 Occupancy: A-2, A-3, B Construction Type: I-A
Building/Business Name: US BanCorp Tower	Fire Sprinklers: Yes - Throughout
Appeal Involves: Alteration of an existing structure	LUR or Permit Application No.:
Plan Submitted Option: pdf [File 1]	Proposed use: Office

APPEAL INFORMATION SHEET

Appeal item 1

Code Section	1004.5
Requires	<p>§1004.5 Areas without fixed seating</p> <p>The number of occupants shall be computed at the rate of one occupant per unit of area as prescribed in Table 1004.5. For areas without fixed seating, the occupant load shall not be less than that number determined by dividing the floor area under consideration by the occupant load factor assigned to the function of the space as set forth in Table 1004.5. Where an intended function is not listed in Table 1004.5, the building official shall establish a function based on a listed function that most nearly resembles the intended function.</p> <p>Exception: Where approved by the building official, the actual number of occupants for whom each occupied space, floor or building is designed, although less than those determined by calculation, shall be permitted to be used in the determination of the design occupant load.</p>
Code Modification or Alternate Requested	The proposed design is to calculate the occupant load factor for the entirety of floors 15, 16, and 17 to be office occupancy per 2019 OSSC Table 1004.5, based on non-simultaneous use of the spaces on the floors, for the purpose of occupant calculations per City of Portland Title 24.85.
Proposed Design	<p>The US BanCorp tower is a 42 story high-rise in Portland, OR which consists of Type I-A construction and is sprinklered throughout. The tenant for the 15th , 16th, and 17th floors of the US BanCorp building is proposing to use 2,060 SF of existing B Occupancy space on the 16th floor for a “all hands” space.</p> <p>The proposed design is to calculate the occupant load factor for the entirety of all three (3) floors to be office occupancy per 2019 OSSC Table 1004.5, based on non-simultaneous use of the spaces on the floors, for the purpose of occupant calculations per City of Portland Title 24.85.</p>

Equivalent protection is provided by the following:

- Fire protection, alarm and egress systems, doors and stair widths, will be calculated using occupant load factors given in Table 1004.5 for all floors.
- All 3 floors will be card access only and restricted to office workers and invited guests. All entries are monitored and logged by security systems.
- Guests are restricted to entering office at reception desk and conference room immediately behind reception desk. These guests will be escorted and monitored.
- Group meetings with non-tenants that are greater than the capacity of the existing conference rooms will be held in conference rooms in other portions of the US BanCorp tower.

Reason for alternative The proposed tenant is a software company that uses sophisticated programming and has confidential data storage. The security of the information collected by tenant is an integral part of their business plan and is protected both digitally and physically. The physical security for the tenant includes: 24x7 monitoring, cameras, visitor logs and entry requirements.

The proposed design is to use an occupant load factor of 150 for the entire space which is based on non-simultaneous use for the new “all hands” space. The new space should be considered non-simultaneous use based on the following:

No decrease to occupant safety

- o Life safety systems will be based on the occupant loads for each floor as determined per 2019 OSSC Table 1004.5.
- o The proposed “all hands” space on the 16th floor has egress systems to accommodate the occupant load for the space based on an occupant load calculation of 1 occupant per 15 s.f.

Secured employee access only for the space

- o There is no public access to the 15th and 16th floors, card key access is provided at the elevator lobbies for employees and escorted guests only.
- o Public reception for the tenant space is solely on the 17th floor and is monitored by a receptionist during business hours.
- o Group meetings with non-tenants that are greater than the capacity of the existing conference rooms will be held in conference rooms in other portions of the US BanCorp tower.
- o The entry of each person into the space will be monitored by the receptionist on the 17th floor.

All three (3) floors of the tenant space have restricted access by key card access on 15th and 16th, and the 17th floors and has one access door that is monitored by an occupied reception desk during normal business hours (see attached floor plans). There is an interior stair connecting the 16th and 17th floor, which is located in the same vicinity as the reception desk. There will be small conference rooms, that are less than 750 SF, spread across all three (3) floors which allow for small scale work session meetings. The US BanCorp Tower has assembly areas available for use on other levels of the building which can accommodate small groups and large groups. This appeal is to demonstrate that the newly proposed “all hands” space is utilized only for non-simultaneous occupancy and that no increased occupant load will result in this interior modification.

The existing tenant space is approximately 17,800 SF per floor of primarily Group B Occupancy. The newly proposed “all hands” space is 2,060 SF, less than 10% of the space and considered an accessory space on the floor. A total of 142 1/2" and 80 1/2" at the stairs is provided for egress which is sufficient for the proposed design.

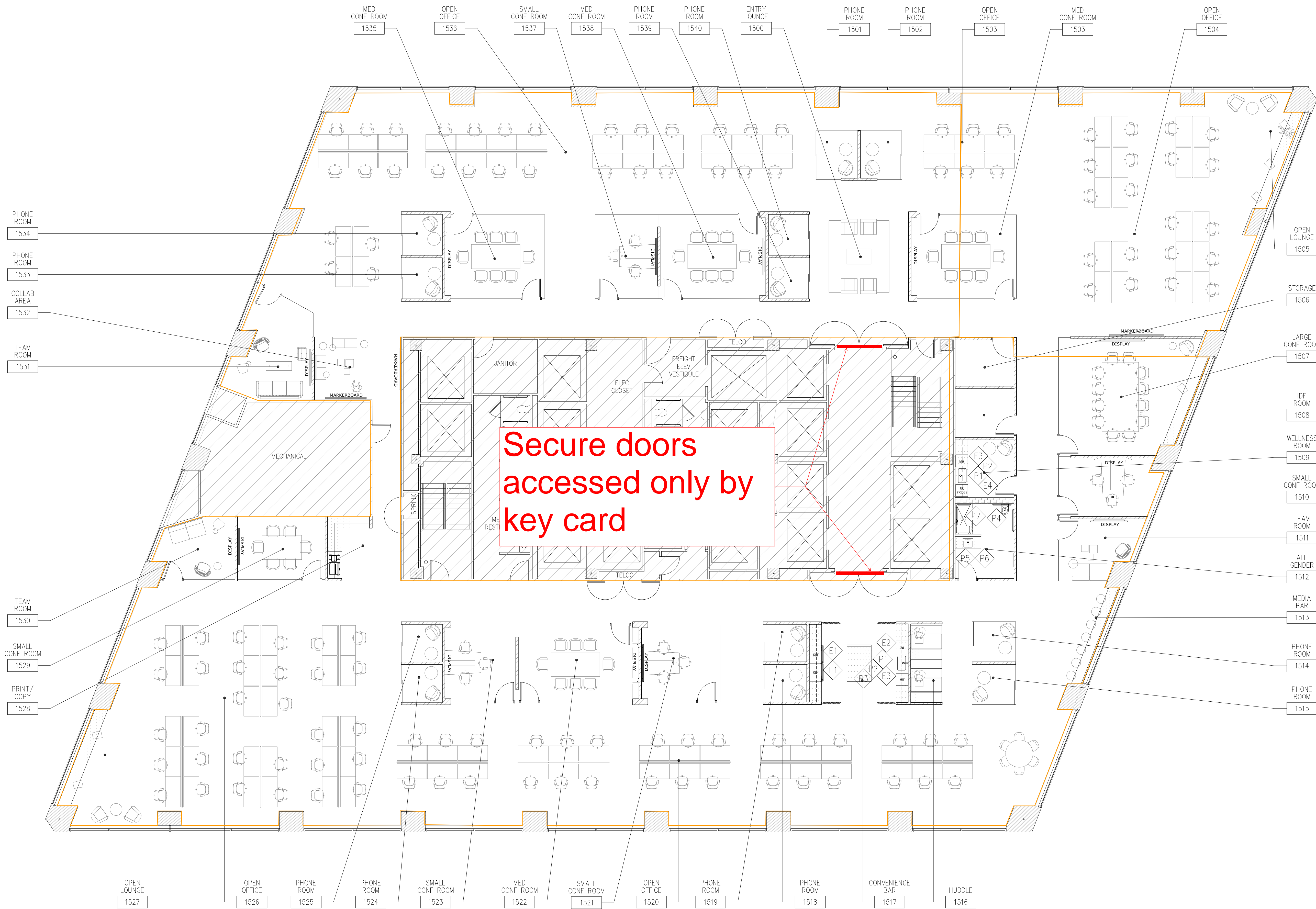
APPEAL DECISION

1a. Business occupant load calculation at 150 sf per occupant for floors 15, 16 and 17 per 2018 IBC: Denied. Proposal does not provide equivalent Life Safety protection.

1b. Omission of occupant load for "all -hands" common space based on non-simultaneous use: Denied.
Proposal does not provide equivalent Life Safety protection.
Appellant may contact John Butler (503 823-7339) with questions.

Pursuant to City Code Chapter 24.10, you may appeal this decision to the Building Code Board of Appeal within 90 calendar days of the date this decision is published. For information on the appeals process, go to www.portlandoregon.gov/bds/appealsinfo, call (503) 823-7300 or come in to the Development Services Center.

15th Floor



CONSTRUCTION PLAN - 15TH FLOOR

1/8" = 1'-0"

SHEET NOTES

- ALL CONDITIONS EXISTING U.O.N.
- GENERAL CONTRACTOR SHALL VERIFY ALL FIELD DIMENSIONS AND NOTIFY ARCHITECT IN WRITING OF ANY DISCREPANCIES BEFORE PROCEEDING.
- CONTRACTOR SHALL CLEAN WINDOWS PRIOR TO TENANT OCCUPANCY.
- FOR ALL DRYWALL PARTITIONS, USE 5/8" TYPE "X" OR EQUAL.
- FOR ALL DRYWALL PARTITIONS IN WET/DAMP AREAS, USE 5/8" GREENBOARD OR EQUAL.
- FOR ALL DRYWALL PARTITIONS IN WET/TILE AREAS, USE GREENBOARD, OR CONCRETEBOARD.
- CONTRACTOR SHALL PROVIDE F.R. BLOCKING, BACKING AND SHEATHING WHERE REQUIRED FOR MOUNTING OF TENANT AND/OR CONSULTANT SUPPLIED EQUIPMENT AND/OR FIXTURES. WOOD PRODUCTS INSTALLED FOR SUCH USE SHALL BE CERTIFIED IN ACCORDANCE WITH CALGREEN SECTION A5.405.2.1 TO THE EXTENT REQUIRED BY THE CITY OF JURISDICTION, AND SHALL MEET ALL APPLICABLE FIRE & SAFETY CODES.
- ALL GYPSUM BOARD WALL SHEATHING SHALL BE UL-CLASSIFIED AS NON-COMBUSTIBLE PER ASTM E136, AND PARTITION ASSEMBLIES SHALL HAVE A CLASS C FLAME SPREAD INDEX PER CBC SECTION 803.9
- FIRE WALLS, FIRE BARRIERS, ETC SHALL BE LABELED IN AN ACCESSIBLE AREA AT 30" O.C. STATING "FIRE AND/OR SMOKE BARRIER-PROTECT ALL OPENINGS"
- SEE SHEET A5.X FOR POWER AND SIGNAL INFORMATION.
- SEE SHEET A6.X FOR FINISH MATERIAL SPECIFICATIONS AND INFORMATION.

CONSTRUCTION KEYNOTES

SYMB.	DESCRIPTION
(N-1)	(N) BATHROOM FLOOR & WALL FINISH
(N-2)	SINK DESIGNATED AS ACCESSIBLE ACCESS WITH PARALLEL APPROACH; PER 2016 CBC 11B-606.2 EXCEPTION 1: A PARALLEL APPROACH COMPLYING WITH SECTION 11B-305 SHALL BE PERMITTED TO A KITCHEN SINK IN A SPACE WHERE A COOK TOP OR CONVENTIONAL RANGE IS NOT PROVIDED TO WET BARS.

PLUMBING FIXTURE LEGEND

SYMB.	DESCRIPTION	SYMB.	DESCRIPTION
P1	SINK (ADA) MANF/MODEL: ELKAY/LUSTERTONE ELUH2816PD	E1	REFRIGERATORS MFR/MODEL: FINISH:
P2	FAUCET MANF/MODEL: GROHE/ CONCEPTO FINISH: CHROME	E2	DISHWASHER MFR/MODEL: COVE/DW2450 FINISH: STAINLESS STEEL
P3	WATER FILTER MFR/MODEL: VIVREAU, V12H FINISH: CHROME	E3	MICROWAVE MFR/MODEL: COVE/DW2450 FINISH: STAINLESS STEEL
P4	TOILET MANF/MODEL: TOTO/CT708UVG COLOR: WHITE	E4	UNDERCOUNTER REFRIGERATOR MFR/MODEL: COVE/DW2450 FINISH: STAINLESS STEEL
P5	LAV. FAUCET & SOAP DISPENSER MANF/MODEL: TOTO/TEL1B1 LIBELLA M ECO POWER COLOR: STAINLESS STEEL	E5	COFFEE MACHINE MANF/MODEL: COLOR:
P6	BATHROOM SINK MANF/MODEL: COLOR:		
P7	SHOWER MANF/MODEL: COLOR:		

CONSTRUCTION LEGEND (SEE SHEET NOTES FOR ADDITIONAL PTN. REQUIREMENTS)

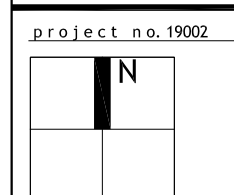
	DETAIL KEY AREA		DETAIL KEY SHEET # DETAIL #
	DOOR TYPE/ HARDWARE TYPE - SEE DOOR SCHEDULE ON SHEET A10.0		
	GLAZING TYPE - SEE GLAZING SCHEDULE ON SHEET A10.0		
	SEMI-RECESSED FIRE EXTINGUISHER CABINET: LARSEN'S MODEL #2409-5R W/VERTICAL DUO, WHITE FINISH, SQUARE TRIM & BLACK VERTICAL LETTERING. REUSE (E) AND/OR PROVIDE (N) CLASS A FIRE EXTINGUISHER. PROVIDE PROJECTING SIGNAGE AS REQUIRED PER CITY'S JURISDICTION.		
	ALIGN WITH ADJACENT		
	N.I.C. / AREA NOT IN CONTRACT		
	EXISTING CONSTRUCTION; SCHEDULED TO REMAIN		
	NEW CONSTRUCTION; FULL HEIGHT ACOUSTIC PARTITION FLOOR TO UNDERSIDE OF STRUCTURE, SEE DETAIL 1/A9.0.		
	NEW CONSTRUCTION; FULL HEIGHT ACOUSTIC PARTITION FLOOR TO UNDERSIDE OF STRUCTURE W/ 3 LAYERS OF GYP. BOARD. SEE DETAIL 2/A9.0.		
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	NEW CONSTRUCTION; MILLWORK		
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SCALE:
AS NOTED

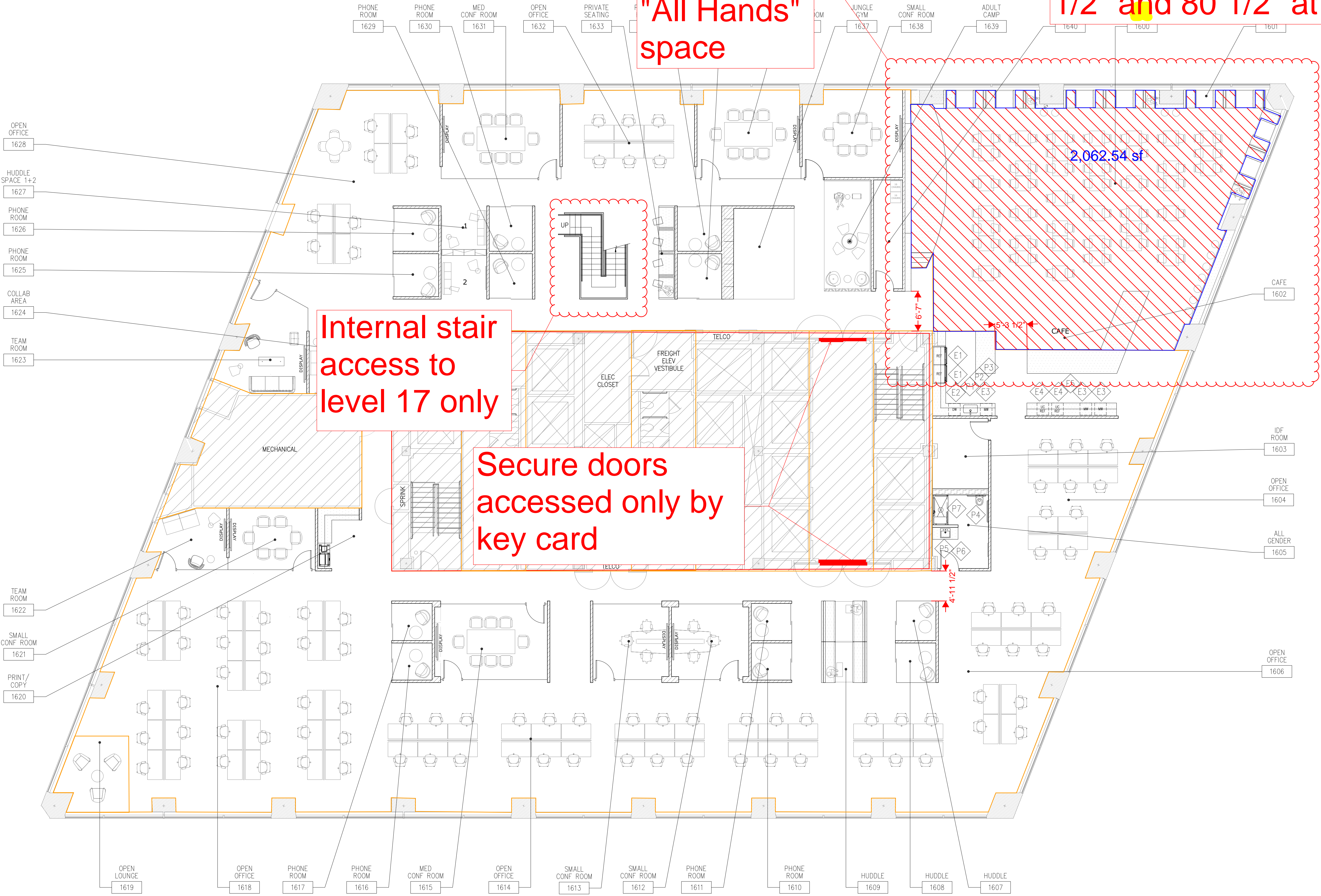
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Construction Plan
15th Floor
A3.0

16th Floor

Newly proposed "All Hands" space

Occupant Load based on Table 1004.5 for unconcentrated assembly space (15 OLF) would be 138 persons for the new "all hands" space. Per Section 1005.3, the required egress width for the proposed space is 20 1/2" and 27 1/2" at the stairs. A total of 142 1/2" and 80 1/2" at the stairs are provided



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CONSTRUCTION PLAN - 16TH FLOOR

1/8" = 1'-0"



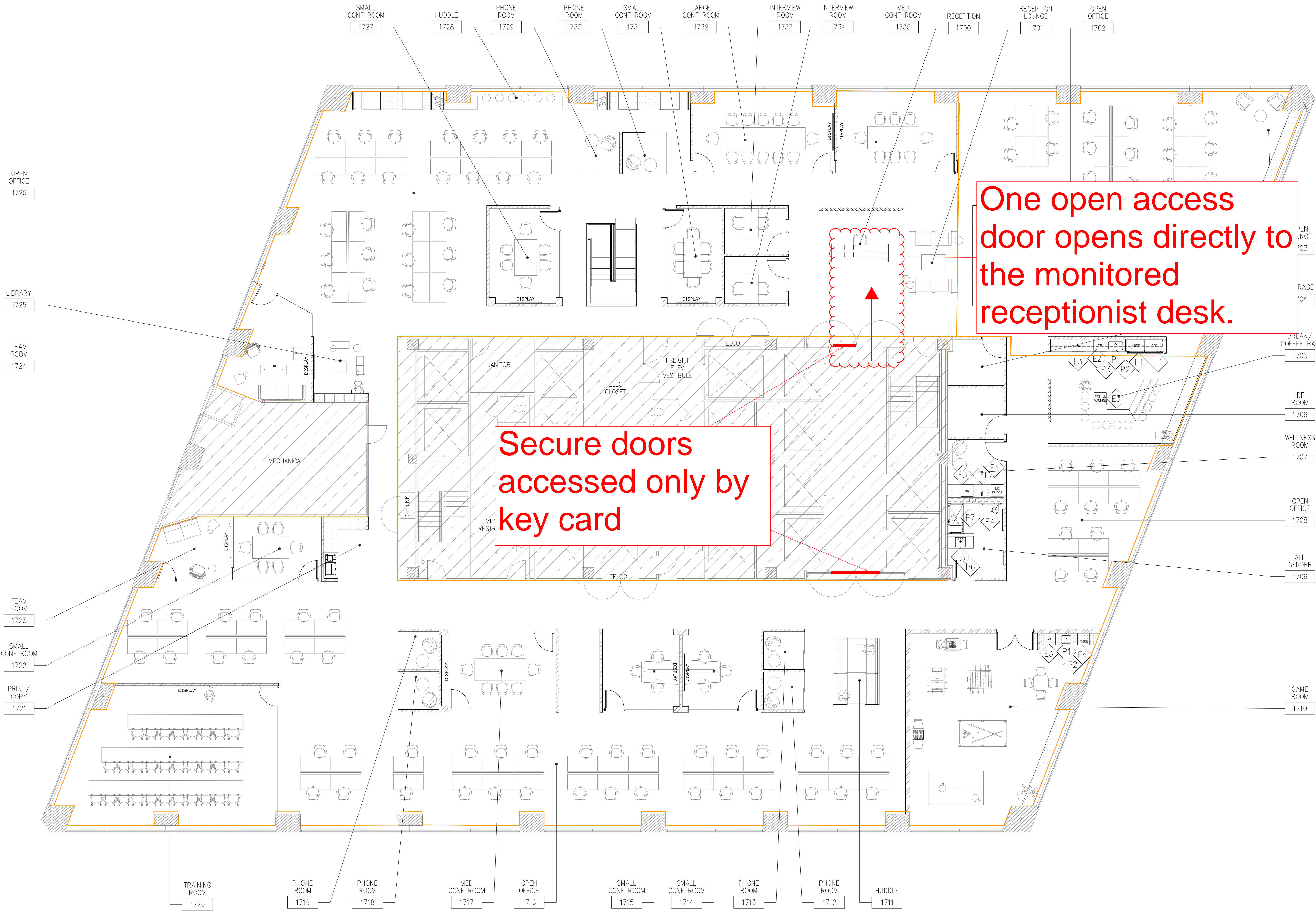
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Construction Plan
16th Floor
A3.1

17th Floor



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