

Development Services

From Concept to Construction

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More Contact Info (<http://www.portlandoregon.gov/bds/article/519984>)



APPEAL SUMMARY

Status: Hold for Additional Information

Appeal ID: 23395	Project Address: 4420 NE Sumner St
Hearing Date: 1/29/20	Appellant Name: Brinton Riggs
Case No.: P-001	Appellant Phone: 5037014494
Appeal Type: Plumbing	Plans Examiner/Inspector: McKenzie James, Jim Bechtel
Project Type: residential	Stories: 1 Occupancy: Residential Construction Type: Wood Frame
Building/Business Name:	Fire Sprinklers: No
Appeal Involves: Alteration of an existing structure	LUR or Permit Application No.:
Plan Submitted Option: pdf [File 1]	Proposed use: Single-family dwelling

APPEAL INFORMATION SHEET

Appeal item 1

Code Section	ORSC Figure R307.1
Requires	Toilets are required to have 15" clear from the centerline of the toilet to walls.
Code Modification or Alternate Requested	Allow the existing toilet to have a reduced clearance of 13-1/2" to the wall on one side.
Proposed Design	Existing toilet location to remain
Reason for alternative	<p>The owner purchased the house in 2015 with an unpermitted finished basement that included a new bathroom. The owner is attempting to obtain a permit for the basement and bring it into code compliance. The existing toilet drain was placed too close to the wall and is set into a concrete slab and would require extensive demolition to move. The bathroom otherwise functions well and will meet all other fixture clearance requirements.</p> <p>Note: there are other non-compliant plumbing system components elsewhere that will need to be addressed by a licensed plumber to bring the plumbing into code compliance. This appeal is addressing the clearance issue only.</p>

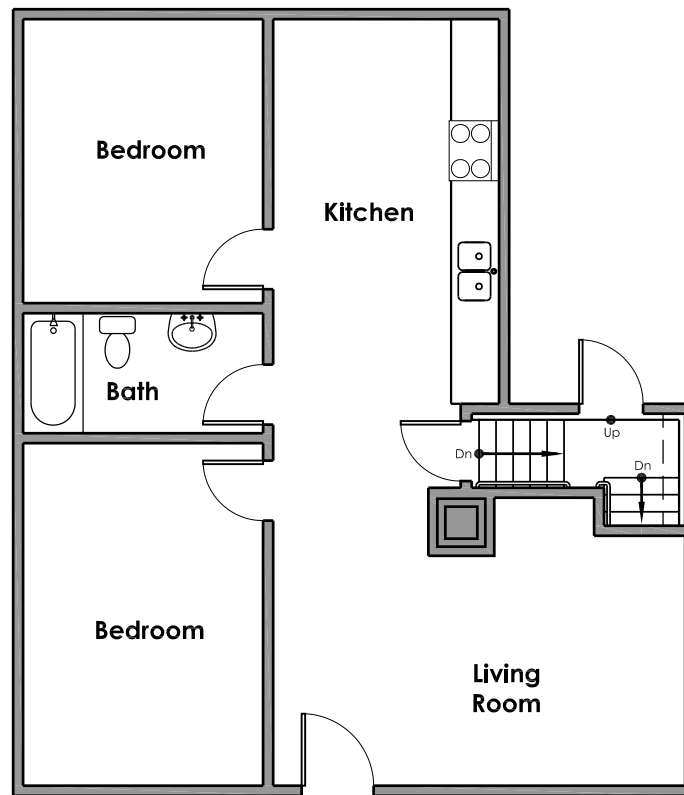
APPEAL DECISION

Reduction in minimum required clearance of toilet to 13.5 inches from centerline to wall: Hold for additional information.

Appellant may contact Jim Bechtel (503-823-7386) with questions.

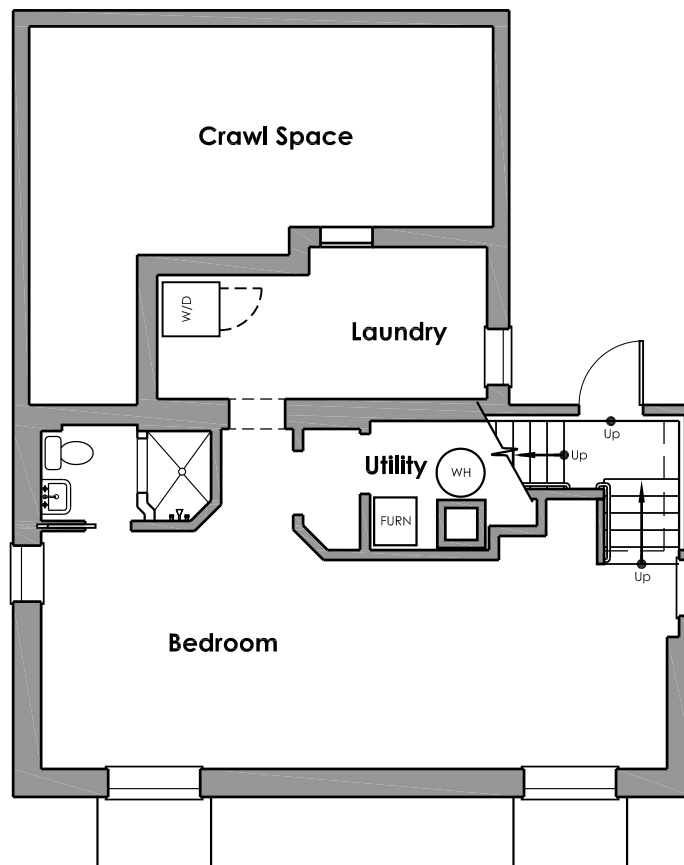
Additional information is submitted as a no fee reconsideration, following the same submittal process and using the same appeals form as the original appeal. Indicate at the beginning of the appeal form that you are filing a reconsideration and include the original assigned Appeal ID number. The reconsideration will receive a new appeal number.

Include the original attachments and appeal language. Provide new text with only that information that is specific to the reconsideration in a separate paragraph(s) clearly identified as "Reconsideration Text" with any new attachments also referenced. No additional fee is required.



1st Floor Plan

Scale: 1/8" = 1'-0"

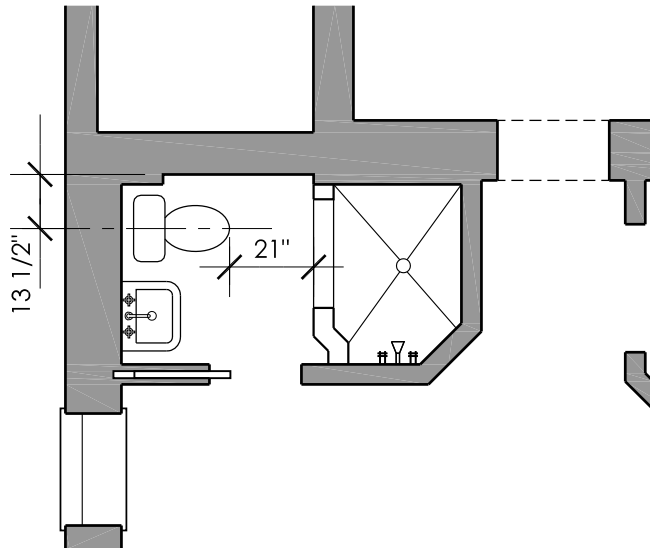


Basement Plan

Scale: 1/8" = 1'-0"

Signorelli Basement

Appeal ◇ 2020.01.22
4420 NE Sumner Street, Portland



Existing Bathroom Plan

Scale: 1/4" = 1'-0"

Signorelli Basement

Appeal ◇ 2020.01.22

4420 NE Sumner Street, Portland