

Development Services

From Concept to Construction

Phone: 503-823-7300 Email: bds@portlandoregon.gov 1900 SW 4th Ave, Portland, OR 97201

More Contact Info (<http://www.portlandoregon.gov/bds/article/519984>)



APPEAL SUMMARY

Status: Decision Rendered

Appeal ID: 23295	Project Address: 2170 NE Halsey St
Hearing Date: 1/8/20	Appellant Name: Melissa Meiners
Case No.: B-011	Appellant Phone: (503)708-2157
Appeal Type: Building	Plans Examiner/Inspector: Steve Freeh, Ed Marihart
Project Type: commercial	Stories: 3 Occupancy: R-2 Construction Type: V-B
Building/Business Name:	Fire Sprinklers: No
Appeal Involves: Correction of a violation	LUR or Permit Application No.:
Plan Submitted Option: pdf [File 1] [File 2] [File 3] [File 4] [File 5]	Proposed use: Apartments

APPEAL INFORMATION SHEET

Appeal item 1

Code Section 302.1

Requires Structures or portions of structures shall be classified with respect to occupancy in one or more of the groups listed in this section.

Proposed Design The structure was originally built in 1911 as a single-family residence.

A plumbing permit in 1939 added a toilet to what was noted as the 3rd story.

Permit #406271 from 1963 altered the residence to apartments. The approved plans also identified the top level as the 3rd floor. The 1963 permit and inspections should have implemented any code separation requirements between apartments and other spaces in effect at that time.

Case file #18-273109-HS identifies the structure as a 3-story building with basement.

Reason for alternative This structure is regulated under the City of Portland's Chapter 13 Systematic Inspection Program, which identifies structures built before 1973, and that are "more than 2 stories in height", and that require inspection to ensure adequate fire and life-safety for occupants.

Portland Fire & Rescue has performed inspections on the property over the years, including inspecting the metal fire escape ladder from the 3rd floor apartment, which identifies their acknowledgement that the 3rd floor was habitable space being used as an apartment.

The applicant requests to establish via building code appeal, that the 3rd story has always been habitable space, not an attic, based on city records of historic permits and inspections.

The applicant requests that the 3rd floor be recognized as an R-2 occupancy in order to pursue legalizing the 3rd floor apartment. That while the 3rd floor has not been legally established as a

separate apartment, the one and two-family dwelling classification became null and void with the 1963 permit, and the 3rd floor became accessory to the main occupancy, which is R-2.

APPEAL DECISION

Determination of 3rd story as existing habitable space: Denied. Proposal does not provide equivalent Life Safety protection.

Appellant may contact John Butler (503 823-7339) with questions.

Pursuant to City Code Chapter 24.10, you may appeal this decision to the Building Code Board of Appeal within 90 calendar days of the date this decision is published. For information on the appeals process, go to www.portlandoregon.gov/bds/appealsinfo, call (503) 823-7300 or come in to the Development Services Center.



NOTICE OF VIOLATION - PROPERTY MAINTENANCE CODE PROGRESS REPORT

September 4, 2019

PARADISE 39 GRAPE LLC
6010 NE FLANDERS ST UNIT B-1
PORTLAND, OR 97213-3870

**RE: 2170 NE Halsey St. aka 1431 NE 22nd Ave
HOLLADAY PK 2ND ADD; BLOCK 9; E 40' OF LOT 15; E 40' OF LOT 15;
1N1E35AA 00500
Tax #: R39570-0110 Case #: 18-273109-HS**

On July 18, 2019, we sent you a Notice of Violation regarding Property Maintenance Code violations found at the property listed above. A Senior Housing Inspector was at the property on August 20, 2019 to inspect the corrections that had been made. Included with this Notice is a list of the current violations found at your property.

YOU MUST CORRECT ALL OF THESE CODE VIOLATIONS PROMPTLY. Until the corrections are inspected and approved by a Senior Housing Inspector, your case remains open and you will be charged, or continued to be charged, monthly code enforcement fees. In addition, a lien will be, or has been, placed against the property. If this case has been open three (3) months or more from the initial notice of violation, the monthly code enforcement fee will double. If your property or any part thereof is vacant or becomes vacant, it cannot be occupied until the violations are corrected. In the event the property or any part thereof is reoccupied before all violations are corrected a \$743.00 per month penalty, in addition to the monthly enforcement fee, will be charged until the property is vacated and/or all violations are corrected and approved by the Senior Housing Inspector. Enclosed is an information sheet explaining all fees, penalties, and exceptions.

As owner of this property, **you must:**

1. Correct the Property Maintenance Code Violations; **and**
2. Have the corrections inspected by the Senior Housing Inspector. It is **your** responsibility to call the inspector to arrange for an inspection.

Please contact the inspector listed below. Thank you for your cooperation.

Ed Marihart
Senior Housing Inspector (503)-823-7318, ed.marihart@portlandoregon.gov



LIST OF VIOLATIONS

Uncorrected violations from July 18, 2019 letter:

EXTERIOR

1. **CORRECTED August 20, 2019: Fire Life Safety Violation:** The East handrail at the front steps is unsecured/loose, and incapable of supporting the loads to which they are subjected. 29.30.080
2. **CORRECTED August 20, 2019:** Portions of trim paint on south side of the Apartment building & the garage are peeled to bare wood. 29.30.060(b)

INTERIOR

3. A 5th Apartment Unit was created on the 3rd Floor without obtaining required permits, inspections & approvals. The last legal approved occupancy for this building is for 4 units (2 units – 1st floor & 2 units – 2nd floor) per Building Permit 406271 & Plumbing Permit 121812. Commercial electrical, plumbing, mechanical, and building permits are required to legalize this 5th Apartment Unit. 29.05.040, 29.50.010, 29.50.020
4. **CORRECTED August 20, 2019: Fire Life Safety Violation:** All Lighted Exit Signs & Emergency Lighting Units are inoperable. 29.30.270A, 29.30.270A

1ST FLOOR

5. **CORRECTED August 20, 2019: Fire Life Safety Violation:** Exit sign above the front entrance door lacks required size lettering. 29.30.230(d5), 29.30.250(a), 29.30.270(a)

*Every exit doorway or change of direction of a corridor shall be marked with a well-lighted exit sign having **letters at least five inches (5") high**. Directional exit signs need arrows pointing towards exit.*

REAR STAIRWELL

6. **CORRECTED August 20, 2019: Fire Life Safety Violation:** Required exit sign above the rear exit door is missing. 29.30.230(d5), 29.30.250(a), 29.30.270(a)

Every exit doorway or change of direction of a corridor shall be marked with a well-lighted exit sign having letters at least five inches (5") high. Directional exit signs need arrows pointing towards exit.

7. **CORRECTED August 20, 2019:** 2nd story landing window lacks required locking hardware. The locking hardware must be openable from the inside without the use of a key or any special

LIST OF VIOLATIONS

knowledge or effort. 29.30.090(g)

BASEMENT

8. **CORRECTED August 20, 2019: Fire Life Safety Violation:** Basement steps from the Rear Stairwell lack a required approved safety handrail not less than 30" nor greater than 38" high, that is continuous the full length of the stairs with ends that turn into the wall or butt into a post. 29.30.080(b,c)
9. **PARTIALLY CORRECTED August 20, 2019: Fire Life Safety Violation:** Portions of ceiling coverings in the storage units & laundry area around pipe/conduit penetrations are damaged, missing or have gaps. 29.30.110(a)

Any penetrating pipes/conduits shall have the annular space covered with an approved noncombustible material (i.e. metal escutcheon plate or approved 1-hr fire barrier caulk) to resist the free passage of flame and the products of combustion.

10. **PARTIALLY CORRECTED August 20, 2019: Fire Life Safety Violation:** Portions of required 1-hour fire-resistive Ceiling separation coverings are damaged, deteriorated, and/or missing (including at any pipe, conduit and/or wire penetrations). 29.05.040, 29.30.110(a), 29.30.250(a), 29.30.270(a)

In this Chapter 13 building, wall and/or ceiling coverings, in the above mentioned location(s), that are existing wood or metal lath & plaster in good condition will be acceptable in lieu of one-hour fire-resistive construction.

For new installations of one-hour fire-resistive coverings, one option for wall and/or ceiling coverings is 5/8-inch (5/8") Type X gypsum wallboard. All gypsum wallboard joints shall be taped and covered with joint compound. Gypsum wallboard that is overlaid shall have exposed edges taped and covered with joint compound. Other new installation covering options are listed in the Oregon Structural Specialty Code. Gypsum board joint compound is not an approved material to patch or fill holes, gaps or other missing approved coverings.

Any penetrating items shall have the allowable annular space filled and/or covered with an approved noncombustible material (i.e.; plaster, metal escutcheon plate, or listed and approved 1-hr minimum fire barrier caulk, or for penetrating plastic piping listed and approved 1-hr minimum fire-resistive protection devices and/or other listed and approved protective installations) to resist the free passage of flame and the products of combustion.

When using 1-hr fire barrier caulk or other fire-resistive protection devices, have product container and/or packaging and specifications listed on Technical Information sheet, including

LIST OF VIOLATIONS

Installation Standards available for inspector at reinspection. Product Technical Information and Installation Standards printouts may be available at supplier or may be obtained from the Internet.

Please note that case is now eligible for a 30 day Extension from 8-18-19 – 9-17-19.

c: File



Fees, Penalties, Reviews, Appeals, and Waiver Information

FEES

If all Fire, Life, Safety and/or Health, Sanitation violations **are not** corrected, inspected, and approved by a City Housing Inspector within thirty (30) days of the mailing date of the first violation letter, a lien may be placed against the property. If all other violations **are not** corrected, inspected and approved by the Housing Inspector within sixty (60) days of the mailing date of the first violation letter, a lien may be placed against the property. The monthly fee is based on the number of units on the property and the number of units in violation.

1-2 Units \$270.00 per unit	3 – 10 Units \$405.00 per unit	11 – 19 Units \$541.00 per unit	20 or more Units \$675.00 per unit	Residential with Any Non-Residential use & Properties with only Non- Residential use \$675.00 per unit
-----------------------------------	--------------------------------------	---------------------------------------	---	---

An additional auditor charge of 10% will be added to the above amounts, along with a possible recording fee. The monthly fees will double for any property that remains in violation for three (3) months from the initial notice of violation. Pursuant to Portland Policy Document ENB 12.07, property owners or their representative may request a review of assessed liens/fees for potential reduction once an enforcement case is closed.

Re-occupation After Notice of Violation: A \$743.00 per month penalty will be assessed if the property or any part thereof is vacant or becomes vacant and is reoccupied before all violations are corrected, inspected, and approved by the City's Housing Inspector. This is in addition to the monthly code enforcement fees and is assessed per occurrence.

Hearings: A \$377.00 penalty will be assessed if the City files a complaint with the Code Hearings Officer regarding the continued existence of violations on the property.

ADMINISTRATIVE REVIEW – Do Violations Exist?

- Pursuant to 3.30.040.E.8, as the property owner or authorized agent, if you believe the finding of the notice was in error you may request an Administrative Review within 15 days of the posting notice or within 15 days of the first violation notice. Code enforcement fees will continue to accrue during the review process.
- If additional violations are cited, any property owner or authorized agent may also request an Administrative Review of additional cited violations within 15 days of the date of the notice citing those additional violations.
- An Administrative Review Fee of \$131.00 is due when the written request for an Administrative Review is received. This fee will only be refunded if it is determined that all of the contested violations were cited in error.

The written request, along with the \$131.00 Administrative Review fee, must be received in our office within 15 days of original notification and must state the reason(s) for the review. Please make the check payable to the City of Portland. Compliance timelines and enforcement actions remain in effect during the Administrative Review process.

Mail requests to: Bureau of Development Services
Neighborhood Inspections & Compliance Services Section
Review/Appeal Desk
1900 SW 4th Avenue Suite 5000
Portland OR 97201

Your request should indicate if you or a representative of the property owner will be appearing in person for the review. If so, we will notify you and/or your representative of the date and time of the review. A written determination will be mailed following the review, which will include additional appeal information as set forth in Section 29.80.02

Code Enforcement Fee Waivers (Housing Cases)

A waiver provides for temporary suspension of code enforcement fees assessed against a property. Waivers are available on a limited basis. Call 503-823-0891 for more information or to request an application.

Income-Based Waiver

Upon approval of this waiver, monthly Code Enforcement Fees may be suspended for (twelve) 12 months. The following requirements must all be met before the waiver may be granted:

1. All cited fire, life safety, health or sanitation violations must be corrected, inspected and approved by the Housing Inspector; or the property is vacant with no significant exterior fire, life safety, health or sanitation violations; and
2. The property is clear of any other code violation administered by BDS; and
3. The housing case is currently open; and
4. The dwelling is a one or two family residence; and
5. The property owner(s) must meet the income requirements by providing required documentation; and
6. The property is owner-occupied or vacant.

Residential Renovation Waiver

Upon approval of this waiver, monthly Code Enforcement Fees may be suspended for up to six (6) months. **Please note: If permits are required, they must be paid for and issued before the waiver will be granted.** These requirements must all be met before the waiver may be granted:

1. All cited fire, life safety, health or sanitation violations must be corrected, inspected, and approved by the Housing Inspector; or the property is vacant with no significant exterior fire, life, and safety violations; and
2. The property is clear of any other code violation administered by BDS; and
3. The housing case is currently open; and
4. The building is attached to a permanent foundation or has an issued and active permit for foundation work; and
5. Paid and issued building permit fees of at least
 - A. \$500 or a project value of \$15,000 for one and two family dwellings; or
 - B. \$1,000 or a project value of \$30,000 for properties with 3-10 units; or
 - C. \$1,500 or project value of \$45,000; for properties with 11-19 units; or
 - D. \$2,000 or project value of \$60,000; for properties with 20+ units
6. A submitted work plan that demonstrates a project valuation of non-permit work to be done (or a combination of permit and non-permit work that demonstrates the required valuation as listed above) to rehabilitate the property.
7. A completed waiver application must be received in addition to the above listed requirements before a waiver can be considered.

Exterior Paint and Roof Waiver (no application required)

Upon approval of this waiver, monthly Code Enforcement Fees may be suspended for nine (9) months. The following requirements must be met before the waiver may be granted:

1. The property is a residential 1 or 2 family dwelling,
2. All property maintenance violations with the exception of exterior paint and roof work, must be corrected, inspected, and approved by the Housing Inspector; and
3. The property is clear of any other code violation administered by BDS; and
4. The housing case is currently open.

New Owner Grace Period (no application required)

Upon approval of this waiver, Code Enforcement Fees may be suspended for one (1) month. The following requirements must be met before the waiver may be granted:

1. The new owner acquired the property with pre-existing housing violations of Title 29; and
2. The existing liens have been satisfied or paid current and the City Auditor's Office has notified BDS of a new owner; and
3. The case is currently open.

Active Permit, Demolition, Non-Profit and Warehouse Waivers:

Call the Waiver Desk at 503-823-0891 for more information.

Free Home Repair Assistance Grants are Available for Low Income Owner Occupied Property Owners that earn 50% or less of median family income. For more information and to see if you qualify please visit the Portland Housing Bureau website at <http://portlandoregon.gov/phb/article/430363>.

All information is subject to change.

2170 N.E. Halsey St.

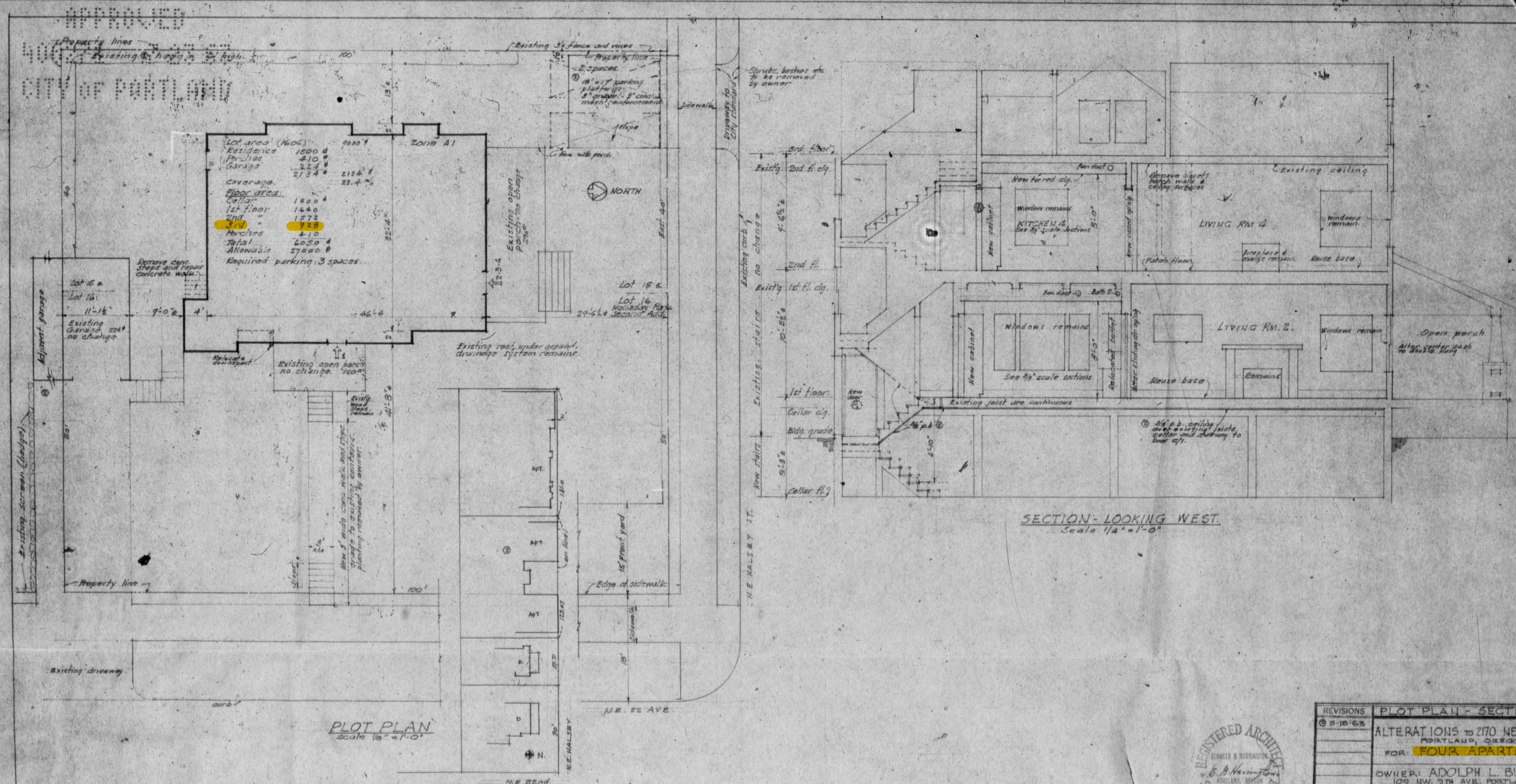
406271 1.

2170 N.E. HALSEY ST.

406271

35-24

MICROFILMED
JAN 3 1979



406271

35.24

MICROFILMED
JAN 8 1979

000000
0027 2500
0000

Remove conc.
steps over &
get h conc well

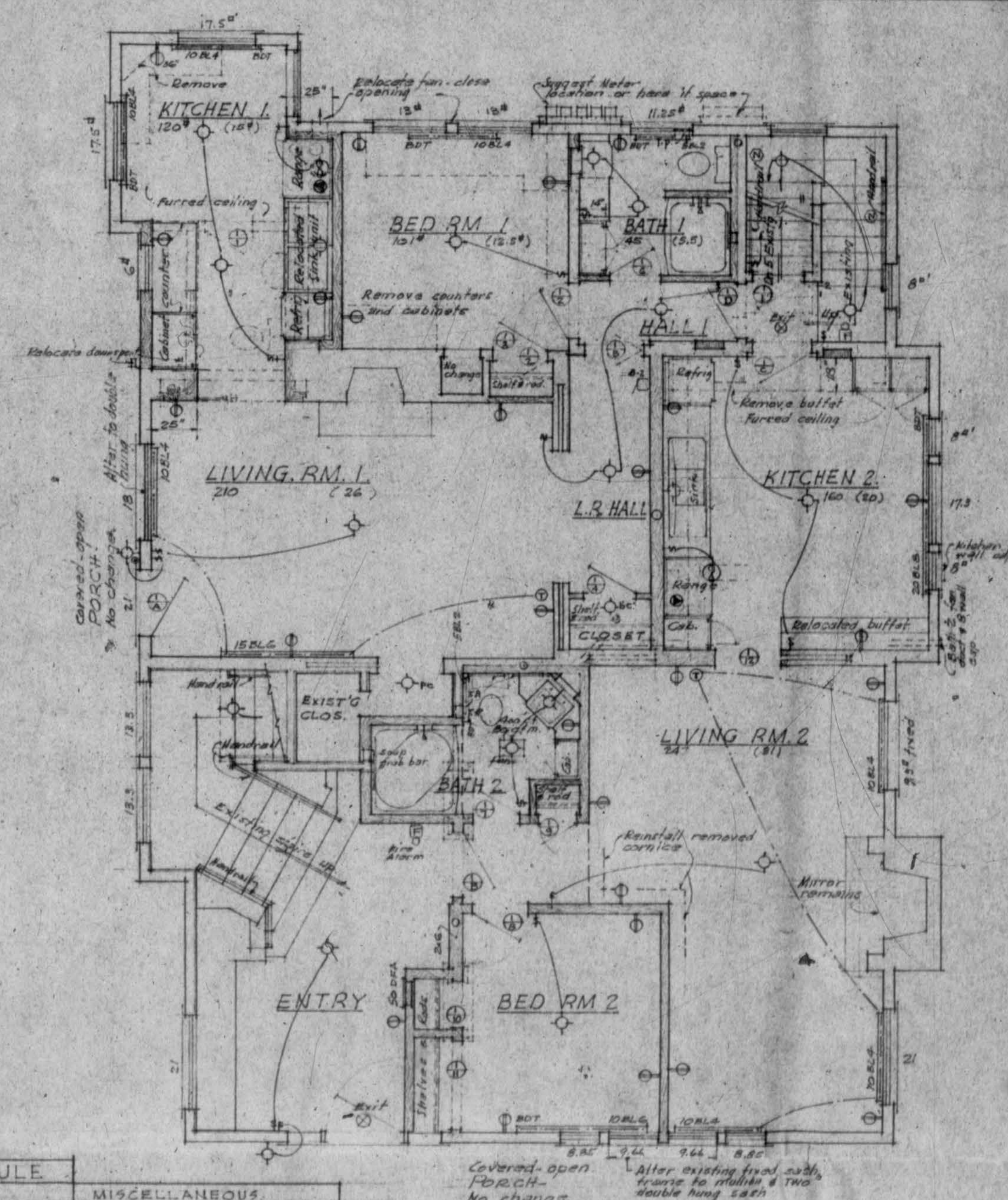
CELLAR

Existing cellar outlets
and new outlets;
ENTRY'S and stairs;
Rear stairs and
3rd floor outlets
on House Panel.
2 1/2 plas. hd on all with groos
and stairs to Beer Sh.

CELLAR PLAN
Scale 1/4" = 1'-0"

ROOM		FLOOR*	WALLS	CEILING	TRIM	MISCELLANEOUS
ENTRY	1	1	plaster	plaster	base, chair rail and crown	Protect existing hardwood floor
LIVING	1	1	plaster	existing	base, chair rail and crown	Protect existing hardwood floor
BED	2	2	plaster	plaster	Recessed trim - stain	Install wood cornice
BED	1	1	plaster	existing	New, brass wood base	ins in place, pl existing uphol chair
BED	2	2	plaster	plaster	base - stain	Remove panel, Reinstall front door, Reinstall glass doors existing if needed
KITCHEN	1	1	plaster	new, furred	base, New base, Reinstall and replace trim	Remove, maintain and paint radiators to remove all rust
KITCHEN	2	2	plaster	plaster		Protect floor, base crown & trim
BATH	1	1	insulation	insulation	rubber base	
BATH	2	2	insulation	plaster	ceiling	
HALL	1	1	insulation	existing	existing	
L.B.	1	1	plaster	plaster	new base	Protect floor

p.b. = plaster board pl. = paint c.e.s. = clean and patch



FIRST FLOOR PLAN
Scale 1/4" = 1'-0"

NOTES: ROOM SCHEDULE

- * Remove, let a cut 4x6 wall floor and wall, have it repair surface existance to adjacent surfaces.
- * Remove existing wall and ceiling material to room on
- * Remove existing wall and ceiling to and install plaster board.
- * Install existing convenience receptacles.
- ADD B-R-B-2 Buzzer Appl.
- * Maintain front door stairs. Aband on ceiling

NOTES:
 "Window areas" are indicated on plans for existing and altered windows.
 Square footage of rooms are stated under title and required window are shown in brackets ().
 All windows double hung unless marked otherwise.
 Cellular glass top hung casements.

Diagram illustrating the cross-section of a wall assembly, showing the following components from top to bottom:

- 2x4
- face of 5/8" type plaster board
- 1/2" plaster board
- Plant backing 3/4"
- Stock v.o. fir

TYP. JAMB & HEAD
5c. y/g 3" = 1'-0"

[illegible]

REVISIONS	CELLAR & FIRST FLOOR PLANS	
① 7-29-63	ALTERATIONS TO 2170 NE. HALSEY ST.	
② 5-15-63	PORTLAND, OREGON	
	FOR: FOUR APARTMENTS	
	OWNER: ADOLPH L. BLOCH	
	1039 NW. 9TH AVE. PORTLAND, ORE.	
FOR NOTES	ROALD, SCHMEER & HARRINGTON	SHEET
	ARCHITECTS	2
DATE	1104 PORTLAND TRUST BUILDING	OF
4-4-63	PORTLAND OREGON	1

REGISTERED ARCHITECT
SCHMEER & HARRINGTON
E. A. Harrington
PORTLAND, OREGON
STATE OF OREGON

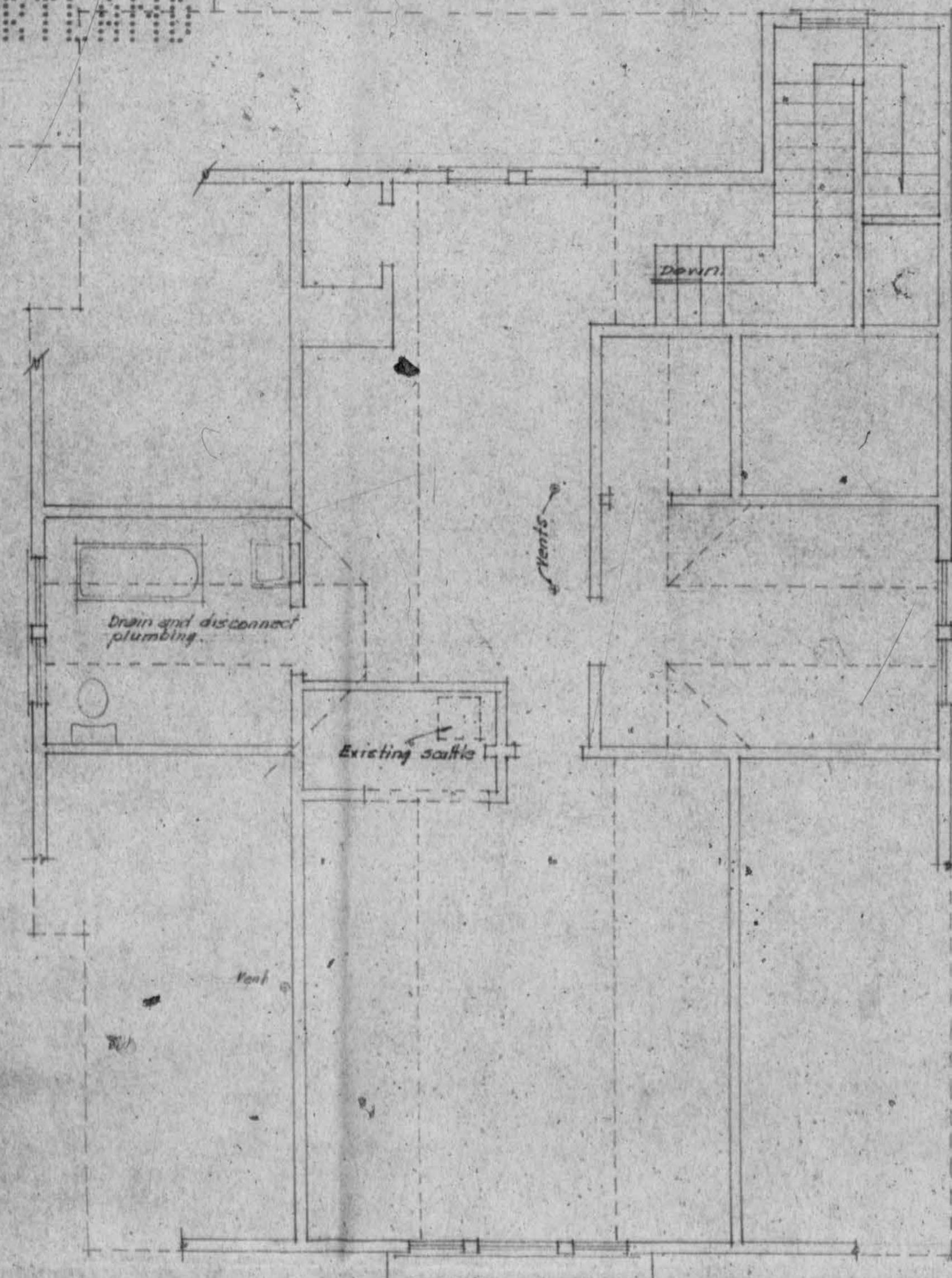
2170 N.E. HALSEY ST.

35.24

406271

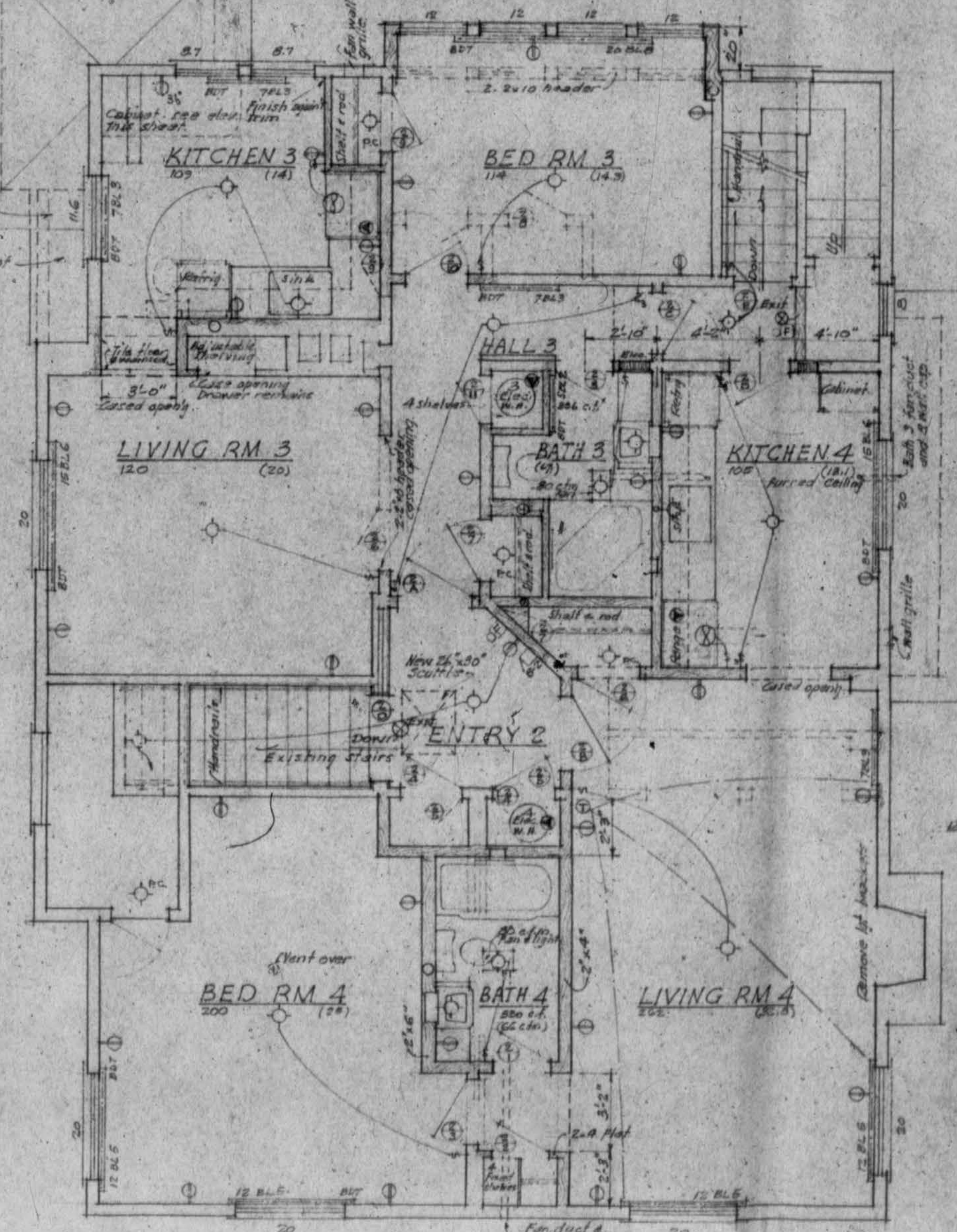
MICROFILMED
JAN 3 1979

APPROVED
406271 7 23 63
CITY OF PORTLAND



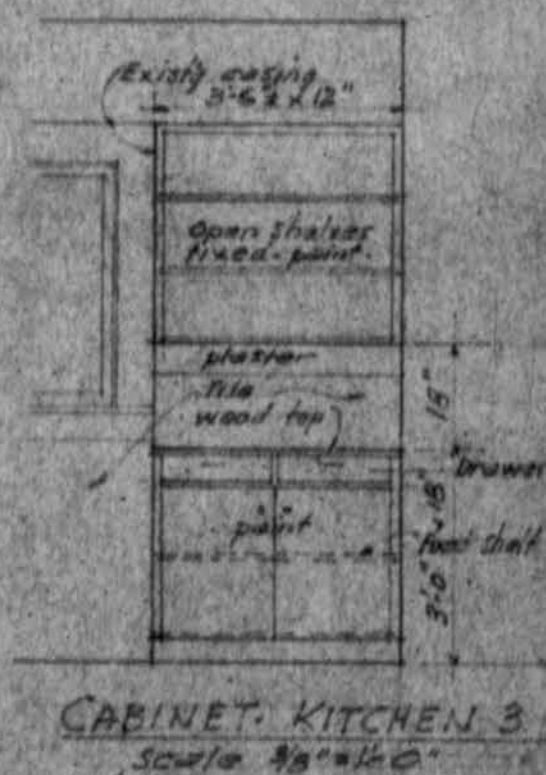
THIRD FLOOR

ROOM	FLOORS	WALLS	CEILING	TRIM	MISCELLANEOUS
ENTRY 2	2	9' pb. pt.	9' pb. pt.	pt.	Stairway to 3rd floor. Redwood floor.
LIVING 3	3	paper, orange	existing	base and trim	After existing wall removed, install 1/2" plywood, 1/2" sheetrock, 1/2" drywall.
" 4	4	paper, orange	existing	base and trim	After existing wall removed, install 1/2" plywood, 1/2" sheetrock, 1/2" drywall.
BED 3	3	9' pb. pt.	9' pb. pt.	pt.	After existing wall removed, install 1/2" plywood, 1/2" sheetrock, 1/2" drywall.
" 4	4	9' pb. pt.	9' pb. pt.	pt.	After existing wall removed, install 1/2" plywood, 1/2" sheetrock, 1/2" drywall.
KITCHEN 3	3	paper, orange	existing	base and trim	After existing wall removed, install 1/2" plywood, 1/2" sheetrock, 1/2" drywall.
" 4	4	paper, orange	existing	base and trim	After existing wall removed, install 1/2" plywood, 1/2" sheetrock, 1/2" drywall.
BATH 3	3	9' pb. pt.	9' pb. pt.	pt.	After existing wall removed, install 1/2" plywood, 1/2" sheetrock, 1/2" drywall.
" 4	4	9' pb. pt.	9' pb. pt.	pt.	After existing wall removed, install 1/2" plywood, 1/2" sheetrock, 1/2" drywall.
HALL 3	3	9' pb. pt.	9' pb. pt.	pt.	After existing wall removed, install 1/2" plywood, 1/2" sheetrock, 1/2" drywall.
" 4	4	9' pb. pt.	9' pb. pt.	pt.	After existing wall removed, install 1/2" plywood, 1/2" sheetrock, 1/2" drywall.



SECOND FLOOR

Scale 1/4" = 1'-0"
① Relocated existing convenience receptacles.
② Added buzzer bell.
③ Handrails from and rear stairs.



CABINET, KITCHEN 3
Scale 3/8" = 1'-0"

SEC. B.R. #3 DAY
Scale 3/8" = 1'-0"

NO.	DESCRIPTION
2/0	Remove sliding door, frame, trim, 1/2" pb. jamb & head.
2/1	3'-0" x 6'-0" solid core, flush, mahogany, 1/2" thick, 1/2" thick.
2/2	2'-0" x 6'-0" solid core, flush, mahogany, 1/2" thick, 1/2" thick.
2/3	2'-0" x 6'-0" solid core, flush, mahogany, 1/2" thick, 1/2" thick.
2/4	2'-0" x 6'-0" solid core, flush, mahogany, 1/2" thick, 1/2" thick.
2/5	2'-0" x 6'-0" solid core, flush, mahogany, 1/2" thick, 1/2" thick.
2/6	2'-0" x 6'-0" solid core, flush, mahogany, 1/2" thick, 1/2" thick.
2/7	2'-0" x 6'-0" solid core, flush, mahogany, 1/2" thick, 1/2" thick.
2/8	2'-0" x 6'-0" solid core, flush, mahogany, 1/2" thick, 1/2" thick.
2/9	2'-0" x 6'-0" solid core, flush, mahogany, 1/2" thick, 1/2" thick.
2/10	2'-0" x 6'-0" solid core, flush, mahogany, 1/2" thick, 1/2" thick.
2/11	2'-0" x 6'-0" solid core, flush, mahogany, 1/2" thick, 1/2" thick.

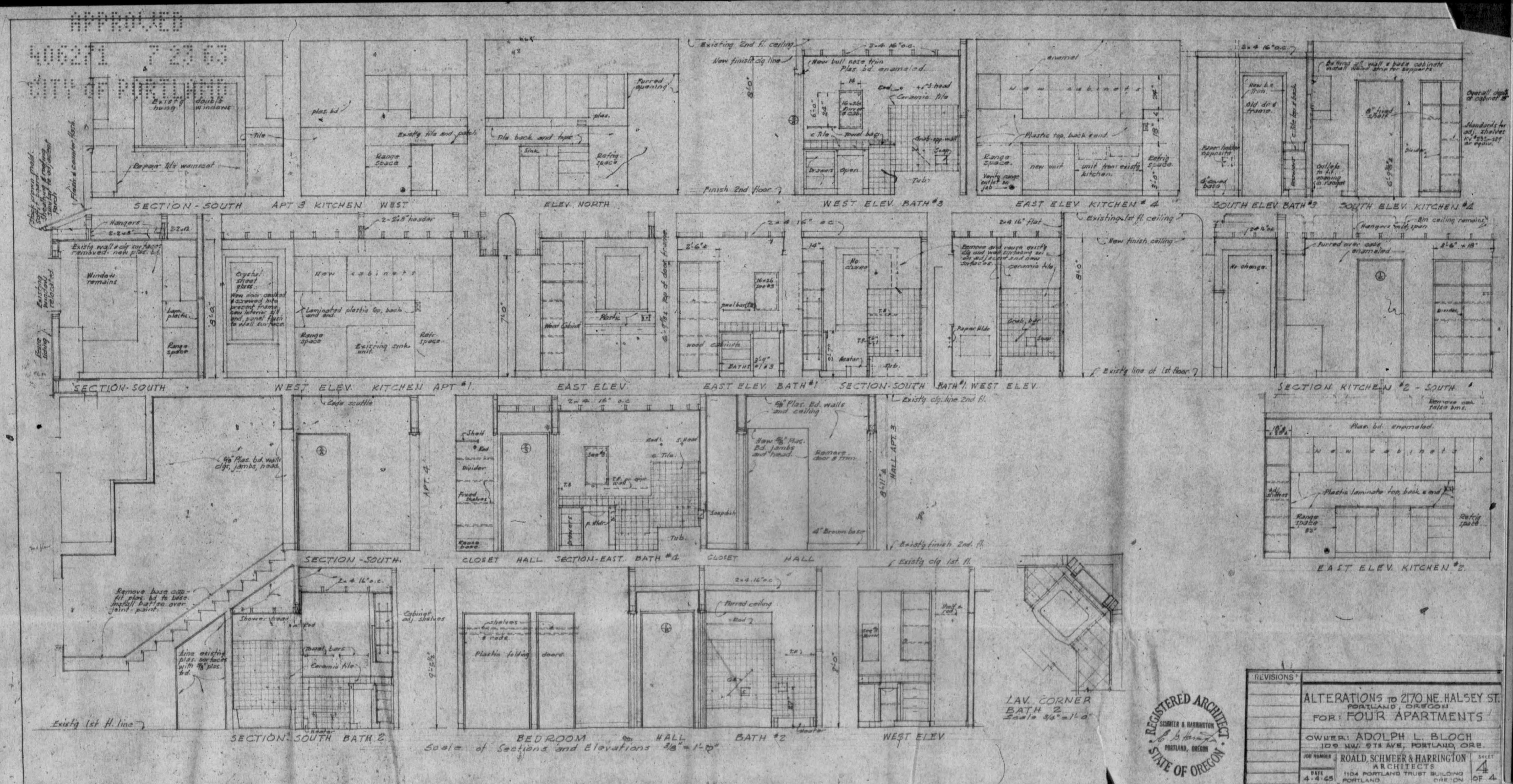
REVISIONS	SECOND & THIRD FLOOR PLANS
① 4-20-63	ALTERATIONS TO 2170 NE HALSEY ST.
② 5-16-63	PORTLAND, OREGON
	FOR FOUR APARTMENTS
	OWNER: ADOLPH L. BLOCH
	109 NW 9TH AVE. PORTLAND, ORE.
	ARCHITECTS: ROALD SCHMEER & HARRINGTON
	1108 PORTLAND TRUST BUILDING
	PORTLAND, OREGON
	DATE: 4-4-63
	SHEET 3 OF 4

2170 N.E. HALSEY ST.

406271

35.24

MICROFILMED
JAN 3 1979



2170 N.E. Halsey St.

406271

2.

2170 N.E. HALSEY ST.

406271

35-24

0300999

00 00 7

175004

SPECIFICATIONS

FOR THE

01011909 70 710

GENERAL CONSTRUCTION

ALTERATIONS TO:

2170 N. E. Halsey Street

Portland, Oregon

For: FOUR APARTMENTS

OWNER: ADOLPH L. BLOCH

109 N. W. 9th Avenue

Portland, Oregon

ARCHITECTS

ROALD, SCHMEER AND HARRINGTON
Oregon Bank Building
Portland, Oregon

Ca 2-1651

April 4, 1963



03009900

00 00 7

170004

00000004 70 000

TITLE

NO. of PAGES

Title Page	1
General and Supplementary Conditions	3
Agreement and General Conditions between Contractor and Owner	4
Form of Proposal	2
Excavation, Concrete	1
Floor Covering	1
Wallboard	1
Sheet Metal and Roofing	1
Carpentry and Millwork	4
Finish Hardware	4
Glass and Glazing	1
Painting	2
Plumbing	2
Electric Wiring and Heating	4

1300999

General Conditions
& Supplementary Conditions
Page 1

GENERAL CONDITIONS AND SUPPLEMENTARY CONDITIONS

The A.I.A. Short Form for Small Construction Contracts (Document No. A-107, 1961 Edition) issued by the American Institute of Architects, will govern the work under this contract and be herein supplemented and amended.

The Contract Documents consist of the Drawings, the Specifications, the Agreement, General Conditions and Supplementary Conditions.

SUPPLEMENTARY CONDITIONS

Right to Reject Bids

The Owner reserves "the right" to accept any bid or to reject any or all bids.

Examination of Premises

The Contractor shall carefully examine the premises before submitting his bid. No allowances will be made him for lack of full knowledge of all conditions except such underground conditions as are indeterminable before the commencement of the work.

Time of Completion

The Contractor shall state in his proposal the number of calendar days, from the date of signing the contract in which he will guarantee to complete the work.

Omissions

The drawings and specifications are intended to cooperate. Anything shown on the drawings but not mentioned in the specifications, or vice versa, but which is reasonably implied, shall be furnished as though specified, shown and mentioned in both, without any extra charge. Should anything be omitted from the drawings necessary to the proper installation of the work herein described, it shall be the duty of the Contractor to so notify the Architect before signing the Contract, and in the event of the Contractor failing to give such notice, he shall make good any damage or defect in his work caused thereby without extra charge.

Detail and Working Drawings

Additional detail and working drawings will be furnished in amplification of the contract drawings as they may be required. All such additional drawings are to be considered of equal force with those which accompany these specifications and must be kept at the building site at all time during the progress of the work.

Shop Drawings

The Contractor shall, upon request, submit shop drawings for the approval of the Architect.

Dimensions

Figures given on the drawings govern scale measurements, and larger scale drawings govern the smaller scale drawings.

03.000998

03 03 7

175004

Foreman

The Contractor must have at the building from start to finish a responsible foreman. In addition, the Contractor must give the work his personal supervision. The foreman must be on duty during all working hours. All instructions or notices given to the foreman shall have the same force as if given to the Contractor in person.

Laying out the Work

The Contractor shall lay out the work from the drawings, to the approval of the Architect. He shall notify the Architect when the work has been laid out.

Workmen

Any workman who in the opinion of the Architect is not capable, or who is careless in the execution of the work, must be removed upon the request of the Owner.

Materials and Workmanship

All materials and workmanship are to be the best of their several kinds, unless specified to the contrary. The Contractor is to furnish all accessories needed, such as sheds, scaffolding, forms, protections, and all other temporary work, unless otherwise distinctly specified.

Building Laws and Ordinances

All materials and construction shall conform to the requirements of the City of Portland, Building, Electrical and Plumbing Code applicable sections and amendments thereto.

Defective or Improper Work

Any work or materials not acceptable to the Architect must be removed by the Contractor and replaced by approved materials or work without extra compensation. All condemned material must be removed from the premises immediately.

Inspection

The Contractor shall afford the Architect every facility for inspection of the work and materials.

Closing in Work

No piping, wiring, ducts, etc., shall be covered up until properly inspected and approved, and until certificates, if required, shall have been issued for the same by the public inspection authorities.

Cutting

All cutting and repairing of work shall be done without extra charge by the Contractor or sub-contractor whose work is to be cut.

Protections

All materials in or designed for the work shall be at all times, suitably housed and/or protected, particular care being taken of all finished parts and materials.

03000000

00 00 0

000000

Cleaning and Refitting

The building must be kept free from all surplus materials, dirt and rubbish at all times. Thoroughly clean all glass of every description after all painting is completed. Remove all labels and clean plumbing and light fixtures, bath and kitchen cabinets and counters.

Light, Power and Water

The owner will provide and pay for water, power and light furnished from existing sources in the building. The Contractor shall provide any extensions of any nature from existing sources at his own expense.

Guarantee

The Contractor shall be responsible for and shall make good any defects due to faults in labor or material, which may arise or be discovered within one (1) year after the completion of the work and its acceptance by the Architect.

Use of Premises

The Contractor shall confine his apparatus, the storage of materials and the operations of his workmen to limits indicated by law, ordinances, permits or directions of the Architect and shall not unreasonably encumber the premises with his materials.

Returning Drawings and Specifications

All drawings and specifications must be returned to the Architect before final certificate will be issued by him to the Contractor.

Permits

The Architect shall file the required drawings and specifications with the local building department as required and shall obtain approval of same. All building, electrical, mechanical, demolition, street and sidewalk permits and examination and inspection fees required shall be secured and paid for by the Contractor. Permits, licenses and easements of a temporary nature shall be obtained and paid for by the Contractor.

03.00999

Excavation
& Concrete
Page 1

03 03 3
EXCAVATION

15000

General

Excavate for concrete walk, steps, platform and driveways.

Pipe Excavation

Excavate and trench, backfill, etc., as required for drainage system, water and electrical supplies.

CONCRETE

General

Concrete for walks, steps, repair of interior floors, repair of driveway and parking platform, shall be 2000 pounds at 28 days per section 7-252h. Concrete and curb for driveway on Halsey Street shall be as required by City of Portland standards. Mesh shall be equivalent to/or more than .0025 percent each way of slab area.

Driveway

Remove broken up or settle areas in present 22nd Street driveway and patch. Finish to be as adjacent surfaces.

Sidewalk

Slope sidewalk 1/4 inch in width for drainage - broom, finish surface and tool edge of walk and steps and mark walk into five foot blocks.

03.00999

Floor Covering
Page 1

0000000000
FLOOR COVERING

1000000000

Scope

0000000000 0000000000
Furnish all labor, material and incidentals required to install floor covering and base as required by the Schedule of Finishes and herein specified.

Material

New linoleum covering shall be Armstrong "Surftone" standard gauge. Base shall be 1 1/2 inch cove and 4 inch to 6 inches high. 4 inch rubber base indicated on the drawings shall have ends neatly cut to form profile.

Cementing and Adhesive materials shall be as recommended by the manufacturer.

Installation

Fill all cracks, joints, etc., with joint filler and prepare floor surfaces with underlayment as recommended by the manufacturer for the installation.

Adjustments

The Contractor shall inspect and make necessary adjustments within one month of the time heat is supplied continuously in the finished area.

End of Floor Covering

03.000000

15.0000

Scope

Furnish all labor and materials to complete all wallboard as shown on the drawings and the Room Finish Schedule.

Materials and Application

Gypsum Wallboard shall be $\frac{1}{2}$ inch thick, and $\frac{5}{8}$ inch Firecode sheetrock tapered edge for installation on studs 16 inches on center. Nailing shall be as per manufacturers similar to 1 $\frac{1}{4}$ " GWS annular ring nail approximately 7" o.c. As large sheets as possible shall be used in order to minimize the number of joints. Joints shall be parallel to the vertical studs and cross joints shall have solid wood backing and joints and nail heads treated with Perf-a-tape joint system.

Materials U.S.G.; or affirmed equal.

Do not apply wallboard until framing members are straight, true of uniform dimension, and properly aligned.

All surfaces shall be prepared and treated for wallpaper or paint finish.

Protection

Protect the work of other trades against damage or undue soiling. Contractor shall repair or replace at his own expense any work so damaged or soiled.

Cleaning

Upon completion of work in a place, remove all rubbish, debris, scaffold and tools and leave space broom clean.

03000000

Sheet Metal
& Roofing
Page 1

00000000

00000000

SHEET METAL AND ROOFING

General

All work must be done in the neatest and best manner, and left free from rubbish, clean and perfect upon completion.

Sheet Metal Included

Provide and install all sheet metal work, including all flashing, gutters and downspouts, repairs and relocation, and all other sheet metal work as specified or as required to complete the work.

Ducts for kitchen and bathroom fans - (see Carpentry)

Roofing

New roofing shall be similar to existing in quality and design.

0300999

CARPENTRY AND MILLWORK

15300

General

Furnish all rough or dressed lumber and all millwork.

Provide all necessary wood blocks, nailing strips, plugs, door and window buck, etc., and see that they are built in as required by other Contractors for their work, as the work progresses.

Cut and frame timbers and woodwork as required by the various trades for the completion of the work.

Cut holes in roof and walls as required for vents.

Install Mirrors, toilet room accessories and solid baking for same.

Materials

All materials required, herein specified or shown on drawings, shall be the best of their respective kinds.

Rough Lumber

Studding, plates, & joists Construction grade

Joist Framing

Joists shall be doubled around all openings.

Joists shall have double herring-bone or solid bridging not over 8' o.c. cut to fit and spiked with two nails at each end of each piece.

Hangers for Headers

All headers 4' in length or over, and all joists framing into such headers, shall be hung on hangers. Furnish and install A, B, and C type Trip-L-Grips and D.-Al-clips as conditions require.

Sheathing for Roof

Roof shall be covered with 1" x 6" shiplap joints nailed to every bearing with two nails and breaking joints at every third board.

Rough Hardware

The Contractor shall furnish and install all rough hardware including all nails, screws, anchors, Trip-L-Grips, required for the complete structural installations.

Exterior Woodwork

Facia boards, rake, etc. shall be "B and Better" vertical grain boards.

03.00999

Carpentry
& Millwork
Page 2

00 00 00

100000

Details

Unless particularly specified in the contract, all exterior and interior millwork shall be in accordance with detail drawings and as described on the plans.

Exterior Siding

Salvage existing siding or replace with new of same type and color as existing.

Interior Millwork

Door frames shall be "B and Better" Fir as detailed.

Shelving may be interior grade of fir plywood with exposed edges banded with solid birch or fir.

Counters shall have tops and backs of Formica, Texolite or Micarta with proper edging strips color as selected. (Plastic laminated surface.) Faces of counters as shown on the drawings shall be of similar material unless otherwise indicated. See plans for ceramic tile counters, backs, and wall surfaces. Plastic laminated tops may be prefabricated-molded type.

Plywood surfaces for plastic laminated surfaces shall be hardwood and secured with Urea-resin glue. Laminated surfaces shall be applied with adhesives and methods as recommended by the manufacturer.

Wood - Bathroom Base and Wall Cabinets

Kitchen-Utility-Dish - shall be Birch or Fir - If Birch, may be stained and lacquer - if Fir, shall be enameled.

Utility cabinets shall have $\frac{1}{2}$ " plywood backs - others may have wall surface exposed or plywood.

Kitchen - Wall and Base Cabinets - Refrigerator to Range areas optional installation of one of the following:

1. Metal - Youngstown - Diana Series - white; or Architect approved equal.
2. Prefinished wood - Westinghouse or Architect approved equal.
3. Custom-built fir or birch - flush type - enameled for fir--stained for birch.

All hanging rods oak.

Alter existing window frames with mullions and new double hung sash with spring balances. Sash to be similar to existing sash - all glass double strength "A".

Door - Exterior - vertical grain fir-stock stiles and rail-crystal sheet glass.

Doors - Interior: Rotary cut fir or mahogany solid core 1 $\frac{3}{4}$ " for $\frac{3}{4}$ hour rating. Hollow core doors shall have wood cores.

03.000000

Carpentry
& Millwork

Page 223

Thermal Insulation

Insulate entire second floor ceiling area and first and second floor exterior wall areas with 4" (full-thickness) blow-in: R-19 (Fib. NW-2-531a) by an authorized applicator - Johns-Manville or approved equal.

Fan: - Furnish and install kitchen exhaust fans - ceiling mounts - Emerson
 Blo-Fan 2200. #67 switch
 Baths 2, 3 and 4 Emerson light, Heater and Fan #5010 with switch #65

Ceramic Tile

Remove and reinstall ceramic tile in kitchen #3.

Tile in baths shall be Hermosa or equal 4 x 4 colored (standard) installed with paper backing, metal lath; and cement setting beds in accordance with print specifications by the Tile Institute. Provide bull nose caps etc., to match a neat workmanlike job.

Ceramic tile counter tops shall be 2 x 2 square or hexagonal.

Finish Hardware

Scope: Install all finish hardware in a neat workmanlike manner.
 Furnish all finish hardware. The following list is not all-inclusive; however, indicates the quality and types of finish hardware required.

Entrance to Apartments

Apt. 1 - Doors 1-A, 1-D
 Apt. 2 - Doors 1-B, 1-C
 Apt. 3 - Doors 2-A, 2-C
 Apt. 4 - Doors 2-B, 2-D

6	Pr. Butts	SC2500 DB	4 x 4
4	Pr. Butts	SC 2500 DB	3 1/2 x 3 1/2
8	Locksets	900 Tulip	US 3 - KA in pairs
8	Door Stops	125 1/2	US 3

Four Doors to Bathroom

4	Pr. Butts	SC2500 H	3 1/2 x 3 1/2
4	Privacy Sets	903 Tulip	US 3x26
4	Door Stops	125 1/2	US 26

Four Doors to Bedrooms

4	Pr. Butts	SC2500 DB	3 1/2 x 3 1/2
4	Latchsets	901 Tulip	US 3
4	Door Stops	125 1/2	US 3

1 Door - Rear Landing to Basement, C-1
 1 Door - Rear Landing to First Floor, 1-1

0300999

Carpentry
& Millwork

Page 2b 4

2 Pr. Butts SC2500 DB 3 1/2 x 3 1/2
2 Latchsets 901 Tulip US 3
2 Stops 125 1/2 US 3

7 Closet Doors; 1 1/3, 1 1/4, 1 7/8, 2 1/2, 4 1/11

5 Pr. Butts SC2500 DB 3 1/2 x 3 1/2
5 Latchsets 905 Tulip US 3
5 Stops 125 1/2 US 3

Cabinets

13 - 3/4" Doors
10 - 1-1/16" Doors - long
20 - Drawers

13 Pr. Hinges	V471 - 3/4" A1	3/4" Doors
10 Pr. Hinges	289 CM - 2 1/2 x 2 1/2"	1-1/16" Doors
23 Catches	C-236	
23 Door Pulls	530 - 26	
20 Drawer Pulls	530 - 26	
16 Pc. Shelf Standard	255Z - 6 Ft.	
64 Shelf Supports	256Z	
4 Padlock Hasps and eye		

Miscellaneous

4 Med. Cabinets	378 (NL)	16 x 26 Mirror
8 Tower Bars	HM 694 - 24"	
4 Grab Bars	360 - 16"	
4 Soap Holders	625	
4 Paper Holders	675	
8 Shelf Rods	KV-2 - 36"	
2 Shelf Rods	KV-2 - 48"	
1 Shelf Rod	KV-2 - 60"	
24 C & H Hooks	571A 92	
1 Letter Slet	620 PA 28	

0300999

0300999
GLASS AND GLAZING

Glass &
Glazing
Schedule
0300999

Scope

0300999 0300999 0300999

Furnish all labor, material, and incidentals required to complete the furnishing and installation of all glass and glazing as shown or indicated on the drawings or as herein specified.

Materials

Glass shall be as manufactured by Libbey-Owens-Ford, Mississippi, or Pittsburgh.

Glass for sash shall be "A" quality, double strength; fixed sash at kitchen shall be "crystal sheet." Safety glass in door 1/A.

Glazing compound shall be pure lead glazing compound.

Installation

Secure glass in wood with zinc glaziers' points. All glass shall be accurately cut to fit openings and set with equal bearing on the entire width of pane.

End of Glass & Glazing

APPROVED

406271
Painting

7 23 63

Painting
Page 1

Work Included

July 22 1963

Furnish all labor, material, and equipment necessary to complete all the exterior and interior painting, staining, and finishing indicated by the drawings and specifications. All paint and finish material to be of brands specified, delivered to the job in their original containers. No dilution of any description will be permitted unless specifically directed by the Architect. Store all materials in one spot, all kept neat and clean.

Painter is to protect own and other work during painting and remove all paint spots from other work and material. Upon completion, remove all rags, cans, etc., from the premises.

All woodwork must be clean, dry and smooth before any paint or stain is applied.

Putty with putty colored to match the finish, all nail-holes, cracks, etc.

The Contractor shall consult the Architect as to all colors to be used before proceeding with the work, and shall furnish sample panels as required. Architect approved samples shall be accurately matched by the finished work.

Materials and Mixtures

Materials are to be Pratt & Lambert's, National Lead Company's, General Paint Company, or Sherwin-Williams'. Linseed oil to be pure linseed oil, raw or boiled as required.

Exterior Paint

All new and repaired door, window trim, sash and frames, fascia boards, and soffits shall have a prime coat and two coats of Pratt & Lambert House Paint or an approved equal.

Interior Painting

Painted interior woodwork and cabinets shall have prime coat, enamel undercoat and third coat of 3 parts undercoat and 1 part enamel. New work to be stained shall match existing. Hardwood of kitchen and bath cabinets shall have stain filler and 2 coats of lacquer. Existing stained trim, etc., shall be cleaned and given a coat of flat enamel.

Existing plaster surfaces shall be cleaned, sized and one coat of lead and oil paint.

All wall board surfaces shall have a size-sealer coat and 2 coats of flat paint.

The Contractor shall install wallpaper. He shall give the quantity of paper required for each room. The Architect-Owner will select the paper and reimburse the Contractor for the cost of the paper.

APPROVED

406271

7 23 63

Painting
Page 2

Inspection of Surfaces

Before starting work inspect all surfaces to be decorated and report all defects therein to the Architect. The Architect will cause all defects to be remedied. The commencing of work by this Contractor indicates his acceptance of the surfaces.

Preparation of Surfaces

All spaces shall be broom clean before painting is started, and all surfaces to be painted or stained shall be dry.

Temperature of spaces in building where painting is being done or where it is drying shall be maintained above 50 degrees.

Before painting, all dust, dirt, grease, and other extraneous matter which would affect the finished work shall be removed. Foreign matter on surfaces, left by other trades, will be removed by others.

All woodwork shall be sanded lightly with #00 sandpaper between all coats.

All interior surfaces shall be brushed free of dust, dirt or other imperfections prior to applying size, filler, paint, or stain.

Workmanship in General

All work shall be done by skilled mechanics in a workmanlike manner. All material shall be evenly applied so as to be free from sags, runs, crawls, or other defects. All coats shall be of the proper consistency and well brushed out so as to show the minimum of brush marks, except varnish or lacquers which shall be uniformly flowed on. All brushes shall be clean and in good condition.

No work shall be done under conditions that are unsuitable for the production of good results.

All coats shall be thoroughly dry before the succeeding coat is applied. Allow at least 24 hours between coats unless special paint is used that required more or less time for drying.

Painting coats as specified are intended to cover surfaces perfectly; if surfaces are not covered, further coats shall be applied.

Clean-up

Remove all paint materials, all spots from walls, glass and floor covering.

End of Painting

APPROVED

Plumbing
Page 1

406271 7 23 63
PLUMBING

General

Plumbing work shall be governed by the State and the City of Portland Plumbing Codes.

Work Included

All permits, labor, materials, and equipment necessary to furnish and install all waste, vent, hot and cold water, pipe fittings, floor drain, fixtures, and such other fittings, whether specifically mentioned or not, necessary to make the plumbing work complete and ready for use as shown on the drawings, and hereinafter specified.

Excavations

Do all excavation, trenching and backfilling required for the execution of the work.

Openings, Cuttings, Etc.

The risers and such parts of branches as are to be enclosed in floors, walls or partitions, or are to pass through floors, shall be placed in position in order to reduce all cutting to a minimum.

Under no circumstances shall any beams, girders, or columns be cut or any pipes in any way run through same.

Material

All soil and waste pipe shall be cast iron. Where space is limited galvanized wrought iron pipe and Durham fittings may be used. All water pipe shall be galvanized. Exposed waste and vent pipe and connections near fixtures shall be brass, chromium or nickel plated to correspond to fixtures, or the best the market affords subject to the Architects' approval.

Cast Iron Pipe

All cast iron pipe shall be Standard Weight cast iron hub spigot pipe. All fittings shall be corresponding quality. All joints between cast iron pipes shall be made with packed oakum, gasket and pig lead, joints run full and one pouring and caulked solid, flush with hub.

Galvanized Pipe and Fittings

Piping and nipples shall be of galvanized steel, screw jointed pipe. Ends of all pipe shall be reamed out before being made into fittings. All threads on finished joints shall remain exposed.

Galvanized Pipe & Fittings - continued - All piping shall be run in the most direct manner, straight, and graded where necessary; none exposed to view except where authorized. All hot and cold water lines shall be covered with 1" hair felt.

Cleanouts

Provide and set cleanouts for soil lines and drains on the feet of each riser, at ends of branches from toilets, at all points where a change of direction occurs.

APPROVED

Plumbing

Page 2

Water Heaters

Furnish and install four electric 40 gallon water heaters complete with all safety controls. National B. A. II-40 or approved equal. Existing gas water heater remains.

Fixtures

Kohler Fixtures are herein specified for types and quality. Fixtures of Standard, Crane, or an approved equal will be considered.

Lavatories: 20" x 18" complete K-2148-F Piedmont.

Toilets: K-3712-EBA elongated bowl #4h Olscrite.

Baths: Bath #1 - K-835-E less wall grip rail k-9613, acid resisting enamel.
Bath #2 - K-816, K-7016, K-7172, K-9710 and K-9720, acid resisting enamel.
Bath #3 - K-815, K-7016, K-7172, K-9710 and K-9720, acid resisting enamel.
Bath #4 - K-516-E less wall grip rail, acid resisting enamel.

Protect all tubs and lavs with "Protek."

Kitchen sinks: #2,3 and 4 - acid resisting, complete with metal frames as required K-5560-A.

ELECTRIC WIRING & HEATING

for inclusion on the drawing of articles, materials

requires that the Contractor provide each mentioned activity or subject to qualification noted; perform according

1, each operation prescribed; and provide therefor all
rent and incidentals.

shall view the site and ascertain existing conditions.

ing this work. All costs to provide the installation and specified herein shall be included in the initial

3. Inspections

11 Electrical Code requirements of the City of Perth:

requirements. Obtain all permits, inspections, etc. to be included in the contract price.

Certificate of approval from the Inspection Authority at

1000

and equipment shall be approved by the Underwriters
a local inspection authority.

tests as may be necessary to demonstrate the continued

the system.

Qualifications and Requirements

bring in finished areas. Exposed conduits shall be run parallel to structural building lines.

WORKMANSHIP

Outlet boxes shall be mounted on metal bar hangers, structural building members or substantial supports approved by the Architect.

Splices and taps for branch circuits shall be made in mechanically secure and then soldered and taped. Scotch-lok spring connectors installed in accord with manufacturer's instructions may be used in lieu of soldering. Single wire pig-tails shall be left for connection of fixtures at lighting outlets and for devices. Approved pressure connectors or wire nuts may be used only for connection of fixture leads to single wire pig-tails in branch circuits.

Cutting, patching, removal of debris, etc., shall be as directed by the Architect. All channeling, etc., required for this work shall be included hereunder.

Guarantee the installation against defects in material and workmanship which may occur under normal usage, for a period of one year after acceptance. Such defects shall be promptly remedied without cost to the Owner.

The Contractor shall submit a list of materials he proposes to use within 20 days after award of this work. The list to show type, size, rating, catalog number and manufacturer's name for all panels, switches, plugs, devices and lighting fixtures.

Work Excluded

The following items will be provided under other divisions of the work. This work shall be conducted in a manner to cooperate with the other divisions of the work:

- Public telephone wire, instruments and terminal cabinet.
- Ventilating equipment and wiring beyond the provisions shown on the electrical drawing.
- Water heater.

Work Included

Complete rough-in wiring for all outlets shown on the plans.

Method: Electrical metallic tubing or flexible metal conduit except in masonry or concrete work, wet locations, and where subject to mechanical damage, standard weight galvanized conduit shall be used.

Wire: Minimum size No. 12 copper, or as noted on the plan. Code approved insulation for the conditions encountered.

Boxes: Light outlets 4" x 1 1/2" octagon. Switch and receptacle outlets 4" x 4" x 1 1/2" square with proper device covers.

Switches: Bryant No. 4901-I, or equal, silent, 20 amp.

Receptacles: Bryant No. 5262-I, 3-wire grounding or equal quality. Special purpose outlets as noted on the drawings.

Finish Plates: Kitchen, Bathrooms and Entry's type 430, stainless steel--others Phenolic. Ivory.

APPROVED

Electric Wiring &
Heating Page 3

Service and Distribution:

Utility to provide overhead service to the building for 120-240 volts, single-phase, 3-wire, solid neutral system.

Install metering facilities in accord with the established Utility Company rules and practices.

Provide central service switch required by Code.

Provide grounding in accord with Code rules.

Provide each unit with flush panel, switch and circuit breakers.

Install Code Fire Alarm Station as indicated on the plans.

Electric Room Heating:

Provide room heating complete with wiring as required or/and indicated for the heaters.

Equipment shall be as manufactured by the Wesix Company and to include items shown on the electrical plan.

Heating elements to be single-phase 240 volts. Units to be of the baseboard type.

The installation shall be made in accordance with the manufacturer's published data and instructions and as per detail on architectural drawings.

Lighting Fixtures and Lamps:

Fixtures shall be thoroughly cleaned, assembled, lamped and installed in place. All fixtures shall be of recognized manufacture bearing the Underwriter's approval label. No socket having fiber insulation liners will be permitted. Fixture wire shall be of the type approved for the maximum heat conditions encountered.

Lamps shall be 120-volt Mazda quality incandescent lamps.

Fixtures shall be those specifically named herein, except that approval of substitutions may be requested prior to bid opening by submitting a sample unit to the Architect.

Remove and box existing fixture in Dining Room. This fixture remains the property of the Owner.

The existing fixtures in the area of the following rooms are to be reused in the area; Living Room #3 and 4; Entry; Bedroom 4; Existing fixture in existing BR (Kitchen 4) to be reused in Bed Rm 3.

APPROVED

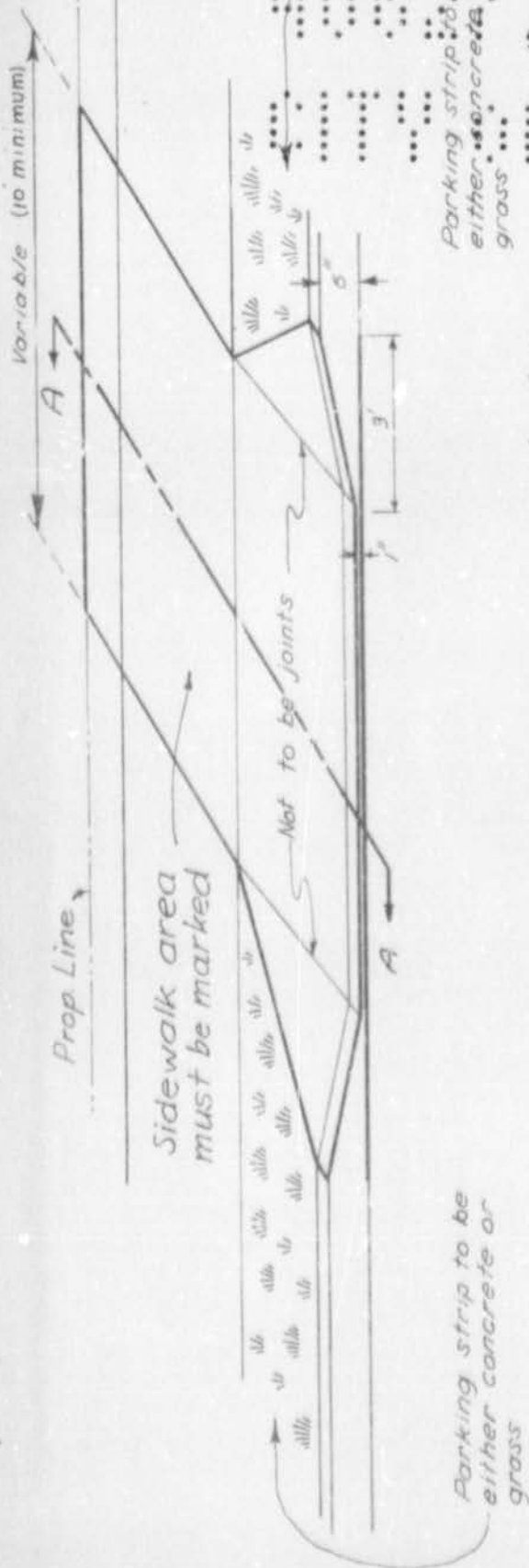
Electric Wiring &
Heating Page 4

40021

7 23 63

Lighting Fixtures and Lamps - continued

Kitchen #1 over:	Prescolite 7810
Kitchen - over sinks:	Prescolite WB-19
Kitchen - ceiling:	Emerson 216
Bedrooms #1 & #2:	Emerson 250
Living Rooms:	Emerson 216
Bath #1:	Prescolite 7810
Bath #1, 2, 3, 4:	Prescolite WB-19
L.H. Hall; Hall 3; Entry 2;	
Hall 3 & Rear Stair Hall:	Prescolite 7808
Closet:	Porcelain, pull chain sockets.
Perch Brackets:	WB-24
Exits:	Baker-Bacon 323



Variable

5' or 6' SW

Prop. Line

Section A-A

Note:
Driveway to be constructed
of 3000# 2" 4" slump, concrete
6" thick.

CITY OF PORTLAND, OREGON
DEPARTMENT OF PUBLIC WORKS
WM A. BOWES COMMISSIONER

COMMERCIAL 3ft WING-TYPE CONCRETE DRIVEWAY

APPROVED: *[Signature]* DATE 10-8-62
L. H. ROSENTHAL P.E. CITY ENGINEER
BUREAU OF DESIGN
10. STANDARD PLAN NO. 108

September, 1962













F W-89
-59)BUREAU OF BUILDINGS
REPORT OF PLUMBING INSPECTION

Date 8-13-63

Address 2170 NE Halsey

Permit 121812

Lot Blk Add

Owner Adolph Bloch

Contractor Lee Plbg

Stories and class of building Old - two - multiple dwg.

Toilets 4 Floor Drains Beer Cab.

Bath Tubs 4 Rain Drains Refr. Drains

Bath Showers Fountains Urinals

Basins 4 H. W. Tanks 4 Catch Basins

Sinks 3; 1 move Cesspool Water Service

Laundry Trays Dry Wells Conn. To

Water Permit Bldg. Pmt. 406271 Sewer Permit

Remarks

Date of First Inspection 8-28-63 Date of Final Inspection 12-2-63

C. H. Angler Inspector C. H. Angler Inspector

5th

A 1st EL 1-W.C. 1-B.T. 1-W.C. 2nd

1-K.S.

and EL 1-W.C. 1-B.T. 1-K.S. - 2nd V.T.R.

C. 1st EL 1-W.C. 1-B.T. 1-W.B. 2nd V.

Same on grad EL. - 2nd V.T.R.

• 2nd 4th 5th.

2. K.S. 1-071 1st EL & 1071

2nd EL. 1 2nd V.T.R.

New 4th 5th.

By 1st EL 5th.

5th
H.

BUREAU OF BUILDINGS
REPORT OF PLUMBING INSPECTION

Date 3/18/52
Permit 30240

Address 2170 N. E. Halsey Street

Lot _____ Blk _____ Add. _____

Owner Mrs. Rogers

Contractor I. L. Hawk Plbg Co.

Stories and class of building 2-story old frame residence

Toilets	Floor Drains	Beer Cab.
Bath Tubs	Rain Drains	Refr. Drains
Bath Showers	Fountains	Urinals
Basins	H. W. Tanks	Catch Basins
Sinks	Cesspool	Water Service <u>1 repl.</u>
Laundry Trays	Dry Wells	Conn. To
Water Permit <u>203872</u>	Bldg. Pmt.	Sewer Permit

Remarks _____

Date of First Inspection 3-10-52 Date of Final Inspection 3-20-52
Inspector CLB Inspector C. J. ...

S
E + W
N

E2

11

REPORT OF PLUMBING INSPECTION

Date 3/27/51Permit 22555Address 2170 N. E. Halsey

Lot _____ Blk _____ Add _____

Owner Mrs. RogersContractor I. L. Howk Plbg. & Htg.Stories and class of building 2-story old frame residenceToilets 1 bend repl Floor Drains _____ Beer Cab _____

Bath Tubs _____ Rain Drains _____ Refr. Drains _____

Bath Showers _____ Fountains _____ Urinals _____

Basins _____ H. W. Tanks _____ Catch Basins _____

Sinks _____ Cesspool _____ Water Service _____

Laundry Trays _____ Dry Wells _____ Conn. To _____

Water Permit _____ Bldg. Pmt. _____ Sewer Permit _____

Remarks _____

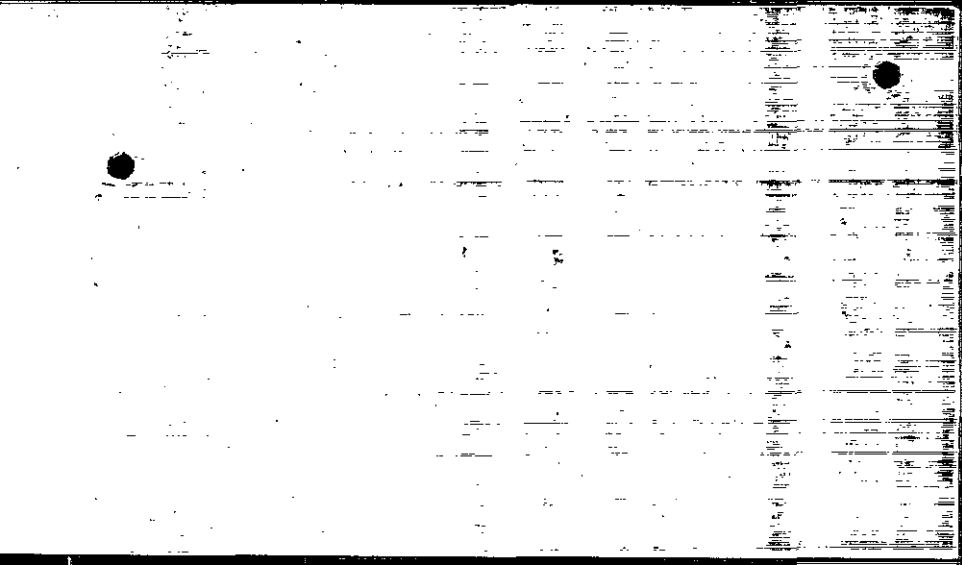
Date of First Inspection 3-23-51 Date of Final Inspection 4-2-51CZB Inspector [Signature] Inspector

Lead Bend McPlace 2nd floor

BUREAU OF BUILDINGS

REPORT OF PLUMBING INSPECTION

Date 5/3/49Address 2170 N. E. Halsey StreetPermit 4944Lot Bk. Add. Owner Emily M. RogersContractor W. W. LinfootStories and class of building 3-story old residenceToilets Floor Drains Beer Cab. Bath Tubs Rain Drains Refr. Drains Bath Showers Fountains Urinals Basins H. W. Tanks 1 repl. Catch Basins Sinks Cesspool Water Service Laundry Trays Dry Wells Conn. To Water Permit Bldg. Pmt. Sewer Permit Remarks Date of First Inspection Date of Final Inspection 5-12-49Inspector E. J. Grimmer Inspector



BUREAU OF BUILDINGS

REPORT OF PLUMBING INSPECTION Date 8/3/39Address 2170 N. E. Halsey Permit 136974
Lot 16 Blk. 9 Add. Holladay Park 2ndOwner M. D. OwensContractor Cary L. PerkinsStories and class of building 3 story old frame res.Toilets 1 (3rd flr) Laundry Trays _____ Beer Cabinets _____

Bath Tubs _____ Floor Drains _____ Refr. Drains _____

Bath Showers _____ Rain Drains _____ Urinals _____

Basins _____ Fountains _____ Catch Basins _____

Sinks _____ Bar-Slop Sinks _____ Water Service _____

No. and Size of Stacks _____ Connected to SewerWater Permits 130128 ✓ Sewer Permit _____Other Plumbing Fixtures Approved by building

Inspector. _____

Date of First Inspection Aug 4-39 Date of Final Inspection 8-9-39
Cymman Inspector. W. Perkins Inspector

Date of First Certificate _____ Date of Final Certificate _____

Letter for tablet on
3d floor No. 8/1 202765

W.C. on 3d floor on stack
head still used.

Told to change.

4" Connection to

4" tie beam end

4" Tied

REPORT OF PLUMBING INSPECTION 1-6-31

2170 NE
St. and No. 740 Halsey St.

Permit No. 95293

Lot 16 Block 9

Addition Holladay Park 2nd

Owner M. D. Owens

Contractor Stark-Davis Co.

Stories and class of building Old frame 2 story dwg.

Water Closets 1 repl. Sinks

Urinals

Bath Tubs Laundry Tubs

Slop Sinks

Basins 1 repl.

Floor Drains

Shower Baths

Rain Drains Connected to

Soda Fountains

Kind of Vents

Kind of Drains

No. and Size of Stacks

Connected to

Other Plumbing Fixtures

Replacing fixtures only no change of
waste or vent on second floor S.E. Corner

Water Permits

Date of First Inspection

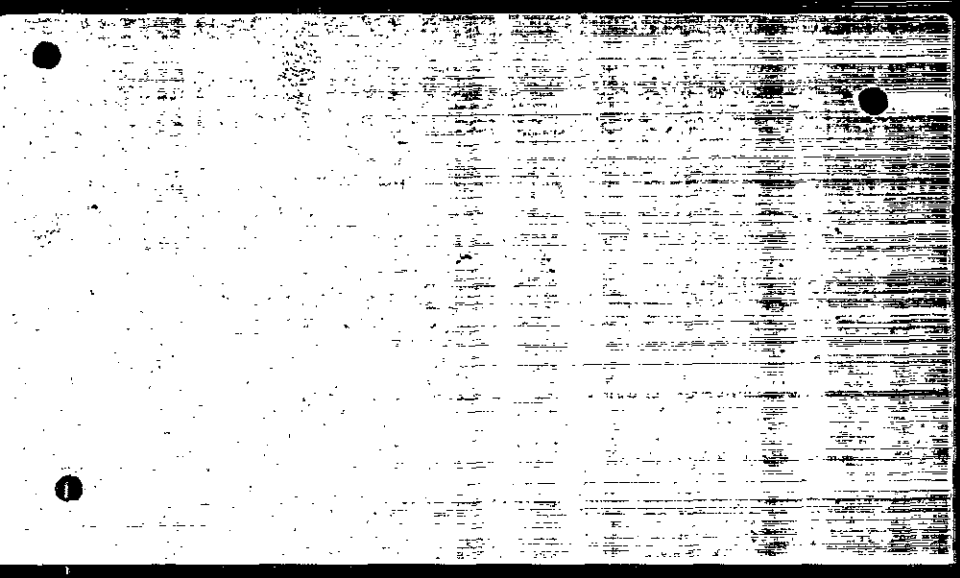
Date of Final Inspection 1/7/31

Inspector

E. W. Overstreet Inspector.

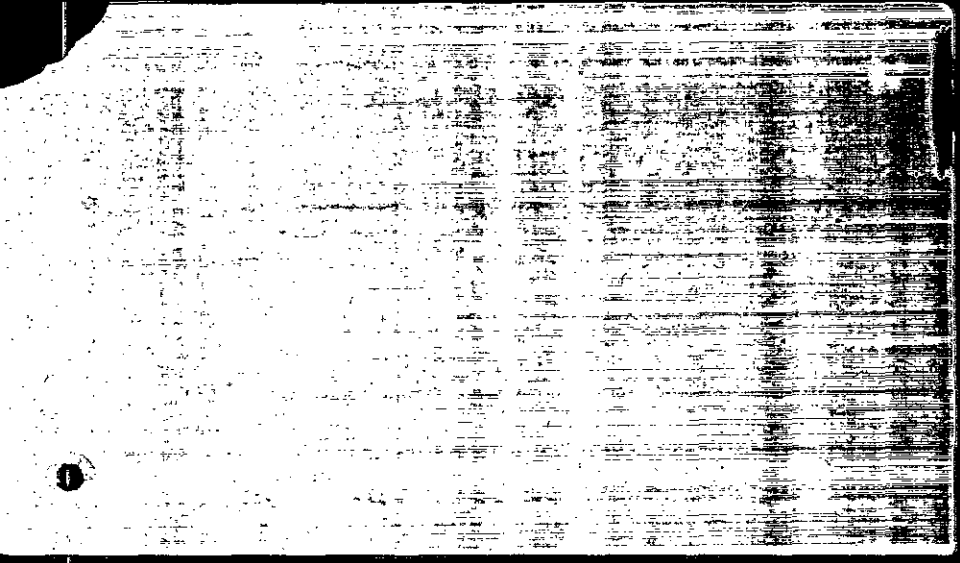
Date of First Certificate

Date of Final Certificate



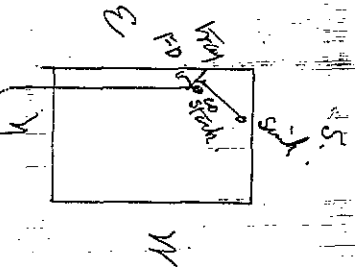
REPORT OF PLUMBING INSPECTION 1-7-31

Street and No. 740 Halsey St. Permit No. 95301
Lot 16 Block 9 Addition Holladay Park
Owner M. D. Owen
Contractor Stark-Davis Co.
Stories and class of building Old frame 2 story dwg.
Water Closets Sinks Urinals
Bath Tubs 1 Laundry Tubs Slop Sinks
Basins Floor Drains Shower Baths
Rain Drains Connected to Soda Fountains
Kind of Vents Kind of Drains
No. and Size of Stacks Connected to
Other Plumbing Fixtures
Replacing tub on 2nd floor extended
waste and vent- add to permit 95293
Water Permits
Date of First Inspection Date of Final Inspection 1/7/31
Inspector E. W. Overstreet Inspector.
Date of First Certificate Date of Final Certificate



740 Halsey. REPORT OF INSPECTION
Street and No. E. 22nd St. Bet. Cr. Halsey
Owner J. Steadman Address
Master Plumber Highland Plumb Co. Est. Blk.
Jour. Plumber Clarkson Addition
No. Stories and kind of Building 2 1/2 story frame New
What used for dwelling.
No. Water Closets 2 No. Basins 3 No. Rain Con'd (sewer or curb)
No. Bath Tubs 2 No. Laundry Tubs 1 No. Floor Drains 1
No. Sinks 1 No. Urinals 1 No. and Size of Stacks 1 - 4"
No. Slop Sinks X (Connected to Sewer or Cesspool)
Kind of Vents Galv. Kind of Drains 4" C.D.
Other Plumbing Fixtures
Total No. Fixtures 9
Water Permits 11/24 - 2 6670
Date of First Inspection July 25 19 11 Date of Final Inspection 11/27 19 11
Inspector Otterstedt Inspector Eymann
Date of First Certificate 19 11 Date of Final Certificate Dec 9 19 11
S.E.
SEE OTHER SIDE FOR REMARKS

2. Same width 2" to 4" in the
 end with $1\frac{1}{2}$ to 2" of
 Basis with $1\frac{1}{2}$ to 2"



FORM W-206

CITY OF PORTLAND, OREGON

BUREAU OF BUILDINGS

Date 7-23-63Permit No. 406271

REPORT OF BUILDING INSPECTION

2170 NE Halsey St. Between 21st and 22 Ave.
 Lot 15 & 16 Block 9 in _____ Addition
 Owner Adolph L. Bloch Address 109 NW 9th Ave.
 Contractor Harvey Gartrell Address _____
 _____ Story, Type V-1HR, Group H, F.D. 4 Zone A 1 Cost \$21,000
 Plan Examiner JW Structural Engineer JPA

DATE	HOUR	DESCRIPTION OF ALTERATIONS AND REPAIRS
		$\frac{1}{4}$ Sec. 2932; res.
		Alt. res. to 4 apts.; see attch. plans.
7-25-63	2:50	Work started
9-13-63	10:55	c - cd to cover 1st Floor only
9-17-63	11:30	c - cd to cover 2nd Floor
9-30-63	11:45	c - In to covered 1st flr
10-7-63	3:15	c - cd to cover 3rd flr
10-17-63	10:45	boards in for driveway - Not ready at work - road
10-23-63	10:45	call - OK to pour driveway
11-4-63	2:45	work complete except handrails
1-15-64	1:30	call for final - 1 - No handrail at 1st to 2nd flr landing (2 steps)

CITY OF PORTLAND, OREGON
BUREAU OF BUILDINGS

Permit No. 429570

REPORT OF BUILDING INSPECTION

2170 NE HALSEY ST. Between 21ST and 22ND
 Lot 15 & 16, Block 9 in HOLLADAY PARK 2ND Addition
 Owner ADOLPH BLOCK Address 108 NW 9TH
 Contractor HARVEY GARTREL* Address 2815 NE SKIDMORE
 Story, Type V, Group H, F.D. 4 Zone A-1 Cost \$100
 Plan Examiner DUNNIGAN Structural Engineer

[illegible]