

Development Services

From Concept to Construction

Phone: 503-823-7300 Email: bds@portlandoregon.gov 1900 SW 4th Ave, Portland, OR 97201

More Contact Info (<http://www.portlandoregon.gov/bds/article/519984>)



APPEAL SUMMARY

Status: Decision Rendered - Held over from ID 22167, items 2 and 3 (11/27/19), for additional information

Appeal ID: 22218	Project Address: 426 SW Harvey Milk St
Hearing Date: 12/11/19	Appellant Name: Cassandra Tyler
Case No.: B-018	Appellant Phone: 503-847-2183
Appeal Type: Building	Plans Examiner/Inspector: Brian Quattlebaum
Project Type: commercial	Stories: 10 Occupancy: B Construction Type: II-B
Building/Business Name: Urban Renaissance Group LLC	Fire Sprinklers: Yes - All
Appeal Involves: Alteration of an existing structure, Reconsideration of appeal	LUR or Permit Application No.:
Plan Submitted Option: pdf [File 1]	Proposed use: Office Core & Shell Renovation

APPEAL INFORMATION SHEET

Appeal item 1

Code Section 2902.1.1

Requires Section 2902.1.1 requires that fixtures be provided for each sex by dividing the total occupant load in half and applying the fixture requirement by occupancy type from Table 2902.1 to calculate the required number of fixtures. Partial fixture requirements are then rounded up to the nearest whole number.

Proposed Design The project proposes to delay rounding the required number of fixtures until combining the minimum required per sex since the project is providing private individual non-gender specific bathrooms to satisfy the minimum plumbing requirements. The only floor where this is different than rounding prior to combining the minimum per gender is the ground floor of the project.

Typical Floor:

B occupancy is 94 occupants = 47 male, 47 female

47 male = 1.88 wc 47 female = 1.88 wc Combined = 3.76, project will provide 5 single user restrooms.

Ground Floor:

B occupancy is 116 occupants = 58 male and 58 female

58 male = 2.32 wc 58 female = 2.32 wc Combined = 4.64, project will provide 5 single user restrooms.

Reason for alternative The proposed configuration of restrooms exceeds the minimum requirements for accessible bathrooms and lavatories by providing individual private non-gendered restrooms. The requirement for male and female is equivalent at 1 per 25 for the first 2, and 1 per 50 for each

thereafter. The prescriptive rounding assumes an equal gender distribution, however if there were 50 of one gender and 66 of the other, the requirement would be 2+3 whether there were more males or females. Allowing for rounding after combining the minimum requirement by gender reflects the equal access of the proposed restrooms to both genders without knowing the proposed gender division. Providing an additional restroom as a direct result of rounding, rather than need, places an unnecessary burden of first cost as well as reduced rentable area on the building owner whose intent is to provide better privacy and access in an existing building where retrofit is challenging. The proposed fixtures are a vast improvement over the existing building condition, and increase accessibility with no impact to health, structural capacity, or life safety. It fully meets the intent of the code by providing equivalent sanitary conditions to the adopted code if gender is not examined as a binary.

[Reconsideration Text]

To clarify the gender distribution outlined above:

If our occupancy was 50 of gender A and 66 of gender B, by code we would be required to provide 2 wc to gender A and 3 to gender B. Since we are providing all private non-gendered bathrooms, the fixtures accommodate minor deviations away from the 50/50 split, and over accommodate if the occupants were majority one gender or the other. Providing non-gendered private restrooms allows equal access for everyone, and therefore should not require rounding up after each gendered total.

Appeal item 2

Code Section 2902.3

Requires Section 2902.3 requires that customers, patrons and visitors are provided with public toilet facilities in spaces intended for public utilization. The number of fixtures located within these spaces shall be determined by Section 2902.1 for all users.

Proposed Design The project proposes to have (1) ADA compliant private non-gendered restroom facing the coffee shop and lobby, with the remaining required minimum fixtures for the ground floor located in the tenant space. See attached ground floor code plan.

[Reconsideration text] See attached color coded ground floor plan and building plumbing summary table. The plan defines the areas the project considers to be accessed by the public and clarifies the spaces that are tenant circulation for tenants headed to and from floors where they have access to their tenant restrooms. The plumbing summary table illustrates the excess fixture capacity in tenant spaces on all typical floors. Tenants also have access to the basement locker room facilities that are a non-simultaneous use with their tenant spaces. Physical seating in the coffee shop will only accommodate 18 persons seated. Assuming two employees, and a receptionist, there would need to realistically be 9 people standing in the coffee shop to hit the threshold of 30 people accessing the floor restroom as permitted by the interpretation.

Reason for alternative The coffee shop will be predominantly a to-go establishment serving mainly building occupants. The to-go tenants and visitors will have access to restrooms on their destination tenant floors and/or the facilities in the basement and will not be lingering in the lobby or coffee shop. The lobby and circulation occupants (non-coffee shop) are transient occupants en route to or from their offices on other floors. There is no lobby seating or areas for congregating outside of the limited seating in the coffee shop, so all lobby and circulation occupants will just be passing through. The project requests to use the interpretation from <https://www.portlandoregon.gov/bds/article/515318> to accommodate the public facing coffee shop occupancy of 30 persons max, with one ADA compliant restroom, while accommodating the transient occupancy load with facilities in the tenant area on the ground floor, as well as the destination tenant floors, as non-simultaneous use.

Knowing the occupancy of the coffee shop will never exceed 30, and that restrooms are located in tenant spaces to accommodate the full occupant load of the building, the proposed design does not reduce the health or accessibility of the space, and has no impact to structural, energy conservation, life safety or fire protection.

APPEAL DECISION

1. Alternate calculation of plumbing fixtures: Granted provided occupant loads are confirmed at time of tenant improvements.

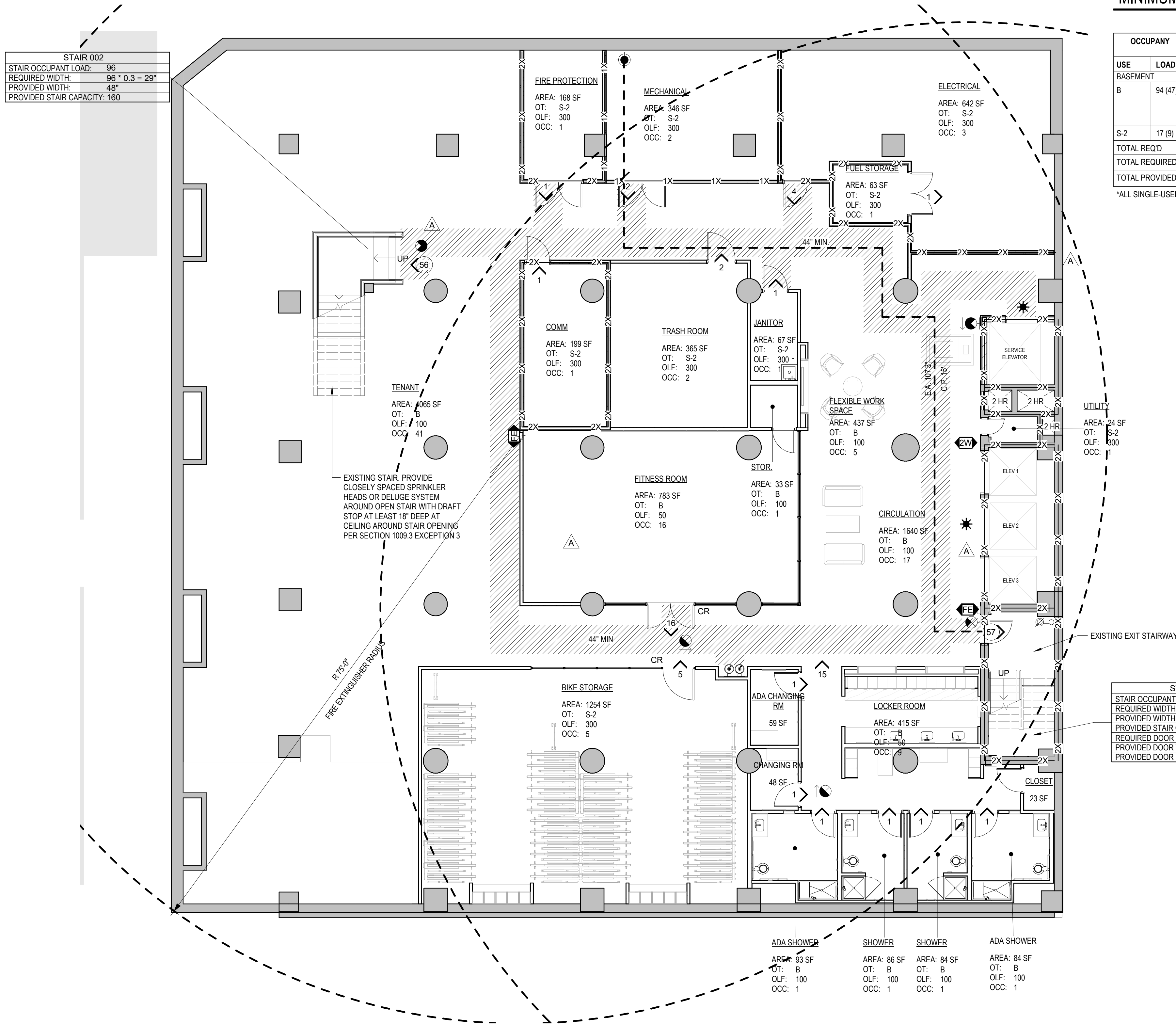
2. Access to Level 1 toilet facilities: Granted provided occupant loads are confirmed at time of tenant improvements.

Appellant may contact John Butler (503 823-7339) with questions.

The Administrative Appeal Board finds with the conditions noted, that the information submitted by the appellant demonstrates that the approved modifications or alternate methods are consistent with the intent of the code; do not lessen health, safety, accessibility, life, fire safety or structural requirements; and that special conditions unique to this project make strict application of those code sections impractical.

Pursuant to City Code Chapter 24.10, you may appeal this decision to the Building Code Board of Appeal within 90 calendar days of the date this decision is published. For information on the appeals process, go to www.portlandoregon.gov/bds/appealsinfo, call (503) 823-7300 or come in to the Development Services Center.

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MINIMUM PLUMBING FIXTURE REQUIREMENTS

CHAPTER 29 AND PLUMBING CODE

OCCUPANY		WATER CLOSETS		LAVATORIES		BATHTUBS/SHOWERS		DRINKING FOUNTAINS	
USE	LOAD	RATIO	M	F	RATIO	M	F	U	U
BASEMENT									
B	94 (47)	1 PER 25 FOR FIRST 50 & 1 PER 50 FOR REMAINDER EXCEEDING 50	1.88	1.88	1 PER 40 FOR FIRST 80 & 1 PER 80 FOR REMAINDER EXCEEDING 80	1.22	1.22	-	-
S-2	17 (9)	1 PER 100	.09	.09	1 PER 100	.09	.09	-	-
TOTAL REQ'D			1.97	1.97		1.31	1.31		
TOTAL REQUIRED			3.94			2.62	0	0	0
TOTAL PROVIDED*			4			4	0	2	2

*ALL SINGLE-USER RESTROOMS ARE GENDER-NEUTRAL

OCCUPANT LOAD - BASEMENT

NAME	AREA	OCC TYPE	OCC L.F.	OCC LOAD
B				
LOCKER ROOM	415 SF	B	50	9
FITNESS ROOM	783 SF	B	50	16
	1,220 SF			25
CLOSET	23 SF	B	100	1
STOR.	33 SF	B	100	1
CHANGING RM	48 SF	B	100	1
ADA CHANGING RM	59 SF	B	100	1
SHOWER	84 SF	B	100	1
ADA SHOWER	84 SF	B	100	1
SHOWER	86 SF	B	100	1
ADA SHOWER	83 SF	B	100	1
FLEXIBLE WORK SPACE	437 SF	B	100	5
CIRCULATION	1640 SF	B	100	17
TENANT	4065 SF	B	100	41
	6,618 SF			69
S-2				
UTILITY	24 SF	S-2	300	1
FUEL STORAGE	63 SF	S-2	300	1
JANITOR	67 SF	S-2	300	1
FIRE PROTECTION	168 SF	S-2	300	1
COMM	199 SF	S-2	300	1
MECHANICAL	346 SF	S-2	300	2
TRASH ROOM	365 SF	S-2	300	2
ELECTRICAL	642 SF	S-2	300	3
BIKE STORAGE	1254 SF	S-2	300	5
SUBTOTALS	3,162 SF			17
TOTALS	10539 SF			111

GENERAL NOTES - CODE SUMMARY

- A. CODE SUMMARY KEYED NOTES APPLY TO SHEETS G101-G103. ALL KEYED NOTES MAY NOT OCCUR ON THIS SHEET AND DO NOT APPLY TO ANY OTHER SHEETS EXCEPT THOSE NOTED.
- B. ALL WORK SHOWN ON THIS SHEET IS INCLUDED IN THE CONTRACT FOR CONSTRUCTION, WHETHER SHOWN ELSEWHERE OR NOT. CONTRACTOR SHALL MAKE ALLOWANCES FOR CONNECTION, HOOK UP, ETC. AS REQUIRED SO THAT ITEMS, EQUIPMENT, ETC. ARE FIT FOR INTENDED PURPOSE.
- C. SEE ELECTRICAL AND MECHANICAL PLANS FOR ADDITIONAL SYMBOLS.
- D. PROVIDE LISTED FIRESTOP, CONTINUOUS AT PERIMETER GAPS OF ALL RATED CONSTRUCTION AS REQUIRED TO MAINTAIN THE SPECIFIED RATING.
- E. SQUARE FOOTAGE AREA CALCULATIONS ARE BASED ON THE BUILDING CODE DEFINITIONS OF GROSS AND NET AREAS AS USED TO DETERMINE OCCUPANT LOADS ONLY AND ARE NOT A REPRESENTATION OF LEASABLE AREA.
- F. EXISTING EXIT STAIRWAY TO REMAIN. ON ALL LEVELS NEW GUARDRAILS AND HANDRAILS TO REPLACE EXISTING TO MEET OSSC SECTION 1013. NEW LUMINOUS MARKINGS THROUGHOUT STAIRWAY TO MEET SECTION 1024.
- G. EXISTING FIRE ESCAPE TO REMAIN IN COMPLIANCE WITH SECTION 3406.1.2.

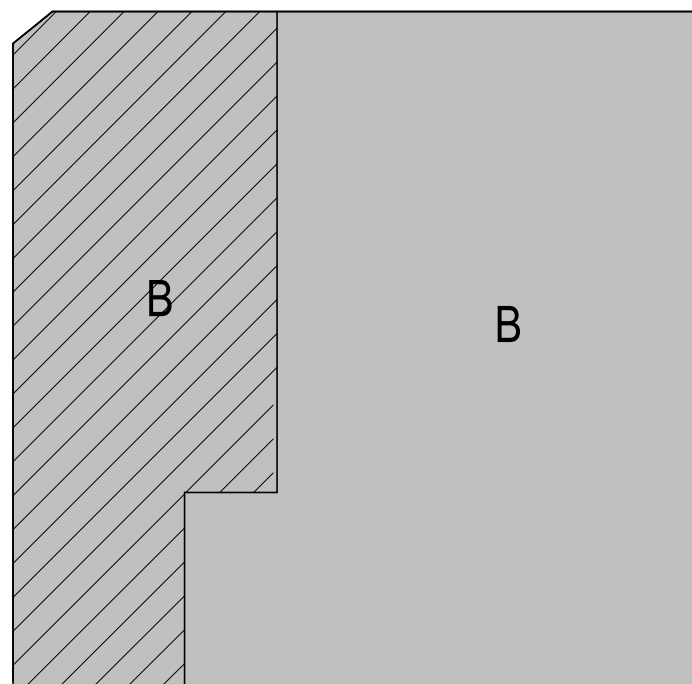
LEGEND - CODE COMPLIANCE SYMBOLS

- PROPERTY LINE
- 1/2 HOUR FIRE PARTITION
- 1 HOUR FIRE PARTITION
- 1X-1X-1X- 1 HOUR FIRE BARRIER
- 2X-2X-2X- 2 HOUR FIRE BARRIER
- X-X-X- 1 HOUR FIRE RESISTANCE RATED CONSTRUCTION
- XX-XX-XX- 2 HOUR FIRE RESISTANCE RATED CONSTRUCTION
- SB-SB-SB- 1 HOUR SMOKE BARRIER
- 44" EXTERIOR EGRESS PATH TO ROW WITH TRAVEL WIDTH REQUIRED (PROVIDE MINIMUM ILLUMINATION FOR EXITING - REFER TO ELECTRICAL DRAWINGS).
- 44" EGRESS PATH OF TRAVEL WITH TRAVEL WIDTH REQUIRED (PROVIDE MINIMUM ILLUMINATION FOR EXITING - REFER TO ELECTRICAL DRAWINGS).
- ACCESSIBLE ROUTE OF TRAVEL
- C.P. X-XX" (PER 1014.3) COMMON PATH OF EGRESS TRAVEL
- E.A. X-XX" (PER 1016.2) EXIT ACCESS DISTANCE
- # HR RATED SHAFT (WALL CONSTRUCTION TO MEET FIRE BARRIER REQUIREMENTS)
- 555 OCCUPANT LOAD AT OPENING
- 555 CUMULATIVE OCCUPANT LOAD AT OPENING
- ➔ BUILDING EXIT
- # BUILDING CODE APPEAL
- IMH MAGNETIC HOLD OPEN
- * AREA REQUIRING SMOKE DETECTION
- SPRINKLER, SEE FIRE PROTECTION DRAWINGS
- AREA AREA NAME
- ▶ MANUAL PULL STATION REQUIRED
- STANDPIPE
- 1 LIGHTED EXIT SIGN - SHADING INDICATES LIGHTED FACE(S) DIRECTION ARROW CORRESPONDS TO DIRECTION ARROW ON SIGN
- 1 LIGHTED EXIT SIGN - CEILING MOUNTED
- 1 LIGHTED EXIT SIGN - WALL MOUNTED
- FE FIRE EXTINGUISHER (AND CABINET WHERE OCCURS)
- 2W TWO-WAY ACCESSIBLE COMMUNICATIONS
- ACCESSIBLE ENTRANCE

1 CODE COMPLIANCE PLAN - BASEMENT

1/8" = 1'-0"

OCCUPANCY DIAGRAM - BASEMENT

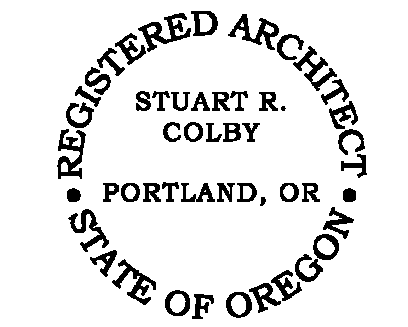


* HATCH REPRESENTS AREA N.I.C.



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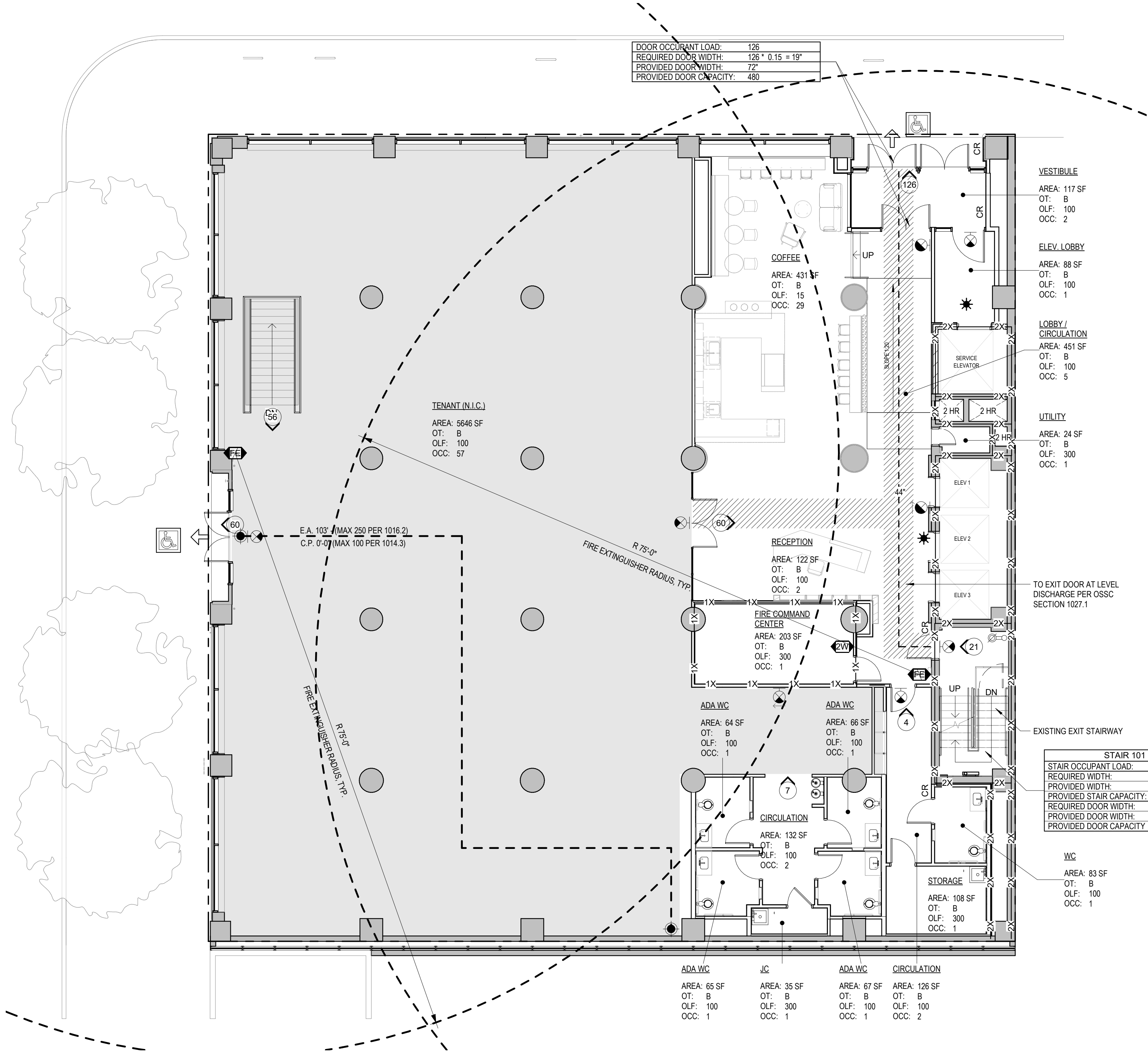
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A Addendum A 11/11/19

CHECKED BY: CJM
ISSUE DATE: 29 OCT 2019
PROJECT NO: 1801016

CODE
COMPLIANCE
PLAN -
BASEMENT

G100

BID / PERMIT SET



1 CODE COMPLIANCE PLAN - LEVEL 01
1/8" = 1'-0"

MINIMUM PLUMBING FIXTURE REQUIREMENTS

CHAPTER 29 AND PLUMBING CODE

OCCUPANCY		WATER CLOSETS		LAVATORIES		BATHTUBS/ SHOWERS		DRINKING FOUNTAINS	
USE	LOAD	RATIO		RATIO					
LEVEL 1		1 PER 25 FOR FIRST 50 & 1 PER 50 FOR REMAINDER EXCEEDING 50		1 PER 40 FOR FIRST 80 & 1 PER 80 FOR REMAINDER EXCEEDING 80					
B	116 (58)	2.32	2.32	1.45	1.45				
TOTAL REQ'D		2.32		2.13					
TOTAL REQUIRED		4.64		4.46		0		0	
TOTAL PROVIDED*		5		5		0		2	

*ALL SINGLE-USER RESTROOMS ARE GENDER-NEUTRAL

OCCUPANT LOAD - LEVEL 01				
NAME	AREA	OCC TYPE	OCC L.F.	OCC LOAD
B				
COFFEE	431 SF	B	15	29
LOBBY	311 SF	B	50	7
LOBBY / CIRCULATION	451 SF	B	100	5
TENANT (N.I.C.)	5646 SF	B	100	57
WC	83 SF	B	100	1
ADA WC	64 SF	B	100	1
ADA WC	66 SF	B	100	1
ADA WC	67 SF	B	100	1
ADA WC	66 SF	B	100	1
VESTIBULE	117 SF	B	100	2
CIRCULATION	132 SF	B	100	2
RECEPTION	122 SF	B	100	2
ELEV. LOBBY	88 SF	B	100	1
COFFEE BAR	60 SF	B	100	1
CIRCULATION	126 SF	B	100	2
STORAGE	108 SF	B	300	1
JC	35 SF	B	300	1
UTILITY	24 SF	B	300	1
FIRE COMMAND CENTER	203 SF	B	300	1
TOTALS	8,185 SF			116

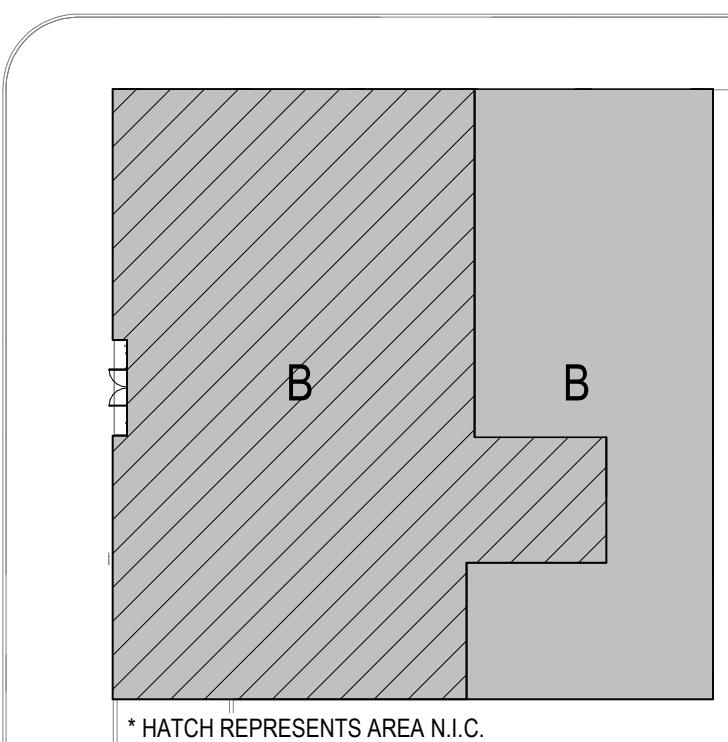
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- G. EXISTING FIRE ESCAPE TO REMAIN IN COMPLIANCE WITH SECTION 3406.1.2.

LEGEND - CODE COMPLIANCE SYMBOLS

- PROPERTY LINE
- 1/2 HOUR FIRE PARTITION
- 1 HOUR FIRE PARTITION
- 1X-1X-1X- 1 HOUR FIRE BARRIER
- 2X-2X-2X- 2 HOUR FIRE BARRIER
- X-X-X- 1 HOUR FIRE RESISTANCE RATED CONSTRUCTION
- XX-XX-XX- 2 HOUR FIRE RESISTANCE RATED CONSTRUCTION
- SB-SB-SB- 1 HOUR SMOKE BARRIER
- 44" EXTERIOR EGRESS PATH TO ROW WITH TRAVEL WIDTH REQUIRED (PROVIDE MINIMUM ILLUMINATION FOR EXITING - REFER TO ELECTRICAL DRAWINGS).
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- SPRINKLER, SEE FIRE PROTECTION DRAWINGS
- AREA AREA NAME
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- STANDPIPE
- 10 LIGHTED EXIT SIGN - SHADING INDICATES LIGHTED FACE(S)
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OCCUPANCY DIAGRAM - LEVEL 1



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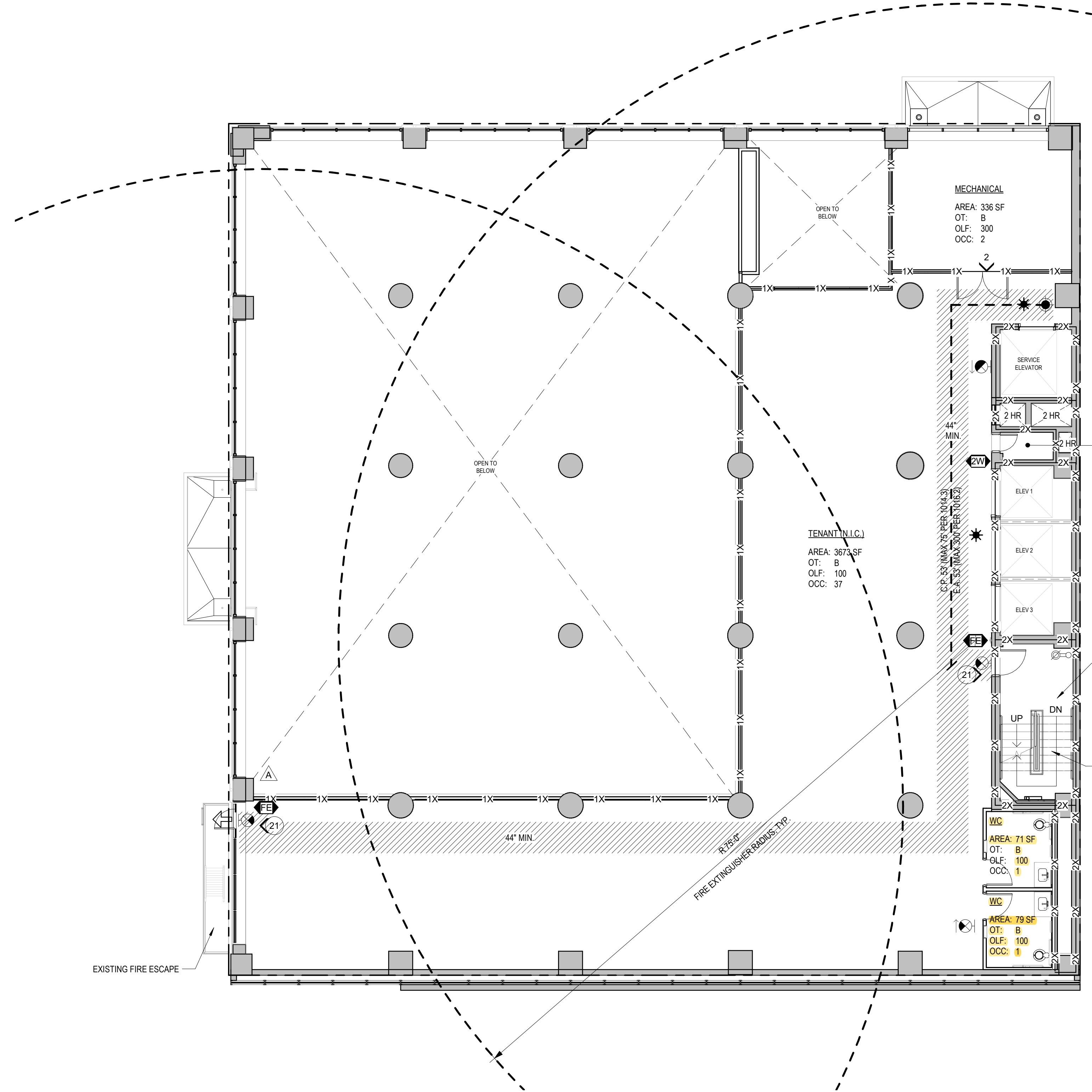
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CHECKED BY: CJM
ISSUE DATE: 29 OCT 2019
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CODE
COMPLIANCE
PLAN - LEVEL 01

G101

BID / PERMIT SET



1 CODE COMPLIANCE PLAN - LEVEL 02
1/8" = 1'-0"

MINIMUM PLUMBING FIXTURE REQUIREMENTS

CHAPTER 29 AND PLUMBING CODE

OCCUPANY		WATER CLOSETS		LAVATORIES		BATHTUBS/SHOWERS		DRINKING FOUNTAINS
USE	LOAD	RATIO	M	F	RATIO	M	F	U
LEVEL 2								
B	42 (21)	1 PER 25 FOR FIRST 50 & 1 PER 50 FOR REMAINDER EXCEEDING 50	0.84	0.84	1 PER 40 FOR FIRST 80 & 1 PER 80 FOR REMAINDER EXCEEDING 80	0.52	0.52	-
TOTAL REQ'D			1	1		1	1	
TOTAL REQUIRED			2			2		0
TOTAL PROVIDED*			2			2		0

*ALL SINGLE-USER RESTROOMS ARE GENDER-NEUTRAL

OCCUPANT LOAD - LEVEL 02				
NAME	AREA	OCC TYPE	OCC L.F.	OCC LOAD
TENANT (N.I.C.)	3673 SF	B	100	37
WC	71 SF	B	100	1
WC	79 SF	B	100	1
MECHANICAL	336 SF	B	300	2
UTILITY	24 SF	B	300	1
TOTALS	4,620 SF			42

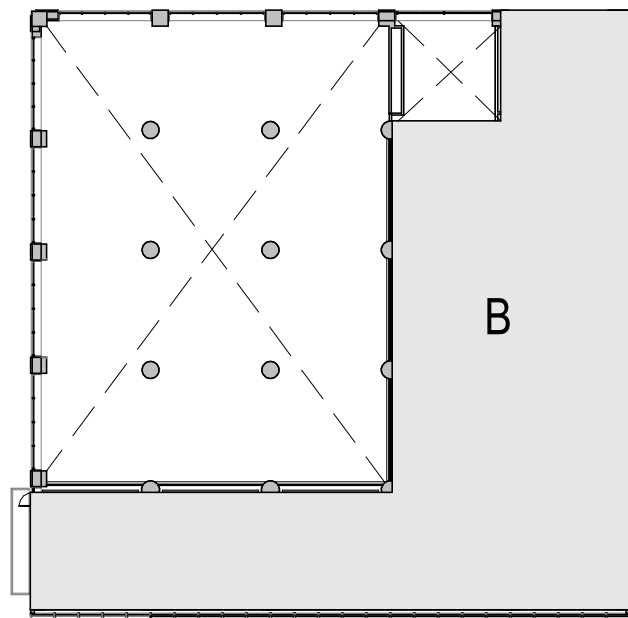
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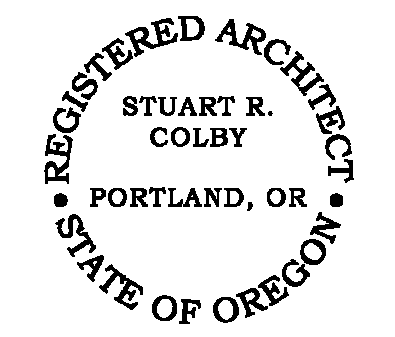
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- 1X LIGHTED EXIT SIGN - WALL MOUNTED
- FE FIRE EXTINGUISHER (AND CABINET WHERE OCCURS)
- 2W TWO-WAY ACCESSIBLE COMMUNICATIONS |
- 1X ACCESSIBLE ENTRANCE |

OCCUPANCY DIAGRAM - LEVEL 2



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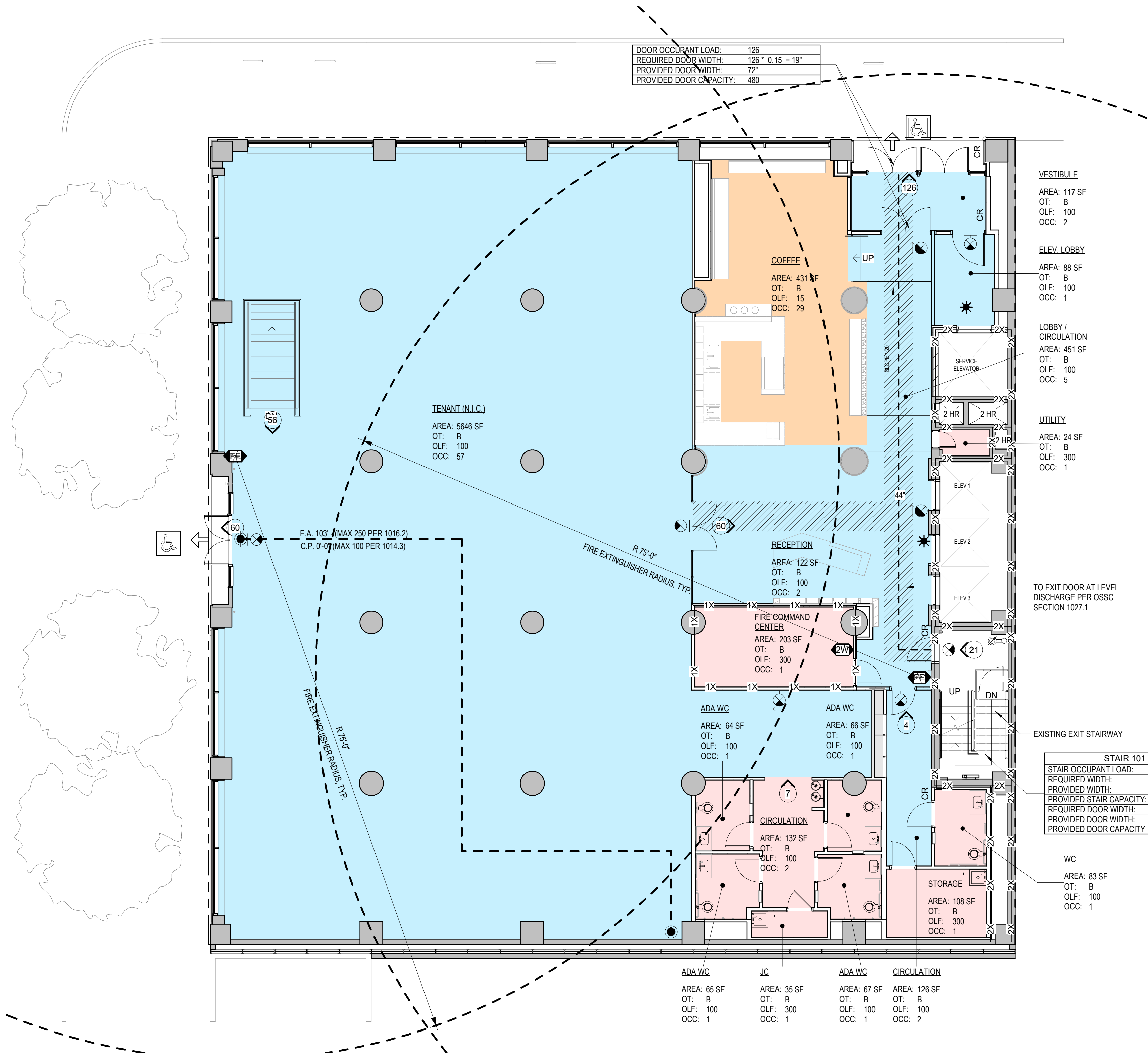
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REVISIONS		
A	Addendum A	11/11/19

CHECKED BY:	CJM
ISSUE DATE:	29 OCT 2019
PROJECT NO:	1801016

CODE
COMPLIANCE
PLAN - LEVEL 02
G102

BID / PERMIT SET



1 CODE COMPLIANCE PLAN - LEVEL 01
1/8" = 1'-0"

MINIMUM PLUMBING FIXTURE REQUIREMENTS

CHAPTER 29 AND PLUMBING CODE									
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TOTAL REQ'D		2.32	2.32	2.13	2.13				
TOTAL REQUIRED		4.64		4.46		0		0	
TOTAL PROVIDED*		5		5		0		2	

*ALL SINGLE-USER RESTROOMS ARE GENDER-NEUTRAL

OCCUPANT LOAD - LEVEL 01				
NAME	AREA	OCC TYPE	OCC L.F.	OCC LOAD
B				
COFFEE	431 SF	B	15	29
LOBBY	311 SF	B	50	7
LOBBY / CIRCULATION	451 SF	B	100	5
TENANT (N.I.C.)	5646 SF	B	100	57
WC	83 SF	B	100	1
ADA WC	64 SF	B	100	1
ADA WC	65 SF	B	100	1
ADA WC	67 SF	B	100	1
ADA WC	66 SF	B	100	1
VESTIBULE	117 SF	B	100	2
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STORAGE	108 SF	B	300	1
JC	35 SF	B	300	1
UTILITY	24 SF	B	300	1
FIRE COMMAND CENTER	203 SF	B	300	1
TOTALS	8,185 SF			116

LEGEND - OCCUPANT USE FOR PLUMBING COUNTS

- PUBLIC USE - 1:15
- TENANT USE - 1:100
- NON-REGULARLY OCCUPIED SPACES

PLUMBING FIXTURE SUMMARY

	REQUIRED			TOTAL PROVIDED*
	M	F	TOTAL	
BASEMENT	1.97	1.97	4	4
LEVEL 1	2.32	2.32	5	5
LEVEL 2	0.84	0.84	2	2
LEVELS 3-10	1.88	1.88	4	5

*ALL SINGLE-USER RESTROOMS ARE GENDER-NEUTRAL

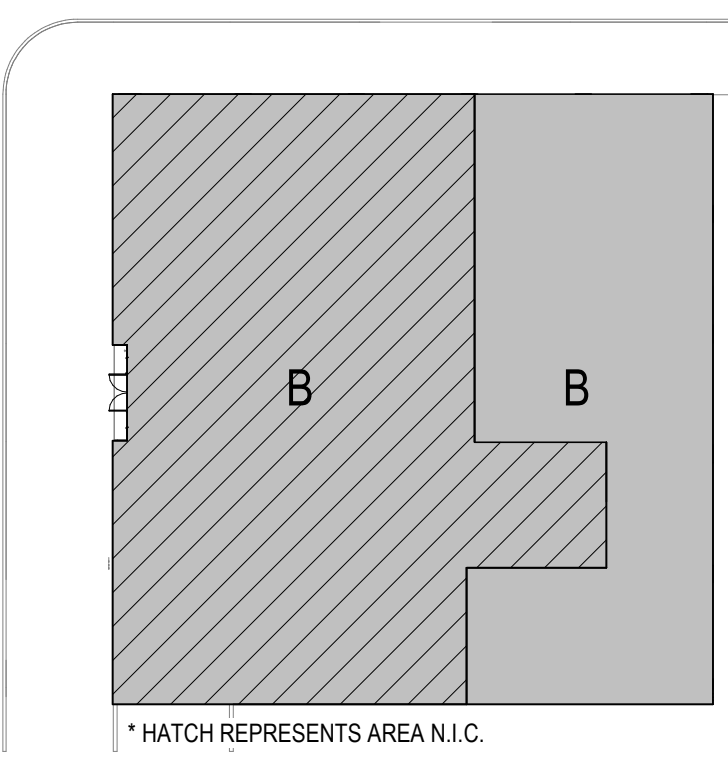
GENERAL NOTES - CODE SUMMARY

- CODE SUMMARY KEYED NOTES APPLY TO SHEETS G101-G103. ALL KEYED NOTES MAY NOT OCCUR ON THIS SHEET AND DO NOT APPLY TO ANY OTHER SHEETS EXCEPT THOSE NOTED.
- ALL WORK SHOWN ON THIS SHEET IS INCLUDED IN THE CONTRACT FOR CONSTRUCTION, WHETHER SHOWN ELSEWHERE OR NOT. CONTRACTOR SHALL MAKE ALLOWANCES FOR CONNECTION, HOOK UP, ETC. AS REQUIRED SO THAT ITEMS, EQUIPMENT, ETC. ARE FIT FOR INTENDED PURPOSE.
- SEE ELECTRICAL AND MECHANICAL PLANS FOR ADDITIONAL SYMBOLS.
- PROVIDE LISTED FIRESTOP, CONTINUOUS AT PERIMETER GAPS OF ALL RATED CONSTRUCTION AS REQUIRED TO MAINTAIN THE SPECIFIED RATING.
- SQUARE FOOTAGE AREA CALCULATIONS ARE BASED ON THE BUILDING CODE DEFINITIONS OF GROSS AND NET AREAS AS USED TO DETERMINE OCCUPANT LOADS ONLY AND ARE NOT A REPRESENTATION OF LEASABLE AREA.
- EXISTING EXIT STAIRWAY TO REMAIN, ON ALL LEVELS NEW GUARDRAILS AND HANDRAILS TO REPLACE EXISTING TO MEET OSSC SECTION 1013. NEW LUMINOUS MARKINGS THROUGHOUT STAIRWAY TO MEET SECTION 1024.
- EXISTING FIRE ESCAPE TO REMAIN IN COMPLIANCE WITH SECTION 3406.1.2.

LEGEND - CODE COMPLIANCE SYMBOLS

- PROPERTY LINE
- 1/2 HOUR FIRE PARTITION
- 1 HOUR FIRE PARTITION
- 1 HOUR FIRE BARRIER
- 2 HOUR FIRE BARRIER
- 1 HOUR FIRE RESISTANCE RATED CONSTRUCTION
- 2 HOUR FIRE RESISTANCE RATED CONSTRUCTION
- 1 HOUR SMOKE BARRIER
- EXTERIOR EGRESS PATH TO ROW WITH TRAVEL WIDTH REQUIRED (PROVIDE MINIMUM ILLUMINATION FOR EXITING - REFER TO ELECTRICAL DRAWINGS).
- EGRESS PATH OF TRAVEL WITH TRAVEL WIDTH REQUIRED (PROVIDE MINIMUM ILLUMINATION FOR EXITING - REFER TO ELECTRICAL DRAWINGS).
- ACCESSIBLE ROUTE OF TRAVEL
- C.P. X'-XX" - (PER 1014.3) COMMON PATH OF EGRESS TRAVEL
- E.A. X'-XX" - (PER 1016.2) EXIT ACCESS DISTANCE
- RATED SHAFT (WALL CONSTRUCTION TO MEET FIRE BARRIER REQUIREMENTS)
- OCCUPANT LOAD AT OPENING
- CUMULATIVE OCCUPANT LOAD AT OPENING
- BUILDING EXIT
- BUILDING CODE APPEAL
- MAGNETIC HOLD OPEN
- AREA REQUIRING SMOKE DETECTION
- SPRINKLER, SEE FIRE PROTECTION DRAWINGS
- AREA NAME
- MANUAL PULL STATION REQUIRED
- STANDPIPE
- LIGHTED EXIT SIGN - SHADING INDICATES LIGHTED FACE(S) DIRECTION ARROW CORRESPONDS TO DIRECTION ARROW ON SIGN
- LIGHTED EXIT SIGN - CEILING MOUNTED
- LIGHTED EXIT SIGN - WALL MOUNTED
- FIRE EXTINGUISHER (AND CABINET WHERE OCCURS)
- TWO-WAY ACCESSIBLE COMMUNICATIONS
- ACCESSIBLE ENTRANCE

OCCUPANCY DIAGRAM - LEVEL 1

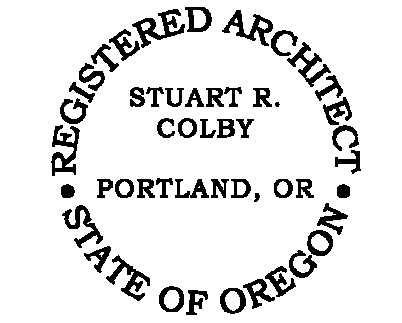


* HATCH REPRESENTS AREA N.I.C.



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URBAN RENAISSANCE GROUP
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VOLUME: 1

REVISIONS		
A	Addendum A	11/11/19

CHECKED BY: CJM
ISSUE DATE: 22 NOV 2019
PROJECT NO: 1801016

CODE COMPLIANCE PLAN - LEVEL 01
G101

FOR PERMIT