

Development Services

From Concept to Construction

Phone: 503-823-7300 Email: bds@portlandoregon.gov 1900 SW 4th Ave, Portland, OR 97201

More Contact Info (<http://www.portlandoregon.gov/bds/article/519984>)



APPEAL SUMMARY

Status: Decision Rendered

Appeal ID: 22154	Project Address: 18 NW 22nd Pl
Hearing Date: 11/20/19	Appellant Name: Hayden Lavery
Case No.: B-016	Appellant Phone: 5039136707
Appeal Type: Building	Plans Examiner/Inspector: Steven Freeh
Project Type: commercial	Stories: 2 Occupancy: R-3 Construction Type: V-I
Building/Business Name: Taylor Hospitality LLC	Fire Sprinklers: Yes - Throughout
Appeal Involves: occ Change from R3 to R3	LUR or Permit Application No.: 18-256850-CO
Plan Submitted Option: pdf [File 1]	Proposed use: R-3 Congregate Living Facilities (Transient)

APPEAL INFORMATION SHEET

Appeal item 1

Code Section 310.4

Requires The previous determination was that this project fell under the occupancy of R-1 Hotel. We are proposing a revision to the plans allowing an R-3 Congregate Living Facilities (Transient) occupancy for two dwelling units containing less than 10 occupants each.

Proposed Design The original permits were submitted in accordance with 2014 OSSC. The 2019 OSSC increases in scope and clearly defines that certain transient uses are permitted in accordance with the R-3 occupancy.

Reason for alternative The R-3 Congregate Living Facilities definition is a much more appropriate fit for the intended use of this property than an R-1 designation. However, we are already well into construction and intend on meeting the majority of requirements for a change of occupancy. This includes a full NFPA-13 sprinkler system that is already installed and a brand new foundation. Given the more appropriate R-3 occupancy, which aligns with the occupancy prior to renovation, certain structural upgrades that were found particularly burdensome would no longer be required.

APPEAL DECISION

Change of occupancy from R1 to R3 congregate living per the 2018 IBC: Denied. Proposal does not provide equivalent Life Safety protection.

Appellant may contact John Butler (503 823-7339) with questions.

Pursuant to City Code Chapter 24.10, you may appeal this decision to the Building Code Board of Appeal within 90 calendar days of the date this decision is published. For information on the appeals process, go to www.portlandoregon.gov/bds/appealsinfo, call (503) 823-7300 or come in to the Development Services Center.

PROJECT DESCRIPTION

CONVERSION OF AN EXISTING SINGLE-FAMILY RESIDENCE TO SHORT-TERM STAY APARTMENTS. THE RENOVATION WILL CREATE 2 APARTMENTS IN THE HOUSE (LOWER LEVEL AND MAIN LEVEL WITH UPPER FLOOR), EACH WITH ITS OWN ENTRANCE FROM THE EXTERIOR. REHABILITATION OF THE EXISTING BUILDING INCLUDES NEW CONCRETE FOUNDATION WALLS AND ACCESS/EGRESS AT THE BASEMENT LEVEL. NUMEROUS IMPROVEMENTS TO EXTERIOR COMPONENTS OF THE BUILDING ARE PROPOSED TO COMPLEMENT THE HISTORIC CHARACTER OF THE NEIGHBORHOOD.

REFERENCE FILES - CITY OF PORTLAND BUREAU OF DEVELOPMENT SERVICES (BDS):

LU 18-176601 HR HISTORIC RESOURCE REVIEW W/ MODIFICATION

APPEALS GRANTED BY BDS APPEALS BOARD:
APPEAL ID No.18787, CASE No. B-012, APPEAL ITEM 1 (SEE SHEET G.2 AND A.3)

APPEAL ID No.18787, CASE No. B-012, APPEAL ITEM 2 (SEE SHEET G.2)

BUILDING CODE NOTES

APPLICABLE CODES:

- 2014 OREGON STRUCTURAL SPECIALTY CODE (OSSC)
- 2014 OREGON ENERGY EFFICIENCY SPECIALTY CODE (OEESC)

SEE SHEETS G.1 THROUGH G.3 FOR CODE COMPLIANCE INFORMATION

SPECIAL INSPECTIONS REQUIRED

- 1. CONCRETE CONSTRUCTION
- 2. CAST-IN-PLACE ANCHORS
- 3. SOUND TRANSMISSION (FIELD TEST)

SUPPLEMENTAL SUBMITTALS

- 1. STRUCTURAL DRAWINGS AND CALCULATIONS
- 2. CIVIL ENGINEERING DRAWINGS

SEPARATE SUBMITTALS

- 1. FIRE SPRINKLER SYSTEM / FIRE ALARMS
- 2. TRADE PERMITS (MECHANICAL (HVAC), PLUMBING, ELECTRICAL)

LAND USE NOTES

LAND USE REVIEW

CASE FILE No. LU 18-176601 HRM - EXTERIOR MATERIALS
APPROVED: AUGUST 16, 2018

MODIFICATION APPROVED AS PART OF LAND USE REVIEW:

MODIFY THE REQUIREMENT FOR 5-FEET OF L3 LANDSCAPING ALONG THE NORTH PROPERTY LINE TO NO LANDSCAPING ALONG NORTH PROPERTY LINE.

PARKING REQUIREMENTS (33.266)
NO PARKING REQUIRED.

BICYCLE PARKING REQUIREMENTS (33.266)
2 LONG-TERM SPACES AND 2 SHORT-TERM SPACES
PROVIDED: 2 LONG-TERM
2 SHORT-TERM

PEDESTRIAN STANDARDS (33.130.240)
PROVIDED: DIRECT CONNECTIONS FROM EACH DWELLING UNIT TO STREET WITHIN 20 FEET

PROJECT TEAM

OWNER

TAYLOR HOSPITALITY
5453 NW 213th PL
PORTLAND, OR 97229
TEL (503) 913-6707
ATTN Hayden Lavery / Connor McWilliams
mcwilliamscc2@gmail.com

ARCHITECT

RESOLVE ARCHITECTURE + PLANNING
3742 SE MILL ST
PORTLAND, OR 97214
TEL (503) 939-5130
ATTN John Flynn
johnflynn@resolvearchitecture.com

STRUCTURAL ENGINEER

i.e. STRUCTURAL
6975 SW SANDBERG ST, STE 160
TIGARD, OR 97223
TEL (971) 371-1958
ATTN Rob VanDyke
vandyke@ieengineering.com

CIVIL ENGINEER

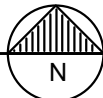
WDY ENGINEERS
6443 SW BEAVERTON-HILLSDALE HWY, STE 210
PORTLAND, OR 97221
TEL (503) 203-8111
ATTN Scott Walker
scott@wdyi.com

DRAWING INDEX

- SURVEY
- SP SITE PLAN
- SPa ENLARGED SITE PLAN
- G.1 BUILDING CODE SUMMARY
- G.2 EGRESS PLANS
- G.3 OSSC CHAP 34 COMPLIANCE SUMMARY
- A.1 DEMOLITION PLANS
- A.2 FLOOR PLAN - MAIN LEVEL
- A.3 FLOOR PLAN - UPPER FLOOR
- A.4 FLOOR PLAN - LOWER LEVEL
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- A.5e WEST ELEVATION - EXISTING
- A.6 NORTH ELEVATION
- A.6e NORTH ELEVATION - EXISTING
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- A.11 BASEMENT UNIT ACCESSIBILITY NOTES & DETAILS



VICINITY PLAN



SHORT-TERM STAY APARTMENTS
AT



18 NW 22nd PL.
PORTLAND, OR 97210

TAYLOR HOSPITALITY, LLC

OCTOBER 15, 2018

REVISIONS TO PERMIT SET: JANUARY 14, 2019

FEBRUARY 21, 2019

MARCH 06, 2019

RESOLVE

ARCHITECTURE + PLANNING



TITLE NOTE:

1. THIS SURVEY DOES NOT CONSTITUTE A TITLE SEARCH BY SURVEYOR. THERE MAY EXIST EASEMENTS, CONDITIONS, OR RESTRICTIONS THAT COULD AFFECT THE TITLE OF THIS PROPERTY. NO ATTEMPT HAS BEEN MADE IN THIS SURVEY TO SHOW SUCH MATTERS THAT MAY AFFECT TITLE.

SITE PLAN

FOR:

HAYDEN LAVERTY

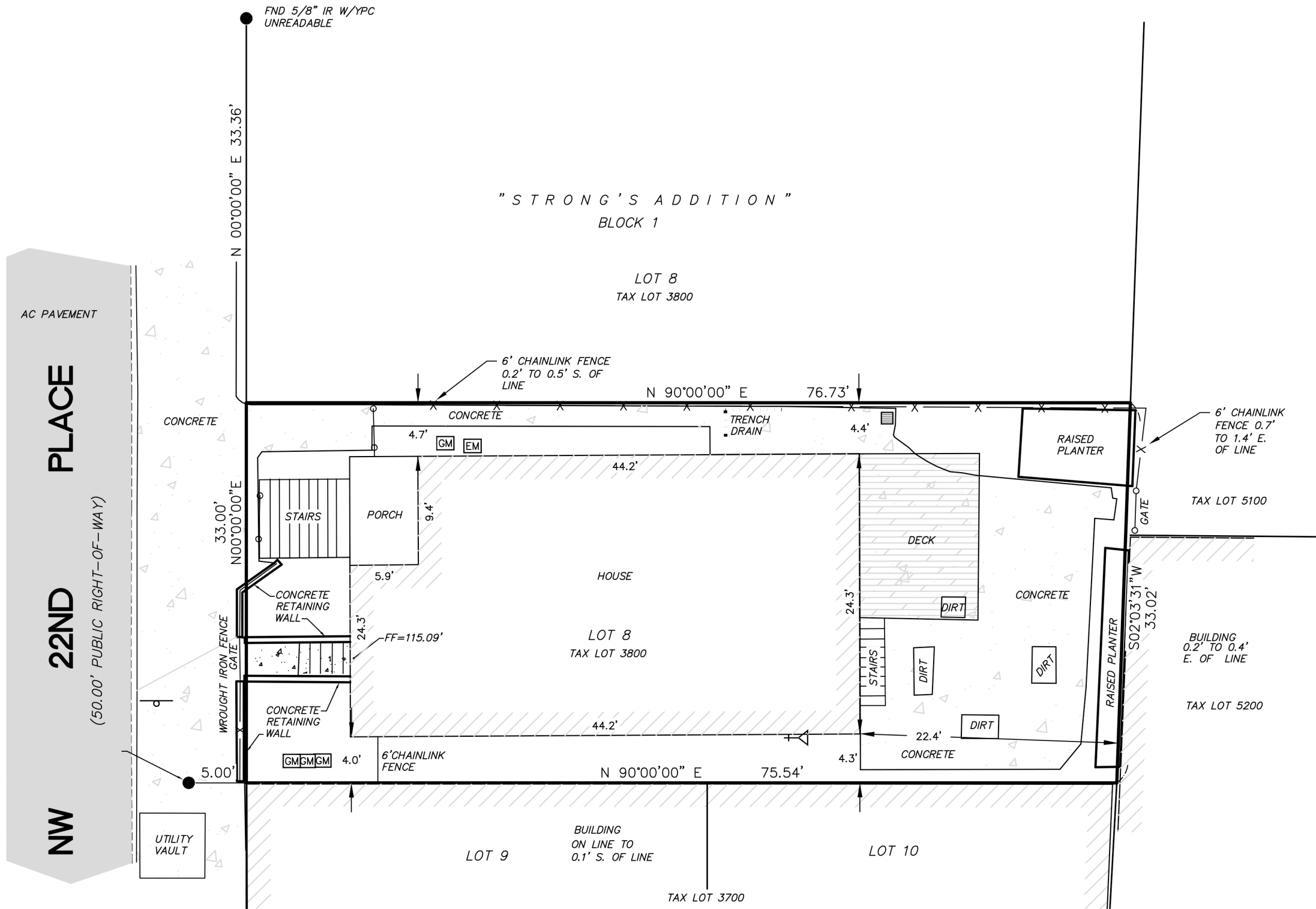
BEING A PORTION OF OF LOT 8, BLOCK 1
"STRONG'S ADDITION"

SITUATED IN THE SW 1/4 OF SECTION 33
T.1N, R.1E, W.M.

CITY OF PORTLAND
MULTNOMAH COUNTY, OREGON

TAX MAP 1N 1E 33CA

MARCH 09, 2018



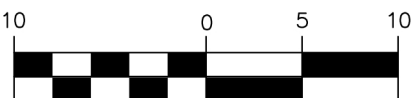
LEGEND:

- FOUND SURVEY MONUMENT
- +< WATER SPIGOT
- ▢ CATCH BASIN
- WM WATER METER
- WV WATER VALVE
- EM ELECTRIC METER
- ER ELECTRIC RISER
- GM GAS METER
- x - FENCE LINE AS NOTED
- GATE POST
- SIGN

NOTES:

1. VERTICAL DATUM IS ASSUMED.
2. THE BOUNDARIES AS SHOWN ON THIS MAP ARE BASED ON RECORD DATA AND FOUND MONUMENTS. THIS MAP DOES NOT REPRESENT A SURVEY TO BE RECORDED, BUT WAS DONE FOR SITE/TOPO INFORMATION ONLY.
3. THIS SURVEY IS MADE FOR THE ORIGINAL PURCHASER OF THE SURVEY ONLY. ANDY PARIS & ASSOCIATES, INC. ASSUMES NO LIABILITY FOR INFORMATION SHOWN HEREON TO ANY OTHER INSTITUTIONS OR SUBSEQUENT PURCHASERS OF THE PROPERTY.
4. SURVEY IS VALID ONLY IF PRINT HAS SEAL AND SIGNATURE OF SURVEYOR.
5. THE LOCATION AND OR EXISTENCE OF UTILITY SERVICE LINES AS SHOWN ON THIS MAP ARE BASED ON FIELD OBSERVATION ONLY. THERE MAY EXIST ADDITIONAL SERVICE LINES NOT SHOWN ON THIS SURVEY.
6. SUBSURFACE AND ENVIRONMENTAL CONDITIONS WERE NOT EXAMINED OR CONSIDERED AS A PART OF THIS SURVEY. NO STATEMENT IS MADE CONCERNING THE EXISTENCE OF UNDERGROUND OR OVERHEAD CONTAINERS OR FACILITIES THAT MAY AFFECT THE USE OR DEVELOPMENT OF THIS TRACT.
7. THIS SURVEY DOES NOT CONSTITUTE A TITLE SEARCH BY SURVEYOR. THERE MAY EXIST EASEMENTS, CONDITIONS, OR RESTRICTIONS THAT COULD AFFECT THE TITLE OF THIS PROPERTY. NO ATTEMPT HAS BEEN MADE IN THIS SURVEY TO SHOW SUCH MATTERS THAT MAY AFFECT TITLE.

GRAPHIC SCALE



(IN FEET)
1 inch = 10 ft.

REGISTERED
PROFESSIONAL
LAND SURVEYOR

OREGON
JANUARY 15, 1987
HAROLD P. SALO
2264
EXPIRES: JUNE 30, 2018

SINCE 1952
ANDY PARIS AND ASSOCIATES, INC.
PROFESSIONAL LAND SURVEYORS
16057 BOONES FERRY ROAD
LAKE OSWEGO, OREGON 97035
PH: 503-636-3341
www.andyparis.com
PROJECT: 18034
DRAWING: 18034SP1.DWG
DRAFTED: RCC 03/09/18

SITE PLAN KEY

- PROPERTY LINE
- [Pattern] IMPERVIOUS PAVING
- [Pattern] PERVIOUS PAVING
- [Pattern] EXISTING STRUCTURE

PROPERTY INFORMATION

ADDRESS: 18 NW 22nd PL.
PORTLAND, OR 97210

PROPERTY ID#: R277701

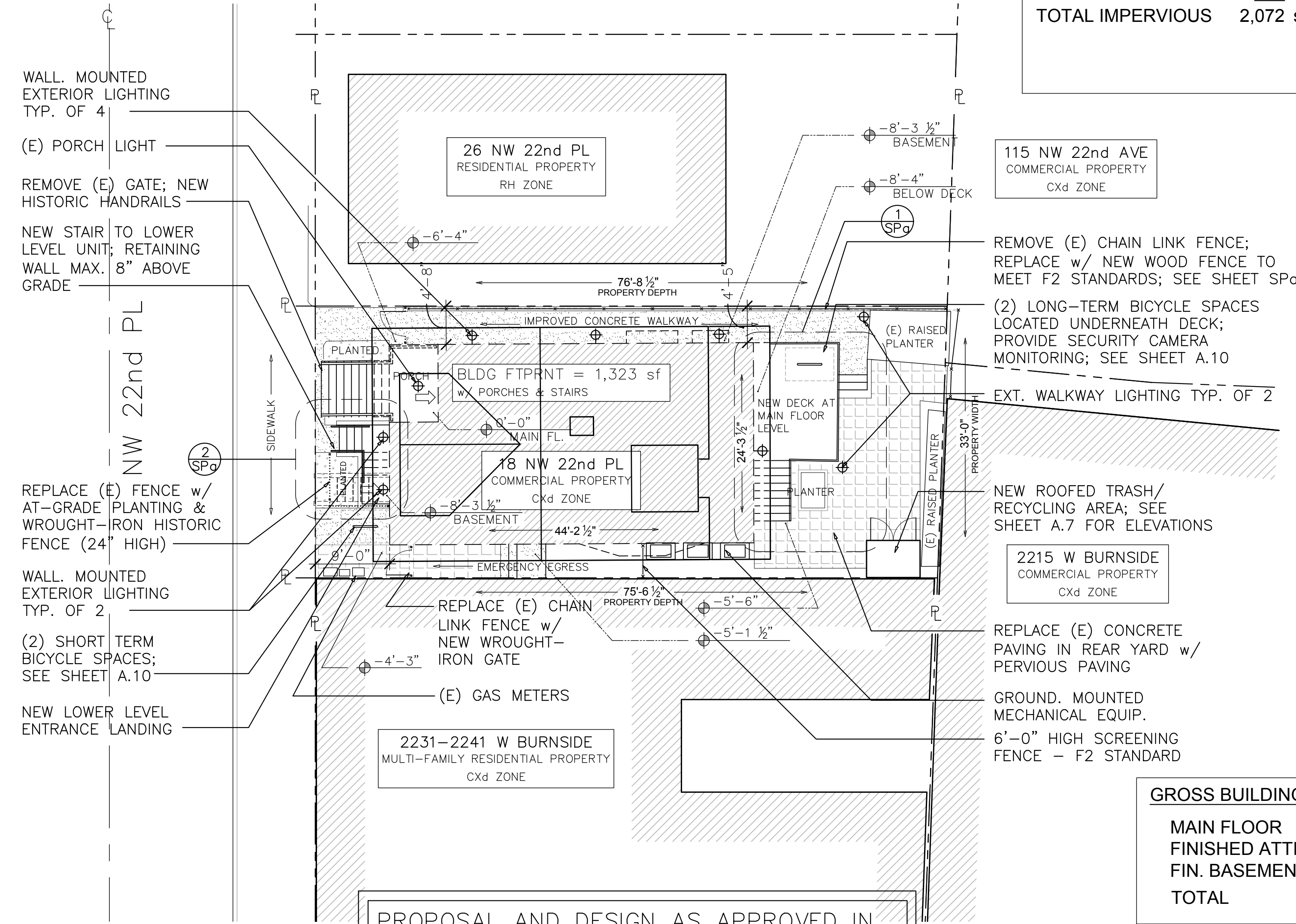
PROPERTY DESCRIPTION
TAX ROLL: STRONG'S ADDITION
BLOCK 1, SOUTH 33' OF LOT 8

STATE ID: 1N1E33CA 3800

ZONE: CXd

IMPERVIOUS AREA CALCS

SITE AREA	2,512 sf
IMPERVIOUS AREA (EXISTING)	
ROOFS	1,156 sf
WALKS/PATIOS	660
TOTAL IMPERVIOUS	2,816 sf (EXISTING)
IMPERVIOUS AREA (PROPOSED)	
ROOFS	1,612 sf
WALKS/PATIOS	460
TOTAL IMPERVIOUS	2,072 sf (PROPOSED)



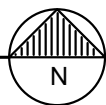
GROSS BUILDING AREA

MAIN FLOOR	1,062 sf
FINISHED ATTIC	700
FIN. BASEMENT	1,040
TOTAL	2,802 sf

SITE PLAN

PROPOSAL AND DESIGN AS APPROVED IN
CASE FILE # LU 18-176601 HRM. NO FIELD
CHANGES ALLOWED.

1" = 10'-0"



RESOLVE
ARCHITECTURE + PLANNING
3742 SE MILL STREET
PORTLAND, OR 97214
t: (503) 231-8120 e: info@resolvearchitecture.com

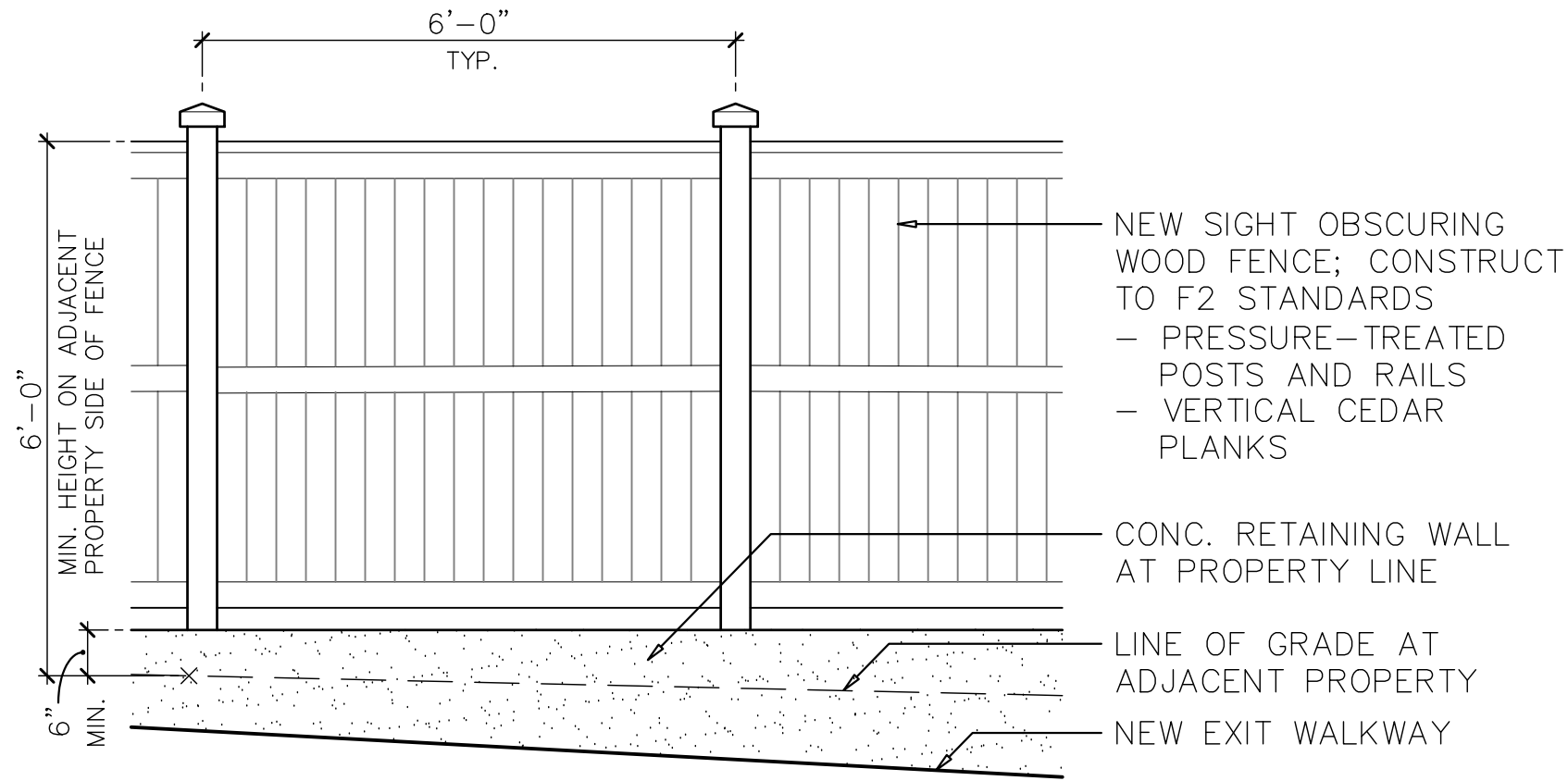
PROJ #: 18-03

TAYLOR HOSPITALITY, LLC
SHORT-TERM STAY APARTMENTS
18 NW 22nd PLACE
PORTLAND, OREGON 97210

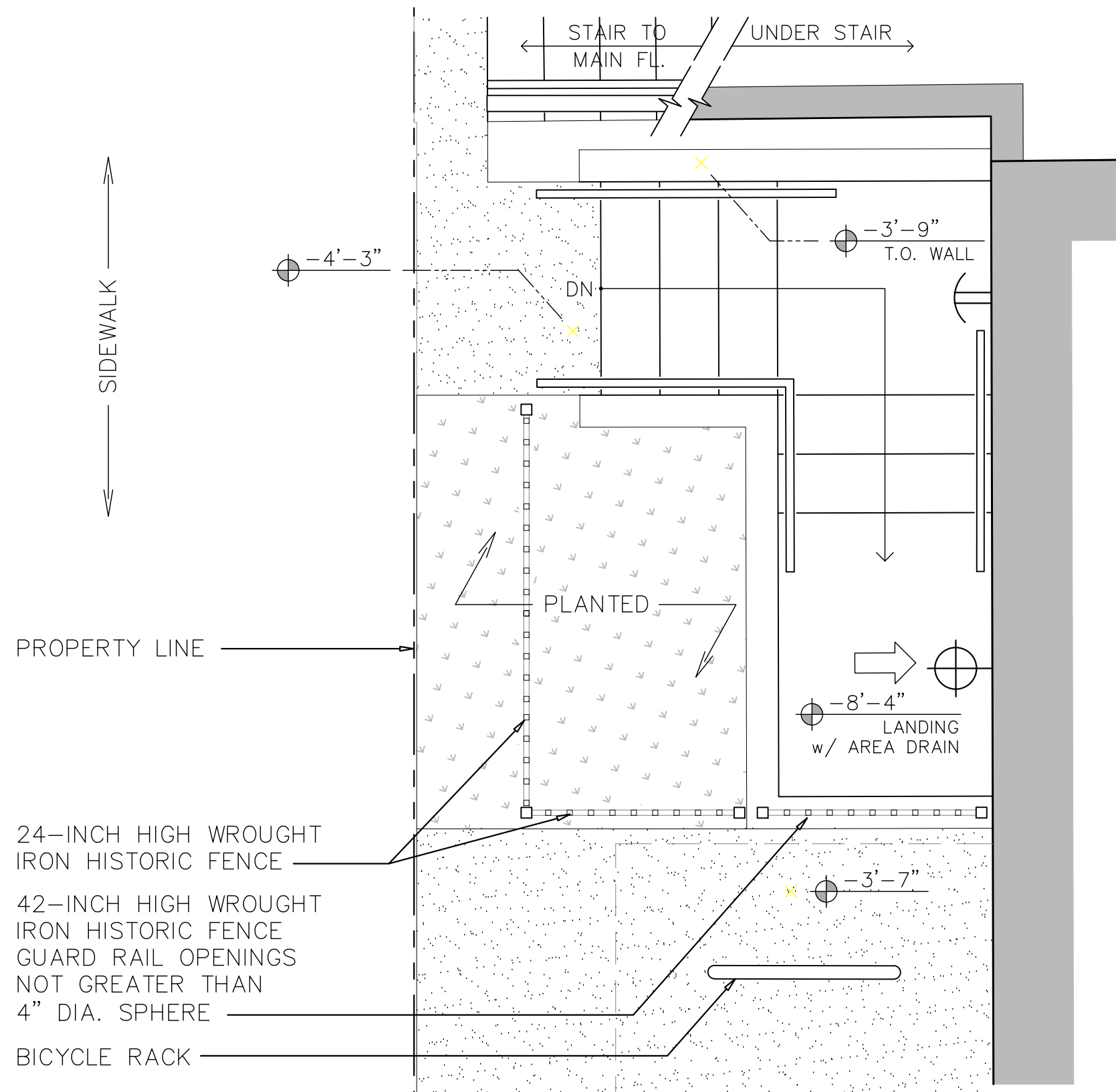
REV: 6.27.2018
LUR COMPLETENESS
8.3.2018
10.15.2018
PERMIT
01.14.2019
REV. TO. PERMIT
02.21.2019
REV. TO. PERMIT

DATE: 5.23.2018

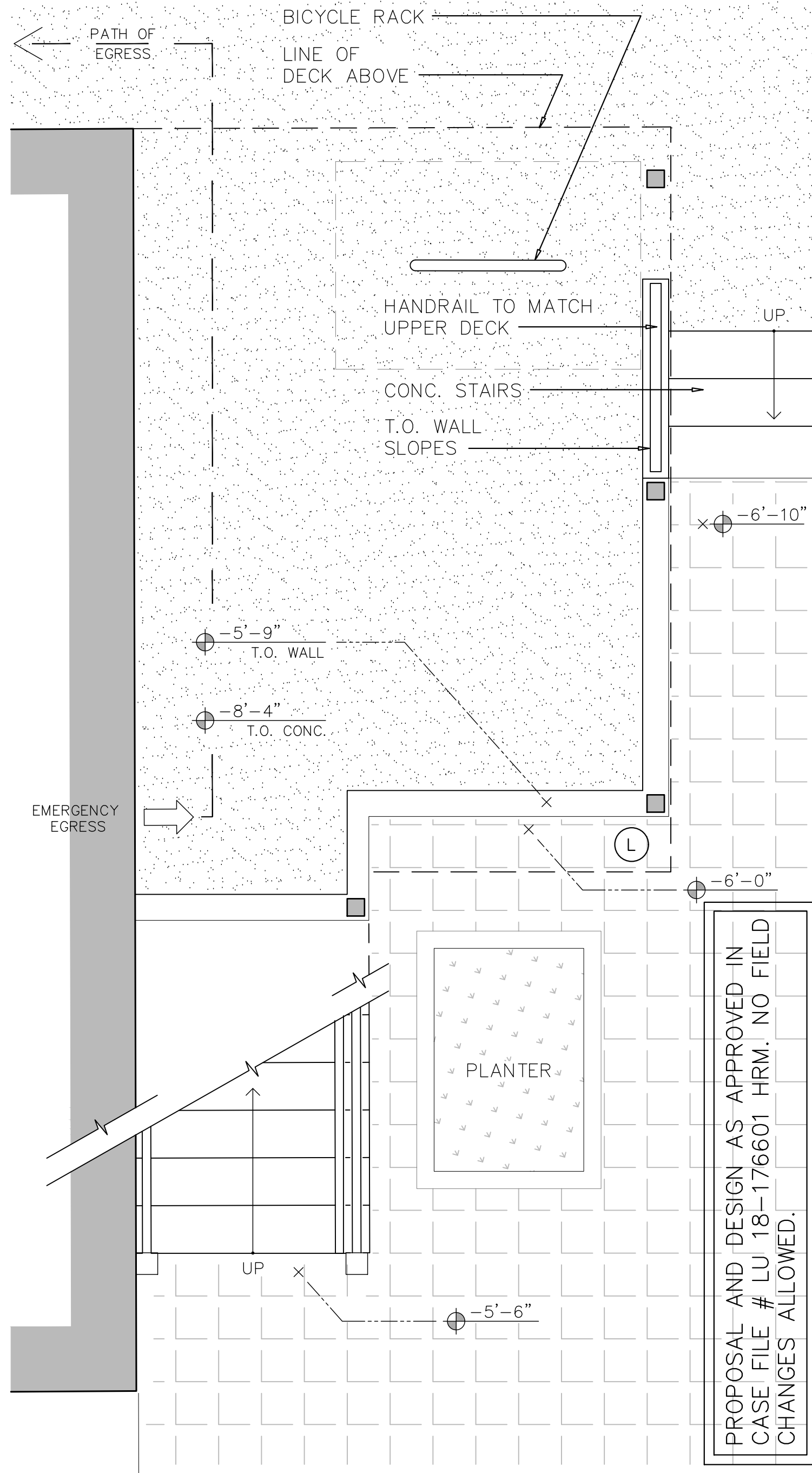
SP



3 PARTIAL ELEVATION - NORTH PROPERTY LINE FENCE
 $\frac{1}{2}" = 1'-0"$



2 ENLARGED SITE PLAN - FRONT YARD
 PLAN AT INTERMEDIATE LEVEL
 $\frac{1}{2}" = 1'-0"$



1 ENLARGED SITE PLAN - REAR YARD
 PLAN AT LOWER LEVEL
 $\frac{1}{2}" = 1'-0"$

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 ARCHITECTURE + PLANNING
 3742 SE MILL STREET
 PORTLAND, OR 97214
 t: (503) 231-8120 e: info@resolvearchitecture.com

PROJ #: 18-03

TAYLOR HOSPITALITY, LLC
SHORT-TERM STAY APARTMENTS
 18 NW 22nd PLACE
 PORTLAND, OREGON 97210

REV: 10.15.2018 PERMIT
 01.14.2019 REV. TO PERMIT
 02.21.2019 REV. TO PERMIT

DATE: 8.3.2018

SP-a

sheet size: 17" x 22"

BUILDING CODE SUMMARY

OCCUPANCY (OSSC CHAPT. 3)
EXISTING OCCUPANCY GROUP: SINGLE FAMILY RESIDENCE
PROPOSED OCCUPANCY GROUP: R-1 (HOTEL(TRANSIENT))
NUMBER OF DWELLING UNITS: 2
UNIT 1: MAIN FLOOR AND UPPER FLOOR(ATTIC) LEVEL
(NO. OF SLEEPING ROOMS: 4)
UNIT 2: LOWER LEVEL
(NO. OF SLEEPING ROOMS: 3)
NUMBER OF SLEEPING UNITS: 0
BUILDING CONSTRUCTION (OSSC CHAPTS. 5, 6 & 7)
CONSTRUCTION TYPE: V-B
ALLOWABLE BUILDING HEIGHTS AND AREAS (OSSC TABLE 503)
ALLOWED HEIGHT: 40 FEET+20 FEET = 60 FEET
PROPOSED HEIGHT (UNCHANGED): 28'-6"
ALLOWED STORIES ABOVE GRADE: 2+1=3
PROPOSED STORIES ABOVE GRADE (UNCHANGED): 3
ALLOWED AREA PER FLOOR: 7,000 SF+7,000 SF=14,000 SF
PROPOSED MAX. AREA OF ANY FLOOR (UNCHANGED): 1,070 SF
FIRE RESISTANCE RATING REQUIREMENTS FOR BUILDING ELEMENTS (OSSC TABLE 601)
ALL BUILDING ELEMENTS: 0 HOURS
FIRE RESISTANCE RATING REQUIREMENTS FOR EXTERIOR WALLS
BASED ON FIRE SEPARATION DISTANCE (OSSC TABLE 602)-FOR R-1 OCCUPANCY
FIRE SEPARATION DISTANCE <5 FEET: 1 HOUR
FIRE SEPARATION DISTANCE BETWEEN 10 AND 30 FEET = 0 HOURS
FIRE SEPARATION DISTANCE >30 FEET = 0 HOURS
EXISTING CONDITIONS
NORTH WALL FIRE SEPARATION DISTANCE = 4'-6"
EAST WALL FIRE SEPARATION DISTANCE = 23'-0"
SOUTH WALL FIRE SEPARATION DISTANCE = 4'-2"
WEST WALL FIRE SEPARATION DISTANCE (DISTANCE TO CENTERLINE OF RIGHT-OF-WAY) = 34'-0"
MAXIMUM AREA OF EXTERIOR WALL OPENINGS (OSSC TABLE 705.8)

FIRE SEPARATION DISTANCE OF EXTERIOR WALL	NORTH 4'-6"	EAST 23'-0"	SOUTH 4'-2"	WEST 34'-0"
MAX AREA OF UNPROTECTED, SPRINKLERED (UP, S) OPENINGS	15%	NO LIMIT	15%	NOT REQUIRED

HOURLY FIRE RESISTIVE REQUIREMENTS (OSSC CHAPT. 7)
FIRE PARTITIONS (708)
WALL ASSEMBLIES SEPARATING DWELLING UNITS SHALL HAVE FIRE PARTITIONS HAVING A FIRE RESISTIVE RATING OF 1-HOUR
PROPOSED DESIGN: NOT APPLICABLE
HORIZONTAL ASSEMBLIES (711)
FLOOR-CEILING AND ROOF ASSEMBLIES SEPARATING DWELLING UNITS IN TYPE V-B CONSTRUCTION SHALL HAVE A MINIMUM FIRE RESISTANCE RATING OF 1-HOUR.
INTERIOR FINISHES (OSSC CHAPT. 8)
INTERIOR WALL AND CEILING FINISH REQUIREMENTS BY OCCUPANCY (OSSC TABLE 803.9)
GROUP R-1 NON-SPRINKLERED
INTERIOR EXIT STAIRWAYS, INTERIOR EXIT RAMPS, AND EXIT PASSAGEWAYS - N/A
CORRIDORS AND ENCLOSURES FOR EXIT ACCESS STAIRWAYS AND EXIT ACCESS RAMPS - N/A
ROOMS AND ENCLOSED SPACES - CLASS C
FIRE PROTECTION (OSSC CHAPT. 9)
FIRE SPRINKLER SYSTEM (903.2): PROVIDED AS SEPARATE SUBMITTAL PER OSSC 402.5; SYSTEM TO BE DESIGNED AND INSTALLED IN ACCORDANCE WITH 903.3.1.1 (NFPA-13)
PORTABLE FIRE EXTINGUISHERS: PROVIDED (SEE PLANS, SHEET G.2)
FIRE ALARM AND DETECTION SYSTEMS (907.2): PROVIDED
MANUAL FIRE ALARM SYSTEM: NOT REQUIRED PER 907.2.8.1, EXCEPTION 1
AUTOMATIC SMOKE DETECTION SYSTEM: NOT REQUIRED PER 907.2.8.2, EXCEPTION
SMOKE/CARBON MONOXIDE ALARMS: PROVIDED (SEE PLANS, SHEET G.2)
MEANS OF EGRESS (OSSC CHAPT. 10)
SEE SHEET G.2

SPRINKLER INCREASES PER CHAPT.5

DISABLED ACCESS REQUIREMENTS (OSSC CHAPT. 11)
ACCESSIBILITY NOT REQUIRED PER SECTION 1103.2.11
INTERIOR ENVIRONMENT (OSSC CHAPT. 12)
VENTILATION (1203): ENCLOSED ATTIC AND ENCLOSED RAFTER SPACES SHALL HAVE CROSS-VENTILATION PER 1203.2
NATURAL LIGHT (1205): NET GLAZED AREA SHALL BE GREATER THAN OR EQUAL TO 8% OF THE FLOOR AREA SERVED.
SOUND TRANSMISSION (1207):
AIR-BORNE SOUND: WALLS, PARTITIONS, AND FLOOR/CEILING ASSEMBLIES SEPARATING DWELLING UNITS SHALL HAVE A SOUND TRANSMISSION CLASS (STC) OF NOT LESS THAN 50 (45 IF FIELD TESTED)
PROPOSED: SPECIAL INSPECTION FIELD TESTING - SEE COVER SHEET
STRUCTURE-BORNE SOUND: FLOOR/CEILING ASSEMBLIES BETWEEN DWELLING UNITS SHALL HAVE AN IMPACT INSULATION CLASS (IIC) RATING OF NOT LESS THAN 50 (45 IF FIELD TESTED).
PROPOSED: SPECIAL INSPECTION FIELD TESTING - SEE COVER SHEET
TOILET AND BATHROOM REQUIREMENTS (1210):
SEE FLOOR PLANS FOR REQUIRED CLEARANCES AT PLUMBING FIXTURES.
ENERGY CONSERVATION (OEESC 2014)

BUILDING ENVELOP REQUIREMENTS (OEESC TABLES 502.1.1 AND 502.3)

BUILDING COMPONENT	INSULATION TYPE	R- OR U-VALUE
ROOF - ATTIC AND OTHER	BATT INSULATION w/ KRAFT PAPER OR FOIL FACING	R - 38
ROOF - ATTIC AT EXISTING HOUSE	BATT INSULATION -- TWO LAYERS OF R-19 (INBOARD LAYER w/ KRAFT PAPER OR FOIL FACING); SEE NOTE 6 BELOW	R - 38
ABOVE-GRADE WALLS - WOOD FRAMED & OTHER	BATT INSULATION w/ KRAFT PAPER OR FOIL FACING	R - 21 (or R-13 + R-3.8ci)
BELOW-GRADE WALLS (FOUNDATON WALLS)	RIGID XPS INSULATION (EXTRUDED POLYSTYRENE)	R - 7.5ci
UNDERFLOOR (JOIST/FRAMING)	BATT INSULATION w/ KRAFT PAPER OR FOIL FACING	R - 30
SLAB-ON-GRADE FLOORS	RIGID XPS INSULATION (EXTRUDED POLYSTYRENE)	R - 10 (for 24" below)
OPAQUE DOORS		U - 0.70
VERTICAL FENESTRATION AT 30% MAXIMUM OF ABOVE-GRADE WALLS		
FIXED/OPERABLE WINDOWS AND DOORS WITH GREATER THAN 50% GLAZING		U - 0.35

- NOTES
- THESE REQUIREMENTS APPLY TO ALL NEW CONSTRUCTION AND ANY REMODEL AREAS WHERE THE BUILDING ENVELOP IS MODIFIED OR REPLACED.
 - NEW INSULATION IS REQUIRED IN CAVITIES OF EXPOSED EXTERIOR ABOVE-GRADE WALLS IF INSULATION IS NOT ALREADY PRESENT.
 - SEE PLAN SHEET NOTES FOR INSULATION AND OTHER CONSTRUCTION REQUIREMENTS FOR FURRED-OUT EXTERIOR WALLS AT BASEMENT LEVEL.
 - FACING OF BATT INSULATION ACTS AS VAPOR RETARDER AND IS TO BE INSTALLED ON THE WARM-IN-WINTER SIDE TO THE EXTERIOR WALL ASSEMBLY.
 - PROVIDE SOUND BATT INSULATION WITHIN STUD CAVITY OF ALL NEW INTERIOR WALL CONSTRUCTION.
 - AT EXISTING HOUSE, PROVIDE VENTING TO ENCLOSED RAFTER SPACES (MIN. 1" AIR SPACE BETWEEN INSULATION AND ROOF SHEATHING) WITH AIR MOVEMENT LEADING TO ROOF VENTS. REF OSSC 1203.2.

SEISMIC UPGRADES (CoP TITLE 24.85)
SEE STRUCTURAL DRAWINGS



RESOLVE
ARCHITECTURE + PLANNING
3742 SE MILL STREET
PORTLAND, OR 97214
t: (503) 231-8120 e: info@resolvearchitecture.com

PROJ #: 17-02

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SHORT-TERM STAY APARTMENTS
18 NW 22nd PL.
PORTLAND, OR 97210

REV: 03.06.2019
REV. TO. PERMIT

DATE: 10.15.2018

G.1

EGRESS ANALYSIS (OSSC CHAPT. 10)

OCCUPANT LOAD CALCULATIONS

OCCUPANT LOAD FACTOR – 200 gsf/OCCUPANT (PER TABLE 1004.1.2)

UNIT 1
MAIN FLOOR $\frac{975}{200} = 5$ OCCUPANTS
UPPER FL(ATTIC) LEVEL $\frac{742}{200} = 4$ OCCUPANTS
UNIT 1 TOTAL 9 OCCUPANTS
UNIT 2 (LOWER FL) $\frac{908}{200} = 5$ OCCUPANTS

NUMBER OF EXITS REQUIRED BASED ON OCCUPANCY (1015)

UNIT 1: 1 EXIT
UNIT 2: 1 EXIT

NUMBER OF EXITS AND EXIT CONFIGURATION (1021)

UNIT 1: 1 EXIT ALLOWED
MAXIMUM EXIT ACCESS TRAVEL DISTANCE = 75 FEET
UNIT 2: 1 EXIT ALLOWED
MAXIMUM EXIT ACCESS TRAVEL DISTANCE = 75 FEET

NOTE: UPPER FLOOR OCCUPANTS EXIT (VIA INTERIOR ACCESS STAIR) AT MAIN FLOOR

MEANS OF EGRESS ILLUMINATION (1006)

NOT REQUIRED IN DWELLING UNITS PER 1006.1, EXCEPTION 3 REQUIRED AT AREAS OF EXIT DISCHARGE

- ILLUMINATION SHALL PROVIDE NOT LESS THAN 1 FOOTCANDLE (11 LUX) AT THE WALKING SURFACE. THE POWER SUPPLY FOR MEANS OF EGRESS ILLUMINATION SHALL NORMALLY BE PROVIDED BY THE PREMISES' ELECTRICAL SUPPLY.
- IN THE EVENT OF A POWER SUPPLY FAILURE, EMERGENCY POWER SHALL PROVIDE POWER FOR A DURATION OF NOT LESS THAN 90 MINUTES AND SHALL CONSIST OF UNIT EQUIPMENT (EMERGENCY EXIT LIGHTS) LOCATED AT EACH POINT OF EXIT DISCHARGE.

SYMBOLS

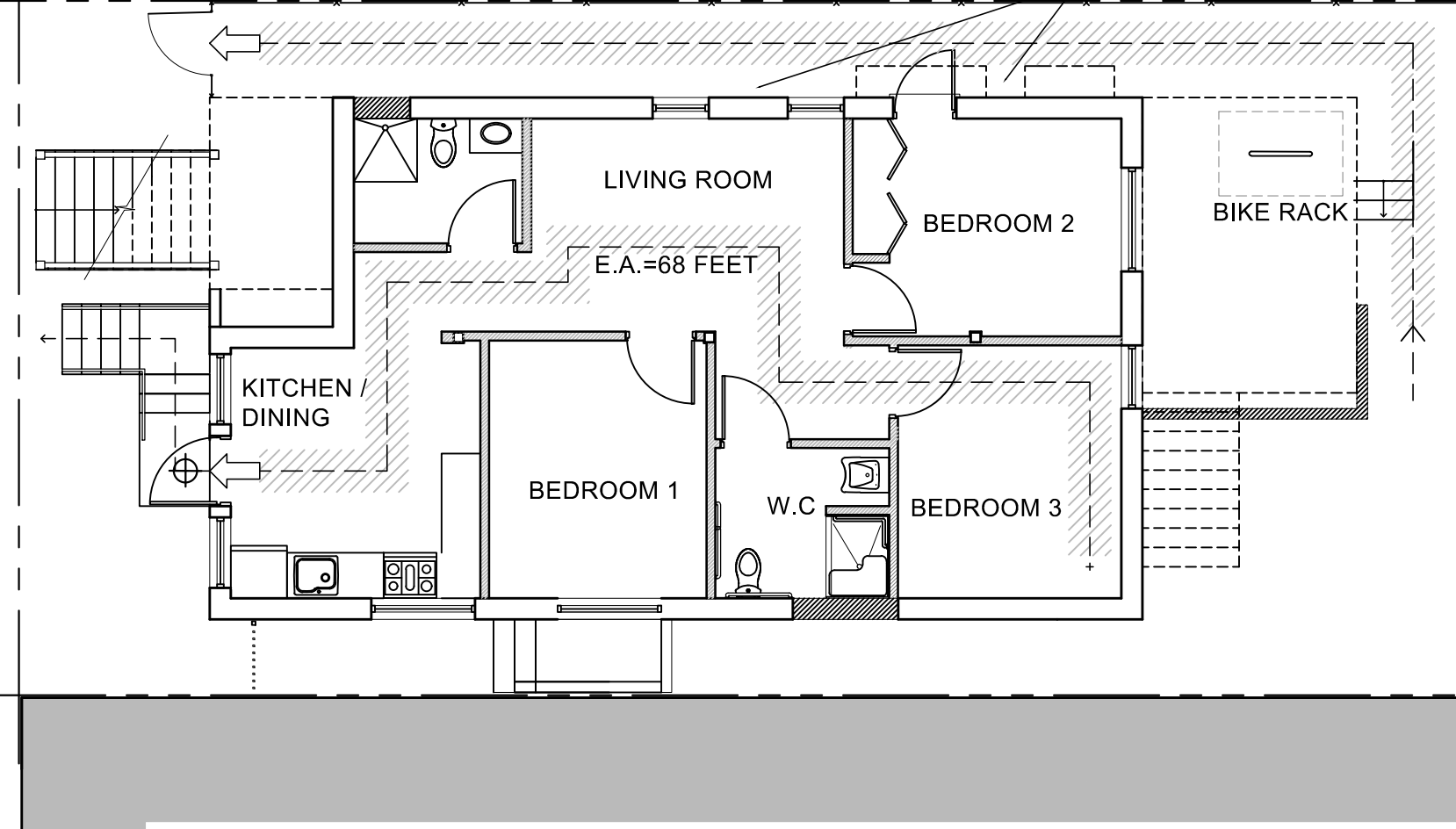
EGRESS PATH OF TRAVEL
MAX T.D. TO EXIT ACCESS PER OSSC TABLE 1021.2(2) = 75 FEET

EMERGENCY EXIT LIGHTS

WALKWAY LIGHTING AT NORTH EXIT COURT ; SEE SHEET SP

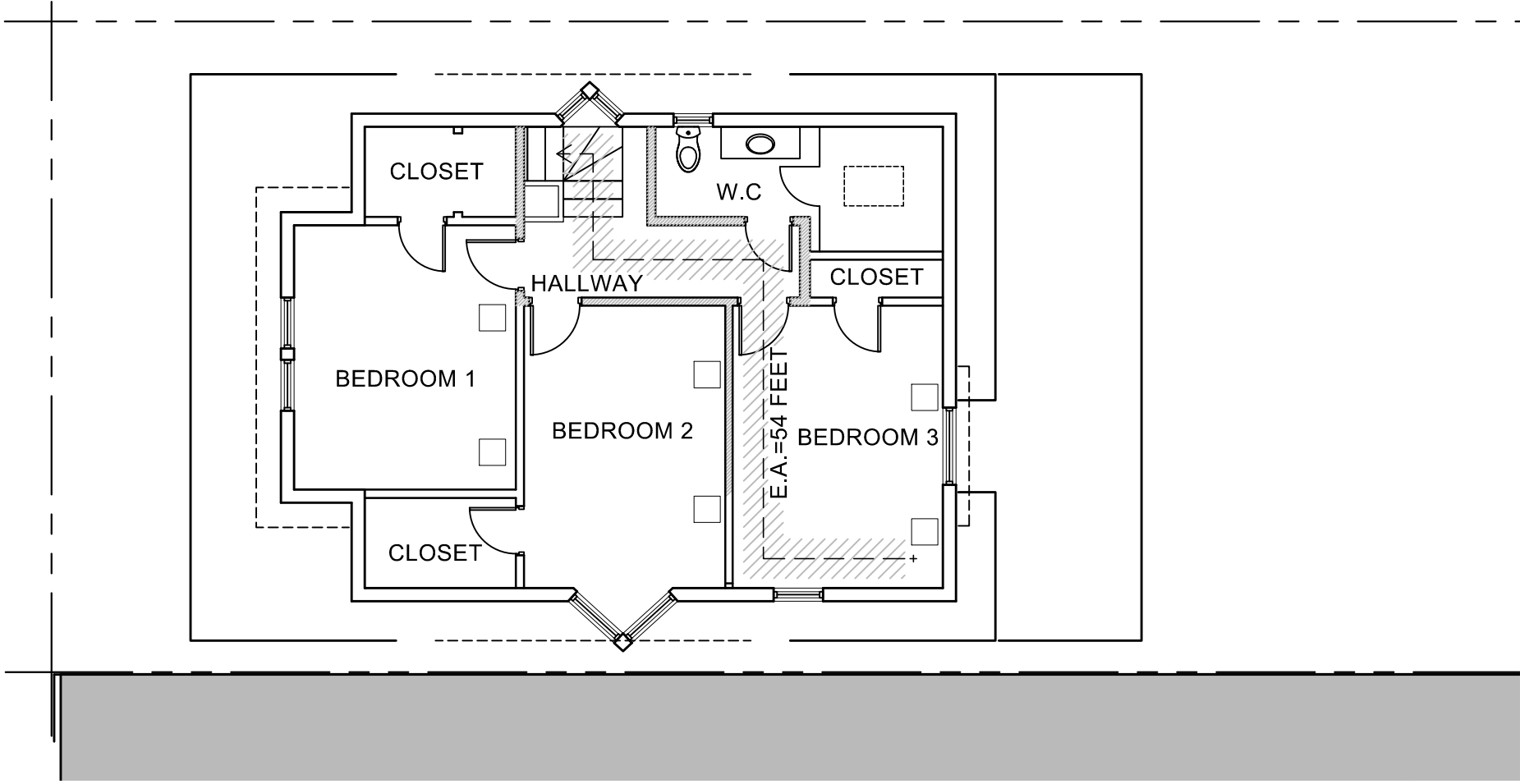
APPEAL FOR PROJECTING BAYS OVERHEAD AT NORTH EGRESS COURT GRANTED 12-19-18. REF APPEAL ID No. 18787, CASE No. B-12, APPEAL ITEM 2.

NEW EXIT DOORS AT REAR ENTRY TO PROVIDE SECOND MEANS OF EGRESS FROM MAIN FL/SECOND FL DWELLING UNIT

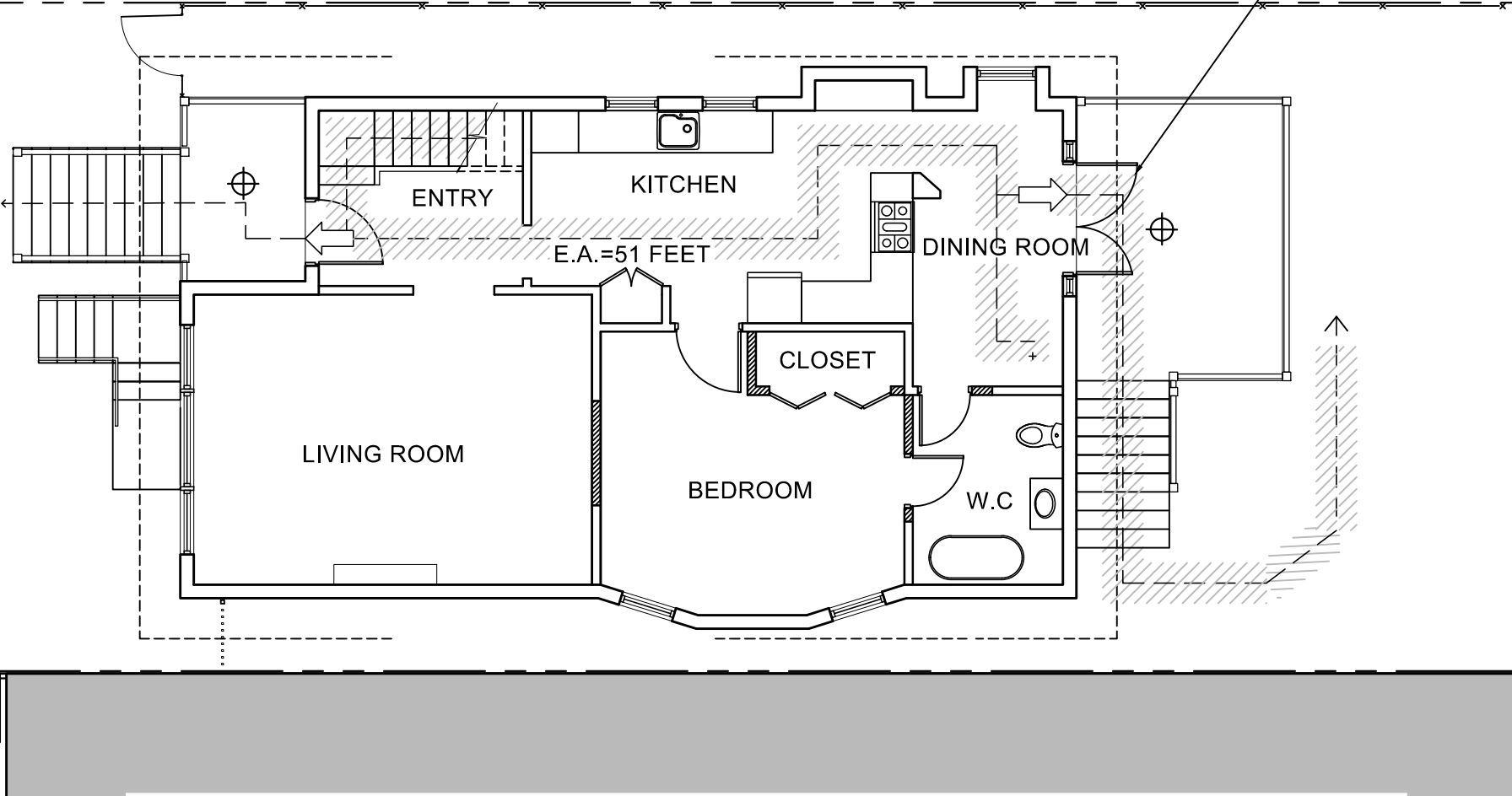


UNIT 2 -- LOWER LEVEL

EGRESS PLANS



UNIT 1 -- UPPER LEVEL



UNIT 1 -- MAIN LEVEL

APPEAL FOR ONE EXIT INSTEAD OF THE REQUIRED TWO GRANTED 12-19-18. REF APPEAL ID No. 18787, CASE No. B-12, APPEAL ITEM 1.



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PROJ #: 17-02

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REV: 01.14.2019
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REV. TO. PERMIT

DATE: 10.15.2018

G.2

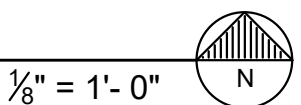


TABLE 3412.7
SUMMARY SHEET—BUILDING CODE

Existing occupancy: R-3 (Single Family Residence)

Proposed occupancy: R-1

Year building was constructed: 1906

Number of stories: 2 Height in feet: 28.5

Type of construction: V-B

Area per floor: 875 (Avg.)

Percentage of open perimeter increases: 0 %

Completely suppressed: Yes ☒ No ☐

Corridor wall rating: 0 (N/A)

Compartmentation: Yes ☐ No ☒

Required door closers: Yes ☐ No ☒

Fire-resistance rating of vertical opening enclosures: 0 (N/A)

Type of HVAC system: Ductless Mini-Splits

Serving number of floors: 3

Automatic fire detection: Yes ☒ No ☐

Type and location: SMOKE / CO DETECTORS

Fire alarm system: Yes ☐ No ☒

Type:

Smoke control: Yes ☐ No ☒

Type:

Adequate exit routes: Yes ☒ No ☐

Dead ends: Yes ☐ No ☒

Maximum exit access travel distance: 68 feet

Elevator controls: Yes ☐ No ☒

Means of egress emergency lighting: Yes ☒ No ☐

Mixed occupancies: Yes ☐ No ☒

At areas of exit discharge

SAFETY PARAMETERS	FIRE SAFETY (FS)	MEANS OF EGRESS (ME)	GENERAL SAFETY (GS)
3412.6.1 Building Height	0	0	0
3412.6.2 Building Area	15.9	15.9	15.9
3412.6.3 Compartmentation	16	16	16
3412.6.4 Tenant and Dwelling Unit Separations 3412.6.5	-2	-2	-2
Corridor Walls	0	0	0
3412.6.6 Vertical Openings	7	7	7
3412.6.7 HVAC Systems	5	5	5
3412.6.8 Automatic Fire Detection	6	6	6
3412.6.9 Fire Alarm Systems	-10	-10	-10
3412.6.10 Smoke Control	***	0	0
3412.6.11 Means of Egress Capacity	***	0	0
3412.6.12 Dead Ends	***	2	2
3412.6.13 Maximum Exit Access Travel Distance	****	14.6	14.6
3412.6.14 Elevator Control	****	-2	-2
3412.6.15 Means of Egress Emergency Lighting	1	1	1
3412.6.16 Mixed Occupancies	0	0	0
3412.6.17 Automatic Sprinklers	4	****	4
3412.6.18 Standpipes	0	0/2=0	0
3412.6.19 Incidental Use	0	0	0
Building score = total value	42.9	53.5	57.5

***No applicable value to be inserted.

TABLE 3412.8
MANDATORY SAFETY SCORES^a

OCCUPANCY	FIRE SAFETY (MFS)	MEANS OF EGRESS (MME)	GENERAL SAFETY (MGS)
A-1	20	31	31
A-2	21	32	32
A-3	22	33	33
A-4, E	29	40	40
B	30	40	40
F	24	34	34
M	23	40	40
R	21	38	38
S-1	19	29	29
S-2	29	39	39

a. MFS = Mandatory Fire Safety;
MME = Mandatory Means of Egress;
MGS = Mandatory General Safety.

TABLE 3412.9
EVALUATION FORMULAS^a

FORMULA	T.3410.7			T.3410.8	SCORE	PASS	FAIL
FS-MFS ≥ 0	42.9	(FS)	=	21 (MFS) =	21.9	☒	
ME-MME ≥ 0	53.5	(ME)	=	38 (MME) =	15.5	☒	
GS-MGS ≥ 0	57.5	(GS)	=	38 (MGS) =	19.5	☒	

a. FS = Fire Safety
ME = Means of Egress
GS = General Safety
MFS = Mandatory Fire Safety
MME = Mandatory Means of Egress
MGS = Mandatory General Safety

2010 OSSC SECTION NUMBER	DESIGN COMPLIANCE NARRATIVE	VALUE
3412.6.1 (Building Height)	Value for the building height in feet and stories is calculated as below: Building Height in feet: { [AH - EBH] / 12.5 } x CF AH = 60 (SPRINKLER INCREASE) { [60 - 28.5] / 12.5 } x 1 = 2.86 Height Value in Stories: { AS - EBS } x CF { 3 - 3 } x 1 = 0	0
3412.6.2 (Building Area)	Area calculations: Frontage Increase = .5 AA AA = [AT + (AT x IF) + (AT x IS)] [7000 + (7000 x 0.1) + (7000 x 2)] = 21700 IF = (F/P - 0.25) w/30 F = 49.5 P = 130 w = [(24.75) (30) + (24.75) (20)] / F w = 1237.5 / 49.5 = 25 IF = [(49/130) - 0.25] w/30 (0.13) (25) / 30 = 0.1	15.9
3412.6.3 (Compartmentation)	2500 < size < 5000	16
3412.6.4 (Tenant and dwelling unit separations)	½ - hour on dwelling unit separation. Category b	-2
3412.6.5 (Corridor walls)	Not required per 1018. Category c	0
3412.6.6 (Vertical openings)	VO = PV x CF 1 x 7 = 7	7
3412.6.7 (HVAC systems)	Each floor has its own heating source. Category e	5
3412.6.8 (Automatic Fire Detection)	Smoke detectors installed throughout the floor area. Category e	6
3412.6.9 (Fire Alarm System)	No fire alarm system. Category a	-10
3412.6.10 (Smoke Control)		0
3412.6.11 (Means of egress)	Capacity of the means of egress complies with 2014 OSSC Section 1004 requirements and the number of exits complies with the minimum number required by Section 1019. Category b	0
3412.6.12 (Dead Ends)	Category c	2
3412.6.13 (Maximum exit access travel distance)	Points = 20 x (Max allowed - Actual) / Max allowed. Maximum exist access travel distance allowed for a sprinklered occupancy is 250 feet where 2 exits are provided. Calculation of points: Longest point = 20 x (250 - 68) / 250 = 14.6	14.6
3412.6.14 (Elevator Control)	There is no elevator. Category a	-2
3412.6.15 (Egress emergency lighting)	Means of egress lighting and exit signs are provided with emergency power. Category c	1
3412.6.16 (Mixed Occupancies)	There are no mixed occupancies. Category a	0
3412.6.17 (Automatic Sprinklers)	An automatic sprinkler system is required; automatic sprinkler system is provided. Category e	4
3412.6.18 (Standpipes)	Not required, not provided. Category b	0
3412.6.19 (Incidental use)	There are no incidental uses.	0

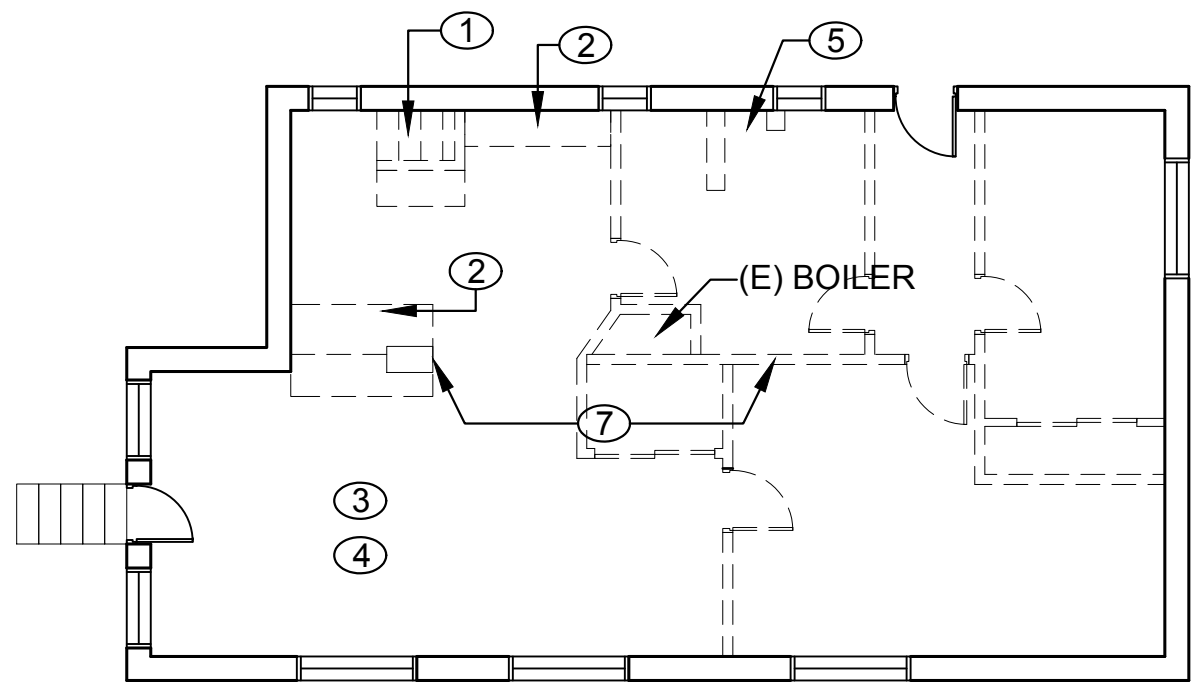
OSSC CHAP 34 COMPLIANCE SUMMARY

LEGEND - DEMOLITION PLANS

- ===== (E) WALL TO REMAIN
- WALL REMOVED

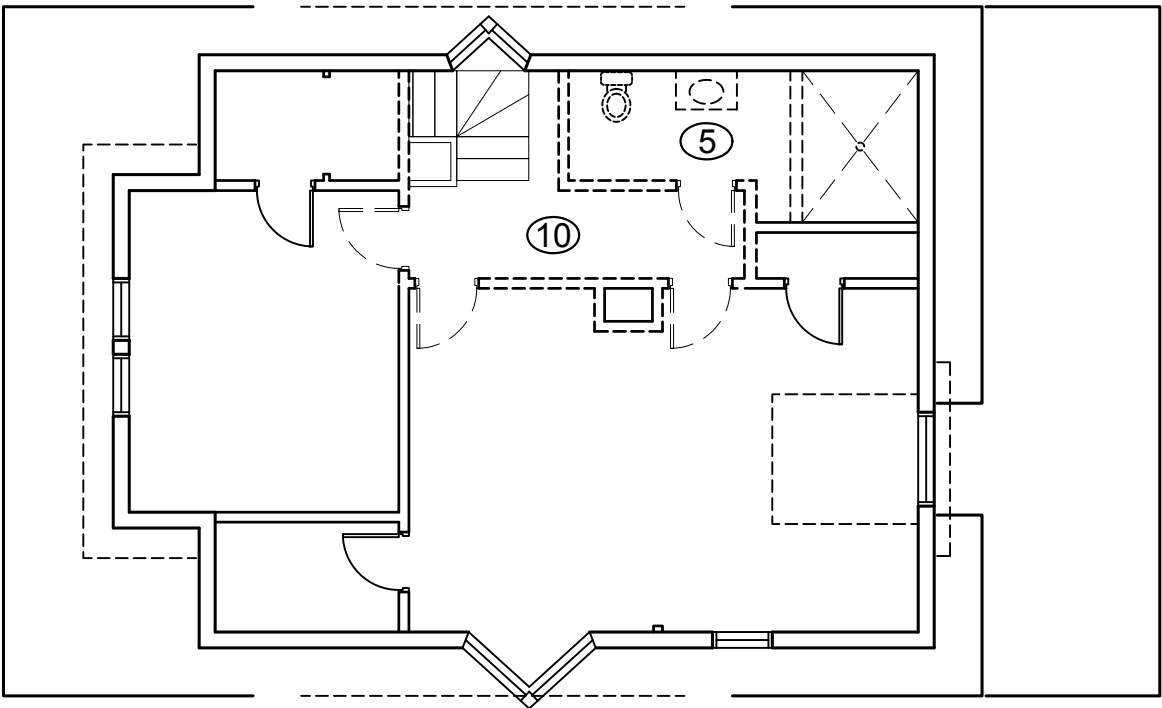
KEYED NOTES

- ① REMOVE (E) STAIRS.
- ② REMOVE (E) COUNTERS.
- ③ REMOVE ALL EXISTING EXTERIOR DOORS AND WINDOWS AT BASEMENT LEVEL.
- ④ PERIMETER FOUNDATION WALLS TO BE REMOVED/REPLACED WITH NEW CONCRETE FOUNDATION WALLS; REFERENCE STRUCTURAL PLANS.
- ⑤ REMOVE ALL PLUMBING FIXTURES, LAUNDRY APPLIANCES, AND RELATED PIPING.
- ⑥ (E) BOILER TO BE REPLACED.
- ⑦ (E) STRUCTURAL BEARING COMPONENTS TO BE REMOVED AND REPLACED; SEE STRUCTURAL.
- ⑧ (E) EXTERIOR DECK AND STAIRS TO BE REMOVED AND REPLACED.
- ⑨ REMOVE EXISTING FRENCH DOORS AT REAR DECK
- ⑩ REMOVE FOUR (E) DOORS AT UPPER LEVEL AND ENLARGE DOOR OPENINGS AS REQ'D

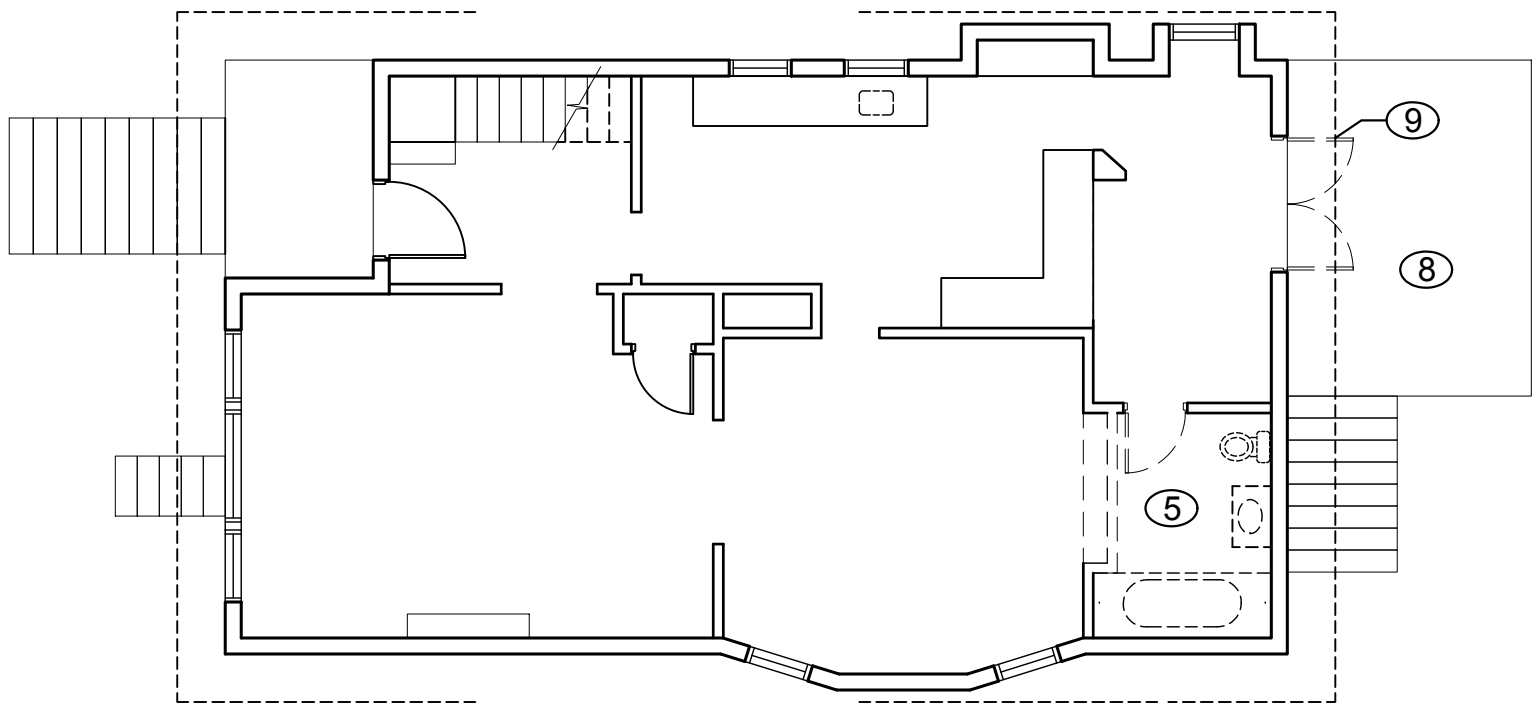


C BASEMENT LEVEL

1 DEMOLITION PLANS



B UPPER LEVEL



A MAIN LEVEL

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PROJ #: 17-02

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SHORT-TERM STAY APARTMENTS
18 NW 22nd PL.
PORTLAND, OR 97210

REV: 12.28.2018
01.14.2019
REV. TO. PERMIT
02.21.2019
REV. TO. PERMIT

DATE: 10.15.2018

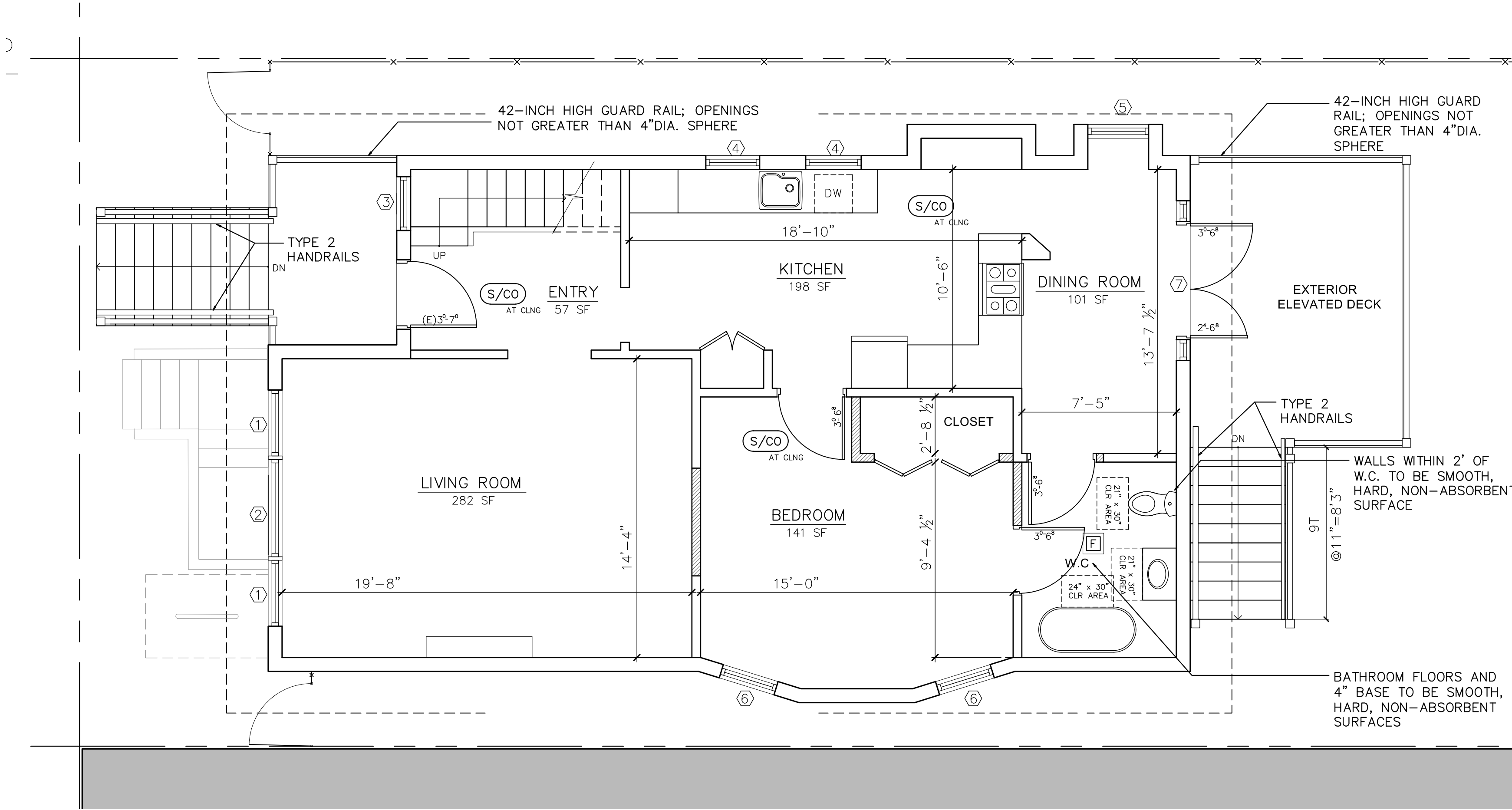
A.1

LEGEND - FLOOR PLANS

- (E) WALL TO REMAIN
- NEW CONC. FOUNDATION WALL; SEE STRUCT.
- NEW WOOD FRAMED INTERIOR PARTITION
- F FAN (BATHROOM EXHAUST)
- S/CO AT CLNG SMOKE / CO DETECTOR

MARK	QNTY	SIZE (NOMINAL)			OPERATION	NOTES
		W x H	HEAD A.F.F.	SILL A.F.F.		
①	2	3'-2" x 6'-2"	6'-8"	1'-10"	DOUBLE HUNG	
②	1	4'-8" x 6'-2"	6'-8"	1'-10"	DOUBLE HUNG	
③	1	2'-7" x 1'-10"	6'-8"	5'-4"	FIXED	
④	2	2'-8" x 5'-0"	6'-8"	3'-9"	DOUBLE HUNG	
⑤	1	2'-11" x 3'-8"	6'-8"	3'-6"	DOUBLE HUNG	
⑥	2	2'-9" x 6'-2"	6'-8"	1'-10"	DOUBLE HUNG	
⑦	1	w = 3'-0"	6'-8"	0'-0"	OUTSWINGING	DOUBLE LEAF OUTSWINGING DOORS ; ACTIVE LEAF 3'-0" WIDE

2 EXTERIOR OPENINGS SCHEDULE



1 FLOOR PLAN - MAIN DWELLING UNIT, FIRST FLOOR

1/4" = 1'-0" N

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A.2

sheet size: 17" x 22"

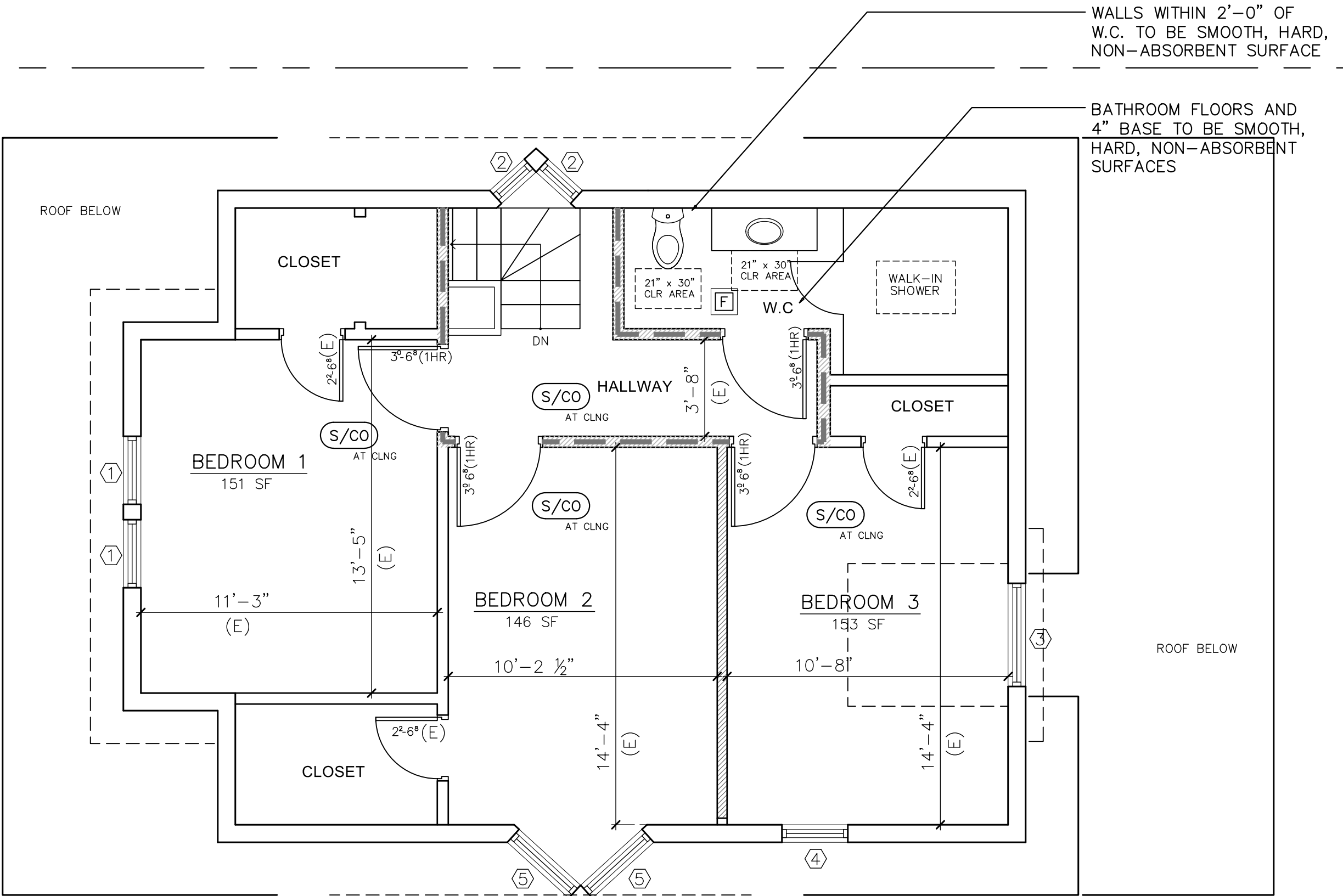
LEGEND - FLOOR PLANS

- (E) WALL TO REMAIN
- NEW WALL
- FAN (BATHROOM EXHAUST)
- FAN (BATHROOM EXHAUST)
- SMOKE / CO DETECTOR
AT CLNG
- NEW 1-HR RATED WALL

MARK	QNTY	SIZE (NOMINAL)			OPERATION	NOTES
		W x H	HEAD A.F.F.	SILL A.F.F.		
①	2	2'-7" x 4'-11"	6'-8"	2'-5"	DOUBLE HUNG	
②	2	1'-9" x 4'-6"	6'-8"	1'-3"	FIXED	
③	1	3'-11" x 4'-4"	6'-8"	2'-8"	DOUBLE HUNG	
④	1	2'-6" x 4'-6"	6'-8"	2'-8"	DOUBLE HUNG	
⑤	2	3'-1" x 4'-6"	6'-8"	2'-8"	DOUBLE HUNG	

2 EXTERIOR OPENINGS SCHEDULE

APPEAL FOR ONE EXIT INSTEAD OF THE REQUIRED TWO GRANTED 12-19-18. REF APPEAL ID No. 18787, CASE No. B-12, APPEAL ITEM 1.



1 FLOOR PLAN - MAIN DWELLING UNIT, SECOND FLOOR

1/4" = 1'-0"



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A.3

LEGEND - FLOOR PLANS

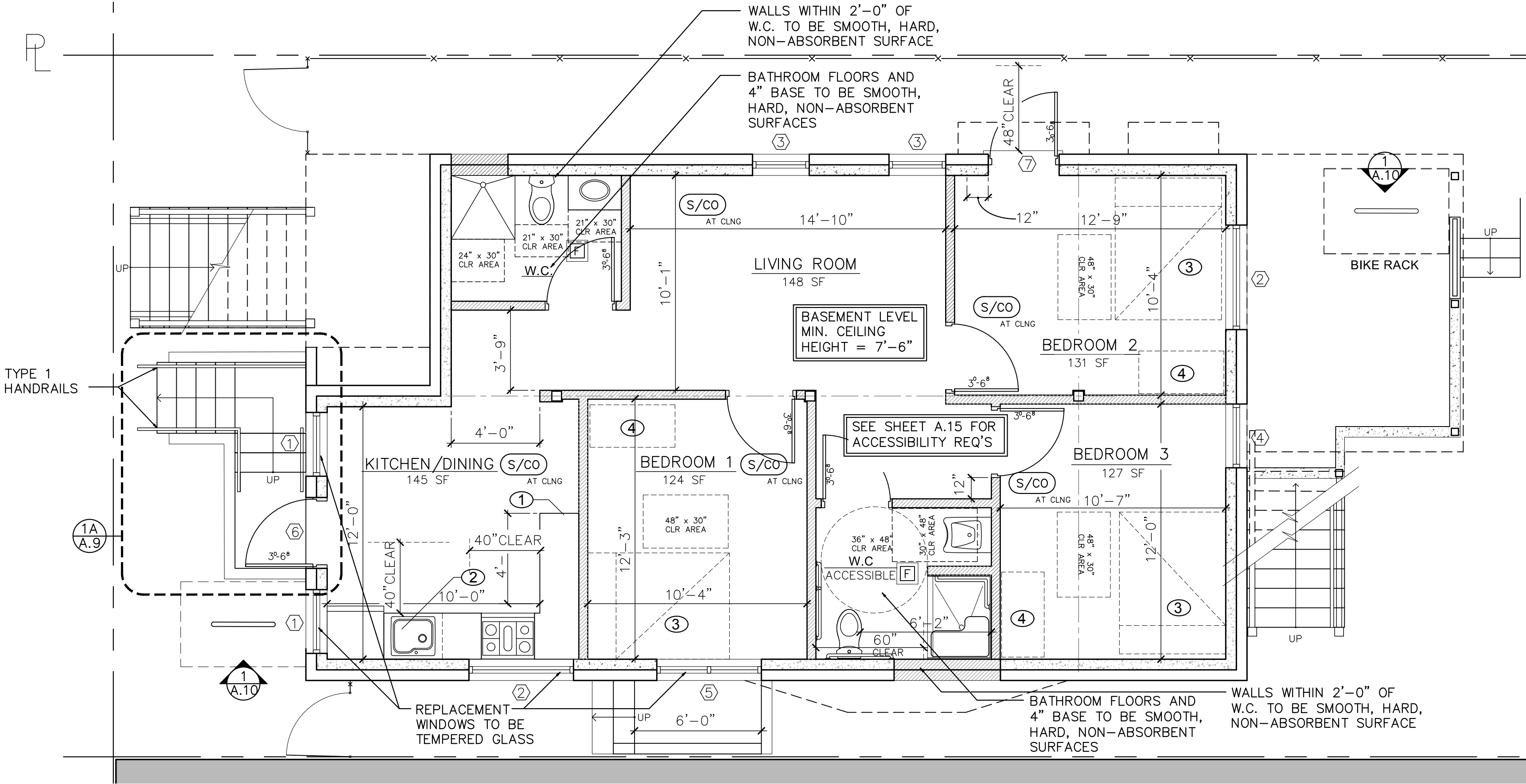
- (E) WALL TO REMAIN
- NEW CONC. FOUNDATION WALL; SEE STRUCT.
- NEW WOOD FRAMED INTERIOR PARTITION
- F FAN (BATHROOM EXHAUST)
- S/CO AT CLNG SMOKE / CO DETECTOR

KEYED NOTES

- 1 KITCHEN COUNTER AT 34" A.F.F. REF SHEET A.11 FOR ACCESSIBILITY NOTES
- 2 KITCHEN SINK AT 34" A.F.F. , OPEN BELOW. REF SHEET A.11 FOR ACCESSIBILITY NOTES
- 3 LOCATION OF BED (FOR ACCESSIBILITY)
- 4 PROVIDE ARMOIRE IN LIEU OF CLOSET

MARK	QNTY	SIZE (NOMINAL)			OPERATION	NOTES
		W x H	HEAD A.F.F.	SILL A.F.F.		
1	2	3'-0" x 2'-6"	6'-8"	3'-8"	FIXED	
2	2	4'-11" x 3'-0"	6'-8"	4'-1"	CASEMENT	PUSH-OUT OPERATION
3	2	2'-8" x 3'-0"	6'-8"	3'-6"	CASEMENT	PUSH-OUT OPERATION
4	1	3'-0" x 3'-0"	6'-8"	3'-6"	CASEMENT	EMERGENCY EGRESS; PUSH-OUT OPERATION
5	1	4'-11" x 3'-6"	6'-8"	3'-6"	CASEMENT	EMERGENCY EGRESS; PUSH-OUT OPERATION
6	1	w = 3'-4"	6'-8"	0'-0"	SWING OUT	JELD-WEN MERANTI MAHOGANY PREMIUM CRAFTSMAN AND PANEL DOORS - #6206
7	1	w = 3'-0"	6'-8"	0'-0"	SWING OUT	JELD-WEN HEMLOCK PREMIUM CRAFTSMAN AND PANEL DOORS - #6203

2 EXTERIOR OPENINGS SCHEDULE



1 FLOOR PLAN - BASEMENT LEVEL DWELLING UNIT (UNIT 2)

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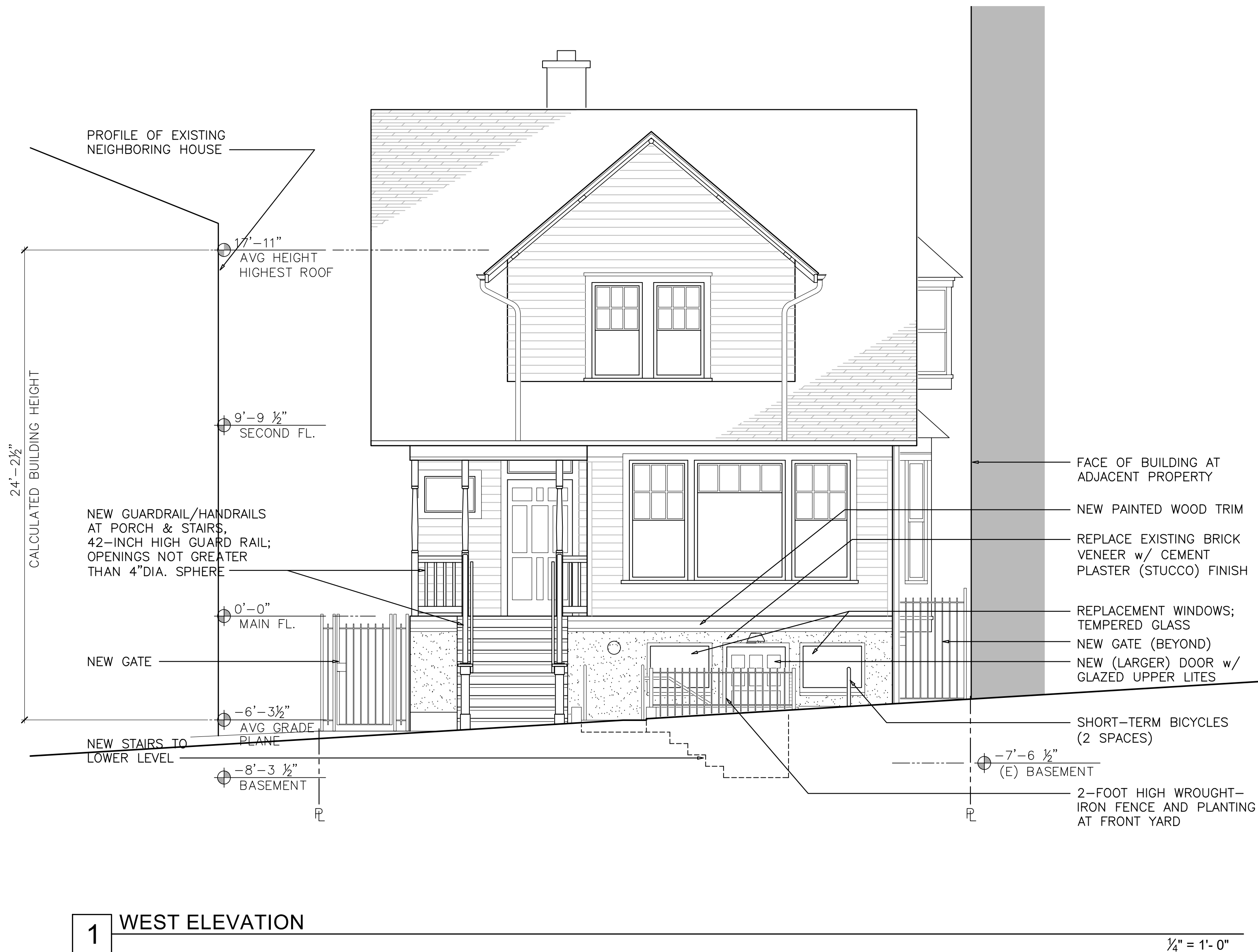
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REV. TO. PERMIT 02.21.2019
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A.4

PROPOSAL AND DESIGN AS APPROVED IN
CASE FILE # LU 18-176601 HRM. NO FIELD
CHANGES ALLOWED.



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02.21.2019
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A.5



1 WEST ELEVATION -- EXISTING

1/4" = 1'-0"

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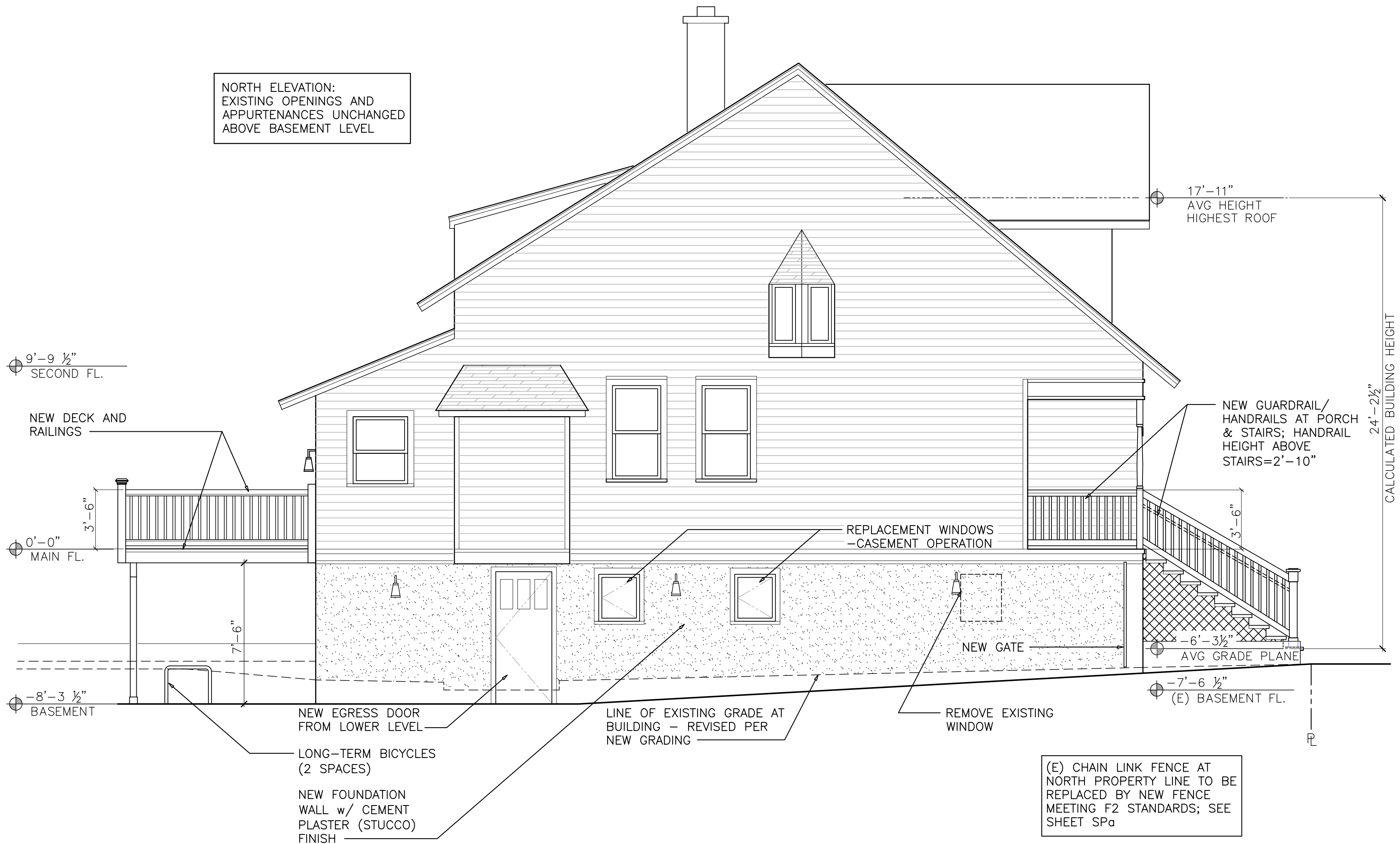
REV: 10.15.2018
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REV. TO PERMIT

DATE: 6.27.2018

A.5(E)

PROPOSAL AND DESIGN AS APPROVED IN
CASE FILE # LU 18-176601 HRM. NO FIELD
CHANGES ALLOWED.

NORTH ELEVATION:
EXISTING OPENINGS AND
APPURTENANCES UNCHANGED
ABOVE BASEMENT LEVEL



1 NORTH ELEVATION

1/4" = 1'-0"

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REV. TO PERMIT

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A.6



1 NORTH ELEVATION -- EXISTING

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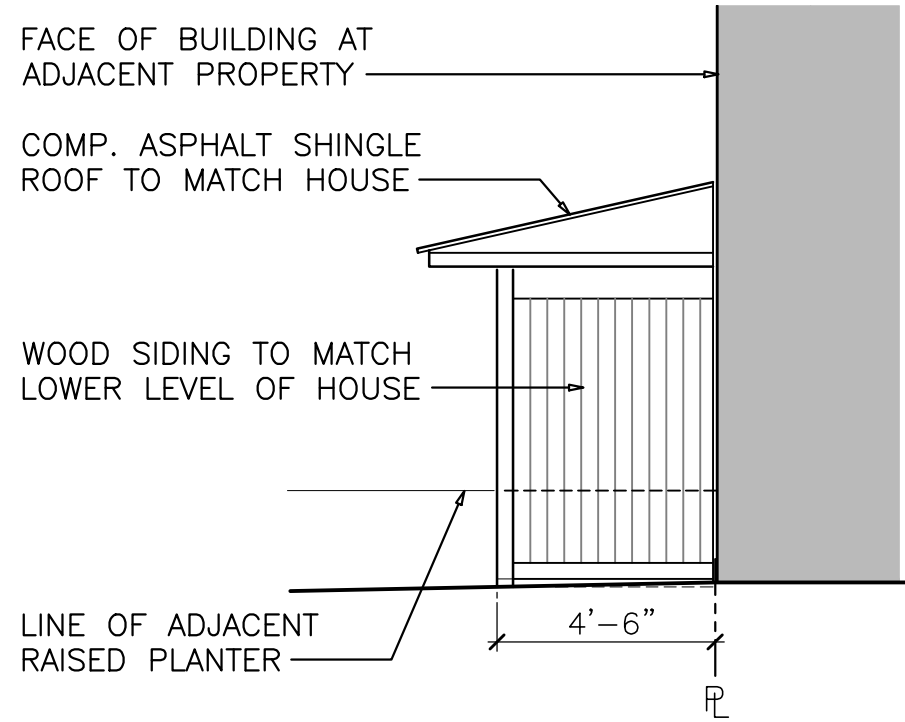
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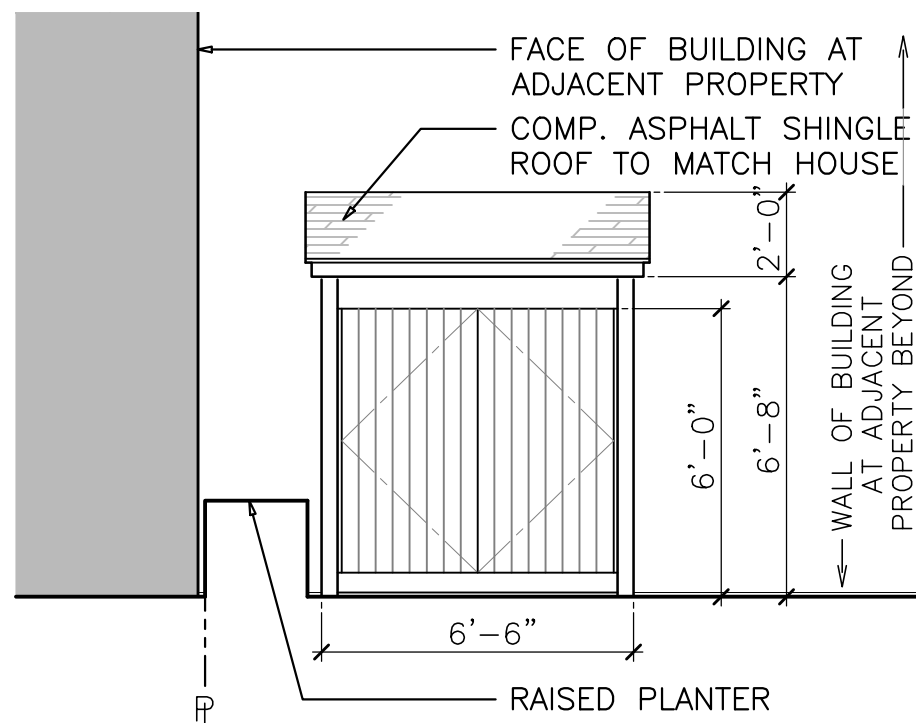
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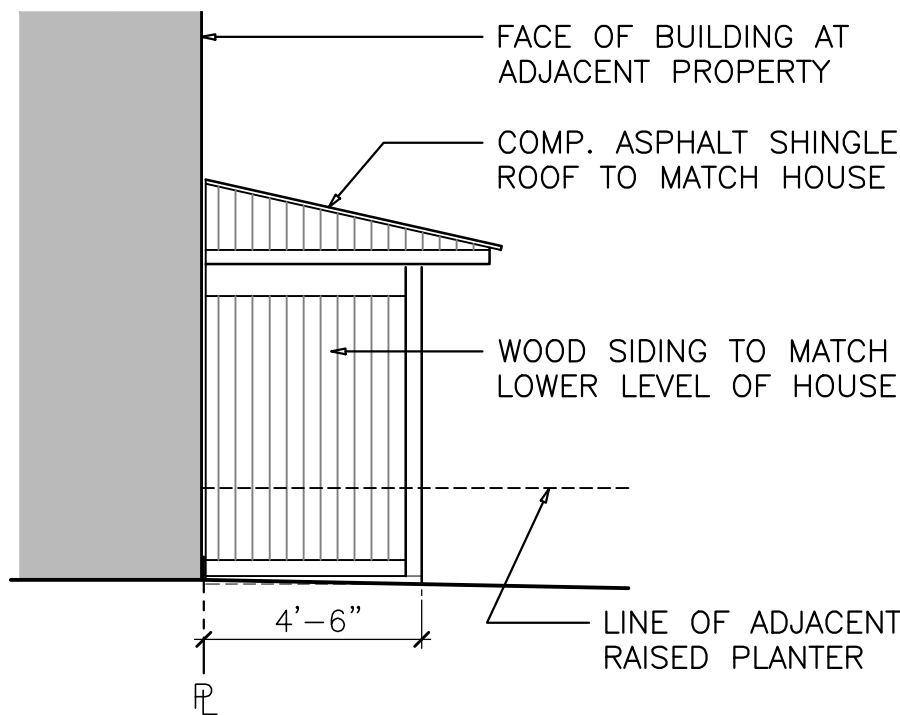
A.6(E)



(A) WEST



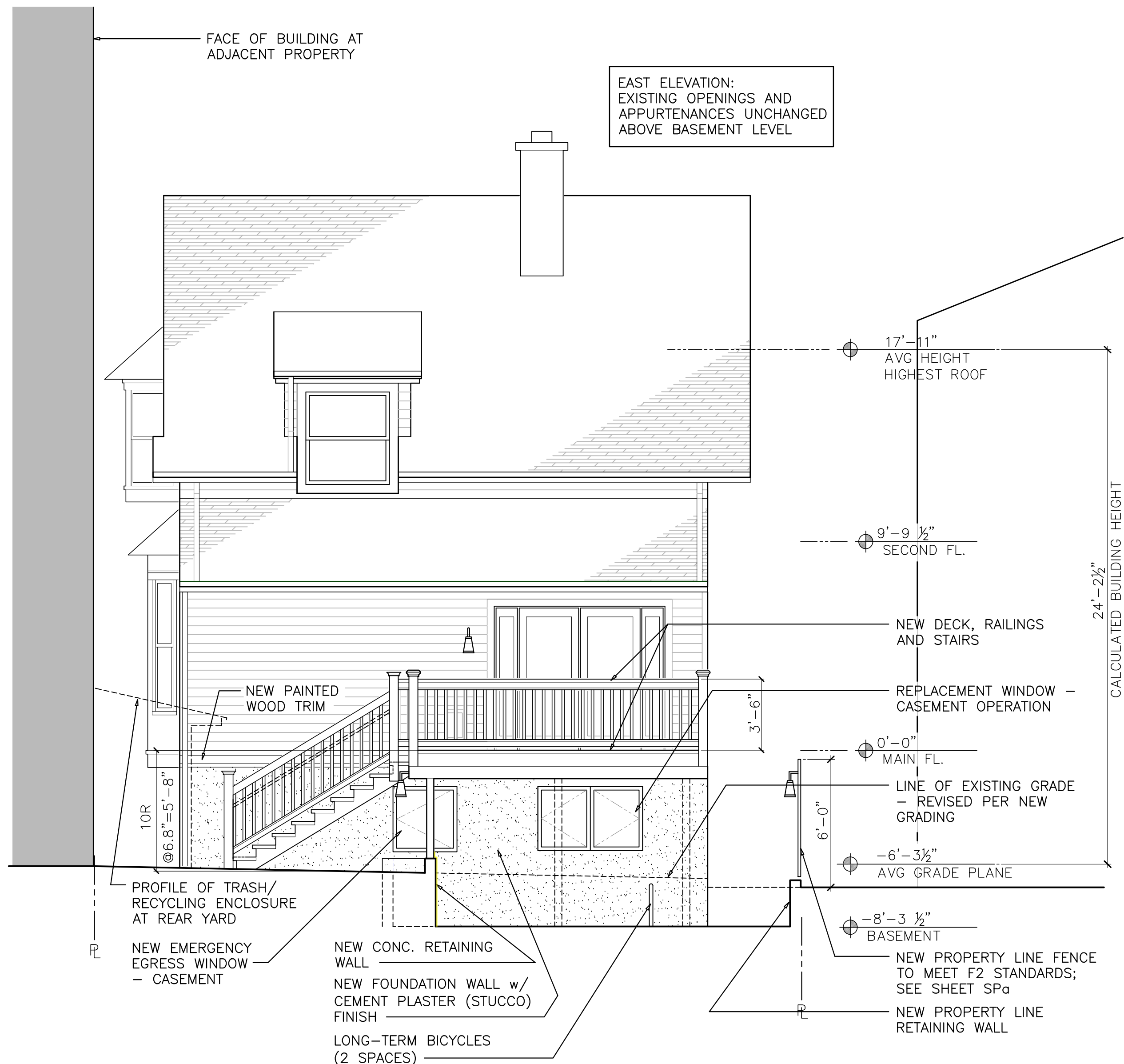
(B) NORTH



(C) EAST

ELEVATIONS --
2 TRASH/RECYCLING ENCLOSURE
REAR YARD
1/4" = 1'-0"

PROPOSAL AND DESIGN AS APPROVED IN
CASE FILE # LU 18-176601 HRM. NO FIELD
CHANGES ALLOWED.



1 EAST ELEVATION
1/4" = 1'-0"

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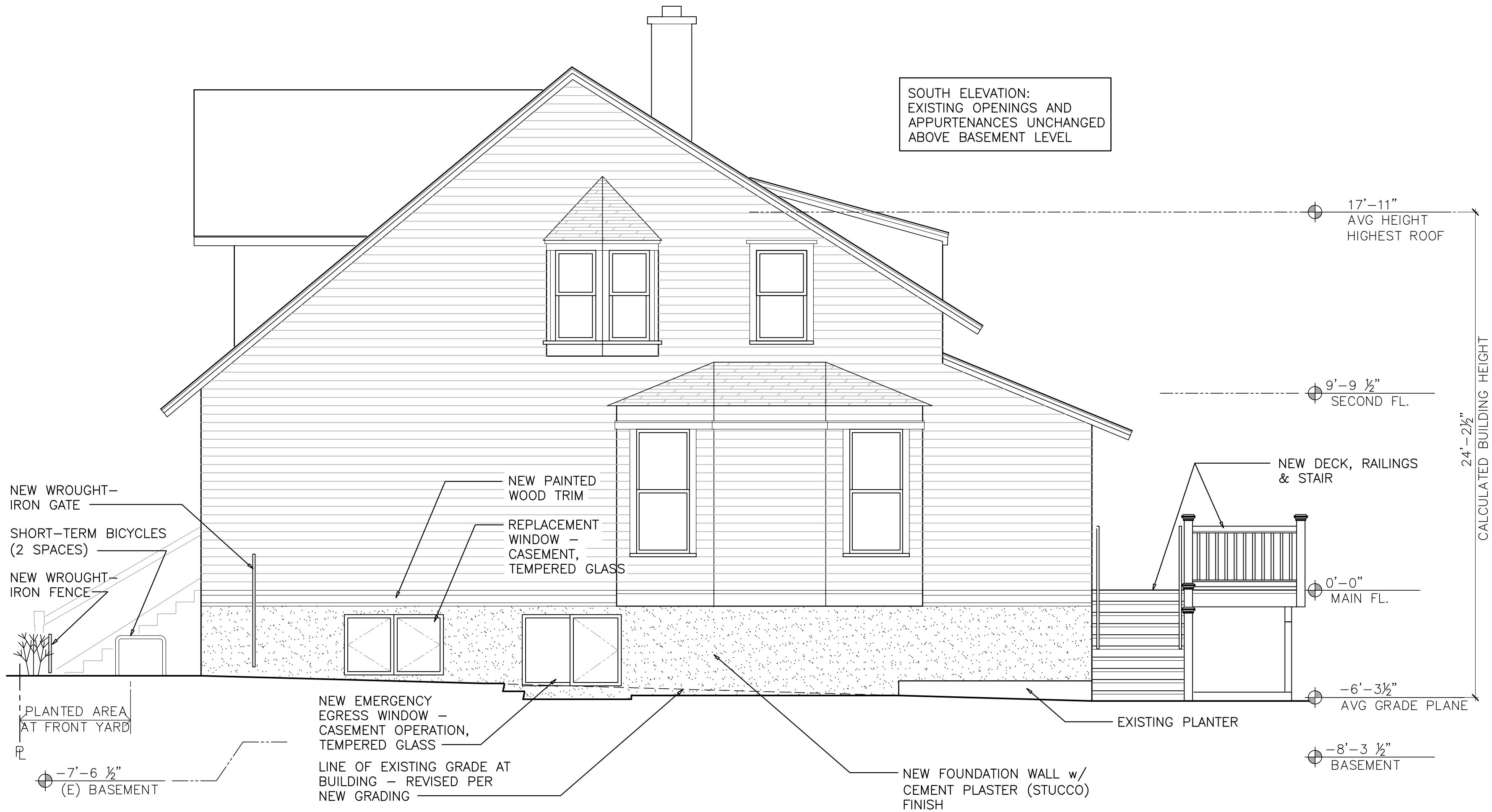
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REV. TO LUR
8.9.2018
REV. TO LUR
10.15.2018
PERMIT
01.14.2019
REV. TO PERMIT
02.21.2019
REV. TO PERMIT

DATE: 5.23.2018

A.7

PROPOSAL AND DESIGN AS APPROVED IN
CASE FILE # LU 18-176601 HRM. NO FIELD
CHANGES ALLOWED.

SOUTH ELEVATION:
EXISTING OPENINGS AND
APPURTENANCES UNCHANGED
ABOVE BASEMENT LEVEL



1 SOUTH ELEVATION
EXISTING HOUSE

1/4" = 1'-0"

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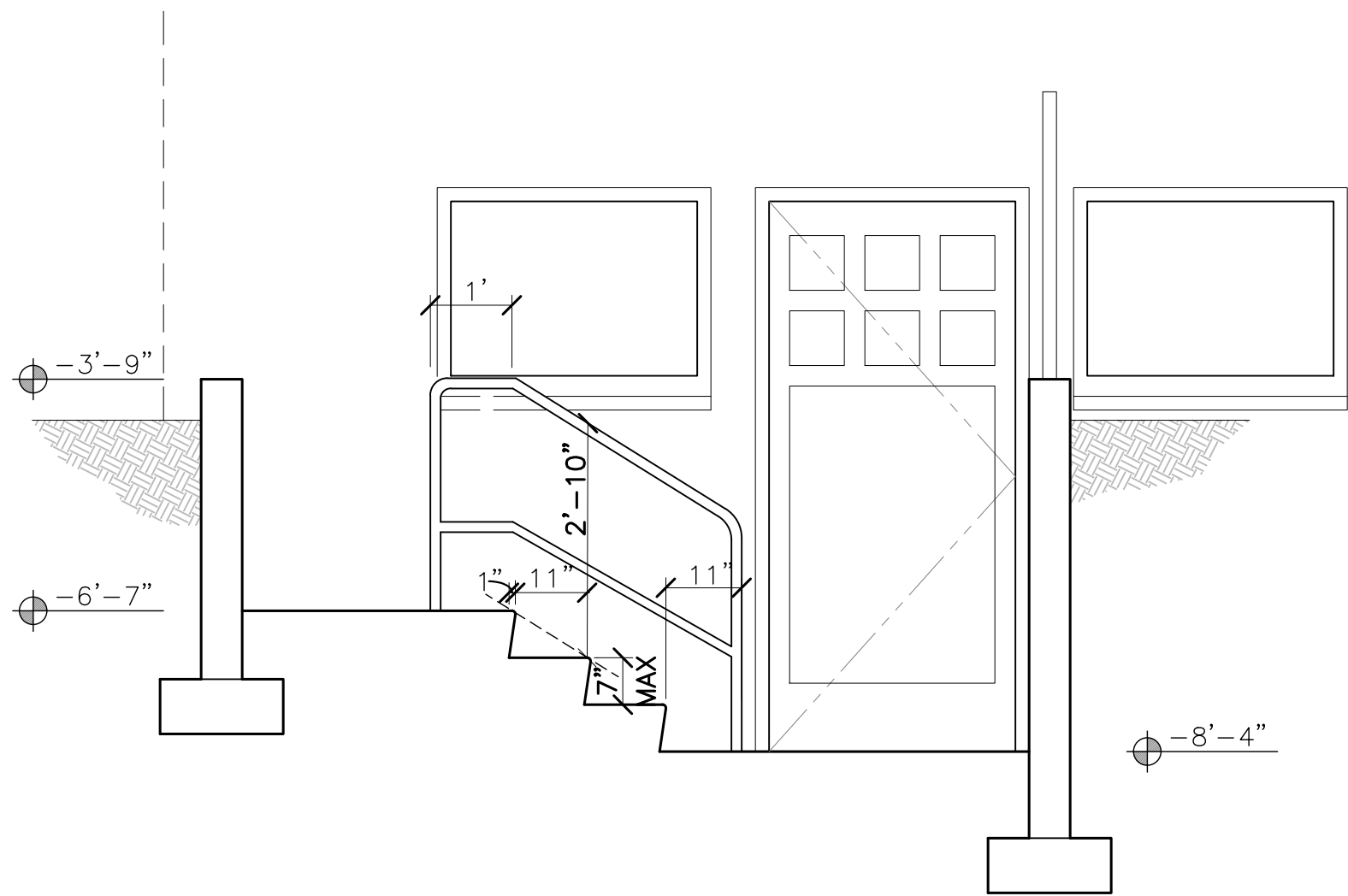
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01.14.2019
REV. TO PERMIT
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DATE: 5.23.2018

A.8

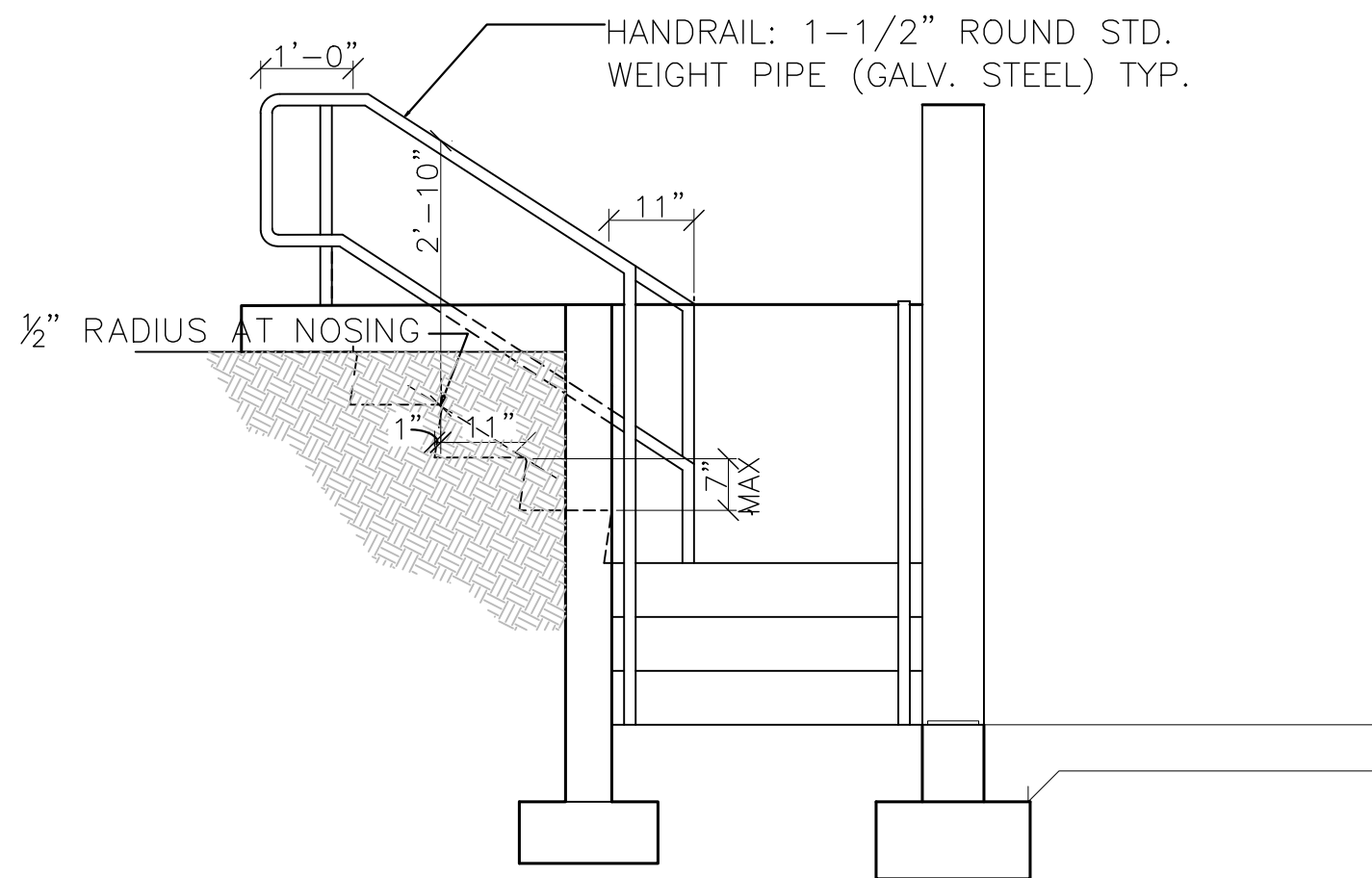
B SECTION

1/2" = 1'-0"



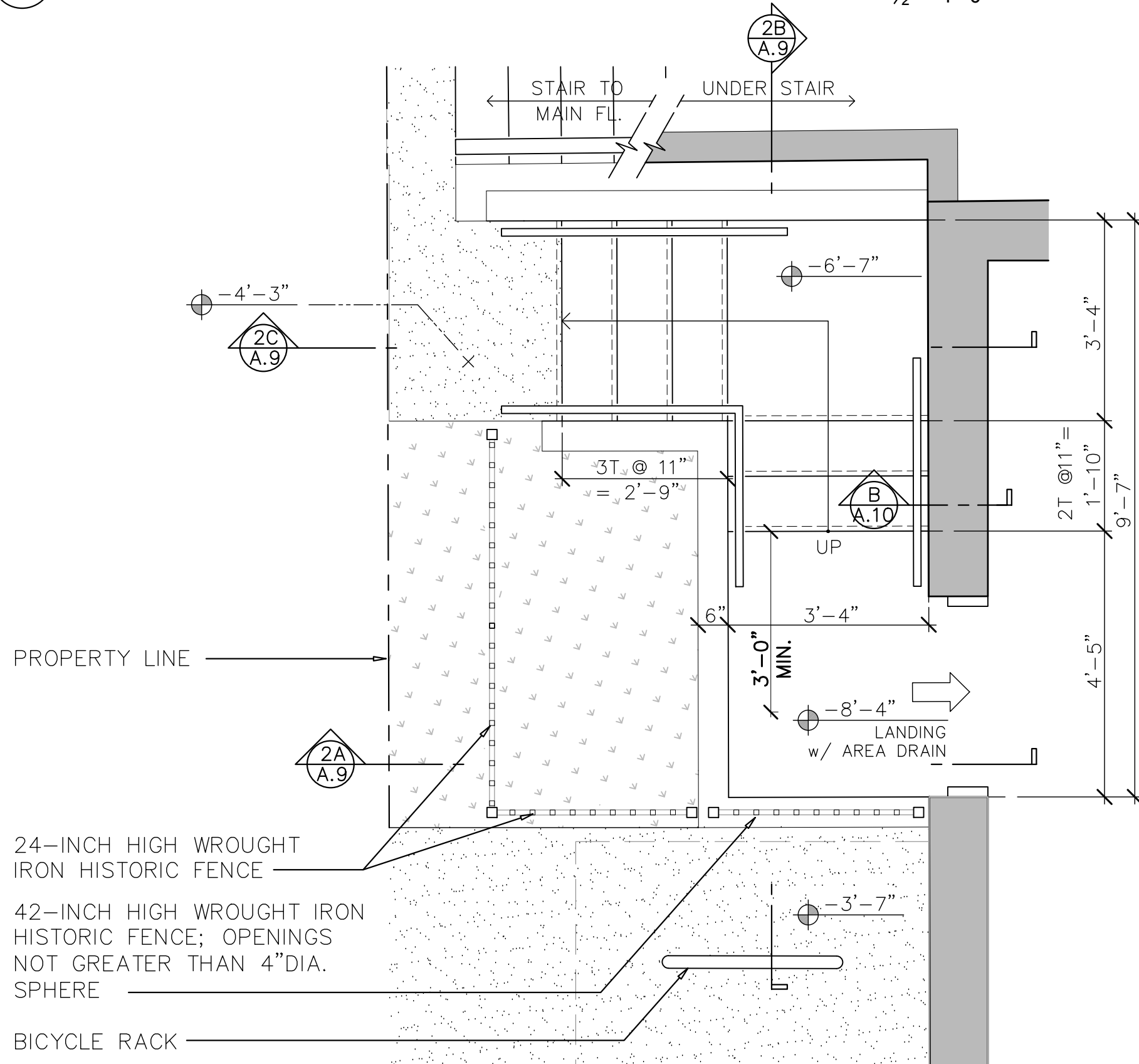
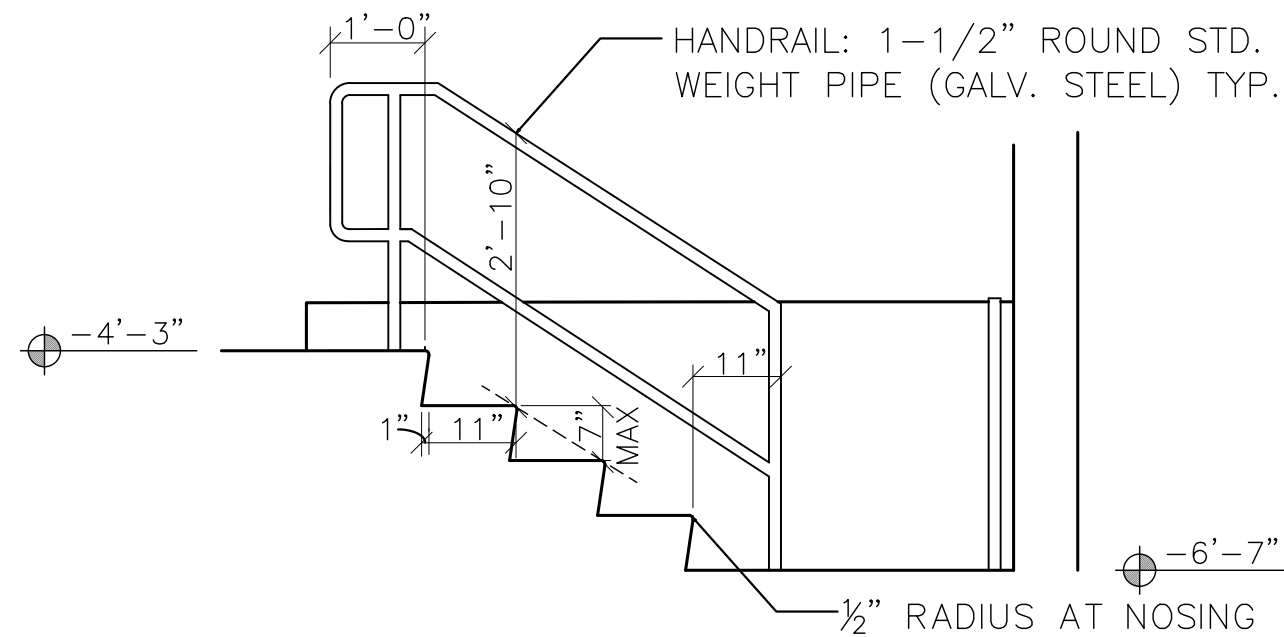
A SECTION

1/2" = 1'-0"



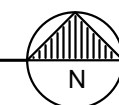
C SECTION

1/2" = 1'-0"



1 ENLARGED STAIR PLAN
PLAN AT INTERMEDIATE LEVEL

1/2" = 1'-0"



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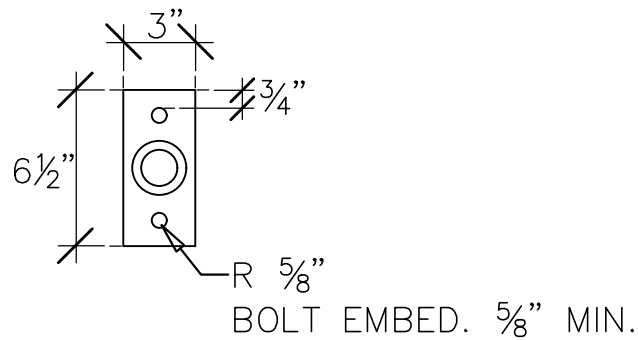
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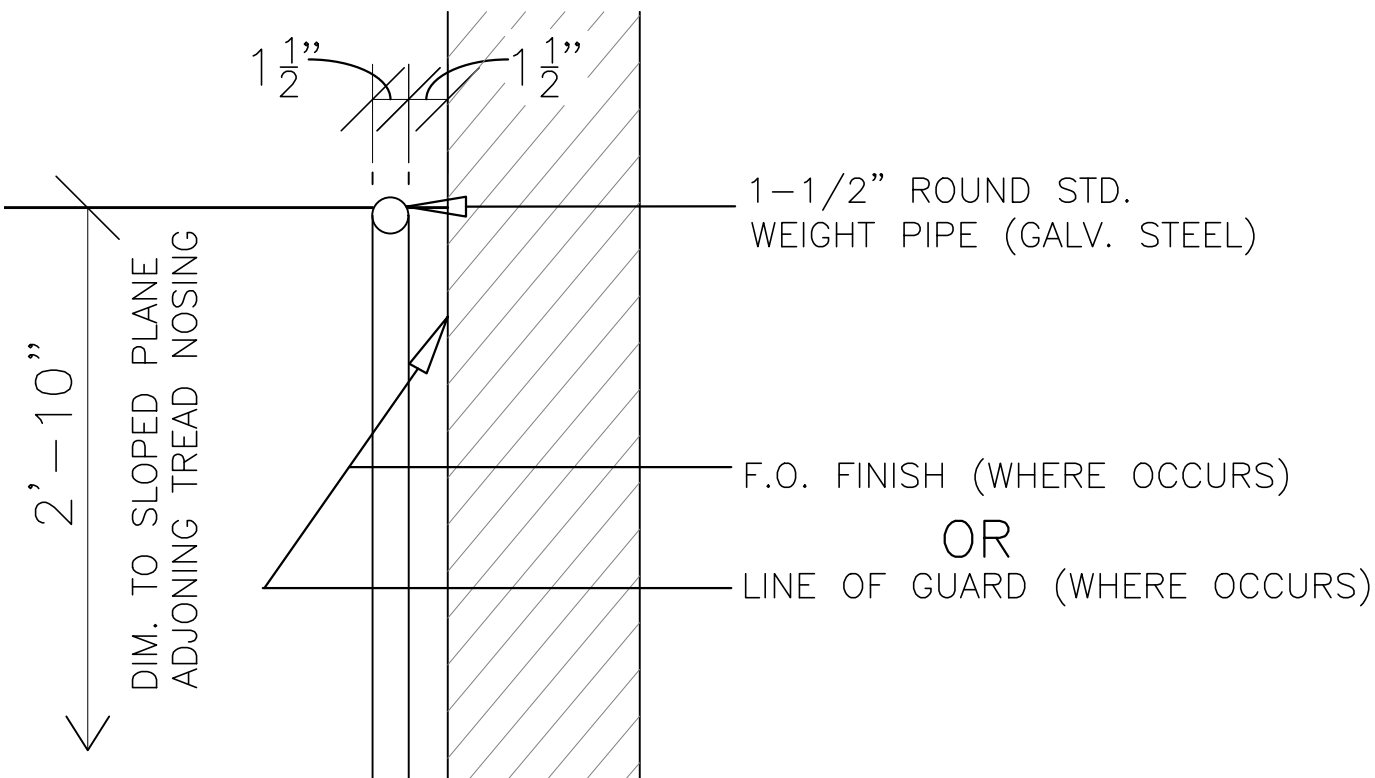
A.9

DOOR HARDWARE NOTES

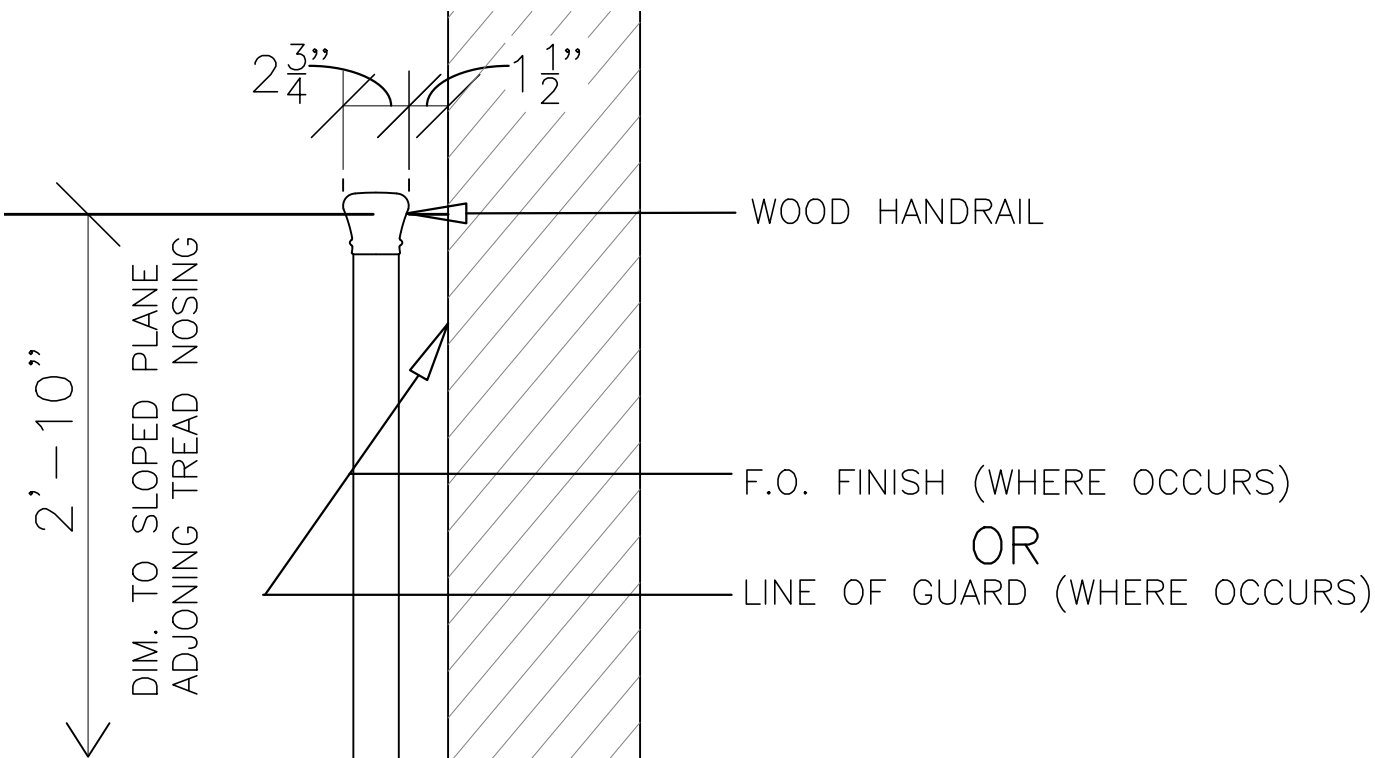
- 1. THRESHOLDS, WHERE OCCUR, SHALL NOT EXCEED 1/2-INCH ABOVE FINISHED FLOOR OR LANDING. RAISED THRESHOLDS AND FLOOR LEVEL CHANGES GREATER THAN 1/4-INCH AT DOORWAYS TO BE BEVELED WITH A SLOPE NO GREATER THAN 50% (ONE VERTICAL UNIT IN 2 HORIZONTAL UNITS).
- 2. DOOR HANDLES, PULLS, AND LATCHES SHALL NOT REQUIRE TIGHT GRASPING, TIGHT PINCHING, OR TWISTING OF THE WRIST TO OPERATE.
- 3. DOOR HANDLES, PULLS, LATCHES, LOCKS, AND OTHER OPERATING DEVICES TO BE INSTALLED BETWEEN 34-INCHES MINIMUM AND 48-INCHES MAXIMUM ABOVE FINISHED FLOOR.
- 4. LOCKS & LATCHES: DOORS FROM INDIVIDUAL DWELLING OR SLEEPING UNITS ARE PERMITTED TO BE EQUIPPED WITH A NIGHT LATCH, DEAD BOLT, OR SECURITY CHAIN, PROVIDED SUCH DEVICES ARE OPENABLE FROM THE INSIDE WITHOUT USE OF A KEY OR TOOL.
- 5. MANUALLY OPERATED FLUSH BOLTS OR SURFACE BOLTS ARE NOT PERMITTED.
- 6. UNLATCHING OF ANY DOOR OR LEAF SHALL NOT REQUIRE MORE THAN ONE OPERATION.



A FLANGE AT BIKE RACK DETAIL



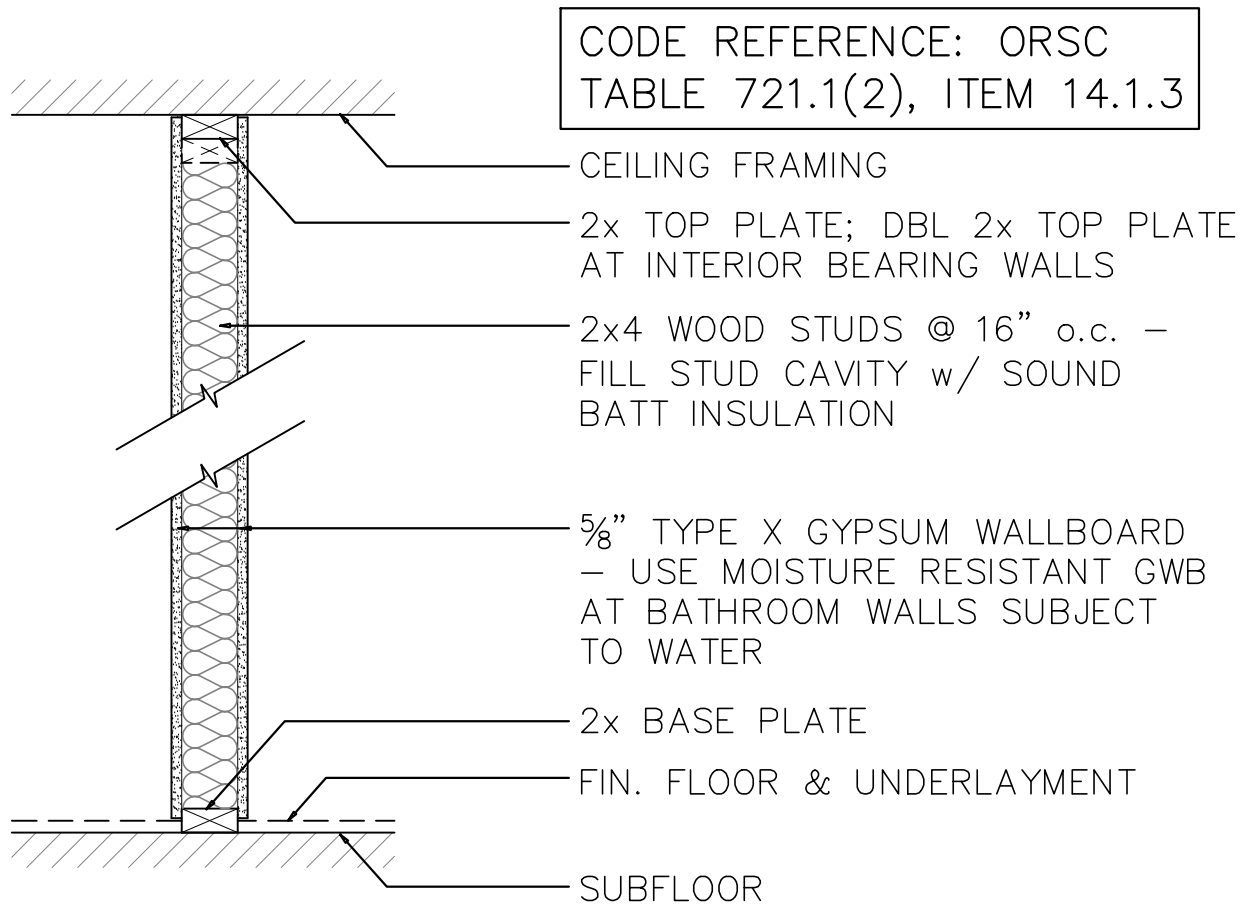
B HANDRAIL DETAIL TYPE 1



C HANDRAIL DETAIL TYPE 2

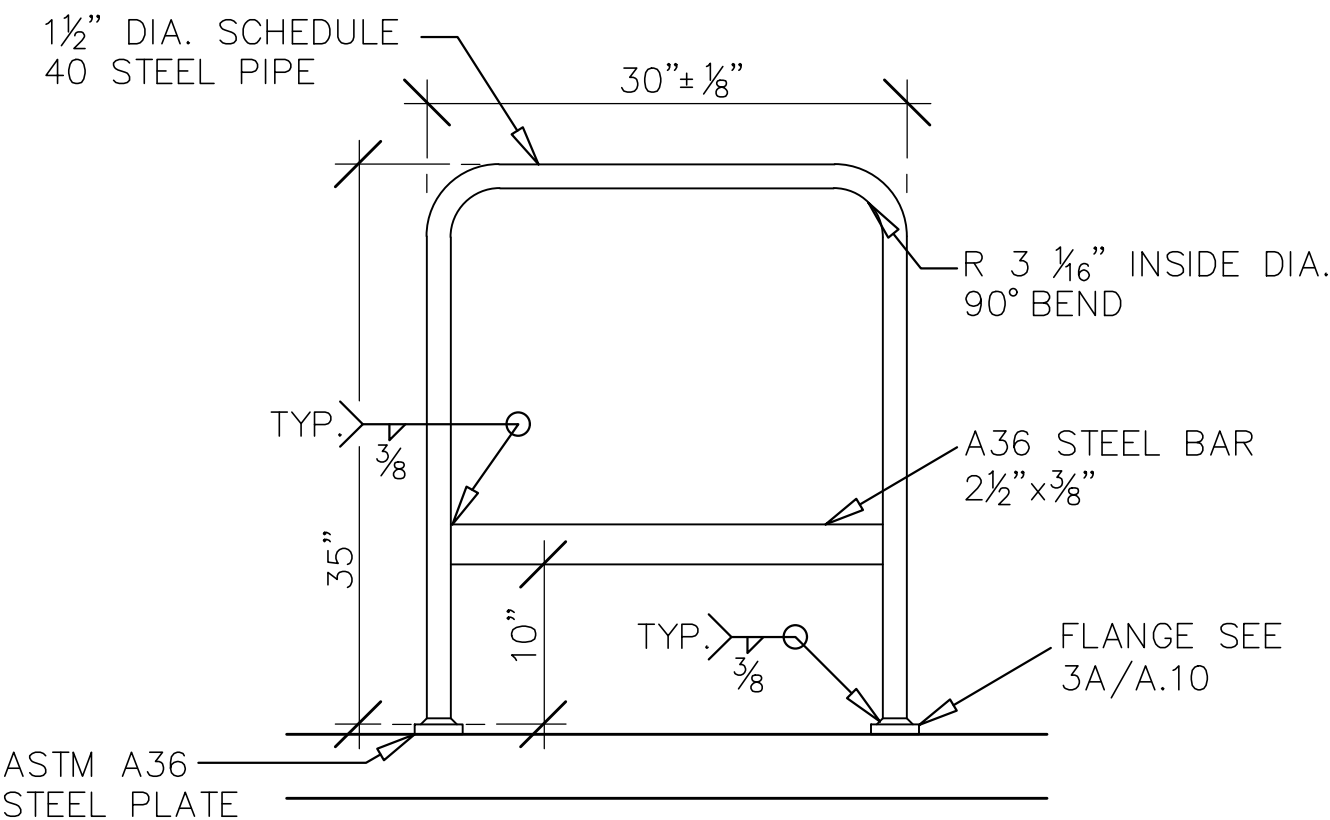
3 DETAILS

1 1/2" = 1'-0"



2 NEW INTERIOR WALL-1HR RATED

1" = 1'-0"



NOTE:
ALL BOLT HOLES IN THE CONC. PAVEMENT OR THE CONC. FOUNDATION SHALL BE PREDRILLED HOLES, 1/2" DIA. x 2" DEEP. NO PROTRUDING OR NON-FLUSH ANCHOR BOLTS SHALL BE USED. BOLTS TO BE INSTALLED USING LOCK TIGHT.

1 BIKE RACK DETAIL

1" = 1'-0"



RESOLVE
ARCHITECTURE + PLANNING
3742 SE MILL STREET
PORTLAND, OR 97214
t: (503) 231-8120 e: info@resolvearchitecture.com

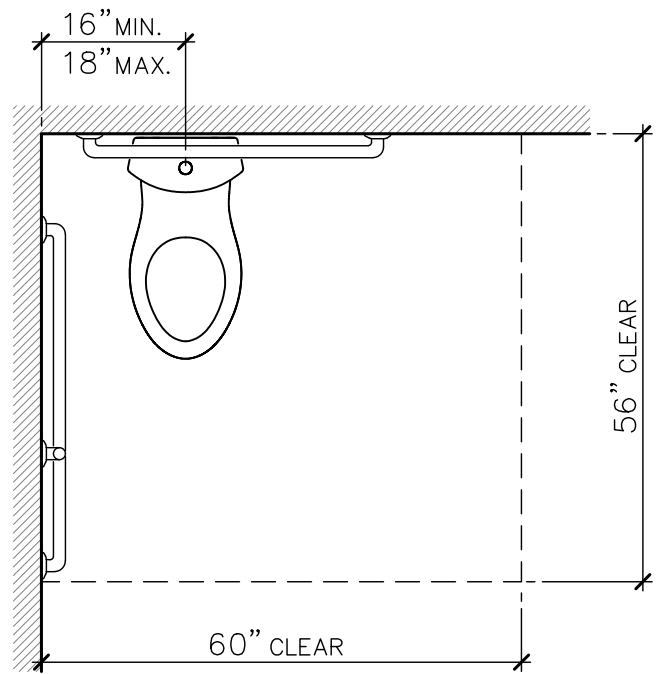
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18 NW 22nd PLACE
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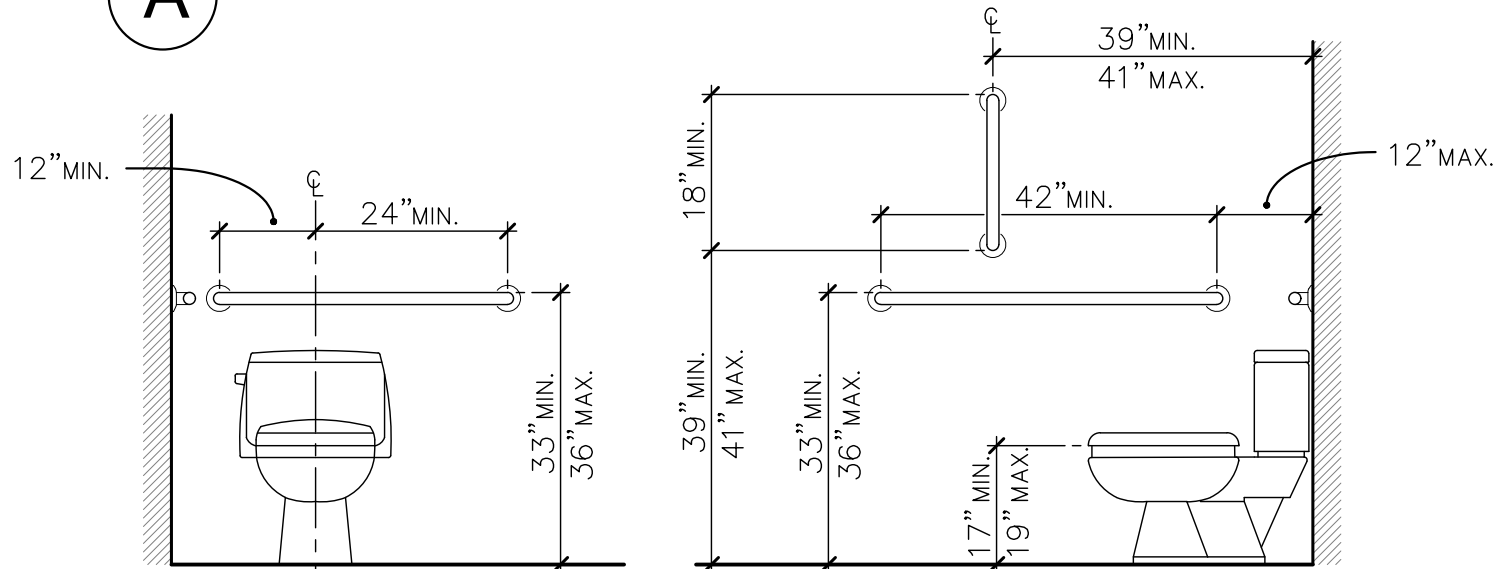
REV: 02.21.2019
REV. TO. PERMIT
03.06.2019
REV. TO. PERMIT

DATE: 01.14.2019

A.10



A PLAN



B FRONT

C SIDE

4 ACCESSIBLE UNIT - W.C. REQUIREMENTS

ANSI 117.1--2009, SECTION 604

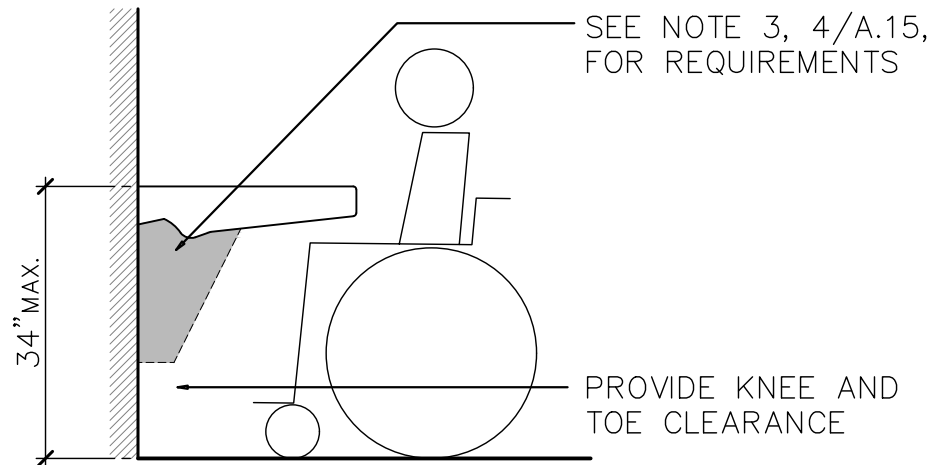
1/2" = 1'- 0"

ACCESSIBILITY REQUIREMENTS -- ACCESSIBLE UNIT

- OPERABLE PARTS -- LIGHTING CONTROLS, ELECTRICAL SWITCHES AND RECEPTACLE OUTLETS, ENVIRONMENTAL CONTROLS, APPLIANCE CONTROLS, OPERATING HARDWARE FOR OPERABLE WINDOWS, PLUMBING FIXTURE CONTROLS, AND USER CONTROLS FOR SECURITY OR INTERCOM SYSTEMS SHALL COMPLY WITH THE FOLLOWING ACCESSIBILITY REQUIREMENTS:
 - OPERABLE PARTS SHALL BE OPERABLE WITH ONE HAND AND SHALL NOT REQUIRE TIGHT GRASPING, PINCHING, OR TWISTING OF THE WRIST. THE FORCE REQUIRED TO ACTIVATE OPERABLE PARTS SHALL BE 5.0 lbs. MAXIMUM.
 - PROVIDE CLEAR FLOOR SPACE 48-INCHES MINIMUM IN LENGTH AND 30-INCHES MINIMUM IN WIDTH WITH REACH RANGES BETWEEN 15-INCHES MINIMUM AND 48-INCHES MAXIMUM FOR UNOBSTRUCTED FORWARD APPROACH REACH AND UNOBSTRUCTED SIDE APPROACH REACH.
- ACCESSIBLE TOILET AND BATHING FACILITY -- SEE DIAGRAMS ABOVE FOR WATER CLOSET, LAVATORY, AND SHOWER COMPARTMENT CLEARANCES, DIMENSIONS, AND GRAB BAR LOCATIONS AND DIMENSIONS.
- WATER SUPPLY AND DRAINPIPES UNDER LAVATORIES AND SINKS SHALL BE INSULATED OR OTHERWISE CONFIGURED TO PROTECT AGAINST CONTACT. THERE SHALL BE NO SHARP OR ABRASIVE SURFACES UNDER LAVATORIES AND SINKS.
- THE MAXIMUM HEIGHT ABOVE FINISHED FLOOR OF THE BOTTOM OF A MIRROR AT VANITY OR LAVATORY SHALL BE 40-INCHES.
- COUNTER HEIGHT AT KITCHENETTE FOR UNIT 2 TO BE 34-INCHES ABOVE FINISHED FLOOR.
- WINDOWS: OPERABLE PARTS OF WINDOWS TO BE WITHIN THE REACH RANGES IDENTIFIED IN NOTE 1B ABOVE.
- SEE UNIT 2 FLOOR PLAN AT 1/A.4 FOR CLEAR FLOOR SPACE REQUIREMENTS FOR BED.

3 ACCESSIBLE UNIT - ACCESSIBILITY REQUIREMENTS

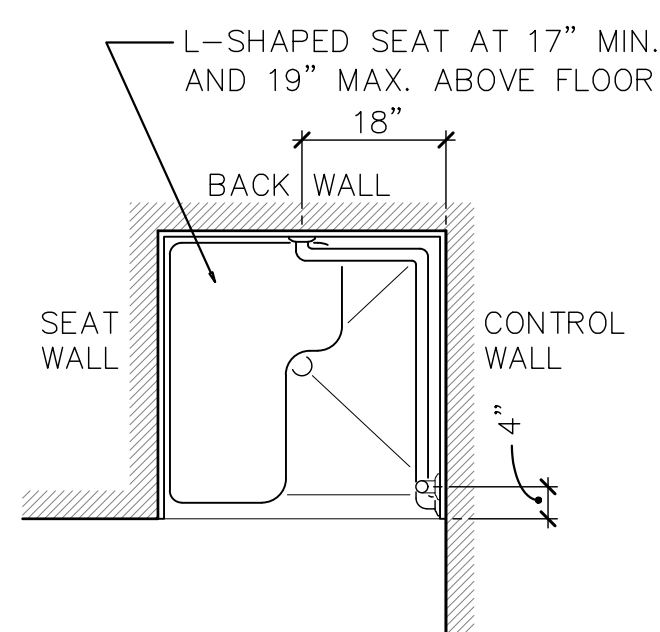
ANSI 117.1--2009, SECTION 1002



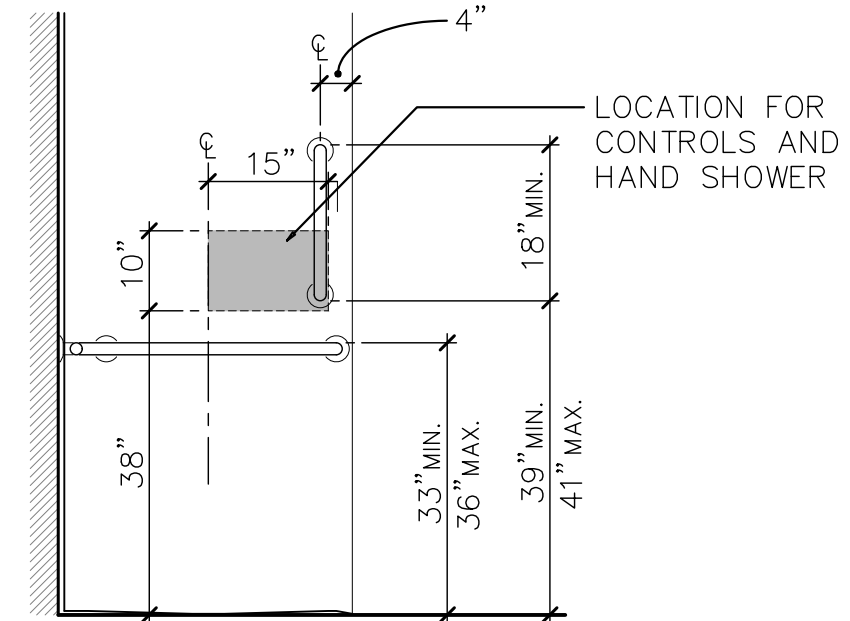
2 ACCESSIBLE UNIT - LAVATORY

ANSI 117.1--2009, SECTION 606

1/2" = 1'- 0"



A PLAN



B CONTROL WALL ELEVATION

1 ACCESSIBLE UNIT - TRANSER-TYPE SHOWER REQ'S

ANSI 117.1--2009, SECTION 608

1/2" = 1'- 0"

RESOLVE
ARCHITECTURE + PLANNING
3742 SE MILL STREET
PORTLAND, OR 97214
t: (503) 231-8120 e: info@resolvearchitecture.com

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TAYLOR HOSPITALITY, LLC
SHORT-TERM STAY APARTMENTS
18 NW 22nd PLACE
PORTLAND, OREGON 97210

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A.11