

Development Services

From Concept to Construction

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APPEAL SUMMARY

Status: Decision Rendered - Held over from ID 22055

Appeal ID: 22153	Project Address: 601 SW 11th Ave
Hearing Date: 11/20/19	Appellant Name: Brian Cobb
Case No.: B-015	Appellant Phone: 503-445-7322
Appeal Type: Building	Plans Examiner/Inspector: Catherine Heeb
Project Type: commercial	Stories: 15 Occupancy: R1, A2, A3, B, S1 Construction Type: I-A
Building/Business Name: Hyatt Centric Portland	Fire Sprinklers: Yes - Throughout
Appeal Involves: Reconsideration of appeal	LUR or Permit Application No.: 17-279972-CO
Plan Submitted Option: pdf [File 1]	Proposed use: Hotel

APPEAL INFORMATION SHEET

Appeal item 1

Code Section 3007.4

Requires 3007.4; Water protection. An approved method to prevent water from infiltrating into the hoistway enclosure from the operation of the automatic sprinkler system outside the enclosed fire service access elevator lobby shall be provided.

Proposed Design GC had an on-site discussion with Bobby Duke - state elevator inspector, and Larry Wright - senior Portland building inspector regarding Fire Service Access Elevator (FSAE) compliance in particular regarding control of water as required by 3007.4. Preventing water from infiltrating the shaft on the public side elevator lobby across three elevator doors is very problematic as multiple drains would be required and the floor is PT concrete with significant reinforcing and cables that can't be cut.

All parties proposed that In lieu of utilizing the elevator lobby on the public side, without water protection measures, that using the housekeeping area as a FSAE lobby with minor deficiencies would be more functional. The following proposed design was discussed as being sufficient to meet the functional requirements.

ONE FSAE & Lobby Location;

Proposed design will utilize ONE, in lieu of the required two, FSAE elevator, car #1, that accesses all floors including basement. There is only one elevator of the three that serves the basement and was previously approved in appeal id #16220.

All floors except for the basement will utilize the rear car door. The basement will utilize the front car door. FSAE lobbies will be provided on each floor, except level 1 (recall floor). FSAE elevator doors on Level 2 through 15 will open on the rear side into a FSAE lobby with modifications as

described in this appeal. Basement level FSAE will open to compliant FSAE lobby, with water protection as modified in this appeal.

FSAE Lobby L2 – L15;

Proposed FSAE lobbies on level 2 thru 15 will be on rear side and share space with housekeeping access to elevator, linen chute access, and Data/Electrical Area. Lobby will be approximately 180 sf, but with minimum width of 5'-9" with 8'-9" in width directly in front of FSAE door.

This FSAE lobby will not have direct access to interior exit stairway. Note on level 3, lobby would provide access to exterior courtyard and on level 15 provide access to the elevator equipment room.

At rear side FSAE lobbies, the door from the corridor to the FSAE lobby will be locked, on the corridor side, during normal operations to secure spaces from public access. Door lock will release on fire alarm and provide free access in both directions.

Water management in these lobbies will be provided by drain at the FSAE elevator which will be connected to a nearby waste line.

LEVEL 1;

No elevator lobby is required at this level as it is the level of egress. A drain will be installed at the FSAE elevator which will piped to drain into the FSAE, Car 1, sump within the pit. Water will then be evacuated via a 150 GPM, 200v 3 phase, submersible pump within the pit, as discussed and requested by Bobby Duke, on emergency power. Signage will be placed in the pit, at the entry point, to denote "High Voltage" electrical present in the pit.

FSAE Lobby – Basement;

Proposed FSAE lobby at the basement level, one level below recall floor, will have direct access to an interior exit stairway and meets area and minimum width requirements. Water management is provided by the evacuation of water entering the pit via the sump pump described above in "Level 1" scope.

ALL FSAE Lobbies;

All FSAE lobbies will meet all fire rated assembly and opening requirements.

(RECONSIDERATION TEXT)

Proposed design maintains the FSAE lobby on the public side, i.e. north, as permitted and will provide water protection per OSSC requirements. As per previously approved appeal Car 1 (Front/Rear Door) will serve all floors and Car 2 will serve all levels except basement. A building permit revision will be submitted for water protection method adjustments based on recent coordination meeting.

FSAE Car 1, front/rear opng, opens to sprinkled "back of house" areas which would not be exempt from water protection requirements of the hoistway as the FSAE lobby at the front would.

Proposed design would treat the rear housekeeping area, for purposes of water protection, like the FSAE lobby and keep sprinkler water from outside the space from infiltrating the hoistway but exempt the sprinklers within the housekeeping area.

Housekeeping area is bordered by walls and openings of similar fire ratings to a FSAE lobby, i.e. 1 HR fire barrier with 45 min doors.

Reason for alternative The permitted raised sill detail at the FSAE has not been accepted as an approved method of water protection, by the elevator inspector, as among other reasons the elevator sill is required to match finished floor elevation and thus allows water in without a drainage system.

Existing conditions, such as PT slab cables & reinforcing conflicts, and proximity to drain risers, limit the possible corrections for full compliance. As noted, the proposed design would flip the FSAE lobby to the rear car side to allow better control of the water infiltration as there is only one door. The rear elevator lobbies will provide drains at the one FSAE door on level 2 thru 15 with the basement and level 1 utilizing the elevator sump pump, on emergency power, evacuating water from the shaft. Typical FSAE lobbies will meet area requirements but will have sections of reduced width and access to other equipment and spaces, as listed above. All FSAE lobbies will be a minimum of 1 HR fire barrier walls and 3/4 HR fire rated doors, as required by code, between the lobby and the corridor, except at level 1 which discharges to a corridor and exit passage, as allowed by code.

As discussed with Larry Wright & Bobby Duke, the proposed would provide the most functionally equivalent FSAE and lobbies based on potential corrections to existing conditions.

(RECONSIDERATION TEXT)

As noted previously, raised sills or thresholds at the elevator doors are not allowed making water protection on the rear door side very difficult especially given required sprinkler coverage directly overhead.

The space in question is a small portion of the overall floor and is enclosed by fire rated walls of at least the same fire rating as a FSAE lobby, i.e. 1 HR Barrier with 45 min doors. The proposed space is employee access only and thus will limit possible emergency events caused by hotel guests and other public transient activities.

We believe, based on these factors, that exempting sprinkler heads in the rear housekeeping area, i.e. space directly accessible to the rear car door, while preventing additional water from entering the space would provide a viable FSAE system to the greatest extent possible for this configuration.

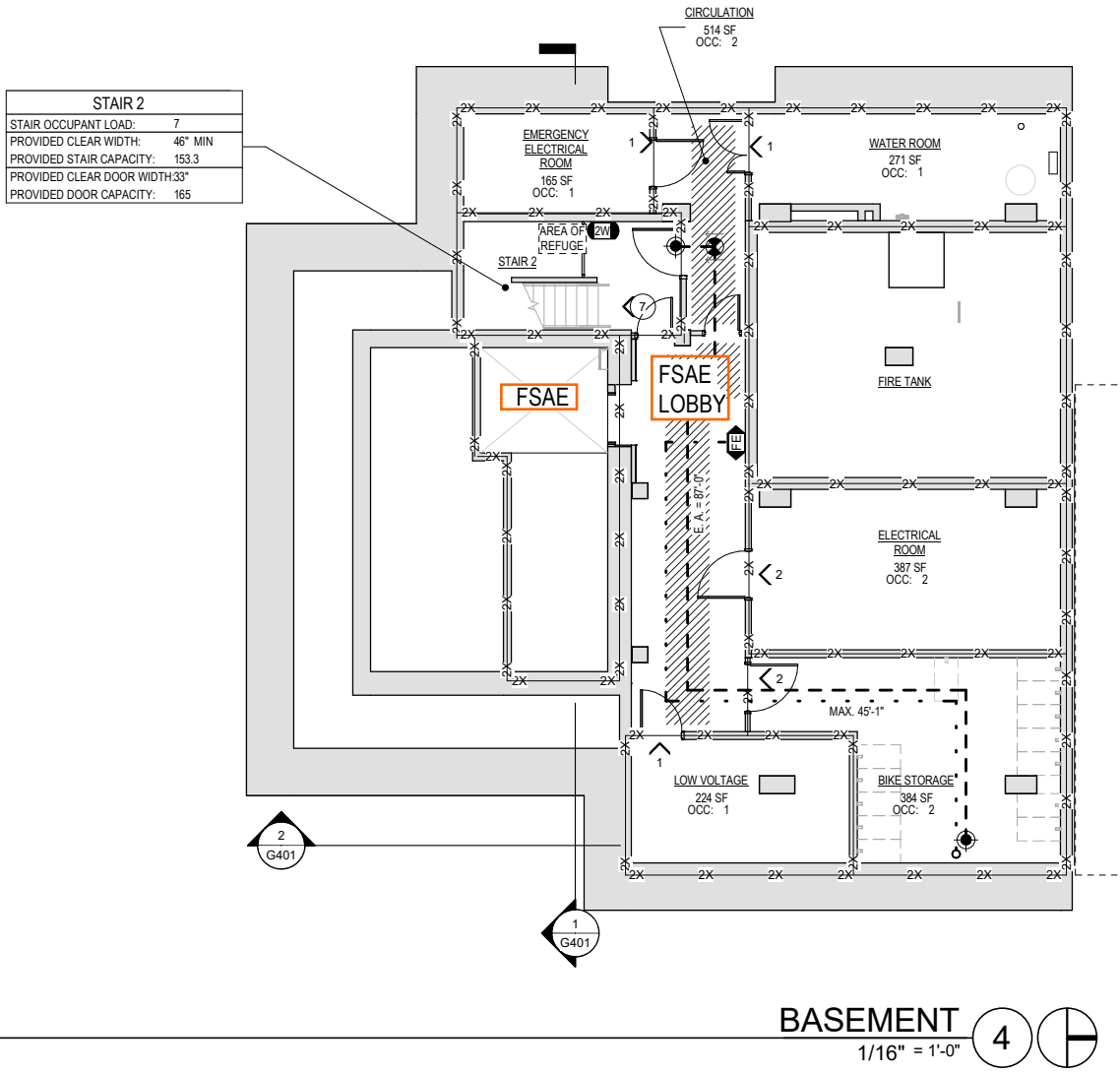
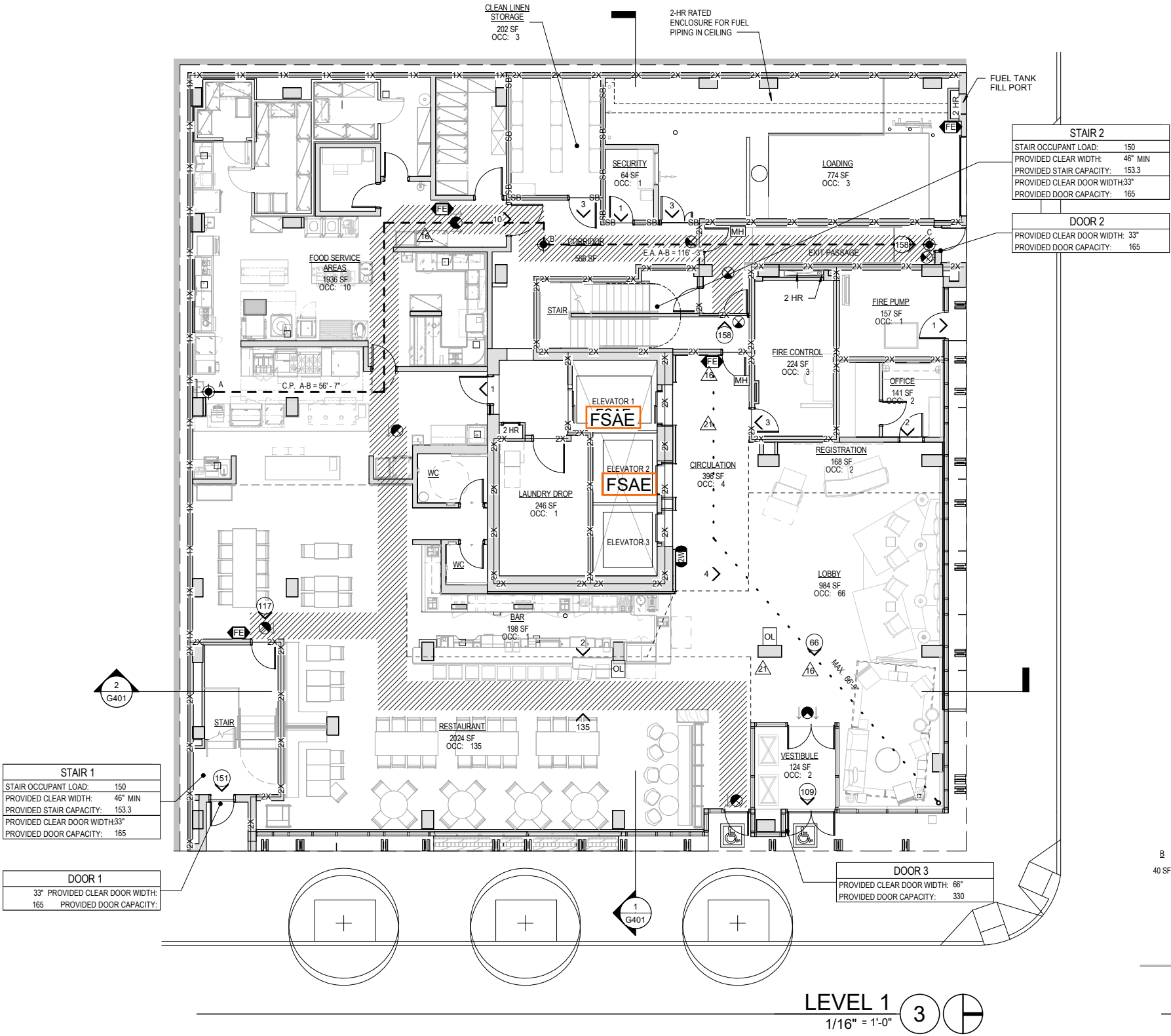
APPEAL DECISION

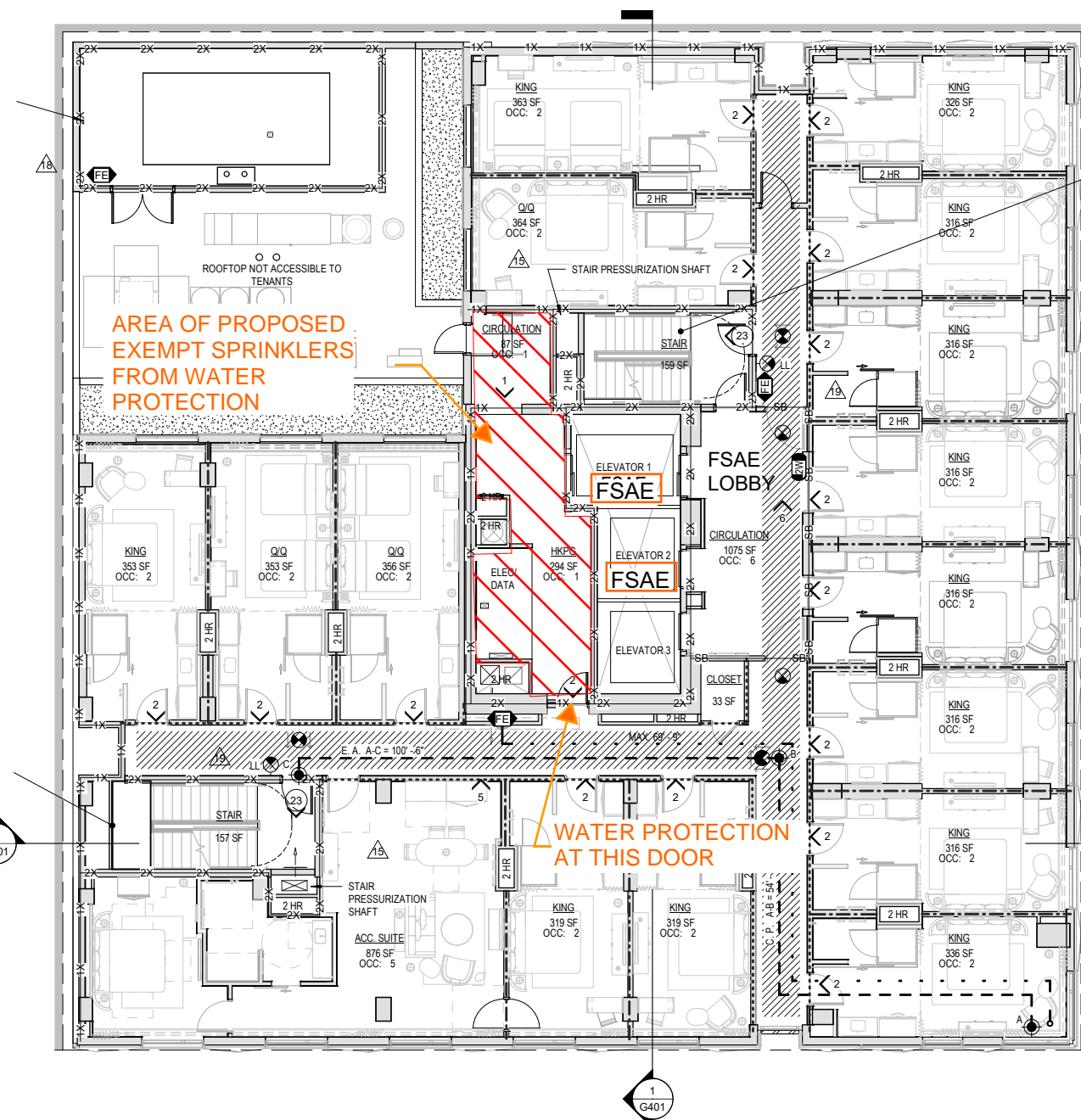
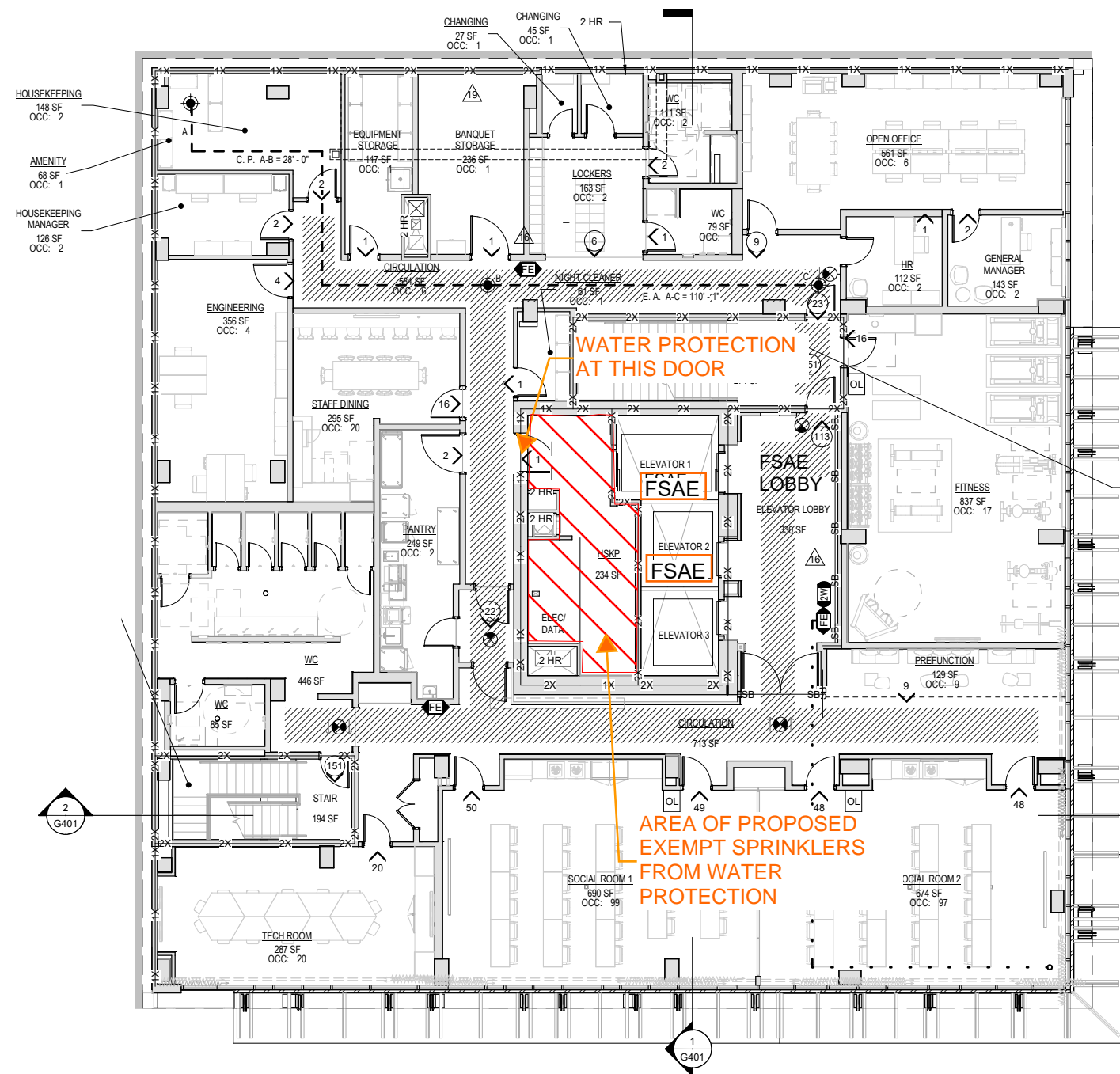
Fire Service Access Elevator hoistway sprinkler water infiltration: Granted as proposed.

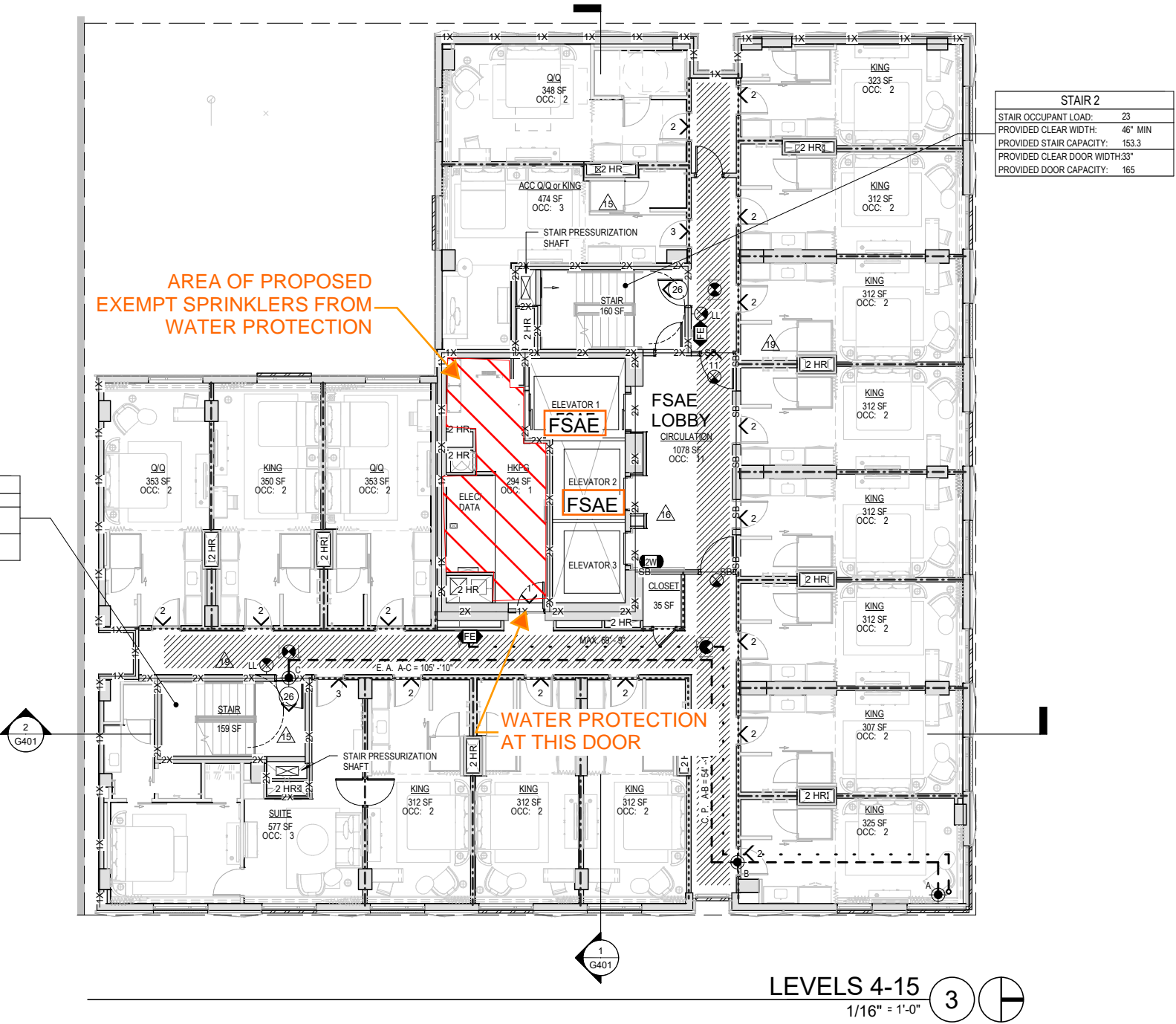
The Administrative Appeal Board finds that the information submitted by the appellant demonstrates that the approved modifications or alternate methods are consistent with the intent of the code; do not lessen health, safety, accessibility, life, fire safety or structural requirements; and that special conditions unique to this project make strict application of those code sections impractical.

Pursuant to City Code Chapter 24.10, you may appeal this decision to the Building Code Board of Appeal within 90 calendar days of the date this decision is published. For information on the appeals process, go to www.portlandoregon.gov/bds/appealsinfo, call (503) 823-7300 or come in to the Development Services Center.

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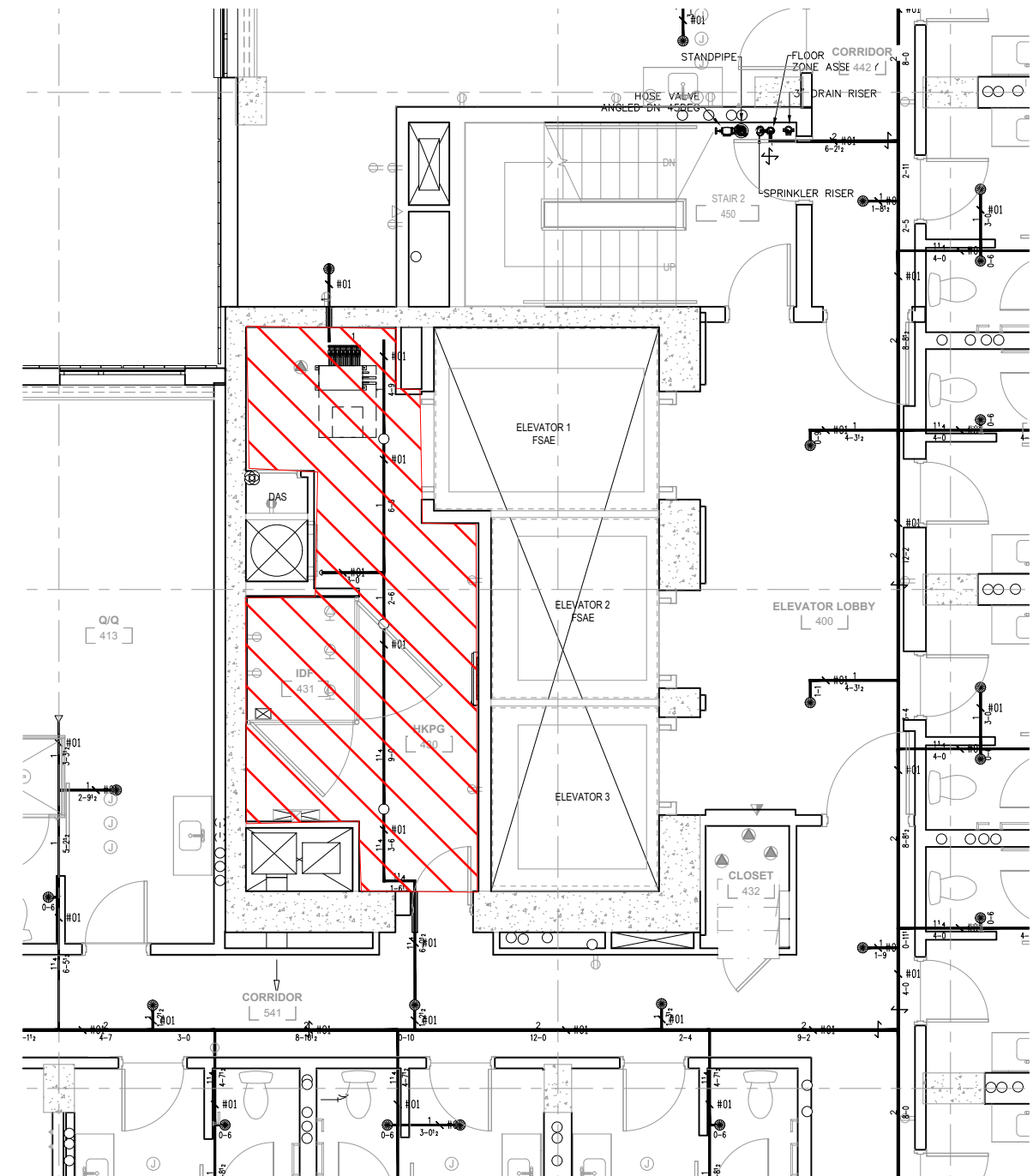






ISSUING DOC:	-
ISSUE DATE:	11.13.19
PROJ. NO.:	1603008
REF SHEET(s):	-
DRAWN BY:	btc

EX-3



4th-14th Floor Fire Protection



ISSUING DOC: -	EX-4
ISSUE DATE: 11.13.19	
PROJ. NO.: 1603008 DRAWN BY: btc	
REF SHEET(s): -	