

Development Services

From Concept to Construction

Phone: 503-823-7300 Email: bds@portlandoregon.gov 1900 SW 4th Ave, Portland, OR 97201

More Contact Info (<http://www.portlandoregon.gov/bds/article/519984>)



APPEAL SUMMARY

Status: Decision Rendered

Appeal ID: 21950	Project Address: 3434 NE Sandy Blvd
Hearing Date: 10/2/19	Appellant Name: KEN MYERS
Case No.: B-011	Appellant Phone: 518-364-9914
Appeal Type: Building	Plans Examiner/Inspector: John Cooley
Project Type: commercial	Stories: 1 Occupancy: M, B, A-2 Construction Type: III-B
Building/Business Name: PICCONE'S CORNER MARKET Fire Sprinklers: Yes - throughout	
Appeal Involves: other: CODE	LUR or Permit Application No.: 19-127919-CO
Plan Submitted Option: pdf [File 1]	Proposed use: RETAIL/ BAR

APPEAL INFORMATION SHEET

Appeal item 1

Code Section 1108.2.9

Requires That a section of the bar be at 34" tall for wheelchair accessibility.

Proposed Design We propose a height of 42" above finish floor for the entire bar top area, and that the remaining tables throughout the dining area to be Handicap accessible tables.

Reason for alternative The federal guidelines are as follows:

28 Code of Federal Regulations (CFR) part 36, 5.2 Counters and Bars- Where food or drink is served at counters exceeding 34 in (865 mm) in height for consumption by customers seated on stools or standing at the counter, a portion of the main counter which is 60 in (1525 mm) in length minimum shall be provided in compliance with 4.32 or service shall be available at accessible tables within the same area.

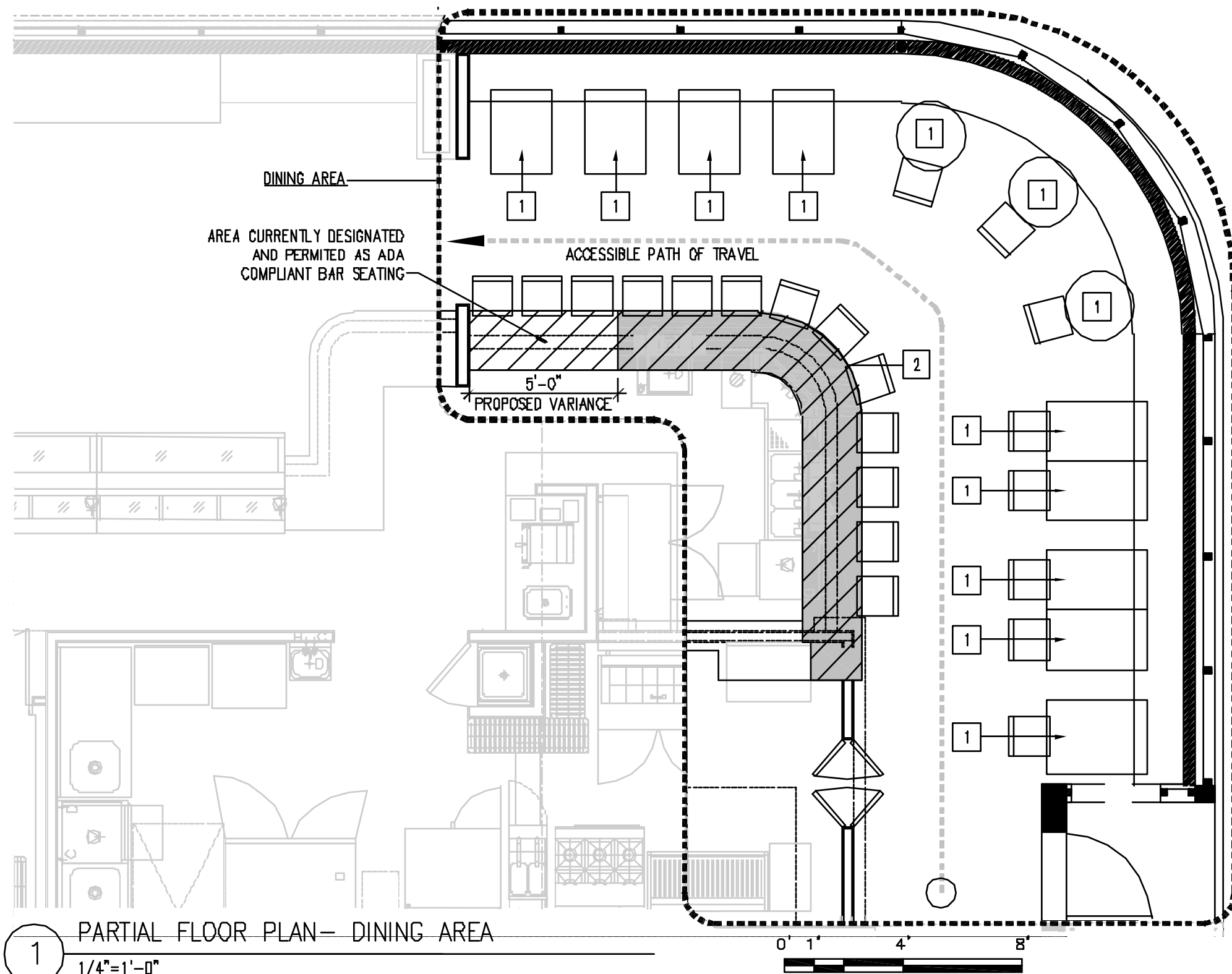
All additional tables provided within the facility will be at an accessible height and equal services will be provided throughout. As we are in compliance with the federal guidelines we feel that we are also complying with the intent of this code.

In addition to this the following appeals: appeal ID 6985 from 04/08/10, appeal ID 7208 from 07/08/10, and Appeal ID: 18979 from 03/07/19 have been reviewed and granted in similar cases.

APPEAL DECISION

Omission of accessible bar space: Denied. Proposal does not provide an equivalent level of accessibility. Appellant may contact John Butler (503 823-7339) with questions.

Pursuant to City Code Chapter 24.10, you may appeal this decision to the Building Code Board of Appeal within 90 calendar days of the date this decision is published. For information on the appeals process, go to www.portlandoregon.gov/bds/appealsinfo, call (503) 823-7300 or come in to the Development Services Center.



KEYED NOTES

- 1 ADA COMPLIANT TABLE
- 2 HATCH INDICATES PROPOSED COUNTERTOP-42" AFF

1 PARTIAL FLOOR PLAN- DINING AREA
1/4"=1'-0"

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DRAWING TITLE:
PARTIAL FLOOR PLAN- DINING AREA

PROJECT:
PICCONE'S CORNER

ISSUE DATE:
2019-09-25

SCALE:
SEE PLAN

DRAWN BY:
ASK

APPROVED BY:
ASK

V1.1

PROJECT INFORMATION / CODE REVIEW / LIFE SAFETY REVIEW

Site Information
Project Address:
3434 NE Sandy Blvd Portland Oregon 97232-1974
Business Name: Piccone's Corner Market

Legal Description
Tax Roll: Laurelhurst, Block 35 Lot 9-11
Tax ID: R203026 19,250 Sq Ft (0.44 acres)

Seismic Zone
Design Category D

Project Narrative/Description
The proposed project is a TI for a new first time tenant of a recently completed adaptive re-use project. The tenant space is ~2100 NSF currently vacant and was originally permitted under a Small Permit as part of IVR # 3932719. The proposed project includes retail, food preparation, and dining programs.

Existing building is 2 stories Type III-B Concrete Structure ~18,100 CSF 16,500 NSF Sprinklered

Zoning Information
Base Zone - Zoning District - CMS
Overlay - Design
Plan District - Sandy Boulevard Plan District

- Applicable Codes and Regulations**
- 2014 Oregon Structural Safety Code
 - 2014 Oregon Mechanical Specialty Code
 - 2014 Oregon Plumbing Specialty Code
 - 2014 Oregon Electrical Specialty Code
 - ICC A117.1-2009 Accessible and Usable Buildings
 - 2010 ADA Standards for Accessible Design

BUILDING CODE SUMMARY

Occupancy and Separation-Chapter 3.5

Classification-Multiple use space includes M, B, and A2 uses. A2 use is accessory/secondary to primary operation as market, under 50 persons, 391 sqft becomes B classification. Use B classification overall as most restrictive.

Applicable Adjacent Occupancy F-1 (Neighboring unit), B-No separation required as per 508.4

Building Height / Allowable Area-Chapter 5

-No Change / Not Applicable

Fire Resistance Ratings-Chapter 6.7

Fire Resistance Rating Requirements for Building Elements in Hours-Table 601			
Building Element	Req. Type III-B	Prop. Type III-B	Type III-B
Primary Structural Frame	0	0	0
Bearing Walls-Exterior	2 hr	N/A	N/A
Bearing Walls-Interior	0	0	0
Non-Bearing Walls and Partitions-Interior	0	0	0
Floor Construction	0	0	0
Roof Construction	0	0	0

Fire Resistance Rating Requirements for Exterior Non-Bearing Walls Based on Fire Separation Distance (Table 602)

	North	East	South	West
Fire Separation Distance	40'-0"	30'-10"	0'-0"	0'-0"
Type III-B Exterior Wall Rating (Per OSSC Table 602) 0 hr	0 hr	0 hr	1 hr	1 hr
Proposed Exterior Wall Rating	Keep Ext. Keep Ext.	N/A	N/A	N/A

Note: South and West Distances are measured to Property Line, North and East Distances are measured to the center of right-of-way

Maximum Area of Exterior Wall Openings (Table 705.8)

	North	East	South	West
Fire Separation Distance	40'-0"	30'-10"	0'-0"	0'-0"
Maximum Area of Protected Openings (Building Sprinklered)	No Limit	No Limit	N/A	N/A

Shafts and Chutes-Chapter 7

-No Change / Not Applicable

Interior Finishes-Chapter 8

Wall/Ceiling Max Flame Spread Classifications and Ratings (Table 803.3)

	B
Exit Enclosures	B
Corridors and Exit Access Enclosures	C
Rooms and Enclosed Spaces	C

Life Safety Systems-Chapter 9

	Required	Provided	Type/Class
Automatic Sprinkler System	No Per 906.2	Yes	NFPA13
Fire Sprinkler Riser	No Per 906.3	Yes	NFPA 14 -Class 1
Fire Pumps	No Per 906.2	No	Minimum 2A10BC
Fire Extinguishers	Yes Per 906.3	Yes	Portable Fire Extinguishers to be provided.
	-75 Max Travel Distance		

Fire Alarm System	Yes Per 907.2	Yes	NFPA 72
Audible and Visible Alarms	Yes Per 905.	Yes	NFPA 72
Smoke Detection System	907.2.1/2/3/7		

Note: the above charts is referenced from the base building permit. All new tenant work to comply

with provided life safety systems and build-on to existing base systems referenced above.

Means of Egress-Chapter 10

Proposed Occupant Load per table 1004.1.2

Function of Space	Occupant Load Factor	Square Footage/ Linear Footage	Total Occupants
Kitchen/Food preparation	200 CSF	585 SF	6
Food Storage/Walkins	300 CSF	288 SF	1
Retail Area	50 CSF	562 SF	12

Dining Area	18" Linear Seating	40 LF	27
Adjacent Seating area and Bar	15 NSF	318 NSF	22
Total Proposed Occupants			68

Egress Width Per Occupant Served 1005.3

Stairways: 0.3/0CC (N/A)
Other Egress Components: 0.2/0CC Min width of 44" (36" when serving area less than 50 OCC) per 1009.4

Number of Exits 1015

Two Exits Required Two Exits Required (Table 1015.1)

Accessible Means of Egress 1007

One Required / One Provided

Illuminated Exit Signs

Required per 1011.1

Exit Access - Sprinklered (Table 1014.3)

B Occupancy Common Path 100

Exit Access Travel Distance - Sprinklered (Table 1016.2)

B Occupancy-300

Dead End Corridors (1018.4)

B Occupancy with Sprinkler-50

Means of Egress Illumination (1006)

Egress lighting required per 1006.1

Emergency egress lighting required per 1006.3

See legend for location and fixture

Minimum Corridor Width (Table 1018.2)

Location	Width
Access to and utilization of Mechanical, Plumbing, or Electrical Systems and Equipment	24"
With a required occupancy, less than 50	36"
All other locations	44"

Interior Environment-Chapter 12

Ventilation of Occupied Rooms and bathrooms (1203) provided by Mechanical Ventilation in compliance with Mechanical Code see M Series Drawings

Lighting of Human Occupied Spaces (1205)-Net glazed area greater than 8% of total floor area.

Artificial light provided in accordance with 1205.3.

Energy Efficiency-Chapter 13, OESCC CH 5

Building Envelope Requirements opaque Assemblies (Table 502.1.1)

Walls - R-21

Roofs - R-38

Slab on Grade - Unheated-NR

Roofing and Cladding Requirements Chapter 15 and 16

Basic Wind Speed 120 MPH

Wind Exposure B

Fire Classification C / Type III Construction Non-Combustible

Plumbing Fixtures Chapter 29 and IPC

Total Occupancy	Water Closet	Urinals	Lavatories	Drinking Fountains
Occupancy	T M F M F M M F			
B (A2-50) and M	62 31 31 1 1 1 1 1			See Note*

Note: * A2 fixture requirements used in above calculations. Water dispenser provided as per 410.4 as justification for drinking fountain.

CITY OF PORTLAND / JURISDICTIONAL REQUIREMENTS

Firestopping City of Portland Code Guide

Firestopping installed as per requirements outlined by the City of Portland. Information available at <http://www.portlandonline.com/content/view/full/249899>

Vehicle Parking Chapter 11, COP 33.266.11, ANSI 502

As per base building permit, no minimum required parking per well served public transit location.

Bicycle Parking COP 33.266

Long and short term bicycle parking provided under base building permit IVR# 3932719 per table 299.6.

4 long term bicycle spaces provided

19 short term bicycle spaces provided

Seismic Upgrade Chapter 24, COP 24.85, Table 24.85-A, Table 24.85-B

The below charts are cumulative showing overall building changes from pre-2004 to the current proposed TI.

Seismic upgrade referencing OSSC - Netless

No increase of building A-2 class 5 hazard from IVR 3932719. Cumulative net floor change remains at 14.4% less than 1/3 of area changed

Occupancy	Pre-2004	IVR # 3932719	IVR # 4127285	Proposed TI
A-2	N/A	2,375 NSF	2,375 NSF (NC)	2,375 NSF (NC)
B	2216 NSF	5,712 NSF	5,712 NSF (NC)	5,550 NSF (-162)
F-1	N/A	7,753 NSF	7,753 NSF (NC)	7,753 NSF (NC)
M	1990 NSF	N/A	N/A (NC)	362 (+362)

S-1	12,706 NSF	707 NSF	707 NSF (NC)	707 NSF (NC)
Total	16,612 NSF	16,517 NSF	16,517 NSF	16,517 NSF

Seismic upgrade referencing OSSC - OCCUPANCY

IVR #4127285 was a TI for 1385 sqft restaurant with a B occupancy as per C/O 17-278555. Assume occupancy of 49. Occupancy for space as per base building permit IVR #3932719 14. Increase of 35 occupants

Proposed TI has B Occupant load of 68. Occupancy for tenant space as per base building permit IVR #3932719 22. Increase of 46 occupants

Total Increase of Occupants to date from Pre-2004 is 120 Occupants. No seismic upgrades required as a result of proposed TI.

Occupancy	Pre-2004	IVR # 3932719	IVR # 4127285	Proposed TI
A-2	N/A	79 (+79)	79 (NC)	79 (NC)
B	27	65 (+38)	100 (+35)	134 (+34)
F-1	N/A	67 (+67)	67 (NC)	67 (NC)
M	50	N/A (NC)	N/A (NC)	12 (+12)
S-1	90	5 (+5)	5 (NC)	5 (NC)
Total	177	216	251	257

Accessibility Improvements OSSC Chapter 34, 3411

Provided under base building permit IVR#3932719:

Public Right of way Improvements - ADA compliant crosswalks, curbs cuts, entry slopes.

To be provided this application:

Accessible single use bathroom (x2)

Accessible Entry

Accessible Seating for dining area (min 5%)

Fire Marshall Office Separate Regd Permits COP Title 31

Fire Sprinkler - Alteration to existing base system

Fire Alarm - Alteration to existing base system

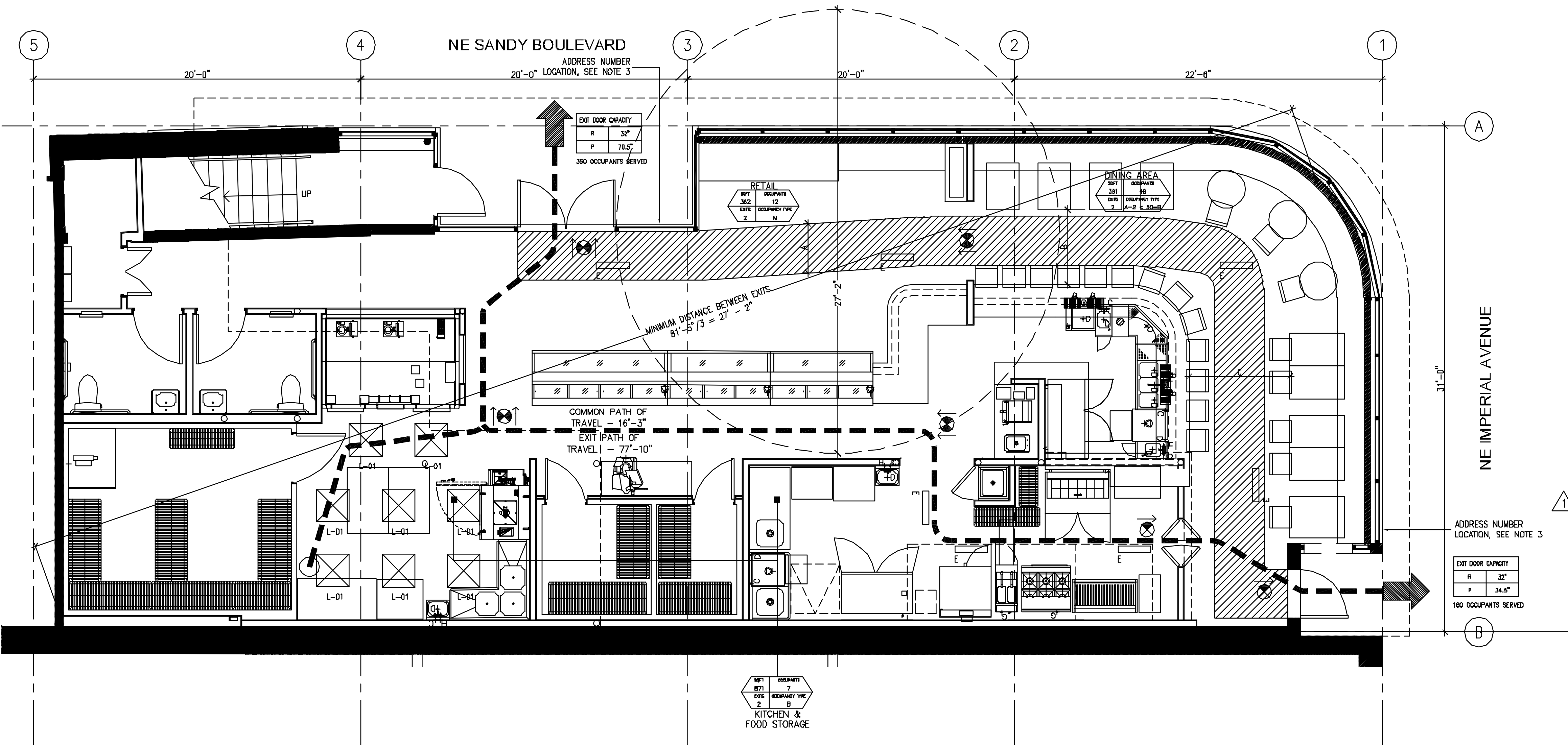
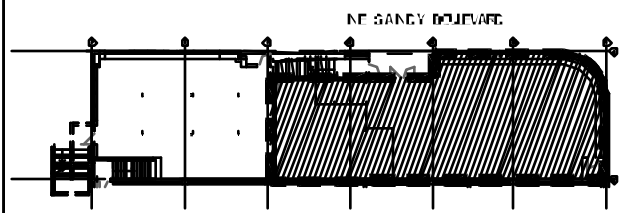
Fixed Extinguishing System / Cooking Hood

Fire Marshall Office General Notes Title 31

All work and scope shown in the drawings related to Fire Sprinkler, Alarm, Extinguishing systems is for reference only. Any Scope of work under the purview of the Fire Marshall's Office is to be reviewed by the trade during the trade plan review with the office directly.

Piccone's
Corner Market
Portland, OR

KEY PLAN



LEGEND

- PATH TO EXIT FROM MOST REMOTE POINT
- EXIT
- EXIT FIXTURE, DOUBLE FACED, DIRECTION OF ARROW(S) AS SHOWN
- EXIT FIXTURE, SINGLE FACED, DIRECTION OF ARROW(S) AS SHOWN

LIFE SAFETY SUMMARY TAG

MINIMUM REQUIRED EGRESS WIDTH
PROVIDED (CLEAR) EGRESS WIDTH

EGRESS PATH WITH EGRESS LIGHTING,
SEE NOTE 4 BELOW FOR ADDITIONAL
INFORMATION

WIDTHS
A - 44" MIN
B - 54" MIN
C - 74" MIN

EMERGENCY EGRESS LIGHT, SEE NOTE
4 BELOW & E-SERIES FOR
REQUIREMENTS

L-01 FIXTURE WITH E2 OPTIONAL
BATTERY PACK FOR EMERGENCY
EGRESS LIGHTS

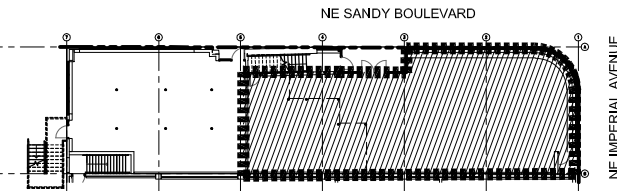
NOTES:

- 1) EMERGENCY & LIGHTING TO BE PROVIDED, SEE ELEC PLANS
- 2) EGRESS WIDTH CALCULATED BASED ON OSC SECTION 1005.1
- 3) ADDRESS NUMBERS SHALL BE IN COMPLIANCE WITH PFC 505.1, SEE PLAN FOR LOCATIONS
- 4) PROVIDE LED STRIPLIGHT WITH BATTERY PACK FOR EMERGENCY LIGHTING, LITHONIA ZL1N-124-150DLM-FST-MVOLT-50K-80CRI-E10WLCP-MB, CONNECT 50 FIXTURE WILL BE NORMALLY OFF AND TO ACTIVATE ON BATTERY UPON LOSS OF NORMAL POWER, COORDINATE EXACT LOCATIONS WITH ARCHITECT, SEE E-SERIES FOR ADDITIONAL INFORMATION, LIGHT TO BE VERIFIED BY FIELD TEST



Piccone's
Corner Market
Portland, OR

KEY PLAN



- 1ST FLOOR PLAN LEGEND
- EXISTING WALL CONSTRUCTION TO REMAIN, SEE ELEVATIONS FOR FINISH
 - NEW WALL CONSTRUCTION
 - EX EXTENTS OF 2nd FLOOR
 - NEW EXTENTS OF 2nd FLOOR
 - EX BEAM CENTER LINE
 - LIMIT OF WORK 1" OFFSET FROM ACTUAL LOW.
 - NEW BEAM, SEE STRUCT
 - GRID LINE
- TILE, SEE A5.2
- EPOXY COATED CONCRETE, SEE SPECIFICATIONS

- GENERAL NOTES
- REFER TO EQUIPMENT SCHEDULES FOR ADDITIONAL INFORMATION.
 - SEE FINISH SCHEDULE FOR WALL TYPE ASSEMBLIES
 - SEE P-SERIES DRAWINGS FOR FLOOR SINKS/FLOOR DRAINS, CONTRACTOR TO SLOPE FLOOR FOR POSITIVE DRAINAGE TO FIXTURES. ALL LOCATIONS TO BE CONFIRMED W/ CLIENT & ARCHITECT/ ENGINEER PRIOR TO PLACEMENT OF CONCRETE FLOOR.
 - FOR WALK-INS (RMS 106, 107, 108), SEE MANUFACTURER'S CUT-SHEETS & SPECIFICATIONS. WALK-IN DIMENSIONS TO BE CONFIRMED AFTER STRUCTURE AND FRAMING PRIOR TO SHOP DRAWINGS.
 - WALK-INS SHOWN FOR PLANNING PURPOSES ONLY, CONTRACTOR TO SECURE SEPARATE PERMIT FOR WALK-INS AND RELATED SCOPE.

- KEY NOTES
- RETAIL FIXTURE, SEE A8.5 FOR DTL
 - DIE WALL BELOW
 - NEW COLUMN W/ FOOTING, SEE STRUCT
 - HOOD EXTENTS, COORDINATE W/ M SERIES, SEE PLAN FOR WEIGHT
 - BUILT-IN SEATING, SEE 8/A8.1 FOR DTL
 - BUILT-IN PLANTER, SEE 9/A8.2 FOR DTL
 - EX COLUMN TO REMAIN, SEE STRUCT
 - MAINTAIN 36" CLR FROM FACE OF ELEC PANEL TO INSIDE FACE OF FINISH WALL
 - ACCESS HATCH
 - EX EXTENTS OF CEILING
 - NEW EXTENTS OF CEILING, SEE ELEVATIONS
 - NEW BEAM, SEE STRUCT
 - INFILL STOREFRONT MATCH EXST WALLTOP
 - RELOCATE SALVAGED DOOR TO ORIGINAL LOCATION
 - ADD ALT: PROVIDE POWDER COAT TO EX. STOREFRONT
 - SEE MEP FOR DHW LOCATION
 - SEE STRUCT FOR 2nd FLOOR FRAMING
 - ALL PARTITIONS ABUTING OTHER TENANTS TO HAVE A RATING OF 1HR

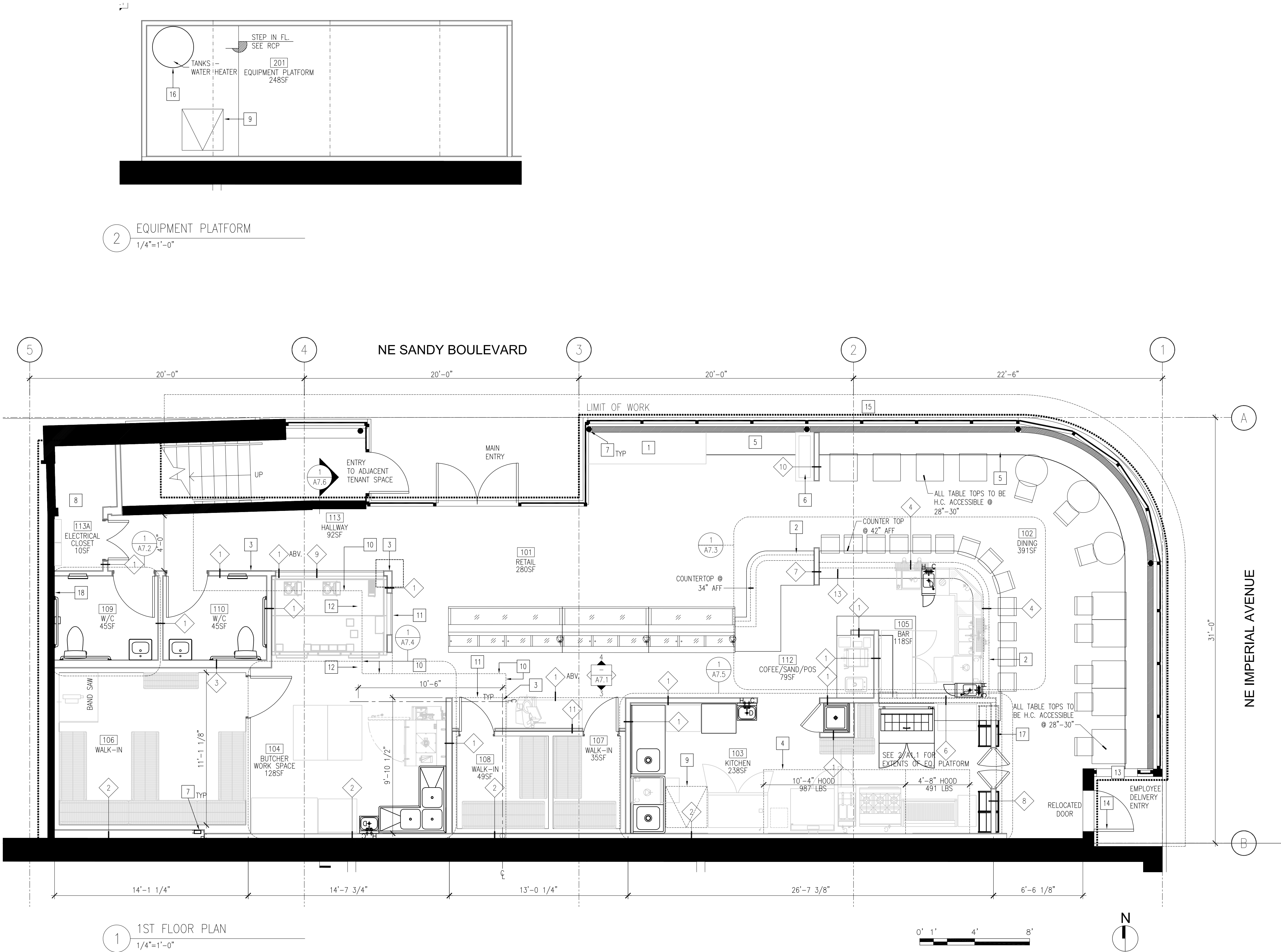
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2	PLAN REVIEW REVISIONS STRUCT – CS12397520070	04.29.2019
1	PLAN REVIEW REVISIONS FS – FM9714380038 LS – fl10429034078 STRUCT – CS9644459043	04.12.2019
NO.	REVISION	DATE



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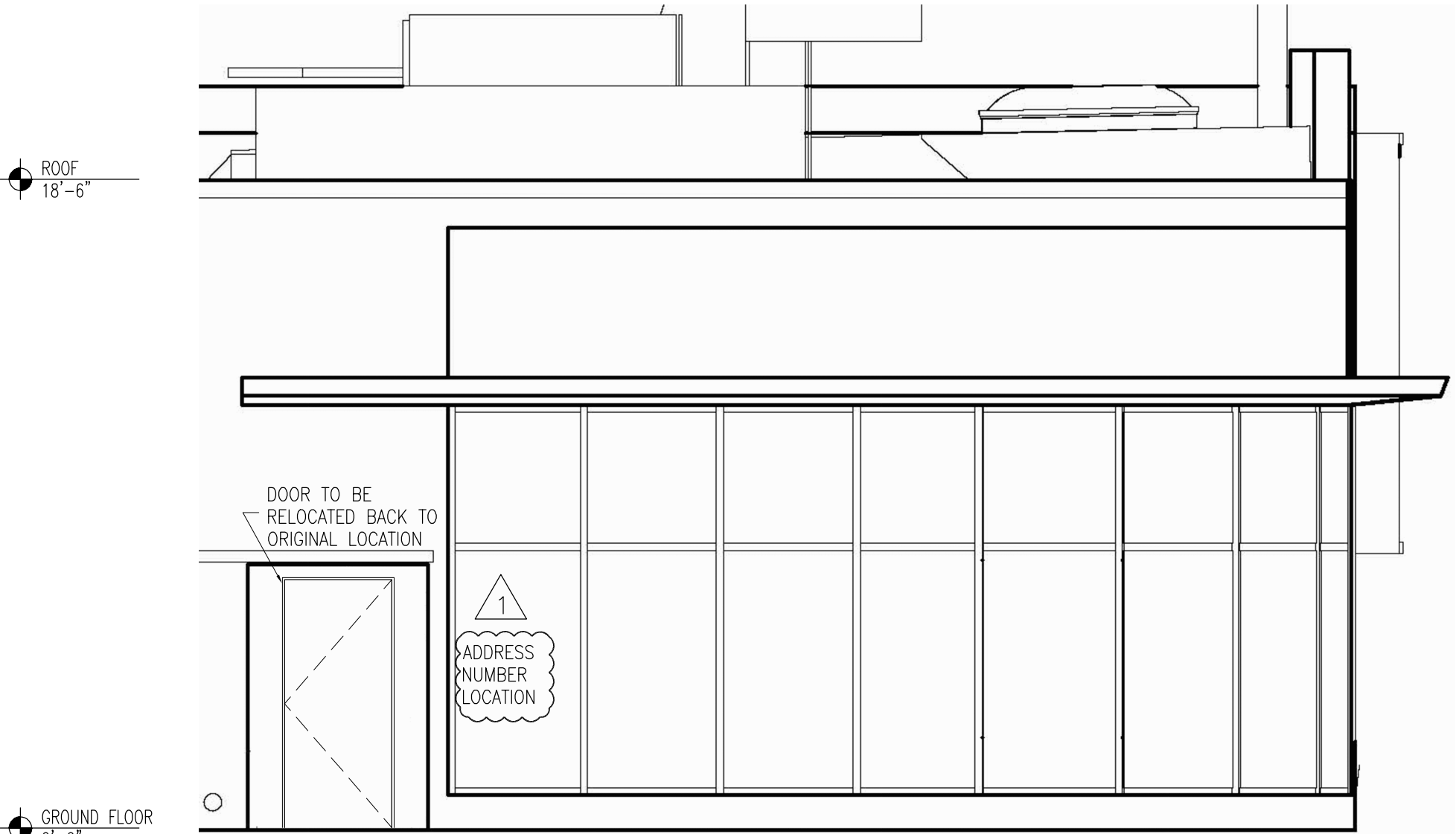
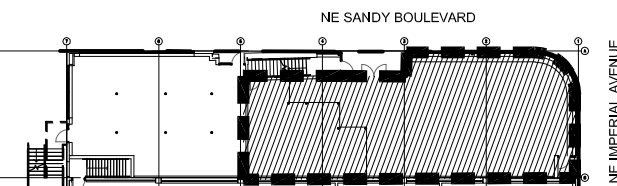
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Drawn By: JC Checked By: AJS/SMC
Date: 02.20.2019
Scale: 1/4" = 1'-0"

Drawing Title:
1ST & EQ. PLATFORM
FLOOR PLANS

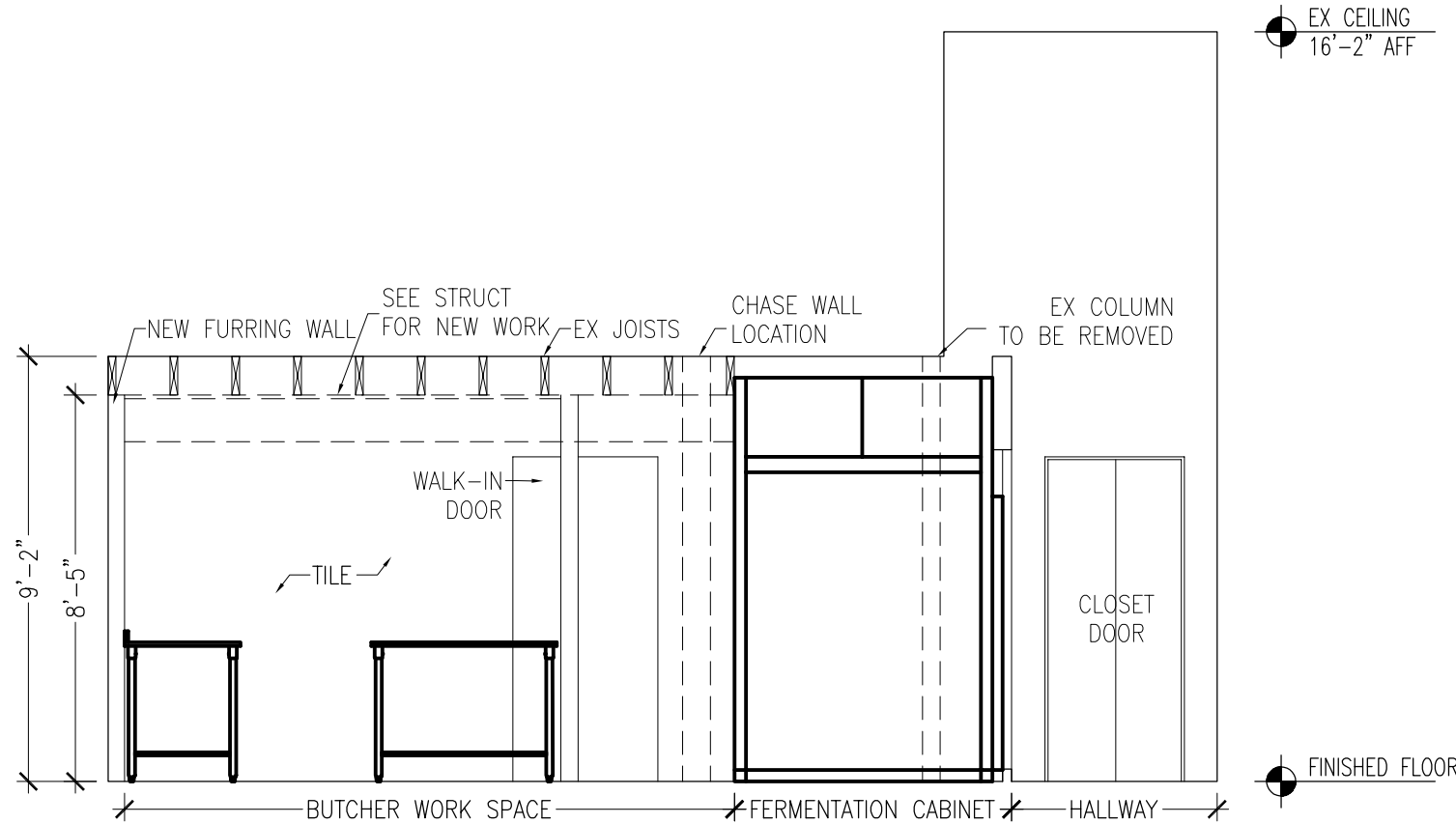


Piccone's
Corner Market
Portland, OR

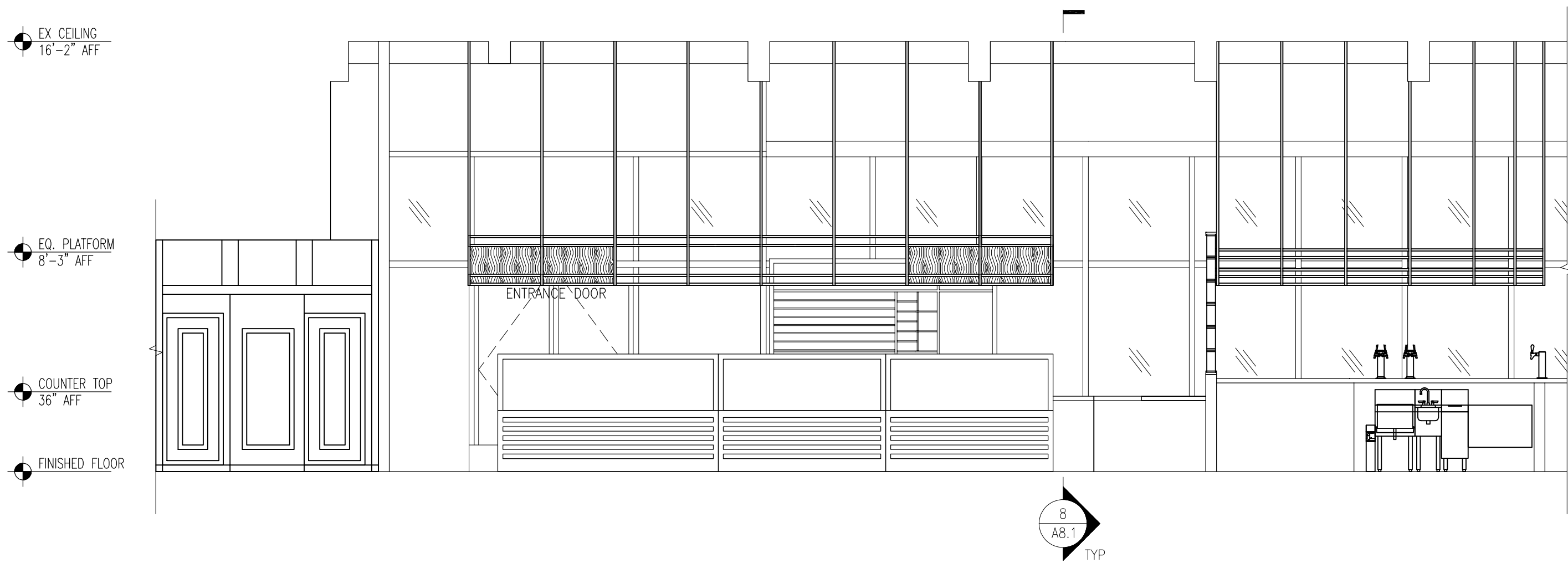
KEY PLAN



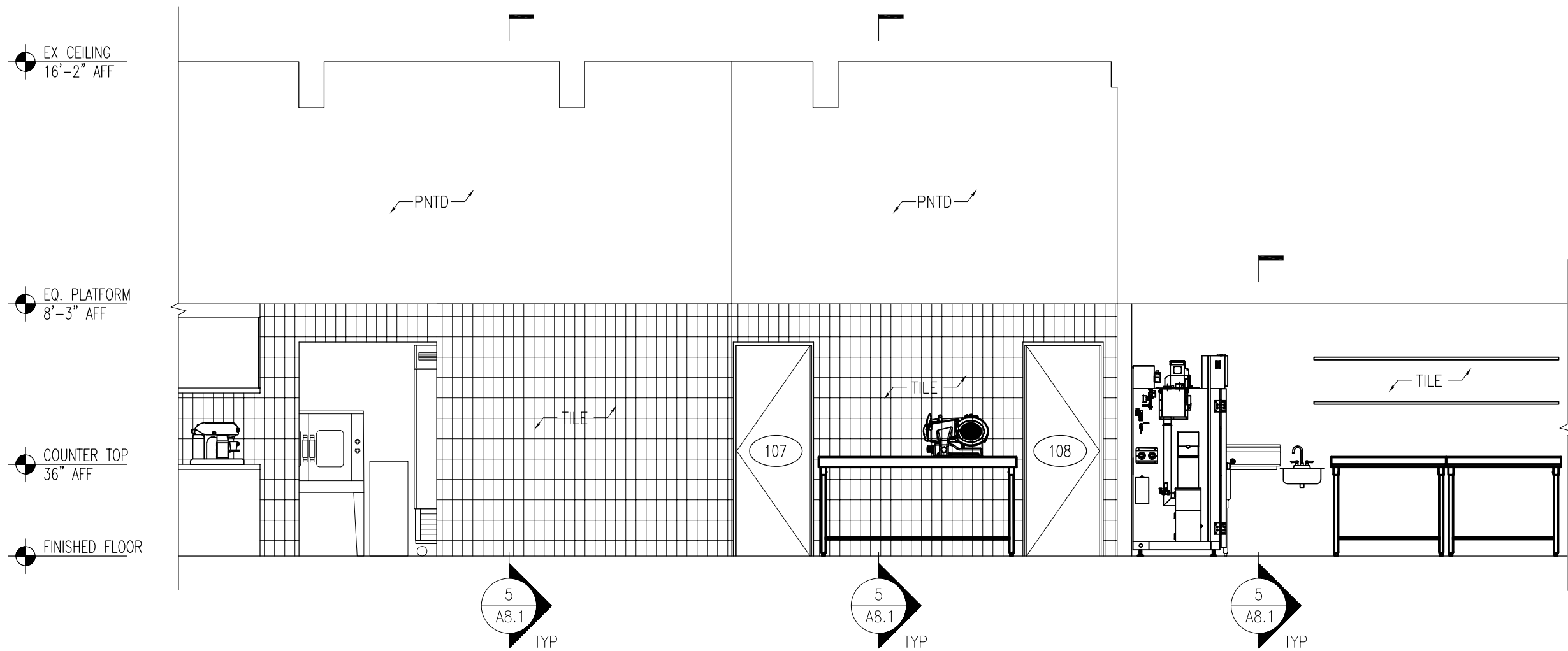
6 EXTERIOR ELEVATION@ - NE IMPERIAL AVE
1/4"=1'-0"



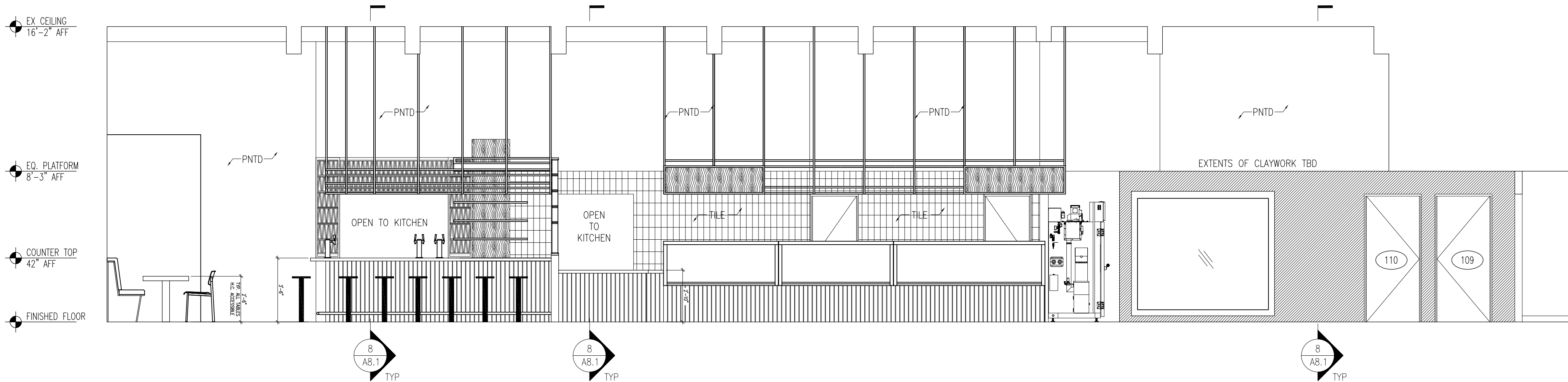
5 SECTION AT FERMENTATION CABINET
1/4"=1'-0"



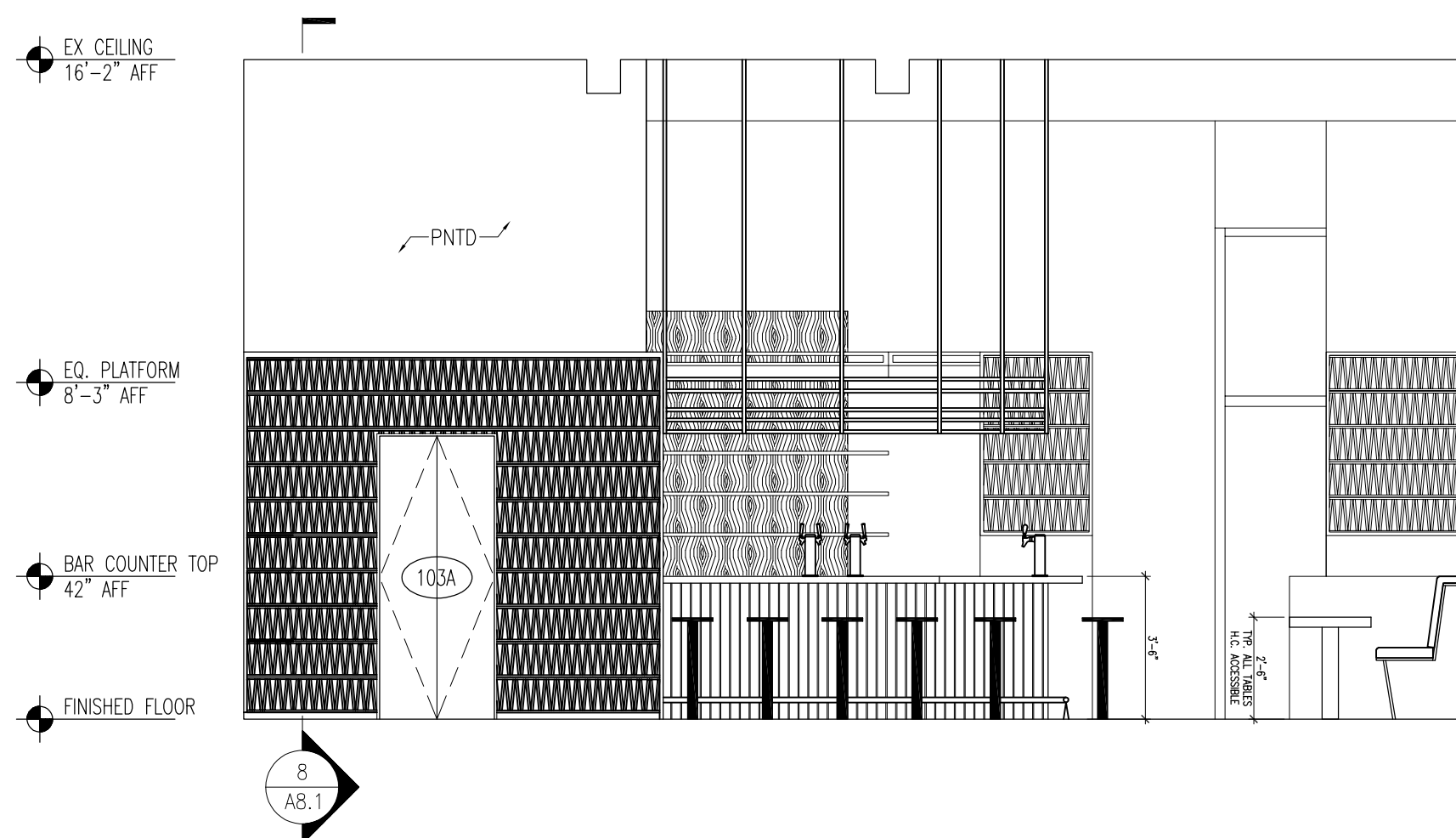
4 BUTCHER WORK SPACE ELEVATION
1/4"=1'-0"



3 BUTCHER WORK SPACE ELEVATION
1/4"=1'-0"



2 DINING/ RETAIL SECTION
1/4"=1'-0"



1 DINING SECTION
1/4"=1'-0"

3	OWNER REQUESTED/ AS BUILT CONDITIONS	08.05.2019
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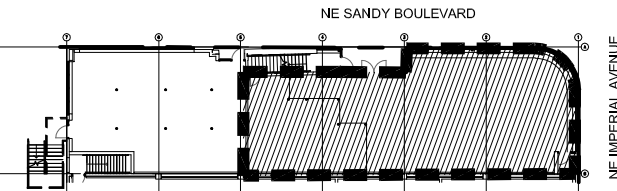


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Project: PICCONE'S CORNER MARKET
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Scale: 1/4" = 1'-0"
Drawing Title:
SECTIONS & ELEVATIONS

Piccone's
Corner Market
Portland, OR

KEY PLAN



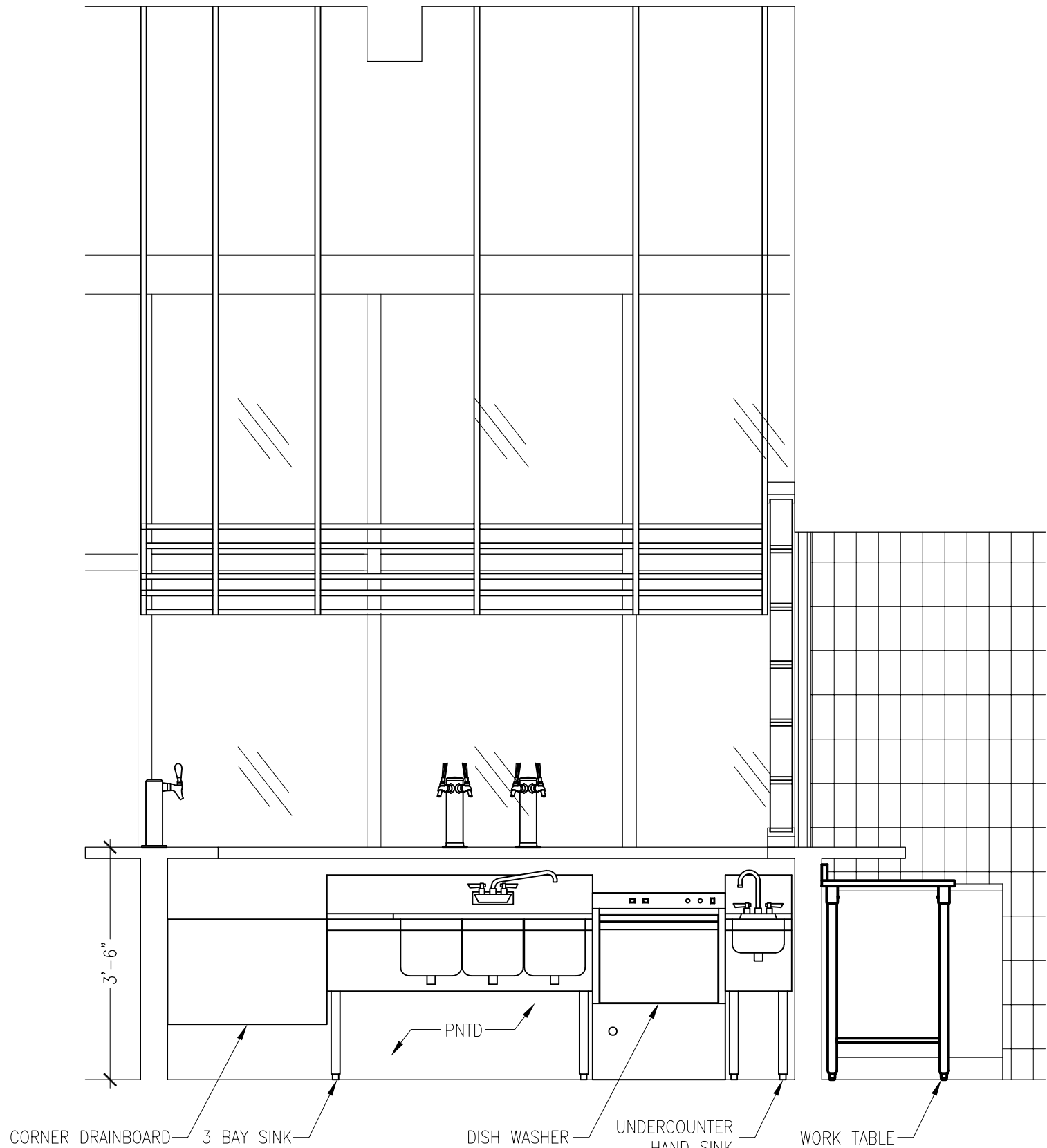
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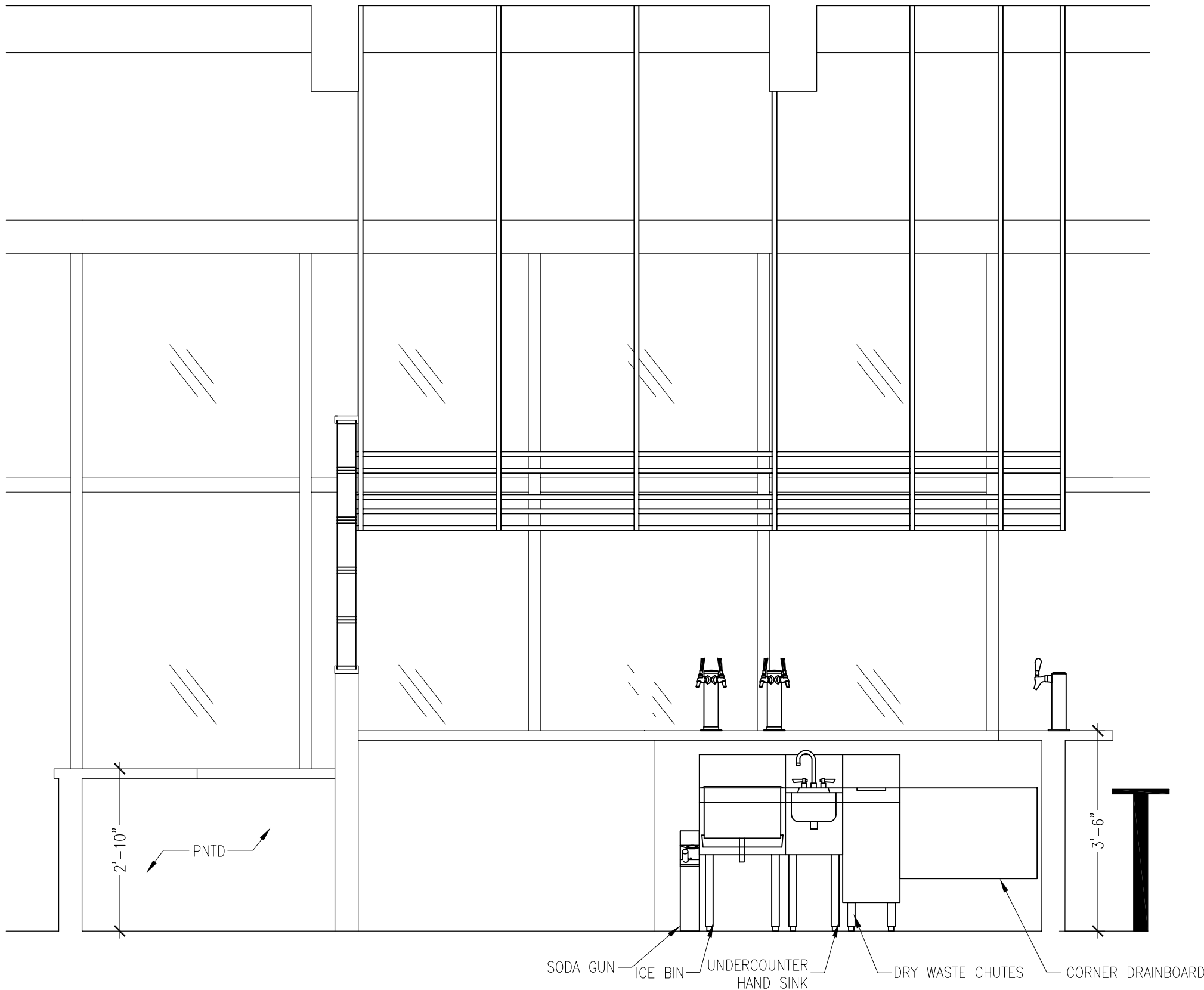
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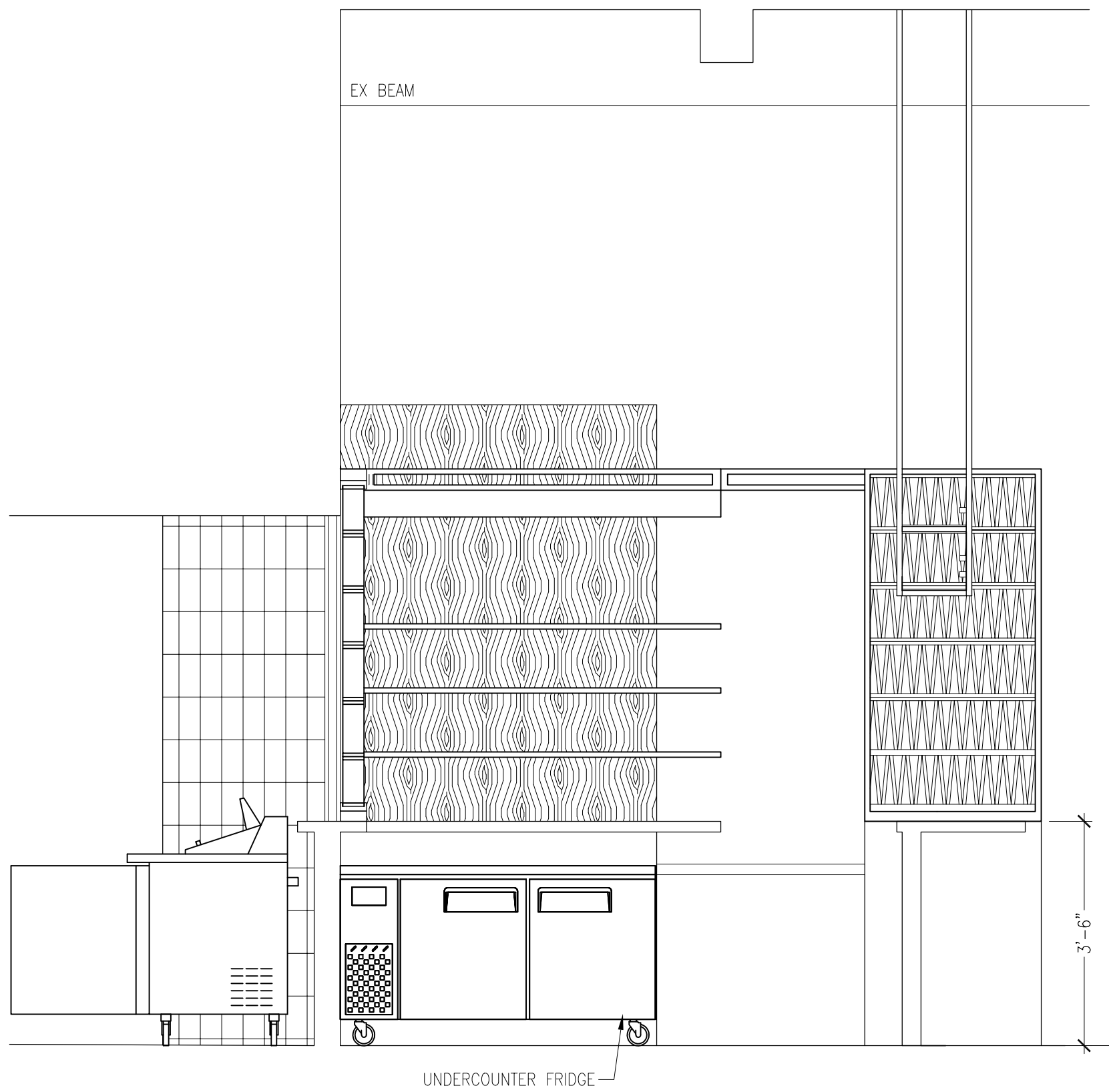
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**BAR ENLARGED
PLAN & ELEVATIONS**



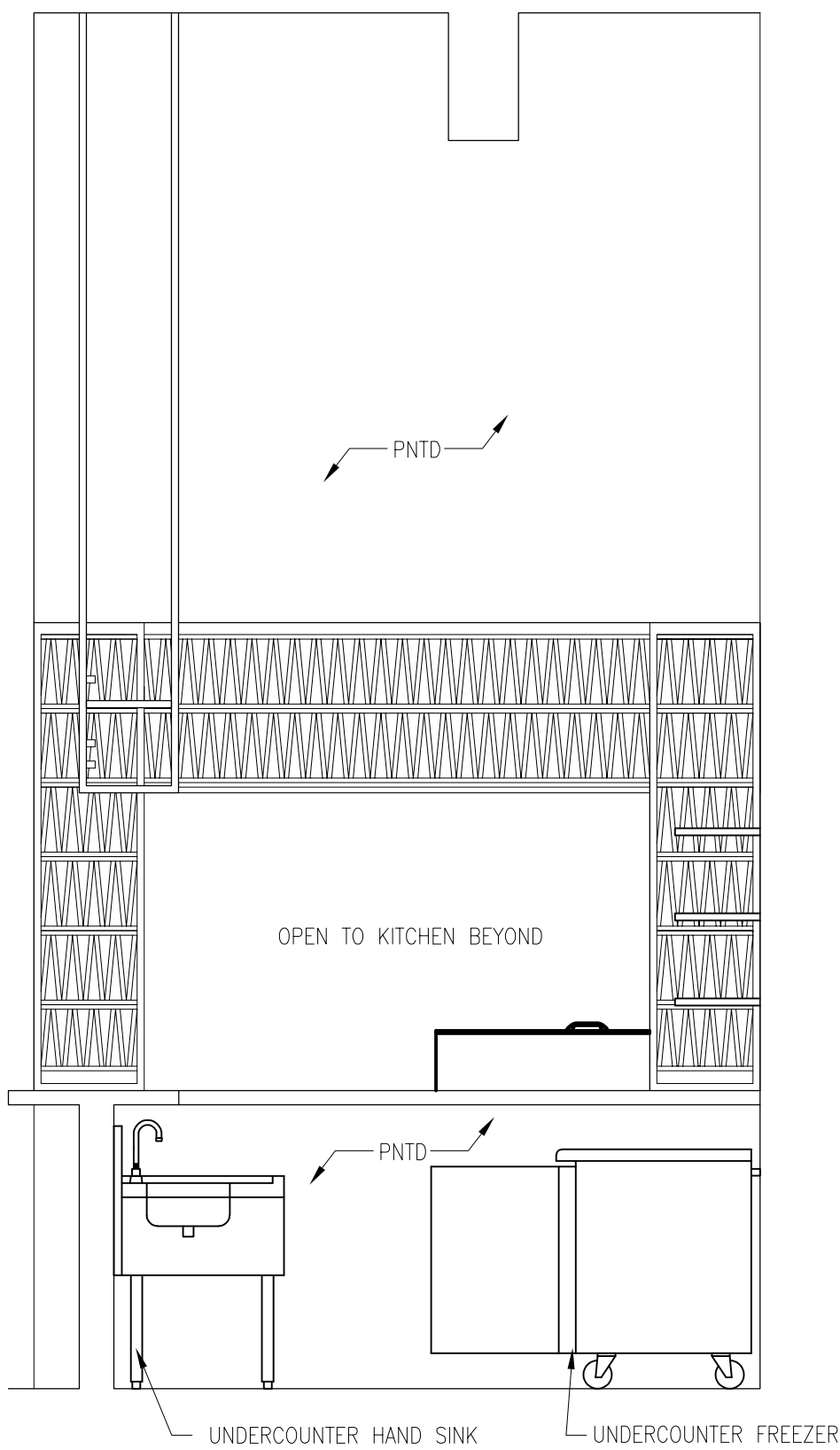
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1/2"=1'-0"



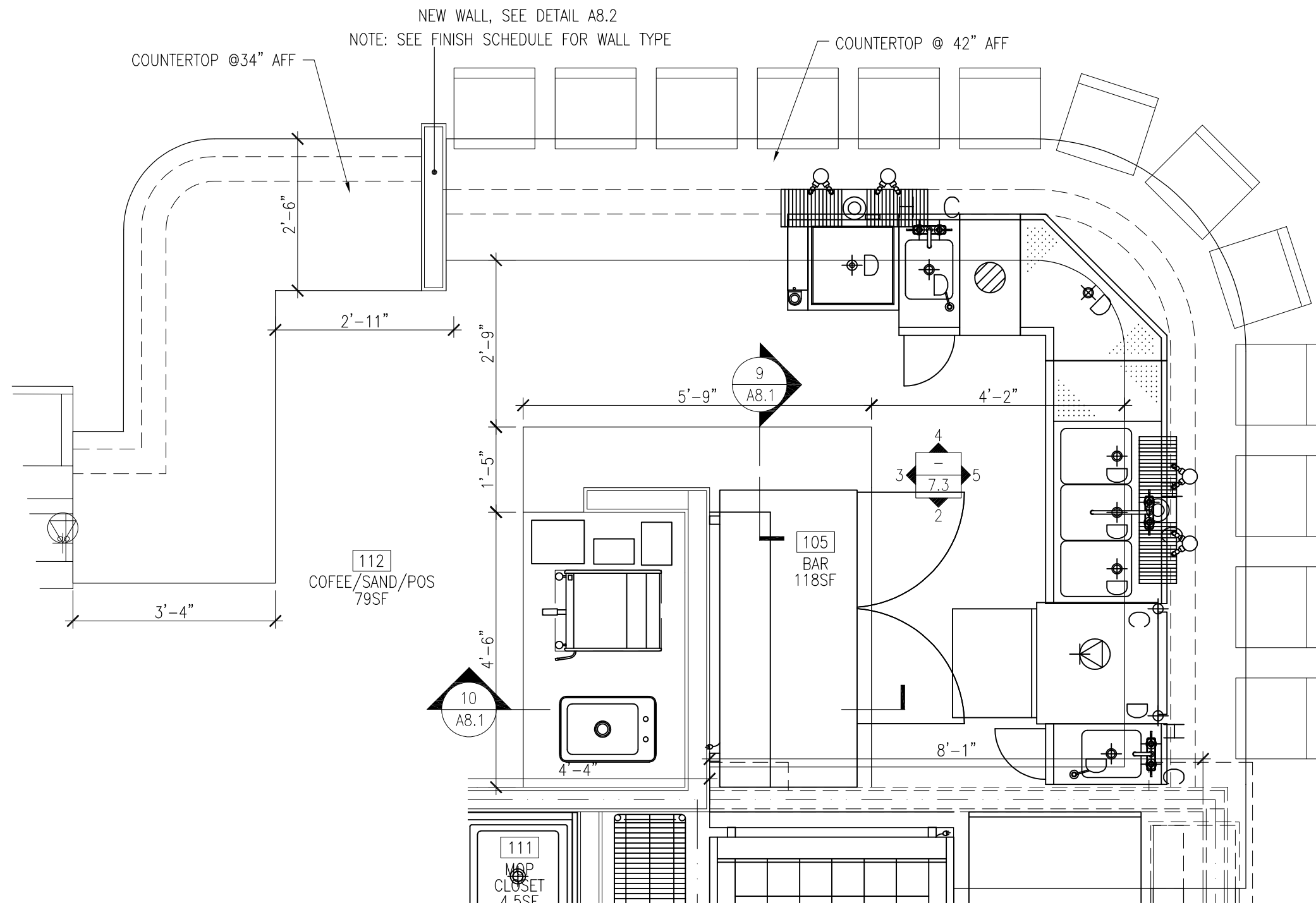
4 BAR EQUIPMENT ELEVATION
1/2"=1'-0"



3 BAR EQUIPMENT ELEVATION
1/2"=1'-0"



2 BAR EQUIPMENT ELEVATION
1/2"=1'-0"



1 BAR ENLARGED PLAN
1/2"=1'-0"