

Development Services

From Concept to Construction

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More Contact Info (<http://www.portlandoregon.gov/bds/article/519984>)



APPEAL SUMMARY

Status: Decision Rendered

Appeal ID: 21939	Project Address: 1328 SE Morrison St
Hearing Date: 10/2/19	Appellant Name: Mildred White
Case No.: B-002	Appellant Phone: 5032534283
Appeal Type: Building	Plans Examiner/Inspector: Peter Drake
Project Type: commercial	Stories: 1 Occupancy: M, B, F-1 Construction Type: V-B
Building/Business Name:	Fire Sprinklers: No
Appeal Involves: occ Change from R-3 to M, B, F-1	LUR or Permit Application No.: 18-130476-CO
Plan Submitted Option: pdf [File 1] [File 2] [File 3] [File 4] [File 5]	Proposed use: retail, packaging, and office

APPEAL INFORMATION SHEET

Appeal item 1

Code Section OSSC 705.5

Requires Exterior walls shall be fire-resistance rated in accordance with Tables 601 and 602 and this section (705.5). The required fire-resistance rating of exterior walls with a fire separation distance of less than or equal to 10 feet shall be rated for exposure to fire from both sides. Because this wall is located 7'-0" from the property line to the east and 8'-4" of the southern wall is located 2'-4" from the adjacent building to the south, and the building is a VB type construction with M, B, and F-1 occupancies, it is required to be one-hour rated for exposure to fire from both sides.

Proposed Design The proposed design is to install two layers of 5/8" type 'X' gypsum board on the interior face of the walls requiring fire rating. Mineral wool insulation will be installed within the cavity. Please see attached detail.

Reason for alternative The existing building falls 3' short of not being required to provide any fire resistance to the east. To the south, only a small portion of the wall overlaps the adjacent building which is on the same property. We propose to upgrade the wall so that it is fire-rated, but from the interior only. The requirement for fire rating from either side is due to proximity to the property line and potential for an adjacent building to spread fire. Adjacent to the project building to both the east and west is a parking lot. To the south, where not a building, is open yard. Please see attached aerial photo. This alternate is proposed in order to retain the existing historic character of the exterior wall of the 1890 Victorian building which is highly visible from Morrison Street and 14th Avenue.

Appeal item 2

Code Section 705.8.1, Table 705.8

Requires	<p>The maximum area of unprotected openings permitted in an exterior wall in any story of a building shall not exceed the percentages specified in Table 705.8.</p> <p>Table 705.8 states that where the fire separation distance is 5' to less than 10', the maximum allowable area of unprotected openings in a nonsprinklered building is 10%.</p>
Proposed Design	<p>The first floor of the east wall has 16.8% of openings that are existing. We are requesting to be allowed to retain all existing openings instead of decreasing the amount to 10%. We are infilling an existing window on the south wall that is within 2.5' of the adjacent building.</p>
Reason for alternative	<p>The existing building falls 3' short of being allowed to have 15% unprotected openings to the east. The requirement for limitations on openings is due to proximity to the property line and potential for an adjacent building to spread fire. Adjacent to the project building to the east is a parking lot. Please see attached aerial photo.</p> <p>This alternate is proposed in order to retain the existing historic windows and historic character of the exterior wall of the 1890 Victorian building which is highly visible from Morrison Street and 14th Avenue.</p>

APPEAL DECISION

- 1. Alternate 1 hour fire rated exterior wall assembly with 2 layers of Type X gypsum on the interior side: Granted as proposed.**
 - 2. Increase in maximum area of allowable openings from 10 percent to 16.8 percent: Denied. Proposal does not provide equivalent Life Safety protection.**
- Appellant may contact John Butler (503 823-7339) with questions.**



BUILDING CODE

2014 OREGON STRUCTURAL SPECIALTY CODE (OSSC)

BUILDING CONSTRUCTION AND OCCUPANCY

TYPE OF CONSTRUCTION (OSCC CHAPTER 6):

VB NON-SEPARATED (NOT SPRINKLED)

OCCUPANCY (OSCC CHAPTER 3):

M, B, F-1

FIRE-RESISTIVE REQUIREMENTS (OSSC TABLE 601)

STRUCTURAL FRAME	NO REQUIREMENTS SEE BELOW
BEARING WALLS -- EXTERIOR	NO REQUIREMENTS SEE BELOW
BEARING WALLS -- INTERIOR	NO REQUIREMENTS SEE BELOW
NON-BEARING WALLS -- EXTERIOR	NO REQUIREMENTS SEE BELOW
NON-BEARING WALLS -- INTERIOR	NO REQUIREMENTS SEE BELOW
FLOORS AND FLOOR-CEILINGS	NO REQUIREMENTS SEE BELOW
ROOFS AND ROOF-CEILINGS	NO REQUIREMENTS SEE BELOW
EXTERIOR DOORS AND WINDOWS	NO REQUIREMENTS SEE BELOW
STAIRWAY CONSTRUCTION (OSSC 1022)	NO REQUIREMENTS SEE BELOW
SHAFT ENCLOSURES (OSSC 708)	N/A

BUILDING HEIGHT: (OSSC TABLE 503)

MAXIMUM ACTUAL HEIGHT:	25'-0"
MAXIMUM ALLOWABLE HEIGHT:	40'-0"

BUILDING STORIES: (OSSC TABLE 503)

ACTUAL NUMBER OF STORIES:	1 PLUS BASEMENT AND ATTIC
ALLOWABLE NUMBER OF STORIES:	1 FOR M, 2 FOR B

ENERGY CODE REQUIREMENTS (FOR NEW ITEMS ONLY)

BUILDING ENVELOPE PER OREGON ENERGY EFFICIENCY SPECIALTY CODE (PRESCRIPTIVE PATH - ZONE 4C)

REQUIREMENTS (GLAZING BELOW 30%):

WINDOW U-FACTOR:	MAX. 0.35
WINDOW SHADING COEFFICIENT:	MAX. 0.40
SKYLIGHT U-FACTOR:	MAX. 0.60
SKYLIGHT SHADING COEFFICIENT:	MAX. 0.40
EXTERIOR DOOR U-FACTOR:	MAX. 0.70
WALL (FRAMED):	R-21
WALLS (MASS):	R-11.4 CI
WALL (BELOW GRADE):	R-7.5 CI
ROOF INSULATION:	R-38

ACCESSIBLE BARRIER REMOVAL AND UPGRADE OF ACCESSIBLE FEATURES

ELEMENT	ESTIMATED COST
ACCESSIBLE PARKING, SIGNAGE, STRIPING	2,500
EXTERIOR ADA RAMP	8,000
	10,500
PROJECT CONSTRUCTION COST (MINUS SEISMIC)	14,500

BUILDING AREA

BASEMENT (UNOCCUPIED)	863 SF
FIRST FLOOR:	1,107 SF
SECOND FLOOR (UNOCCUPIED):	456 SF

TRAVEL DISTANCE

MAXIMUM TRAVEL DISTANCE : 75'
ACTUAL MAXIMUM TRAVEL DISTANCE : 72'

OCCUPANCY AREA

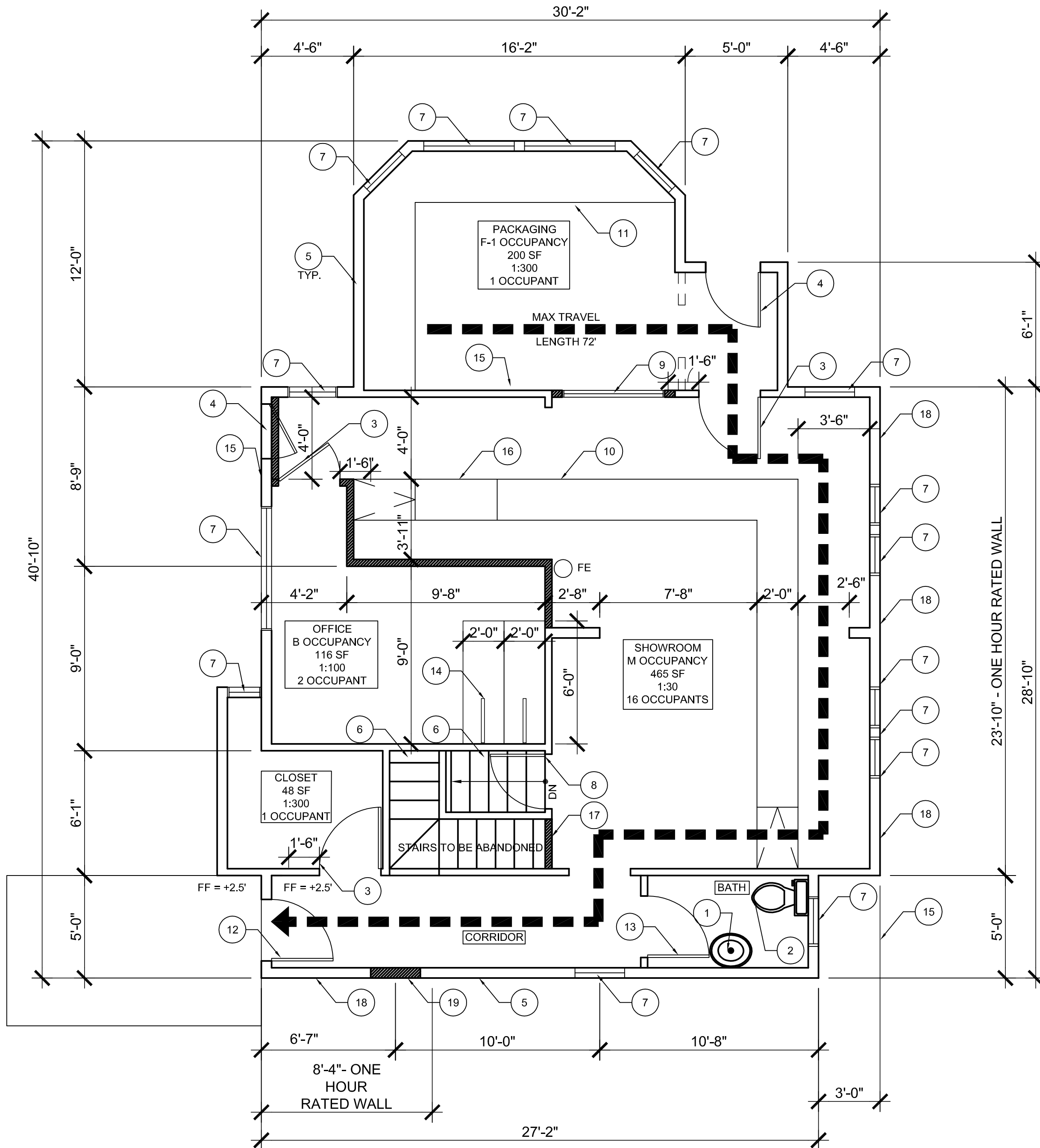
USE	AREA IN SF	OCCUPANT LOAD FACTOR	TOTAL OCC.
MERCANTILE (M)	465	30 SF/OCC	16
PACKAGING (F-1)	200	300 SF/OCC	1
BUSINESS (B)	116	100 SF/OCC	2
BASEMENT	863	UNOCCUPIED	0
SECOND FLOOR	456	UNOCCUPIED	0
TOTAL OCCUPANTS	2,100 TOTAL		19

PLUMBING FIXTURE COUNT

PLUMBING FIXTURE COUNT (IBC TABLE 2902.1)

MINIMUM PLUMBING FIXTURES						
USE	AREA IN SF	OCC LOAD RATIO	TOTAL OCC.	WATER CLOSET RATIO	WATER CLOSETS REQ.	LAVATORY RATIO
MERCANTILE - M	465	30 SF/OCC	16	1:500	.032	1:750
FACTORY - (F-1)	200	300 SF/OCC	1	1:100	.01	1:100
BUSINESS - (B)	116	100 SF/OCC	2	1:100	.32	1:100
TOTAL PROVIDED					1*	1

* SEPARATE TOILET FACILITIES NOT REQUIRED WHERE OCCUPANT LOAD IS EQUAL OR LESS THAN 100 PER IBC 2902.2.
NOTE: DRINKING FOUNTAINS ARE NOT REQUIRED WHERE OCCUPANT LOAD IS LESS THAN 30.



FIRST FLOOR PLAN

SCALE: 1/4" = 1'-0"

FLOOR PLAN LEGEND

	NEW 2x4 FRAMED WALL. SEE DETAIL 1/A4.1
	EXISTING FRAMED WALL TO REMAIN
	DEMO WALL
	PORTABLE FIRE EXTINGUISHER MIN. 2A: 10BC EVERY 75' OF TRAVEL MIN.

GENERAL NOTES

1. CONTRACTOR SHALL VERIFY AND CONFIRM EXISTING DIMENSIONS AND CONDITIONS SHOWN OR IMPLIED ON DRAWINGS PRIOR TO START OF CONSTRUCTION OR ORDERING OF MATERIALS. NOTIFY A/E OF ANY DISCREPANCIES.

2. ALL WORK SHALL CONFORM TO THE REQUIREMENTS OF CITY OF PORTLAND, THE OREGON STRUCTURAL SPECIALTY CODE, AND THE INTERNATIONAL FIRE CODE.

3. DIMENSIONS SHOWN ARE TO FACE OF STUD OR FACE OF OPENING UNLESS NOTED OTHERWISE.

4. LIGHT AND VENTILATION NOT INDICATED ON THESE PLANS SHALL BE PROVIDED AS PER SECTION 1203 OF THE INTERNATIONAL BUILDING CODE.

5. PROVIDE 2A-10BC FIRE EXTINGUISHERS WITHIN 75 FEET OF TRAVEL DISTANCE THROUGHOUT AND ONE EXTINGUISHER FOR EACH 3000 SF OR PORTION THEREOF. COORDINATE LOCATIONS WITH FIRE MARSHAL. VERIFY EXISTING PRIOR TO START OF CONSTRUCTION.

6. CONTRACTOR SHALL PROVIDE ALL NECESSARY TESTING AND COORDINATE ALL REQUIRED INSPECTIONS.

7. ALL EXISTING AND NEW HARDWARE SHALL BE LEVER STYLE IN ACCORDANCE WITH OSSC SECTION 1109.3.

8. PROVIDE 18" MIN. CLEAR OPPOSITE DOOR LEVER ON PULL SIDE OF DOOR AND 12" MIN. CLEAR OPPOSITE DOOR LEVER ON PUSH SIDE PER ADA GUIDELINES

9. PAINT EXTERIOR AND INSTALL BANNER SIGNAGE PER OWNER

KEYNOTES

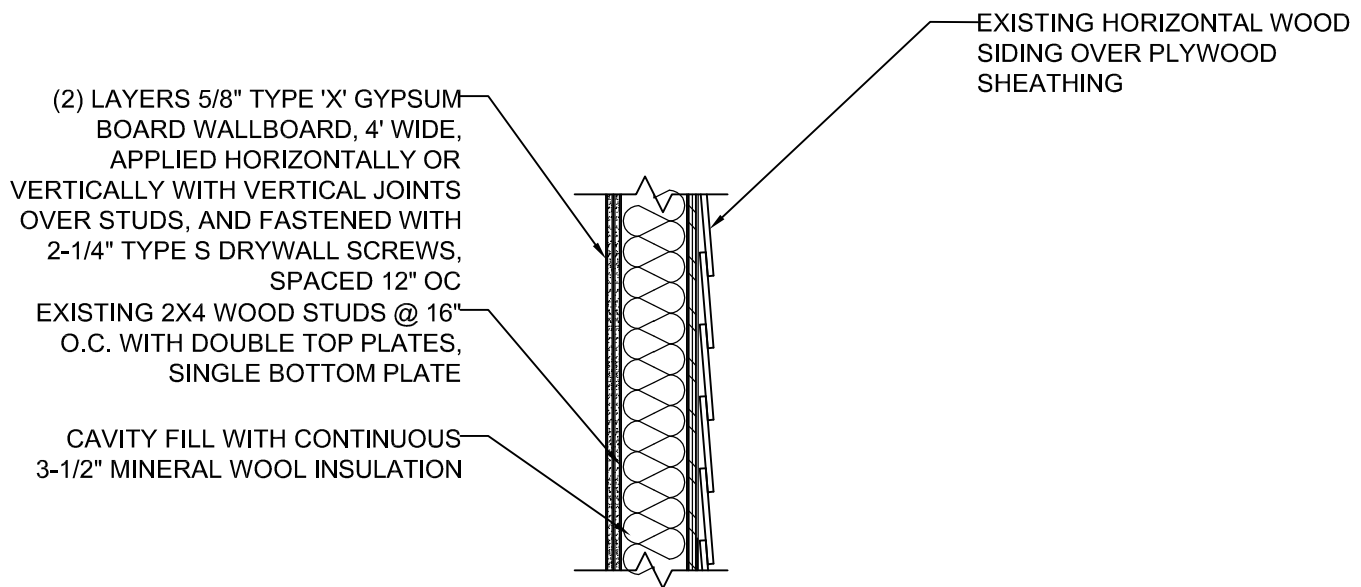
- EXISTING LAVATORY TO REMAIN
- EXISTING WATER CLOSET TO REMAIN
- NEW W 3'-0" X H 7'-0" INTERIOR DOOR WITH ADA COMPLIANT LEVER - ACTION HARDWARE. LOCK OUTSIDE ONLY. INSIDE ALWAYS UNLOCKED. KEY PER OWNER. SEE DETAIL 2/ A4.1. NO CLOSER TO BE INSTALLED.
- EXISTING EXTERIOR DOOR TO REMAIN.
- EXISTING WOOD FRAMED EXTERIOR WALL TO REMAIN
- EXISTING STAIRS TO REMAIN
- EXISTING WINDOW TO REMAIN
- PROVIDE MIN. 36" W X 80" H MECHANICAL ACCESS PER OMSC 306.2
- INFILL EXISTING DOOR OPENING AND INSTALL PASS THROUGH WINDOW. SILL AT 3'-0" A.F.F. SEE DETAIL 3.4/A4.1
- NEW 24" DEEP DISPLAY CASES WITH POS SYSTEM.
- PACKAGING WORK STATION
- EXISTING 3'-0" X 7'-0" EXTERIOR DOOR. INSTALL ACTION ADA COMPLIANT HARDWARE. EXTERIOR KEY LOCK. INTERIOR ALWAYS UNLOCKED. EXTERIOR AND INTERIOR LANDING AT SAME GRADE. EXISTING 1/2" THRESHOLD TO REMAIN.
- EXISTING 3'-0" X 7'-0" INTERIOR DOOR W/ ADA COMPLIANT LEVER ACTION HARDWARE TO REMAIN. INSTALL PRIVACY HARDWARE.
- (2) NEW LONG TERM BICYCLE PARKING. MIN. 2'-0" X 6'-0".
- BASEMENT BELOW.
- NEW 24" DEEP ADA DISPLAY CASE WITH POS SYSTEM 34" A.F.F. MAX.
- INFILL EXISTING DOOR OPENING WITH WOOD STUD WALL. UPSTAIRS DOESN'T MEET CODE AND IS NO LONGER TO BE USED. SEE DETAIL 1/A4.1
- ONE-HOUR RATED EXTERIOR WALL. SEE DETAIL 5/A4.1
- REMOVE EXISTING WINDOW AND INFILL WITH ONE-HOUR RATED EXTERIOR WALL. SEE DETAIL 5/A4.1
- REMOVE EXISTING WINDOW AND INFILL WITH EXTERIOR WALL - NOT REQUIRED TO BE FIRE RATED. SEE DETAIL 5/A4.1

PORTLAND CITY CODE- CHAPTER 24.85 SEISMIC OCCUPANCY CALCULATIONS

EXISTING* NET BUILDING AREA**= 2148 SF			ALTERED NET BUILDING AREA**= 784 (37.3%) SF			
AREA TYPE	OCCUPANCY CLASSIFICATION	RELATIVE HAZARD CLASSIFICATION	AREA SF	LOAD FACTOR	OCCUPANT LOAD	% BUILDING NET AREA
EXISTING OCCUPIED	R-3	1	1500	200	8	76.2%
UNOCCUPIED			600			23.8%
TOTAL			2100		8	100%
NEW OCCUPIED	M	3	465	30	16	22.1%
OCCUPIED	B	2	116	300	2	5.5%
OCCUPIED	F-1	2	200	300	1	9.5%
UNOCCUPIED			1319			
TOTAL			2100		19	37%
NET CHANGE		NO CHANGE	NO CHANGE		+11	

** PORTLAND TITLE 24 - NET FLOOR AREA DEFINITION: NET FLOOR AREA MEANS THE ENTIRE AREA OF A STRUCTURALLY INDEPENDENT BUILDING, INCLUDING AN OCCUPIED BASEMENT, MEASURED FROM THE INSIDE OF THE PERMANENT OUTER BUILDING WALLS, EXCLUDING ANY MAJOR VERTICAL PENETRATIONS OF THE FLOOR, SUCH AS ELEVATOR AND MECHANICAL SHAFTS.

EXTERIOR WALL PROTECTION BASE ON FIRE SEPARATION DISTANCE: (TABLE 602)						
WALL LOCATION	DISTANCE TO PROPERTY LINE	FIRE RATING	WALL AREA (SF)	ALLOWABLE AREA	ACTUAL OPENING (SF)	% OF WALL
NORTH	41'-8"	NOT REQ'D	438 SF	NO LIMIT	118 SF	27%
WEST	14'-11"	NOT REQ'D	287.5 SF	15%	42.25 SF	14.7%
SOUTH	56'-6"	NOT REQ'D	369 SF	NO LIMIT	34 SF	9%
SOUTH -- WORST CASE	1'-2" (FOR 3'-10")	2 HOUR RATED		NOT PERMITTED	NOT PERMITTED	NOT PERMITTED
EAST	10'-0"	NOT REQ'D	111 SF	15%	8 SF	7.2%
EAST-- WORST CASE-FLR 1	7'-0"	1 HOUR RATED	237.5 SF	10%	40 SF	16.8%
EAST-- WORST CASE-FLR 2	7'-0"	1 HOUR RATED	134 SF	10%	11.8 SF	8.8%





SE Morrison St

PARKING
LOT

PROJECT

PARKING
LOT

SE 13th Ave

1300-1308

1328

1322-1328

1315

1305

1305

821

1400-1416

1405

23'-9" ±
T.O. MAIN RIDGE

22'-9" ±
T.O. SECONDARY RIDGE

15'-2" ±
B.O. EAVE

2'-6" ±
T.O. FINISH FLOOR

0'-0" ±
FINISH GRADE



2

EAST ELEVATION

A2.2

SCALE: 1/4" = 1'-0"