

Development Services

From Concept to Construction

Phone: 503-823-7300 Email: bds@portlandoregon.gov 1900 SW 4th Ave, Portland, OR 97201

More Contact Info (<http://www.portlandoregon.gov/bds/article/519984>)



APPEAL SUMMARY

Status: Decision Rendered

Appeal ID: 21903	Project Address: 901 SW King Ave
Hearing Date: 9/25/19	Appellant Name: Zach Owen
Case No.: B-003	Appellant Phone: 5039439250
Appeal Type: Building	Plans Examiner/Inspector: Ed Marihart
Project Type: commercial	Stories: 12 Occupancy: R-2 Construction Type: 1-A
Building/Business Name:	Fire Sprinklers: Yes - All tenant floors, See Appeal ID# 18977
Appeal Involves: Alteration of an existing structure	LUR or Permit Application No.:
Plan Submitted Option: pdf [File 1]	Proposed use: Apartment Building

APPEAL INFORMATION SHEET

Appeal item 1

Code Section	Chapter 13 Systematic Inspection Program
Requires	Chapter 13 modification, a change of use and/or layout requires a building code appeal.
Proposed Design	Area of work: 12th floor, Unit #12-L Proposed change in layout for 12th floor apt. unit. Proposed division of existing apt. unit #12-L into (2) separate apt. units #12-L & 12-M, reverting back to original floor plan configuration as initially constructed. Proposed new minimum 1-hr rated assembly to be constructed between units w/ STC rating not less than 50. GA file # WP-1530 is a 2-hr rated assembly with an STC of 50-45 composed of 1-5/8" steel studs at 24" O.C. with (2)-layers Type-X gypsum Bd. applied to each side, and 1-1/2" mineral fiber insulation stapled into stud space. The building is provided with a fully automatic sprinkler system. A single fire sprinkler is provided within each dwelling unit located above the unit doorway. Alternate Type 13 sprinkler, standpipe and fire pump system approved under appeal ID#: 18977
Reason for alternative	The proposed design is intended to restore units 12-L and unit 12-M back to original plan configuration as initially constructed. All existing exits and egress routes are maintained, providing equivalent life safety. Proposed restoration work consists of non-combustible materials meeting Type 1A construction requirements, providing equivalent fire protection.

APPEAL DECISION

Reconfiguration of unit 12L to the original two unit floor plan in Chapter 13 building: Granted as proposed.

The Administrative Appeal Board finds that the information submitted by the appellant demonstrates that the approved modifications or alternate methods are consistent with the intent of the code; do not lessen health, safety, accessibility, life, fire safety or structural requirements; and that special conditions unique to this project make strict application of those code sections impractical.

Pursuant to City Code Chapter 24.10, you may appeal this decision to the Building Code Board of Appeal within 90 calendar days of the date this decision is published. For information on the appeals process, go to www.portlandoregon.gov/bds/appealsinfo, call (503) 823-7300 or come in to the Development Services Center.

ABBREVIATIONS

ACT	ACOUSTICAL CEILING TILE
AFB	ABOVE FINISH FLOOR
ARCH	ARCHITECT
BLDG.	BUILDING
BM	BEAM
C	CONTRACTOR (GENERAL)
CJ	CONTROL JOINT
CL	CENTER LINE
CLG	CEILING
CMU	CONCRETE MASONRY UNIT
COL	COLUMN
CONC.	CONCRETE
CONT.	CONTINUOUS
DTL	DETAIL
DIA.	DIAMETER
DIM.	DIMENSION
DN	DOWN
DWG.	DRAWING
EA	EACH
EJ	EXPANSION JOINT
ELEC.	ELECTRIC 1/2 ELECTRICAL
EQ.	EQUAL
EXIST.	EXISTING
FIN.	FINISH
GA.	GAUGE
GYP.	GYP SUM
GWB.	GYP SUM WALL BOARD
HB.	HOSE BIB
HC.	HANDICAPPED
HM	HOLLOW METAL
HORIZ.	HORIZONTAL
HGT.	HEIGHT
HVAC	HEATING, VENTILATING, AIR CONDITIONING
I	INSTALLED MEANS CLEANED & CONNECTED FOR USE
INSUL.	INSULATION
MAS.	MASONRY
MECH.	MECHANICAL
MANUF.	MANUFACTURER
MIN.	MINIMUM
MISC.	MISCELLANEOUS
MTL.	METAL
NIC.	NOT IN CONTRACT
NTS	NOT TO SCALE
O	OWNER
O.C.	ON CENTER
P	PROVIDED MEANS SUPPLIED & INSTALLED
P-LAM	PLASTIC LAMINATE
PLYWD.	PLYWOOD
REINF.	REINFORCED
REQ'D	REQUIRED
S	SUPPLIED MEANS UNCRATED & DELIVERED TO SITE
SHT	SHEET
TEL	TELEPHONE
TYP.	TYPICAL
UNO	UNLESS NOTED OTHERWISE
VF.	VERIFY IN FIELD
VCT	VINYL COMPOSITION TILE

MATERIALS

	BATT INSULATION
	RIGID INSULATION
	GYP SUM DRYWALL
	CONCRETE
	STEEL
	WOOD-ROUGH (CONT.)
	WOOD-ROUGH (NON CONT.)
	PLYWOOD
	EARTH
	CMU

SYMBOLS

	DETAIL NUMBER
	SHEET NUMBER
	INTERIOR ELEVATION
	PLAN DETAIL NUMBER
	ELEVATION
	PARTITION TYPE
	PLAN NOTES NUMBER
	ROOM NUMBER
	EQUIPMENT NUMBER
	WINDOWS

Minor Interior Alteration of:
CELIO APARTMENTS

901 SW King Ave.
Portland, OR 97205

LEGEND

	WALL TO BE REMOVED
	EXISTING WALL TO REMAIN
	NEW WALL

DRAWING INDEX

CS.1	COVER SHEET, VICINITY MAP, SITE PLAN & CODE SUMMARY
A1.1	LEVEL 12 FLOOR PLAN & EGRESS PLAN
A1.2	AS-BUILT/DEMO PLAN, CONSTRUCTION PLAN, LIGHTING/POWER PLAN & WALL TYPES
A1.3	KITCHEN ELEVATIONS
A1.4	ACCESSIBILITY UPGRADES

PORTLANDMAPS.COM

SCOPE OF WORK

PROPOSED DIVISION OF (E) APT. UNIT (#12-L) INTO (2) SEPARATE APT. UNITS (#12-L & #12-M) REVERTING BACK TO UNIT MIX AS INITIALLY CONSTRUCTED.
PROPOSED NEW 1-HR RATED ASSEMBLY TO BE CONSTRUCTED BETWEEN UNITS W/ STC RATING NOT LESS THAN 50.
PROPOSED (N) KITCHEN
PROPOSED (N) UN-RATED FIRE PARTITIONS
PROPOSED RELOCATION OF (E) ELECTRICAL PANEL

ELECTRICAL PERMIT DEFERRED

PLUMBING PERMIT DEFERRED

BUILDING INFORMATION

BASEMENT:	1,700 SF
LEVEL 01:	9,400 SF
LEVEL 02-12:	10,900 SF (EACH)

TOTAL: 13,000 SF

FIRE & LIFE SAFETY CODE SUMMARY

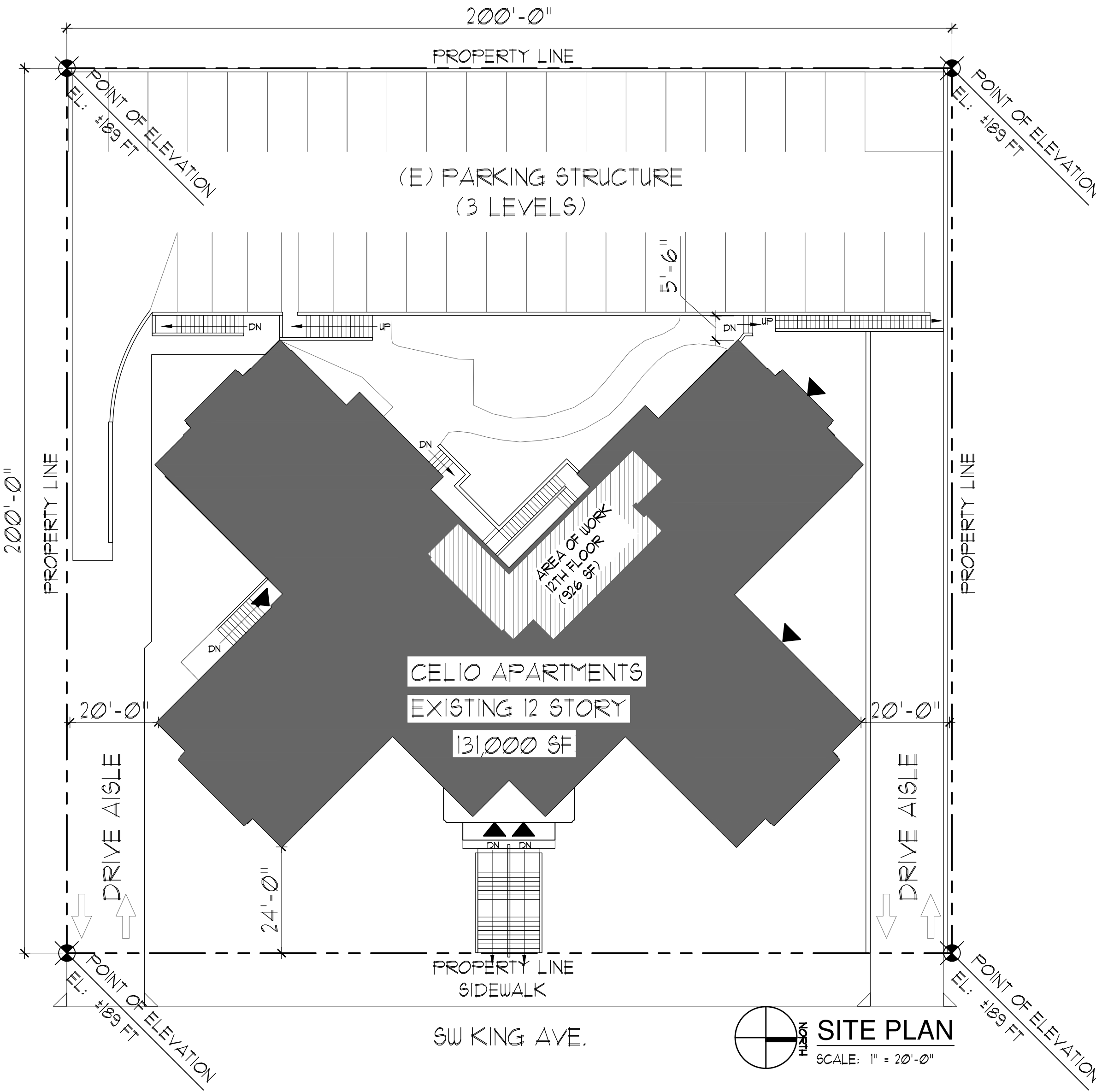
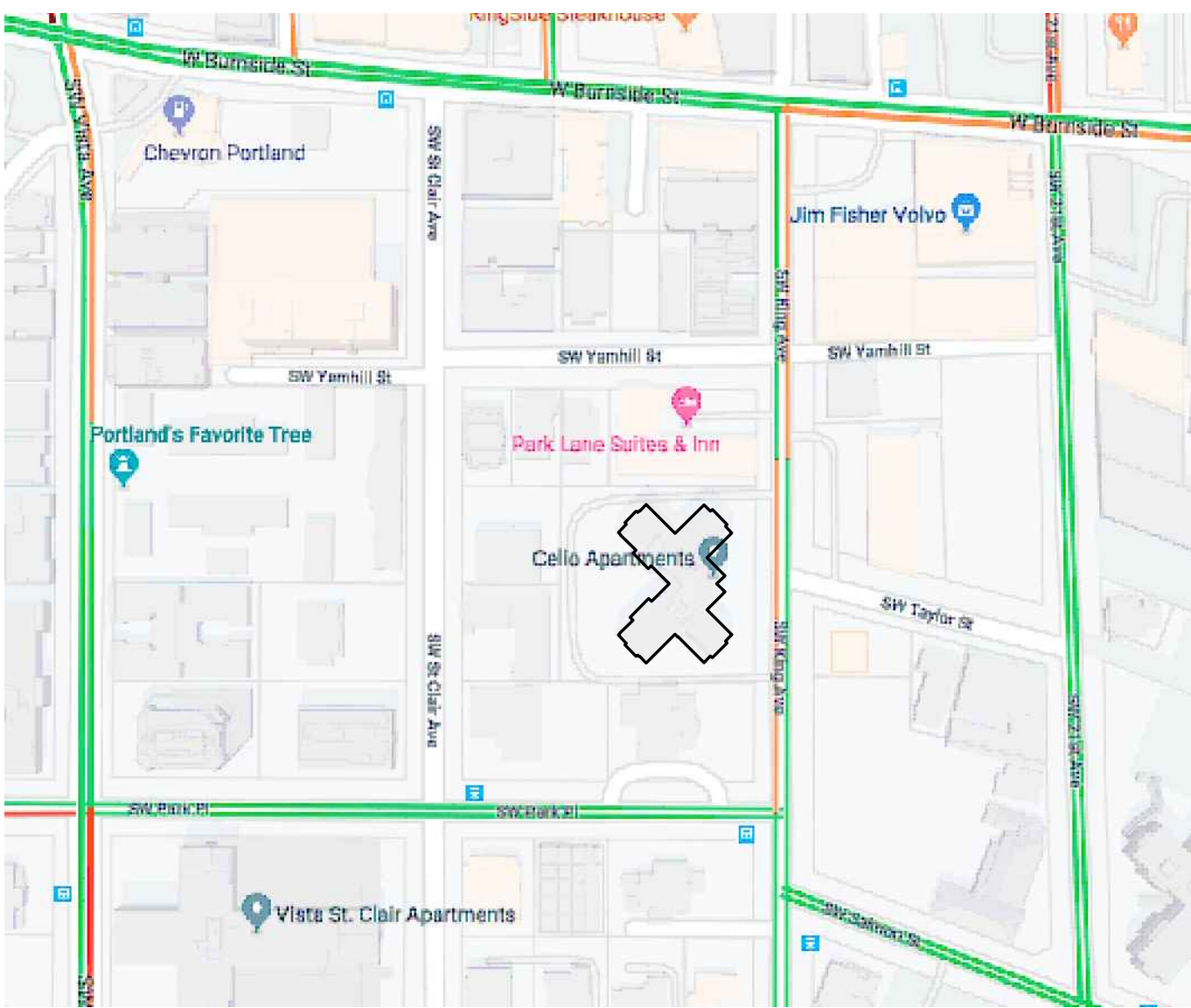
NUMBER OF STORIES: 12 STORY
CONSTRUCTION TYPE: I-A PROTECTED NON-COMBUSTIBLE
EXISTING USE GROUP: GROUP R-2 (EL APT HIGH RISE)
PROPOSED USE GROUPS: GROUP R-2 (EL APT HIGH RISE)
SPRINKLED: YES, SPRINKLERS HAVE BEEN ADDED PER APPEAL ID# 18311
ALARMED: YES
GROUP R-2: COMMON PATH OF EGRESS TRAVEL: MAX. 15 FT
GROUP R-2: EXIT ACCESS TRAVEL DISTANCE: MAX. 200 FT

CODES USED:

2014 OREGON STRUCTURAL SPECIALTY CODE & 2012 IBC

SITE INFORMATION

PROPERTY ID: R193323
STATE ID: INE33CD -02500
LOT SIZE: 0.92 ACRES (40,000 SF)
LEGAL DESC.: JOHNSONS ADD, BLOCK 5, LOT 243, E 50' OF LOT 641
ZONE: RH(6)
HISTORIC DISTRICT: (KH) KING'S HILL HISTORIC DISTRICT
COUNTY: MULTNOMAH
JURISDICTION: CITY OF PORTLAND



GENERAL NOTES

- INFORMATION CONTAINED IN THESE DRAWINGS IS BASED ON SITE DRAWINGS, VISUAL INSPECTIONS, AND LIMITED FIELD MEASUREMENTS TAKEN BY THE ARCHITECT. IF ANY ADJUSTMENTS OR MODIFICATIONS ARE REQUIRED TO CONFORM WITH EXISTING CONDITIONS, CONTRACTOR SHALL INFORM ARCHITECT PRIOR TO SUCH CHANGES
- CONTRACTOR SHALL VISIT SITE AND VERIFY CONDITIONS PRIOR TO SUBMITTING BIDS TO THE OWNER
- IF ANY ERRORS OR OMISSIONS APPEAR ON DRAWINGS THAT BECOME APPARENT TO THE CONTRACTOR, HE SHALL NOTIFY THE ARCHITECT DURING THE BIDDING PROCESS SO THAT CORRECTIVE MEASURES CAN BE TAKEN.
- CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR THE PROTECTION OF EXISTING FACILITIES DURING CONSTRUCTION, ANY DAMAGE OCCASIONED OR ARISING FROM THE ACTIONS OF THE CONTRACTOR OR SUBCONTRACTORS, SHALL BE CORRECTED AT THE CONTRACTOR'S EXPENSE
- ALL CUTTING AND PATCHING SHALL BE PERFORMED IN A NEAT WORKMANLIKE MANNER, ANY EXISTING FINISHES DISTURBED OR DAMAGED DURING CONSTRUCTION SHALL BE REPAIRED TO MATCH EXISTING IN KIND AND FINISH
- ALL CONSTRUCTION OF UTILITIES TO BE IN ACCORDANCE WITH LOCAL CODES, SUBCONTRACTORS SHALL BE RESPONSIBLE TO OBTAIN TRADE PERMITS, PROVIDING ALL INFORMATION AS NECESSARY FOR DEFERRED SUBMITTAL
- GENERAL CONTRACTOR IS TO INCLUDE IN BID, ALL UTILITY COSTS NECESSARY TO PROVIDE COMPLETE ELECTRICAL SERVICE, SEWER TIE-IN, TAP FEES, CONNECTION COSTS, AND WATER SERVICE AS REQUIRED BY LOCAL CODES AND UTILITY COMPANIES.
- CONTRACTOR SHALL BE RESPONSIBLE FOR CLEANING ALL INTERIOR SURFACES, EXISTING AND NEW, INCLUDING GLASS SURFACES PRIOR TO OCCUPANCY OF NEW SPACE BY OWNER
- GENERAL CONTRACTOR SHALL ANTICIPATE AND MAKE PROVISIONS FOR A SUBSTANTIAL AMOUNT OF COORDINATION AMONG EXISTING CONDITIONS AND NEW MECHANICAL, PLUMBING, AND ELECTRICAL WORK
- CONTRACTOR TO CONFORM IN STRICT ACCORDANCE WITH MANUFACTURERS INSTRUCTIONS AND RECOMMENDATIONS.
- ALL DIMENSIONS ON PLANS ARE TO FACE OF STUDS OF CONCRETE UNLESS OTHERWISE NOTED.
- INTERIOR FINISH SHALL HAVE A FLAME SPREAD RATING OF 200 OR LESS WITH A MAXIMUM SMOKE GENERATION FACTOR OF 450.
- CONTRACTOR TO CHECK AND VERIFY DIMENSIONS IN FIELD PRIOR TO CONSTRUCTION AND INSTALLATION OF MILLWORK
- EXIT DOOR LOCKS SHALL NOT REQUIRE THE USE OF A KEY, TOOL, SPECIAL KNOWLEDGE OR EFFORT FOR OPERATION WITHIN THE BUILDING.
- CONTRACTOR TO VERIFY ALL PIPING TO REMAIN, REMOVED AND RELOCTED AS NECESSARY PRIOR TO DEMOLITION.
- CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR THE REMOVAL OF MATERIALS OFF-SITE AT NO ADDITIONAL COST TO THE OWNER, AND SHALL OBSERVE ALL REQUIRED SAFETY PRECAUTIONS (INCLUDING ASBESTOS, AND LEAD TESTING AND ABATEMENT) IN THE PERFORMANCE OF THE WORK.
- CONTRACTOR TO SUPPORT ALL WORK PRIOR TO THE REMOVAL OF MATERIALS.
- PATCH AND REPAIR ANY VOIDS MADE BY CONSTRUCTION WITH SAME MATERIALS AS EXISTING ADJACENT SURFACES.
- CONTRACTOR TO VERIFY ALL FIELD CONDITIONS PRIOR TO CONSTRUCTION, AND SHALL BE RESPONSIBLE FOR NECESSARY MANPOWER, EQUIPMENT AND MATERIALS REQUIRED TO COMPLETE THE PROJECT
- PREMISES TO BE TURNED OVER IN DETAILED CONDITION, CLEAN WINDOWS, DOORS, FRAME & MULLIONS (INSIDE & OUT), VACUUMED CARPET, DUSTED CHAIR RAILS & PICTURE RAILS, WET-MOP HARD FLOOR SURFACES, DETAIL RESTROOMS.



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ISSUED SETS:

NO.	DATE	DESCRIPTION
6/12/19	DD	REVIEW SET
9/6/19	95%	REVIEW SET
9/16/19		PERMIT-SET

OWNER:

KING TOWER HOLDINGS LLC
101 SW MAIN ST. SUITE 1210
PORTLAND, OR 97204

PROJECT:

CELIO APTS. UNIT 12-L SPLIT
901 SW KING AVE.
PORTLAND, OR 97205

DRAWING:

COVERSHEET,
VICINITY MAP &
SITE PLAN

ARCHITECT:

JHM

DRAWN BY:

JHM/SZO

SCALE:

AS NOTED

DATE:

9-16-19

PROJECT NO:

1914

CS.1



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PROJECT:

**CELIO APTS.
UNIT 12-L SPLIT**

901 SW KING AVE.
PORTLAND, OR 97205

DRAWING:

**PROPOSED
EGRESS PLAN**

ARCHITECT: **JHM** DRAWN BY:
JHM/SZO

SCALE:
AS NOTED

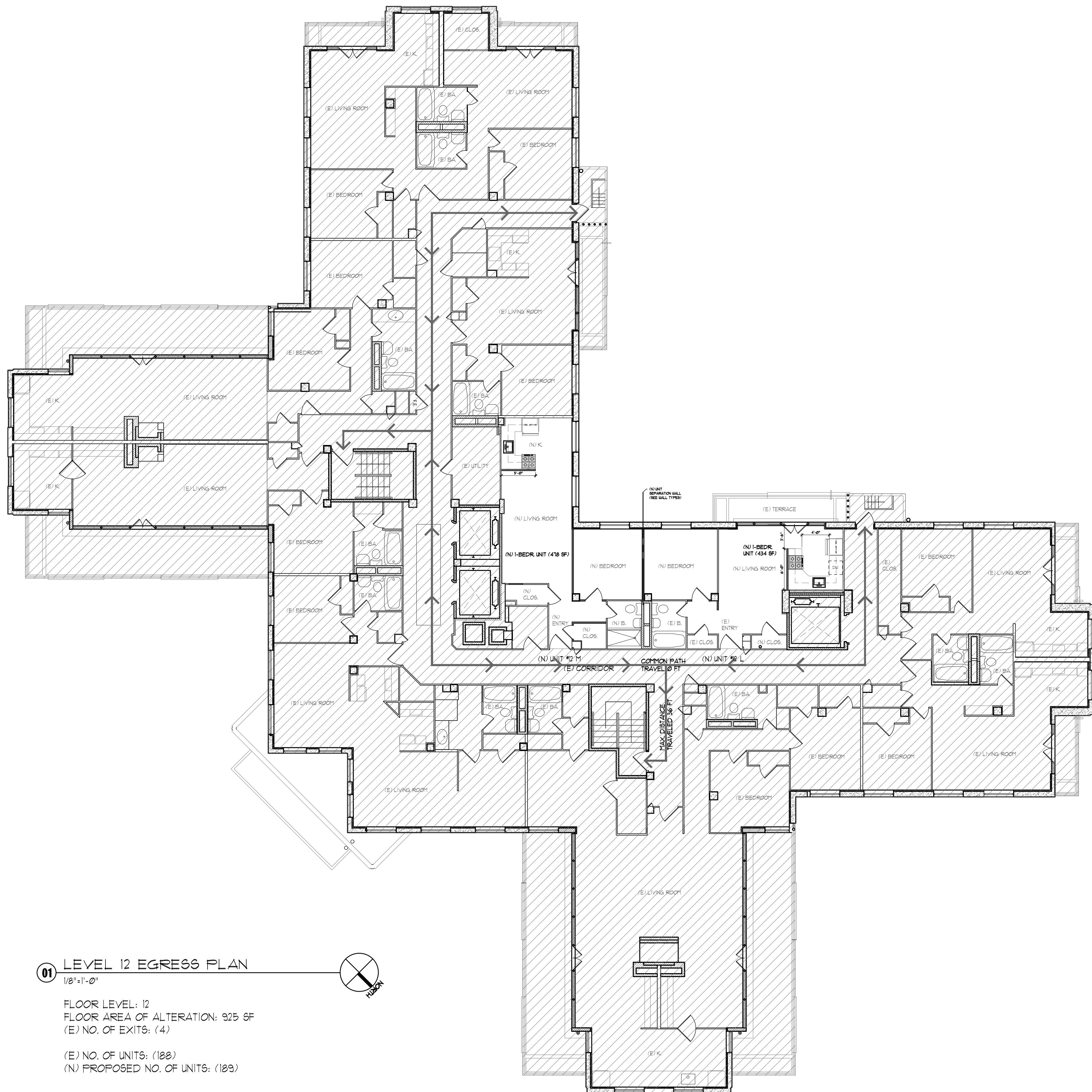
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9-16-19

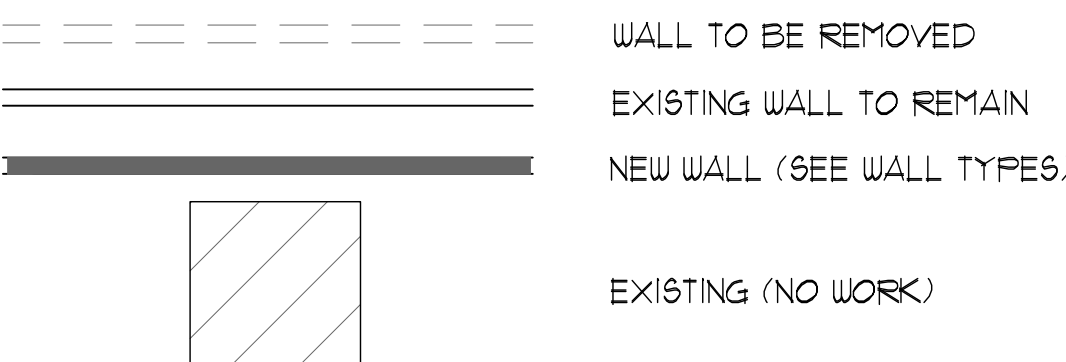
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1914

A1.1



LEGEND



NOTE:

- Ⓢ ALL SMOKE DETECTORS MUST BE HARD WIRED & INTERCONNECTED WITH BATTERY BACKUP. SMOKE ALARMS WILL BE PROVIDED IN ACCORDANCE WITH 9012.11
- Ⓢ CARBON MONOXIDE ALARMS WILL BE PROVIDED PER OFC 908.7
- LIGHTING & POWER LAYOUT BY ELECTRICIAN. EXISTING & PROPOSED LAYOUTS NOTED ON PLANS.
- * EXISTING SPRINKLER HEAD (LOCATED WITHIN UNIT)

GA FILE NO. WP 1530

GENERIC

2 HOUR FIRE

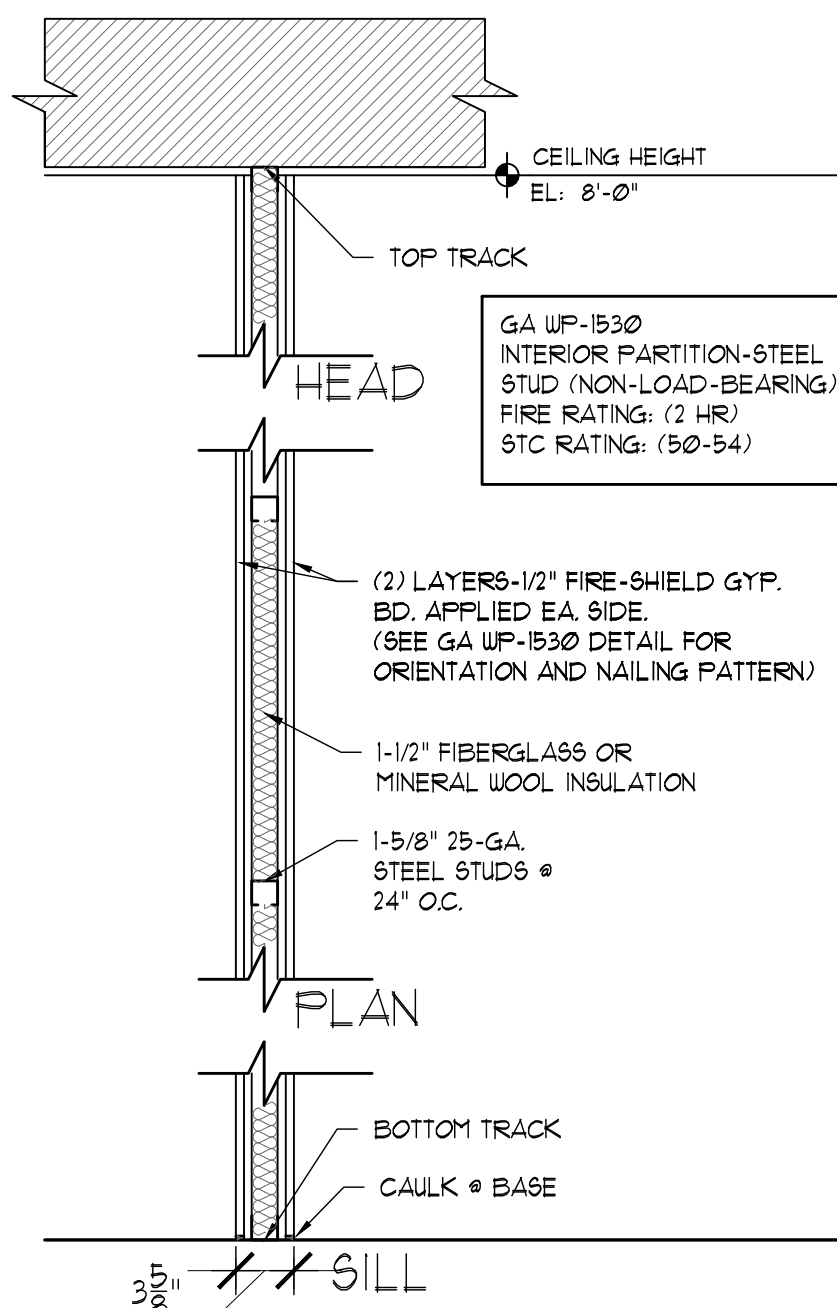
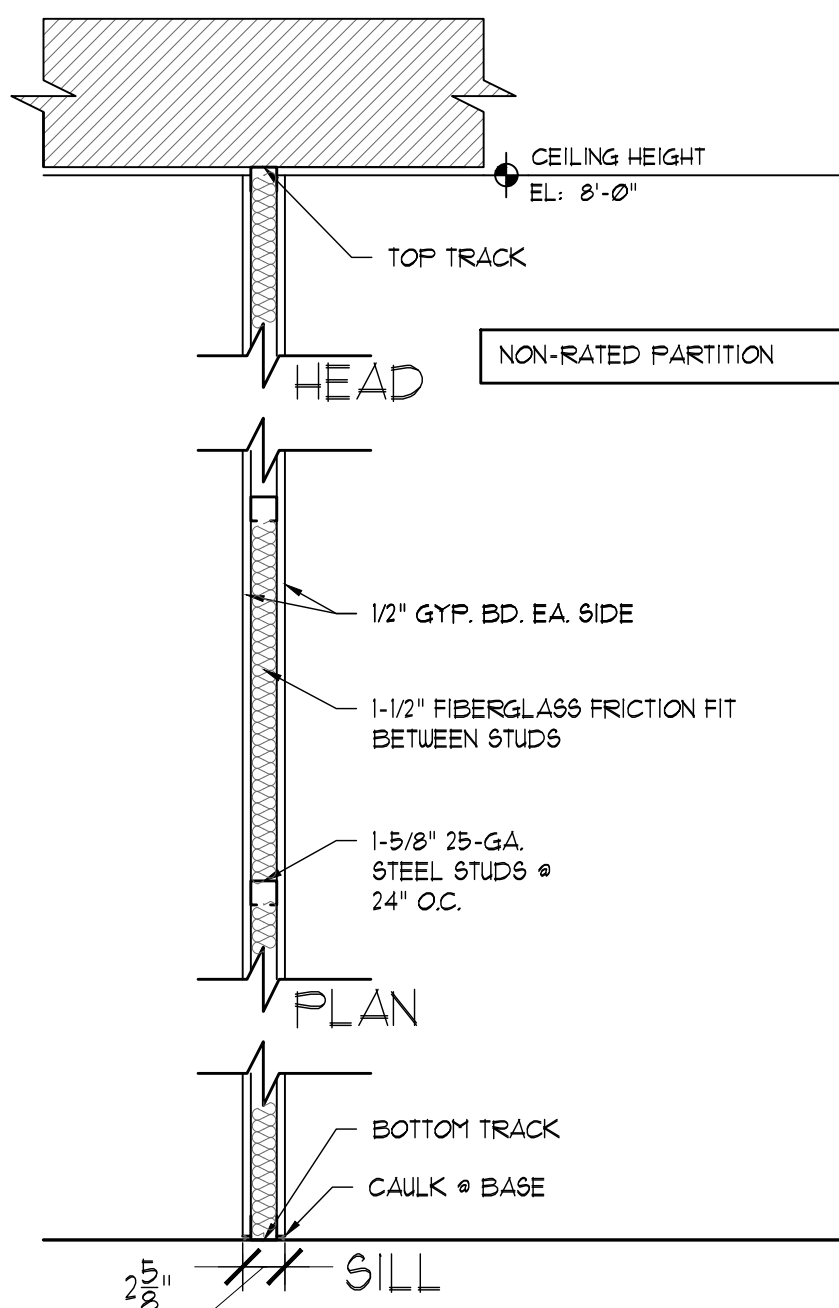
50 to 54 FSTC SOUND

GYPSON WALLBOARD, STEEL STUDS

Base layer 1/2" type X gypsum wallboard or gypsum veneer base applied parallel to each side of 1 1/2" steel studs 24" o.c. with 1" Type S drywall screws 12" o.c. Face layer 1/2" type X gypsum wallboard or gypsum veneer base applied parallel to each side with 1 1/2" Type S drywall screws 12" o.c.

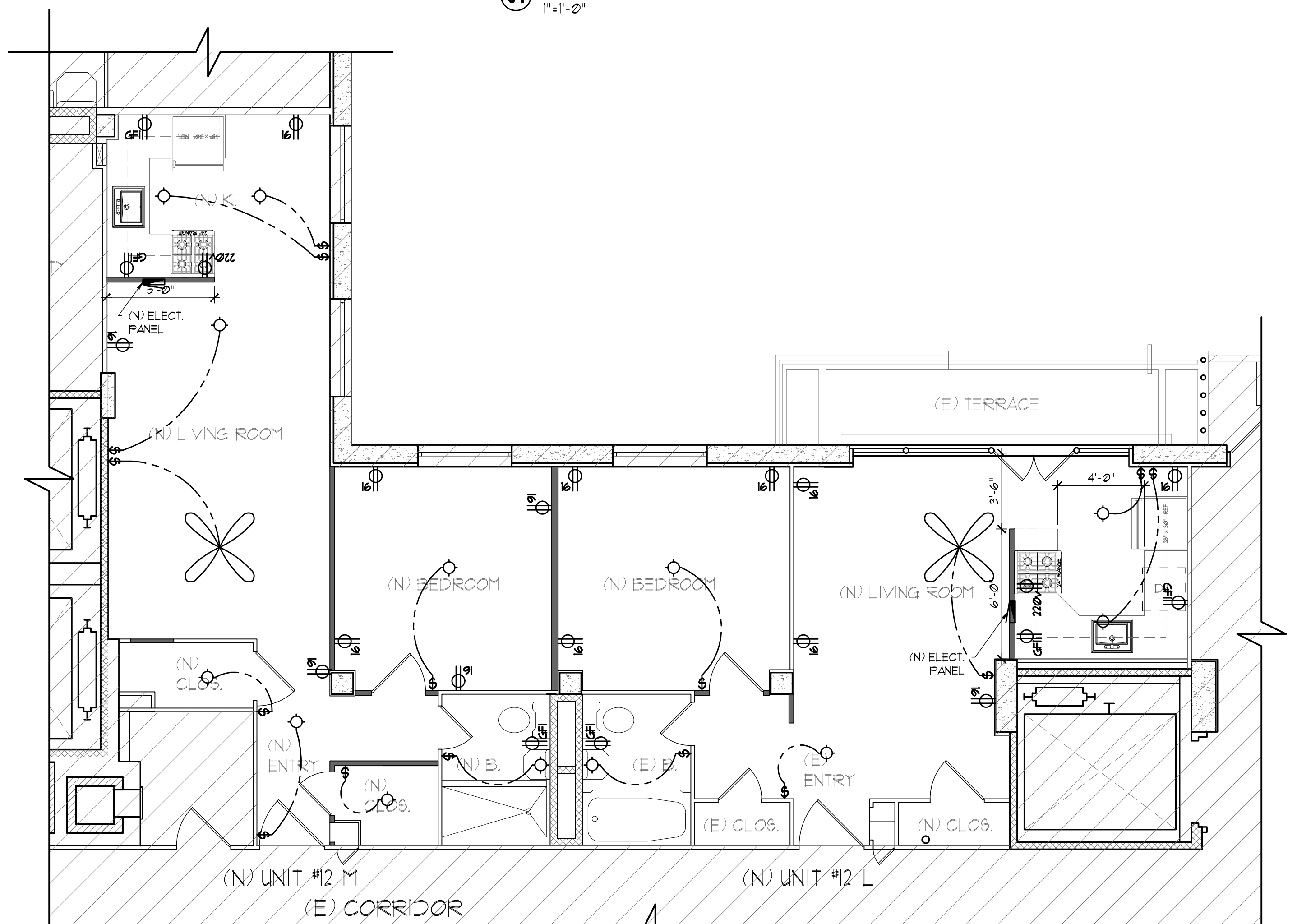
Joints staggered 24" each layer end side. Sound tested with 1 1/2" mineral fiber insulation stapled in stud space. (NLB)

Thickness: 3 3/4"
 Approx. Weight: 9 psf
 Fire Test: UC, 12-7-64
 Field Sound Test: AGI 1131a, 7-14-64



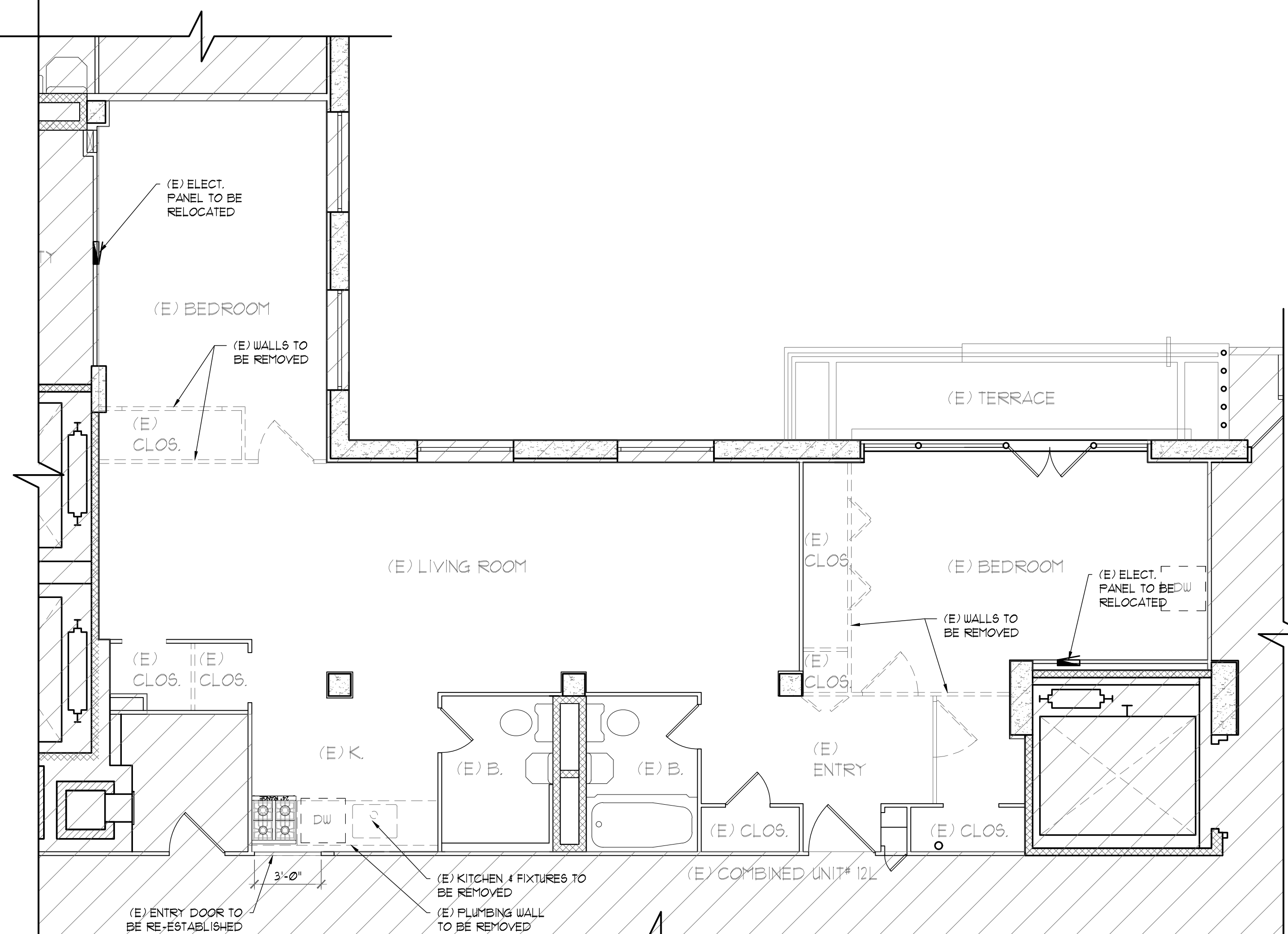
04 WALL TYPES

1"=1'-0"



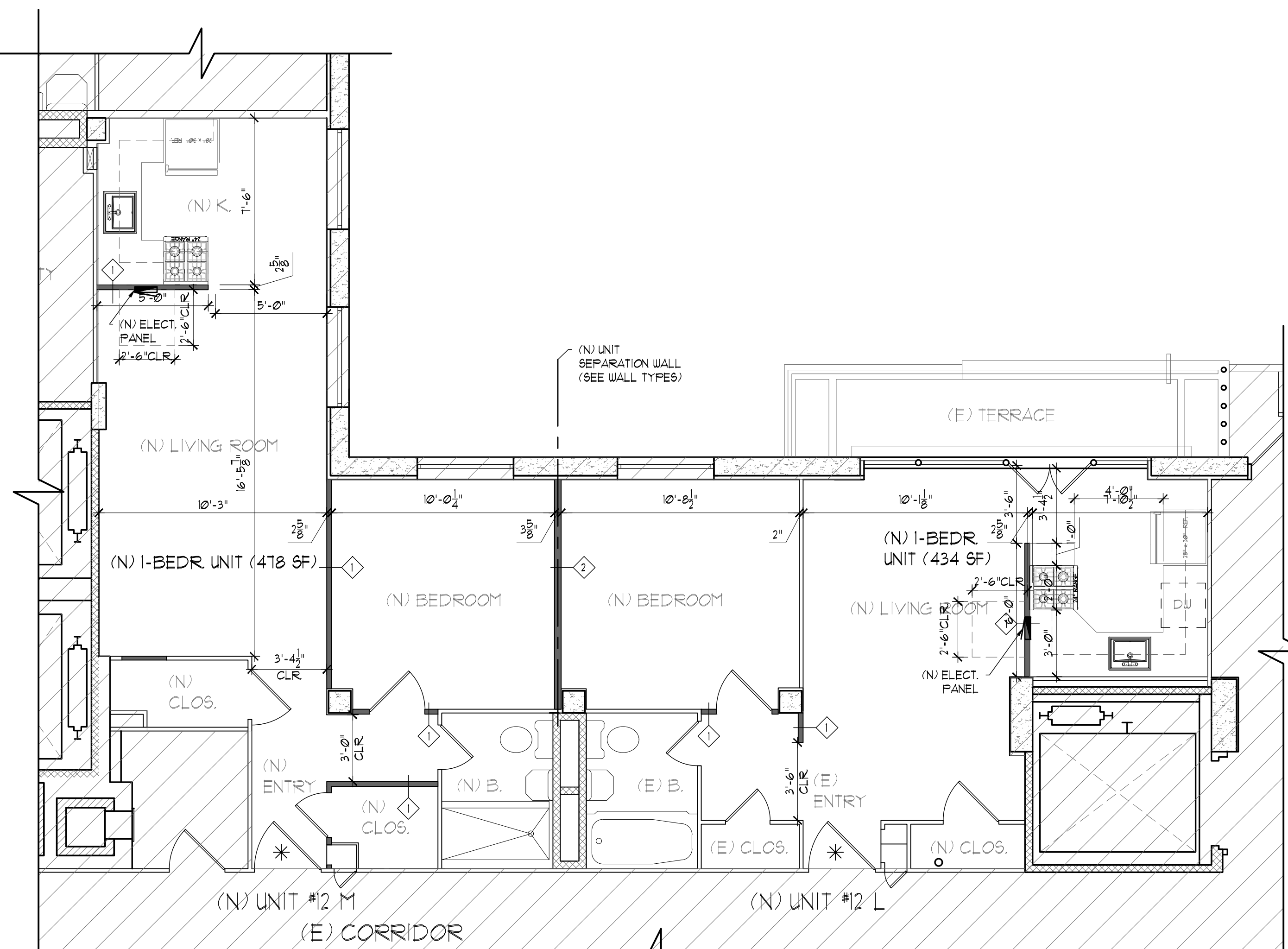
02 LIGHTING/POWER PLAN

1/4"=1'-0"



03 AS-BUILT/DEMOLITION PLAN

1/4"=1'-0"



01 (N) CONSTRUCTION PLAN

1/4"=1'-0"

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DRAWING:

AS-BUILT/DEMO PLAN,
 LIGHTING/POWER PLAN,
 CONSTRUCTION PLAN
 & WALL TYPES

ARCHITECT:

JHM

DRAWN BY:

JHM/SZO

SCALE:

AS NOTED

DATE:

9-16-19

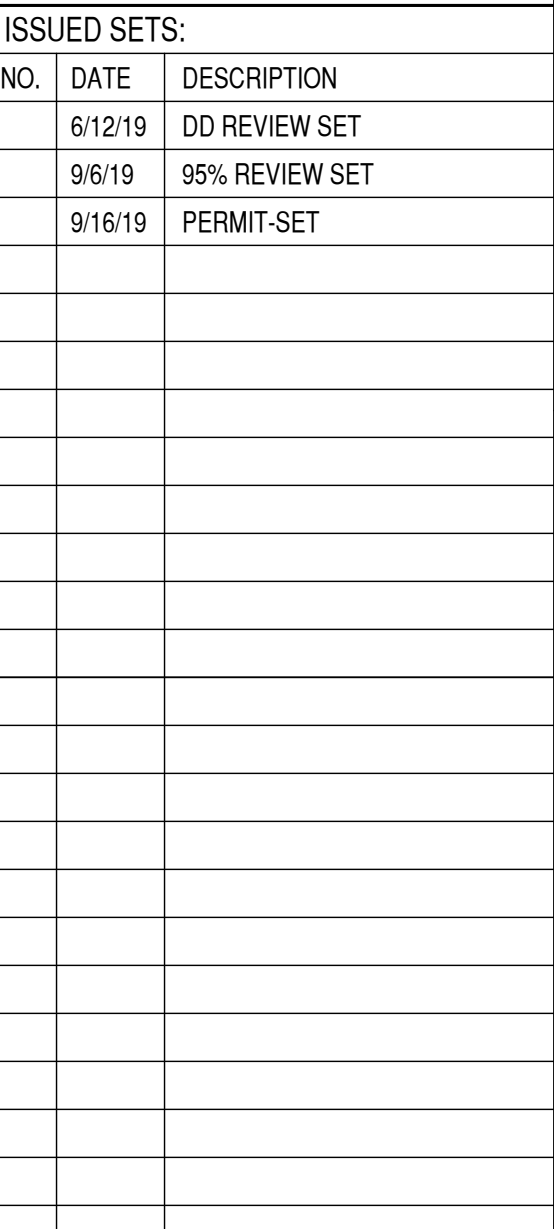
PROJECT NO:

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A1.2



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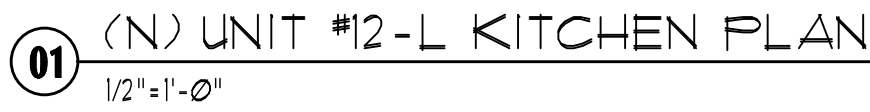
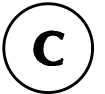
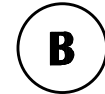
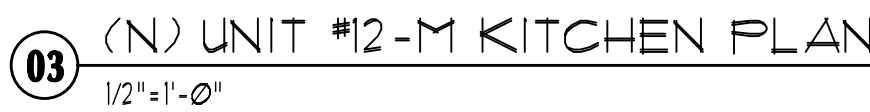


PROJECT:

**CELIO APTS.
UNIT 12-L SPLIT**

**901 SW KING AVE.
PORTLAND, OR 97205**

ARCHITECT: JHM	DRAWN BY: JHM/SZO
SCALE: AS NOTED	A1.3
DATE: 9-16-19	
PROJECT NO: 1914	



A1.4