

Development Services

From Concept to Construction

Phone: 503-823-7300 Email: bds@portlandoregon.gov 1900 SW 4th Ave, Portland, OR 97201

More Contact Info (<http://www.portlandoregon.gov/bds/article/519984>)



APPEAL SUMMARY

Status: Decision Rendered

Appeal ID: 21901	Project Address: 4345 SE 35th Ave
Hearing Date: 9/25/19	Appellant Name: Chris Kreipe
Case No.: B-001	Appellant Phone: 503-254-4156
Appeal Type: Building	Plans Examiner/Inspector: Rodney Jennings
Project Type: residential	Stories: 1 Occupancy: Single family home Construction Type: Wood framed structure
Building/Business Name:	Fire Sprinklers: No
Appeal Involves: Alteration of an existing structure	LUR or Permit Application No.: 19-169613-LU
Plan Submitted Option: pdf [File 1]	Proposed use: Residential

APPEAL INFORMATION SHEET

Appeal item 1

Code Section ORSC R302.1

Requires Exterior walls less than three feet to a property line shall be one-hour fire-rated with no openings allowed. Roofs and eaves may not project less than 2 feet from the property line.

Proposed Design The proposed design of the new kitchen/converted garage will retain the same setback as the existing structure (18" to north property line). The Type 2 adjustment # 19-169613 currently in process addresses and asks for approval of the reduced setback. We have been advised to do an Administrative Building Code appeal to allow for the eaves of the new structure to extend into the reduced setback.

We propose to limit the projection of the north eave to as shallow as possible, approx 4". It is also proposed to use non-flammable and/or 2-hour fire rated materials for construction of all parts of the eave within the setback including the horizontal (soffit) and vertical (fascia) surfaces. The entirety of the north wall of the structure within the setback is proposed to be 2-hour fire rated as well.

Reason for alternative This alternate is required to satisfy the code language pertaining to exterior walls within the setback requiring 2-hour fire rating and eaves projecting less than 2 feet from the property line (ORSC R302.1). The proposed design will be no closer to the property line than the existing structure to be replaced with the exception of the eave which will protrude approx 4", and/or be approx. 14" from the north property line. With the eave assembly being 2 hour fire rated and the footprint of the structure remaining the same as existing the fire protection level will be equivalent or better than existing.

APPEAL DECISION

1. Alternate one hour assembly for North eave of existing garage within 2 feet of property line: Granted provided:

a. Two layers of 5/8" Type X gypsum sheathing are provided on the underside of the soffit with 2 x blocking between rafters as required for nailing. (A protective weather barrier may cover the gypsum sheathing).

b. No openings including eave vents may be installed in the soffit and no openings including windows, roof vents or skylights may be installed in that portion of the wall or roof that is within three feet of the property line.

c. No built elements including gutters and footings may cross the property line and stormwater must remain and be disposed of on site.

Appellant may contact John Butler (503 823-7339) with questions.

The Administrative Appeal Board finds with the conditions noted, that the information submitted by the appellant demonstrates that the approved modifications or alternate methods are consistent with the intent of the code; do not lessen health, safety, accessibility, life, fire safety or structural requirements; and that special conditions unique to this project make strict application of those code sections impractical.

Pursuant to City Code Chapter 24.10, you may appeal this decision to the Building Code Board of Appeal within 90 calendar days of the date this decision is published. For information on the appeals process, go to www.portlandoregon.gov/bds/appealsinfo, call (503) 823-7300 or come in to the Development Services Center.

Root/Miller Garage Conversion

4345 SE 35th Ave Portland OR 97202



18

DATE: 5/16/2019

SCALE: 1" = 10'

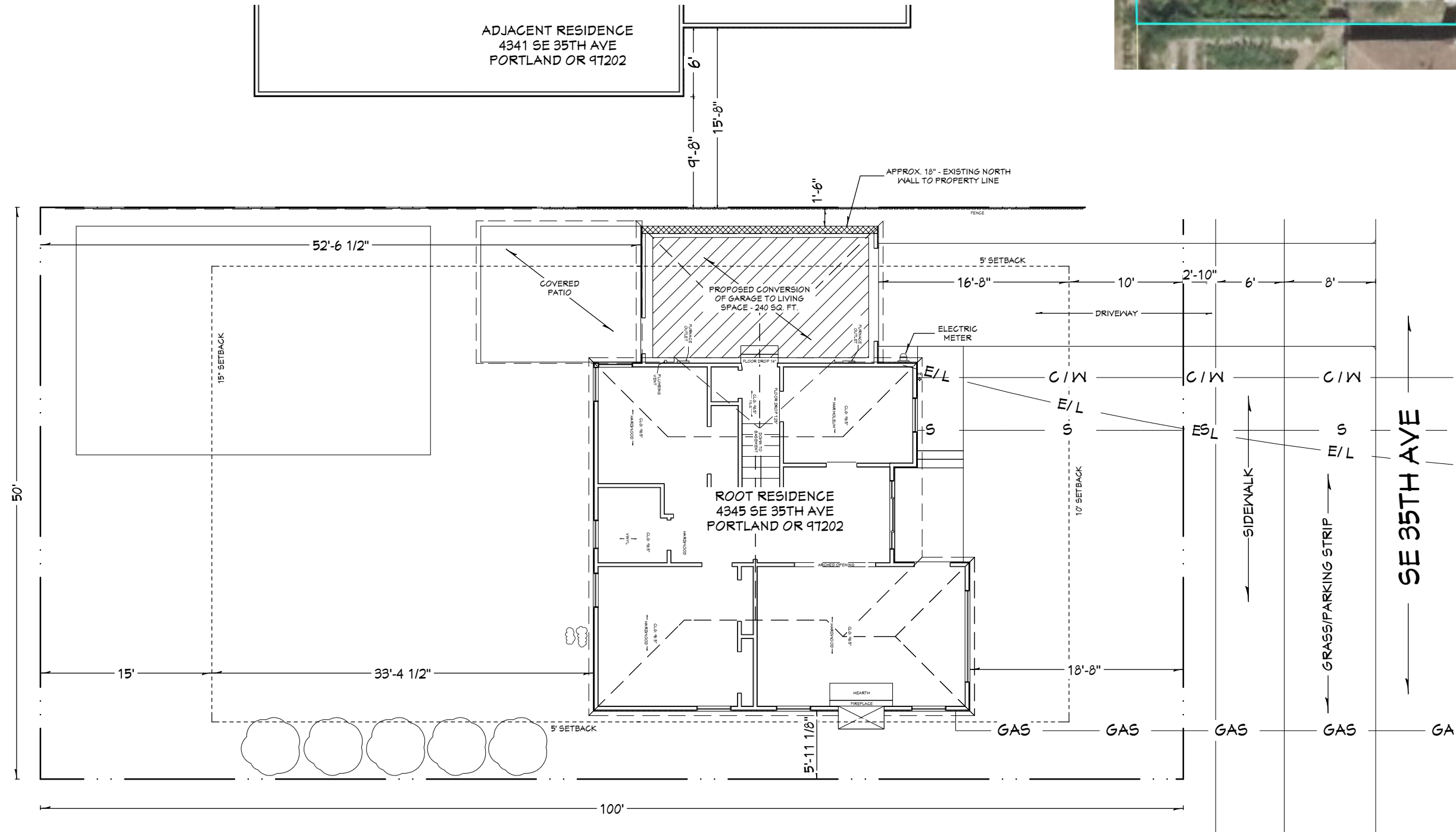
THESE DRAWINGS ARE THE PROPRIETARY WORK PRODUCT AND PROPERTY OF SQUARE DEAL REMODELING DEVELOPED FOR THE EXCLUSIVE USE OF SQUARE DEAL REMODELING. USE OF THESE DRAWINGS AND CONCEPTS CONTAINED THEREIN WITHOUT THE WRITTEN PERMISSION OF SQUARE DEAL REMODELING IS PROHIBITED.

Site Plan

SHEET TITLE:

PROJECT DESCRIPTION:
Andrew & Gretchen Root
4345 SE 35th Ave
Portland OR 97202

square deal remodeling company
8603 SE Stark St. Portland OR 97216
www.squaredealremodel.com

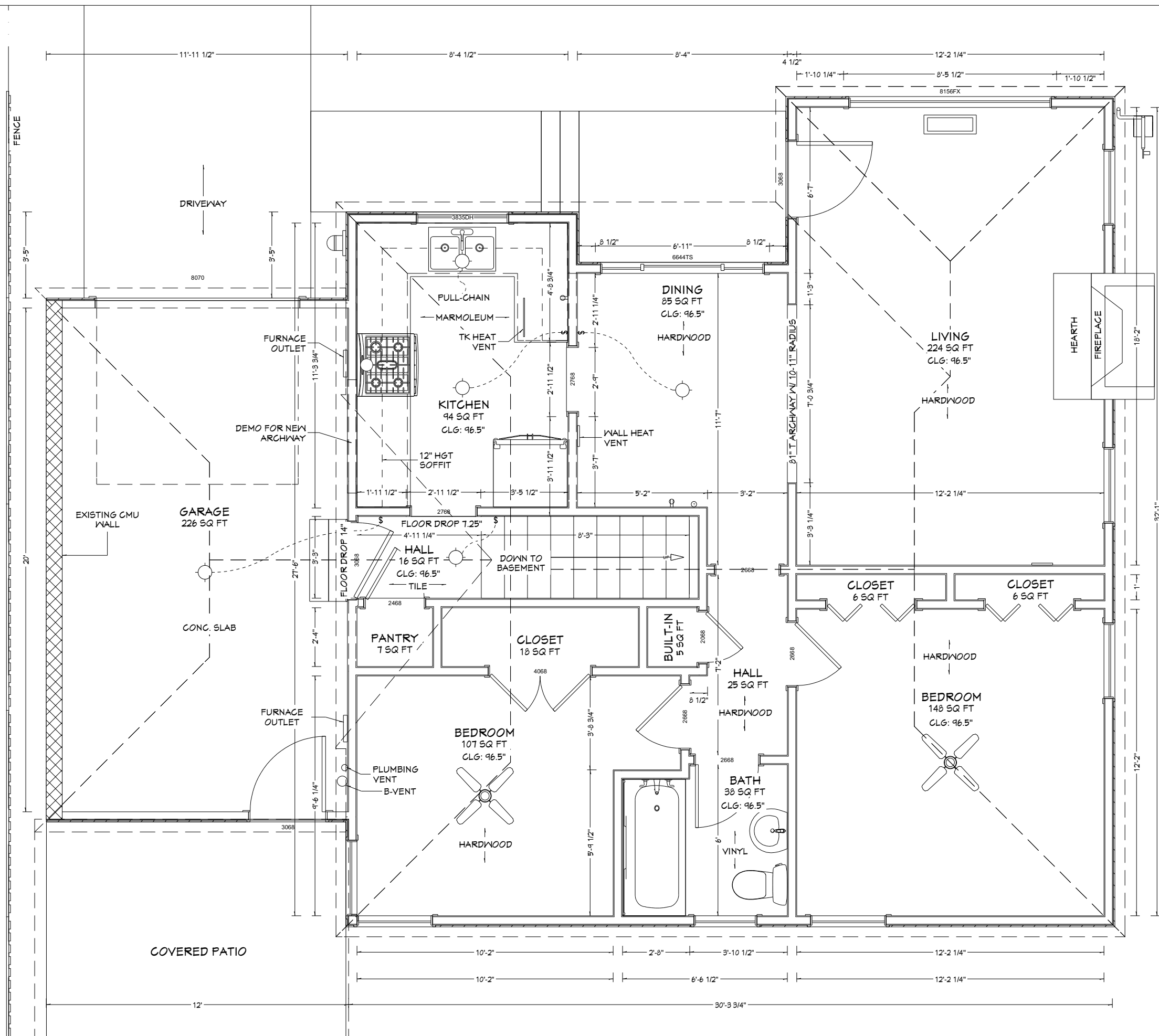


Site Plan Scale: 1" = 10'

Legal:	Multnomah Co. ID# R250283
Zoning:	R5
Owner:	Andrew Root & Gretchen Miller
Site Address:	4345 SE 35th Ave.
Contractor:	Square Deal Remodeling
Lot Area:	5,000 Sq. Ft.
Building Area:	1,245 Sq. Ft.
New Additional Building Area:	0 Sq. Ft.
New Additional Living Area:	240 Sq. Ft.
Building Height:	25'
Year Built:	1949

Legend:

Sewer:	S
Power:	E / L
Water:	C / W
Gas:	
Property Line:	
Setback Line:	



28

DATE: 5/16/2019

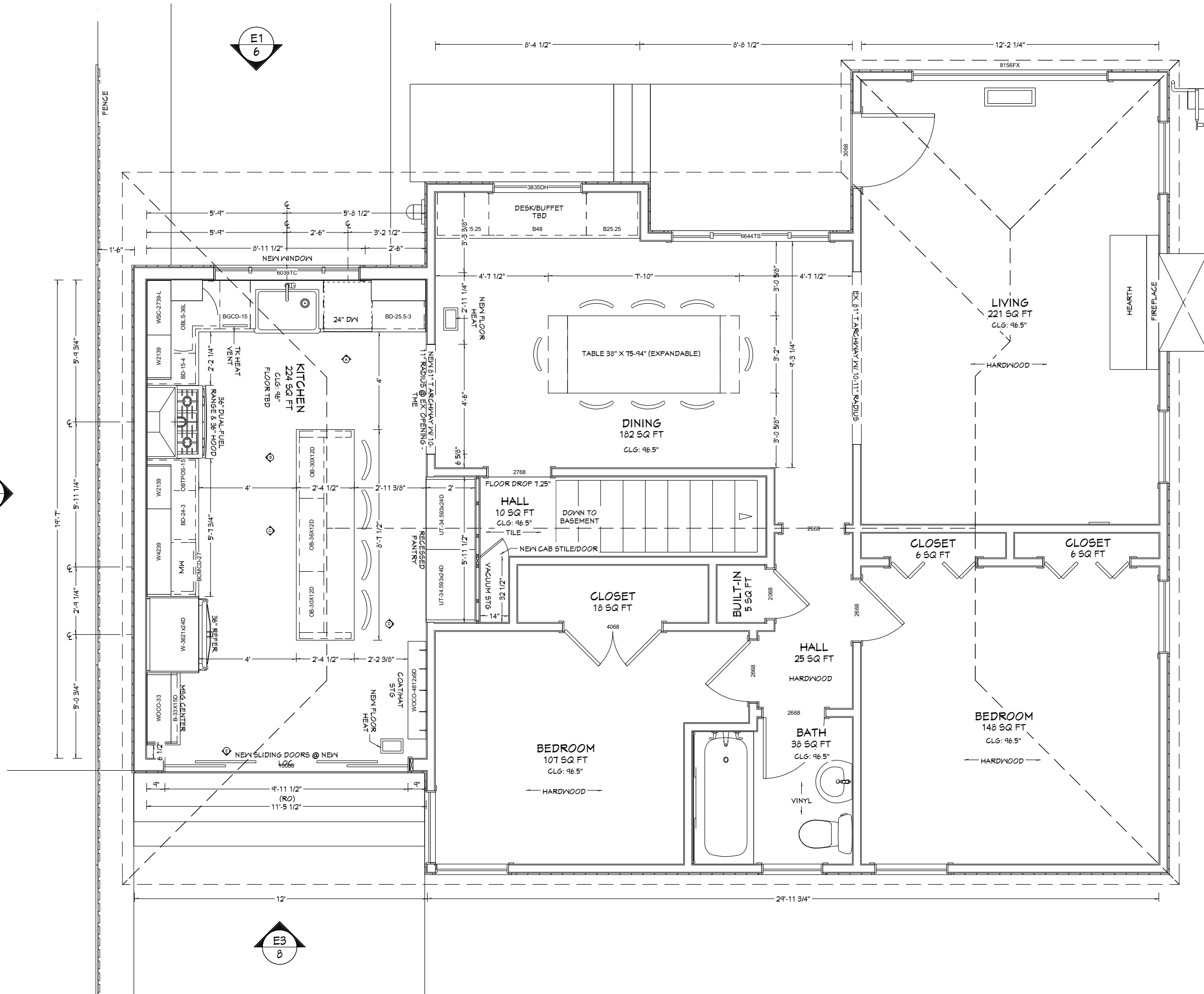
SCALE: 1/4" = 1'

THESE DRAWINGS ARE THE PROPRIETARY WORK PRODUCT AND PROPERTY OF SQUARE DEAL REMODELING DEVELOPED FOR THE EXCLUSIVE USE OF SQUARE DEAL REMODELING. USE OF THESE DRAWINGS AND CONCEPTS CONTAINED THEREIN WITHOUT THE WRITTEN PERMISSION OF SQUARE DEAL REMODELING IS PROHIBITED.

SHEET TITLE: Existing Main Floor

PROJECT DESCRIPTION: Andrew & Gretchen Root
4345 SE 35th Ave
Portland OR 97202

square deal remodeling company
8603 SE Stark St, Portland OR 97216
www.squaredealremodel.com

~~α~~
~~μ~~

DATE:

5/16/2019

SCALE:

$$1/4'' = 1'$$

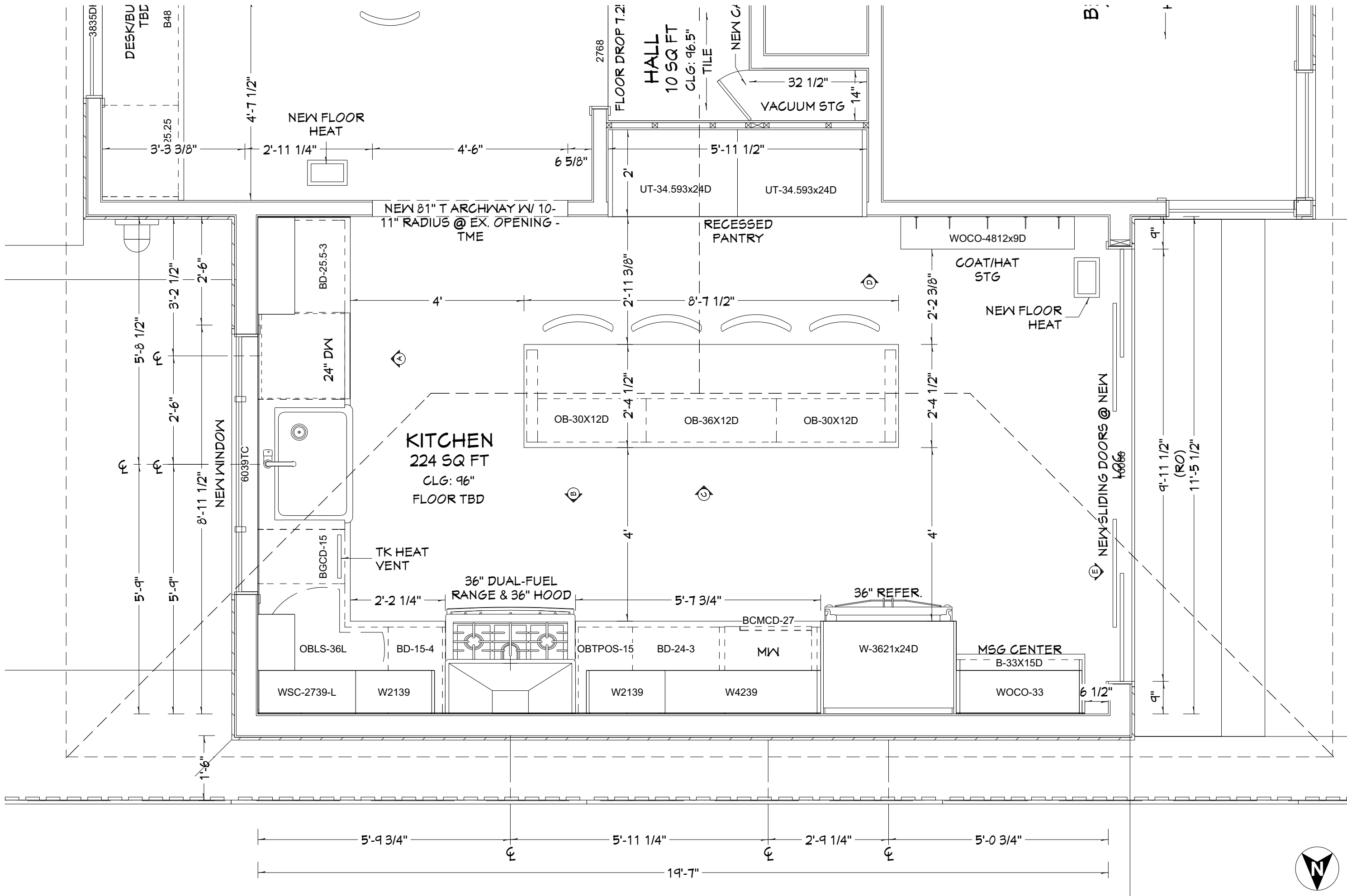
THESE DRAWINGS ARE THE PROPRIETARY WORK
PRODUCT AND PROPERTY OF SQUARE DEAL
REMODELING DEVELOPED FOR THE EXCLUSIVE
USE OF SQUARE DEAL REMODELING. USE OF
THESE DRAWINGS AND CONCEPTS CONTAINED
THEREIN WITHOUT THE WRITTEN PERMISSION OF

SHEET TITLE:

New Main Floor

PROJECT DESCRIPTION:
Andrew & Gretchen Root
4345 SE 35th Ave
Portland OR 97202

 square deal
remodeling company
8603 SE Stark St. Portland OR 97216





square deal
remodeling company

8603 SE Stark St., Portland OR 97216
www.squaredealremodel.com

PROJECT DESCRIPTION:

Andrew & Gretchen Root
4345 SE 35th Ave
Portland OR 97202

SHEET TITLE:

New Kitchen

THESE DRAWINGS ARE THE PROPRIETARY WORK PRODUCT AND PROPERTY OF SQUARE DEAL REMODELING DEVELOPED FOR THE EXCLUSIVE USE OF SQUARE DEAL REMODELING. USE OF THESE DRAWINGS AND CONCEPTS CONTAINED THEREIN WITHOUT THE WRITTEN PERMISSION OF SQUARE DEAL REMODELING IS PROHIBITED.

SCALE:

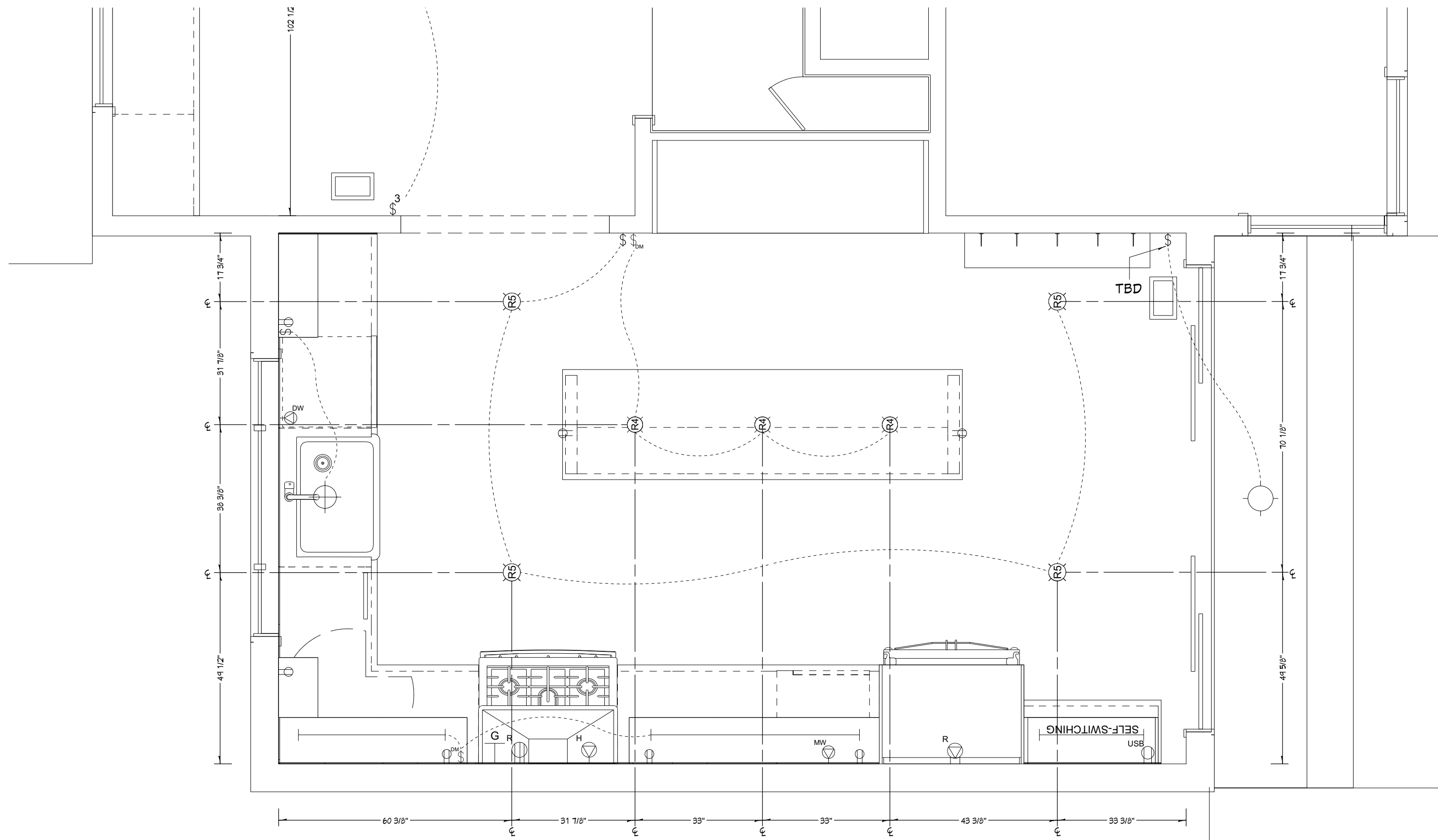
1/2" = 1'

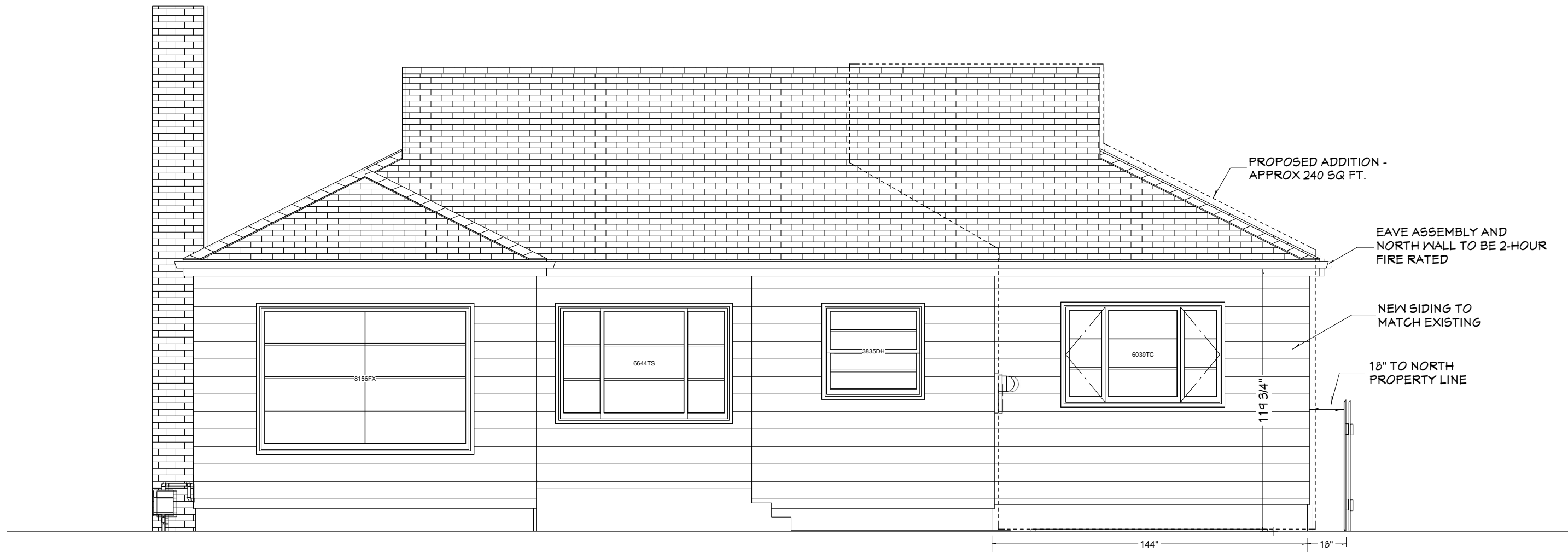
DATE:

5/16/2019

48







East Exterior Elevation

Scale: 1/4" = 1'



6 8

DATE:

5/16/2019

SCALE:

1/4" = 1'

THESE DRAWINGS ARE THE PROPRIETARY WORK PRODUCT AND PROPERTY OF SQUARE DEAL REMODELING DEVELOPED FOR THE EXCLUSIVE USE OF SQUARE DEAL REMODELING. USE OF THESE DRAWINGS AND CONCEPTS CONTAINED THEREIN WITHOUT THE WRITTEN PERMISSION OF SQUARE DEAL REMODELING IS PROHIBITED.

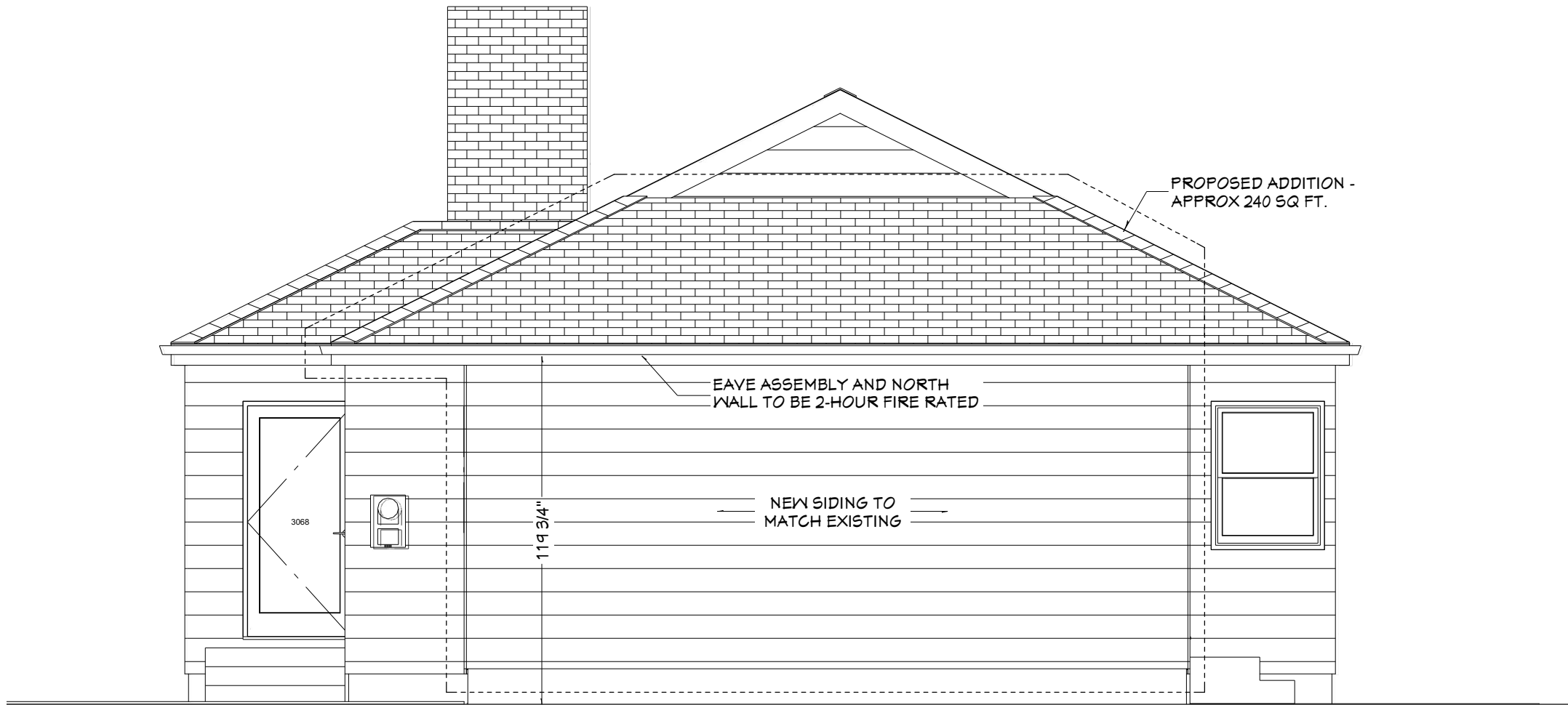
SHEET TITLE:

ELEVATION - 1

PROJECT DESCRIPTION:

Andrew & Gretchen Root
4345 SE 35th Ave
Portland OR 97202

square deal
remodeling company
8603 SE Stark St., Portland OR 97216
www.squaredealremodel.com



North Exterior Elevation

Scale: 1/4" = 1'



7/8

DATE: 5/16/2019

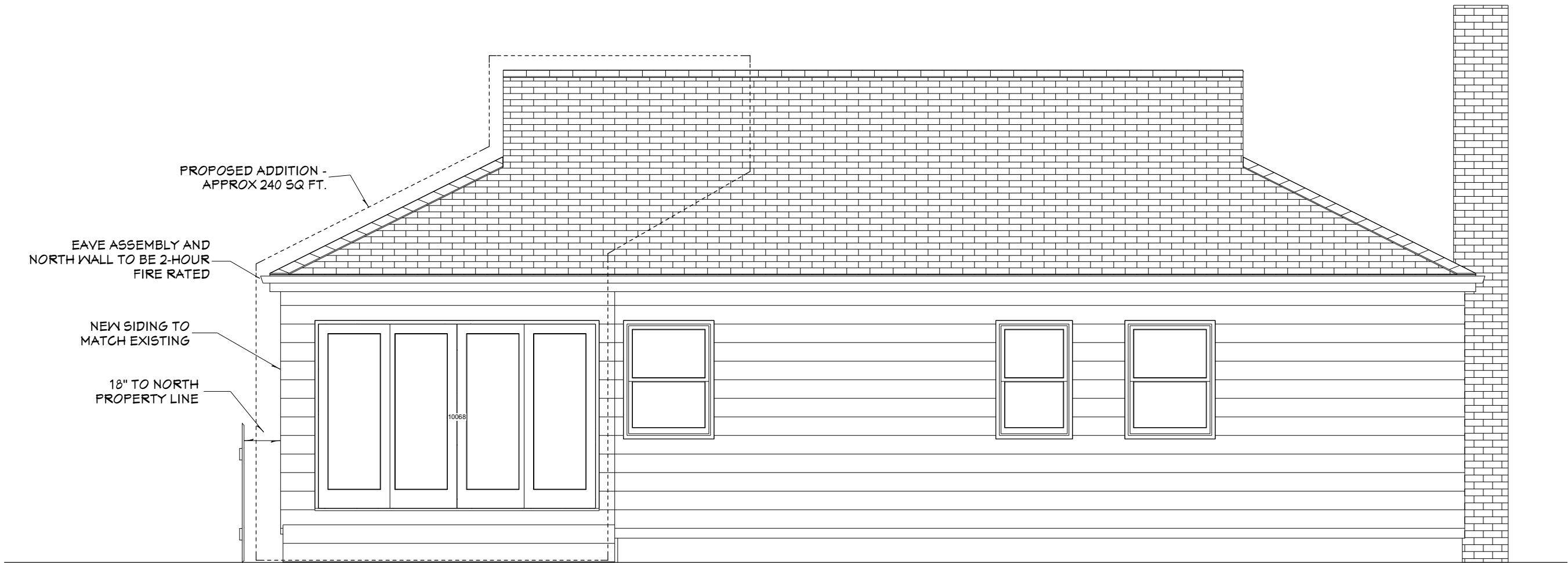
SCALE: 1/4" = 1'

THESE DRAWINGS ARE THE PROPRIETARY WORK PRODUCT AND PROPERTY OF SQUARE DEAL REMODELING DEVELOPED FOR THE EXCLUSIVE USE OF SQUARE DEAL REMODELING. USE OF THESE DRAWINGS AND CONCEPTS CONTAINED THEREIN WITHOUT THE WRITTEN PERMISSION OF SQUARE DEAL REMODELING IS PROHIBITED.

SHEET TITLE: ELEVATION - 2

PROJECT DESCRIPTION:
Andrew & Gretchen Root
4345 SE 35th Ave
Portland OR 97202

 square deal
remodeling company
8603 SE Stark St., Portland OR 97216
www.squaredealremodel.com



West Exterior Elevation

Scale: 1/4" = 1'



8/8

DATE:
5/16/2019

SCALE:
1/4" = 1'

THESE DRAWINGS ARE THE PROPRIETARY WORK
PRODUCT AND PROPERTY OF SQUARE DEAL
REMODELING DEVELOPED FOR THE EXCLUSIVE
USE OF SQUARE DEAL REMODELING. USE OF
THESE DRAWINGS AND CONCEPTS CONTAINED
THEREIN WITHOUT THE WRITTEN PERMISSION OF
SQUARE DEAL REMODELING IS PROHIBITED.

SHEET TITLE:
ELEVATION - 3

PROJECT DESCRIPTION:
Andrew & Gretchen Root
4345 SE 35th Ave
Portland OR 97202

 **square deal**
remodeling company
8603 SE Stark St., Portland OR 97216
www.squaredealremodel.com