

Development Services

From Concept to Construction

Phone: 503-823-7300 Email: bds@portlandoregon.gov 1900 SW 4th Ave, Portland, OR 97201

More Contact Info (<http://www.portlandoregon.gov/bds/article/519984>)



APPEAL SUMMARY

Status: Decision Rendered

Appeal ID: 21892	Project Address: 1260 SE Lambert St
Hearing Date: 9/18/19	Appellant Name: Brian Cox
Case No.: B-007	Appellant Phone: 503-399-1090
Appeal Type: Building	Plans Examiner/Inspector: Natalie Didion
Project Type: commercial	Stories: 4 Occupancy: R-2, B, A-2 Construction Type: V-A
Building/Business Name: Sellwood Mixed-Use LLC	Fire Sprinklers: Yes - Entire Building
Appeal Involves: Erection of a new structure	LUR or Permit Application No.: 15-255713-REV03-CO
Plan Submitted Option: pdf [File 1] [File 2]	Proposed use: Mixed-Use Commercial/Residential

APPEAL INFORMATION SHEET

Appeal item 1

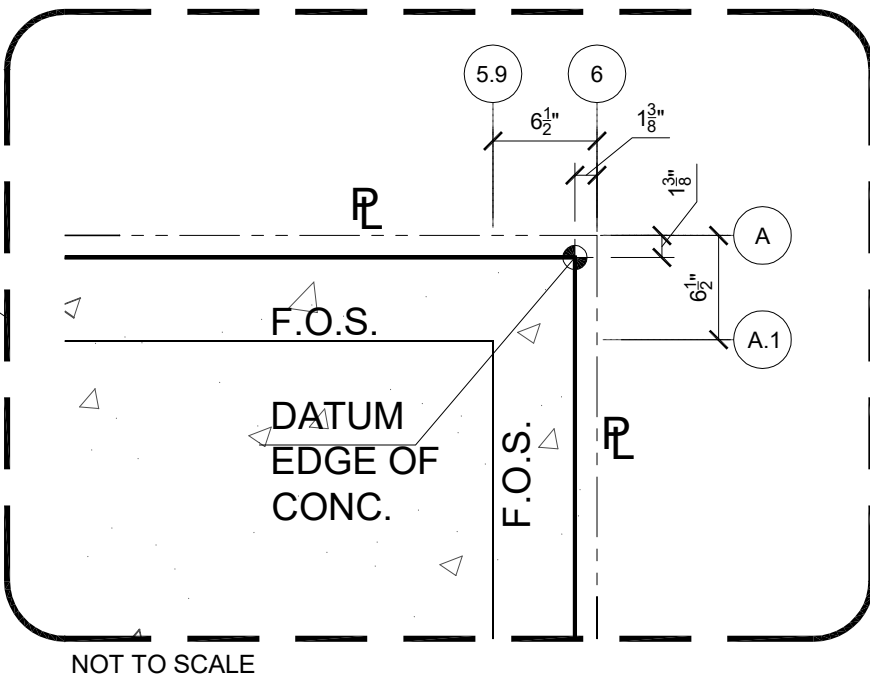
Code Section	International Building Code Section 1022.1
Requires	An interior exit stairway or ramp cannot shall not be used for any purpose other than the means of egress.
Proposed Design	An exception is being requested to use the stair enclosure landing at the exterior exit door to access the buildings electrical room. The electrical room would rarely be access, therefore this landing would still be functioning primarily as means of egress. Access would be from the exterior door so the stairs themselves would not be used for any purpose other than means of egress. To minimize any impact when the electrical room is access, the last leg of the stairs and the landing width and length provided, is larger than code minimum. This will allow space for the electrical room door, when opened, not to implead egress. To maintain the highest level of protection between the electrical room and stairs, the electrical room walls and ceiling are 2hr rated. The door is 90 minute rated with closures. Attached are drawings to clarify the design.
Reason for alternative	An alternate is requested as a more functional design solution based off of site restraints. The proximity of the power pole supplying the power to the building and the need to provide storefront for tenant spaces along 13th street does not leave many practical options for the location of the electrical room. Locating the primary electrical room for the entire building within, and accessible through an individual tenant space was not acceptable. Locating the electrical room at the stair enclosure and directly adjacent to the stair enclosure exterior door, provides easy access for building maintenance while reducing visually less desirable utility doors and signage from being located directly on the public street.

APPEAL DECISION

Electrical room access from within interior exit stair enclosure: Denied. Proposal does not provide equivalent Life Safety protection.

Appellant may contact John Butler (503 823-7339) with questions.

Pursuant to City Code Chapter 24.10, you may appeal this decision to the Building Code Board of Appeal within 90 calendar days of the date this decision is published. For information on the appeals process, go to www.portlandoregon.gov/bds/appealsinfo, call (503) 823-7300 or come in to the Development Services Center.



- 7805 - 7835 SE 13TH AVE.
PORTLAND OR, 97202-639
ASSESSOR PARCEL
NUMBERS:
R134168
R134169
- PROJECT AREA:
TOTAL AREA 23 +/- AC 10,000 SQ. FT.
RESIDENTIAL BUILDING
AREA 23 +/- AC 8,800 SQ. FT.
- BUILDING AREA:
FIRST FLOOR: 8,439 SQ. FT.
SECOND FLOOR: 7,305 SQ. FT.
THIRD FLOOR: 7,305 SQ. FT.
FOURTH FLOOR: 7,305 SQ. FT.
TOTAL: 30,354 SQ. FT.

SITE PLAN


SCALE : 1"=10'-0"

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DATE
10/14/2015
REVISED DATE
SHEET
A1.1

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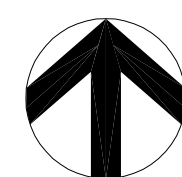


SEASONS MANAGEMENT LLC
A Senior Living Management Company

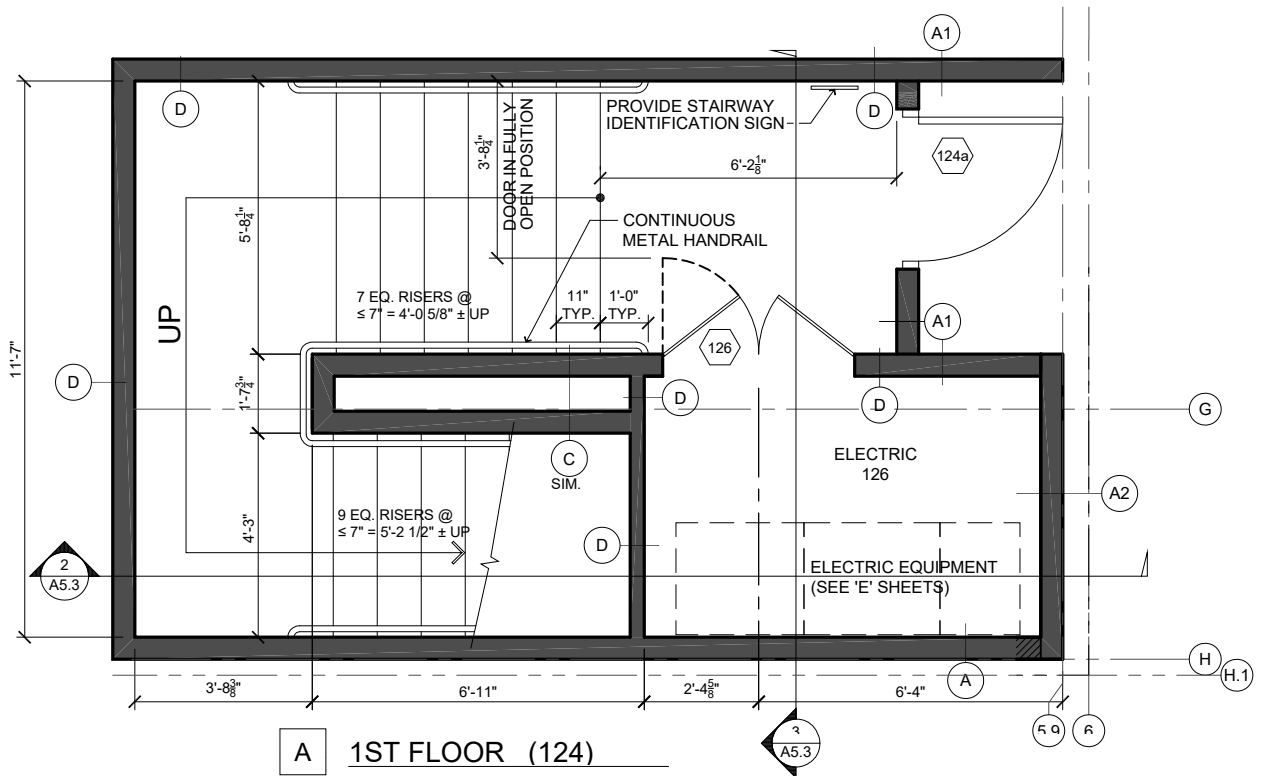
13TH AVE.
APARTMENTS
7805 SE 13TH AVENUE
PORTLAND, OREGON 97202

SITE PLAN

DATE
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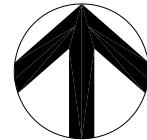
ave:8/6/2019 1:46 PM brianc plot:9/13/2019 2:57 PM brianc file:prior:7805 13th ave, portland/arch/la1.1 site plan.dwg A.1.1 SITE PLAN (24X36)



STAIR 2 PLAN

SCALE: 1/4" = 1'-0"

SUPPLEMENTAL TO 2/A5.2



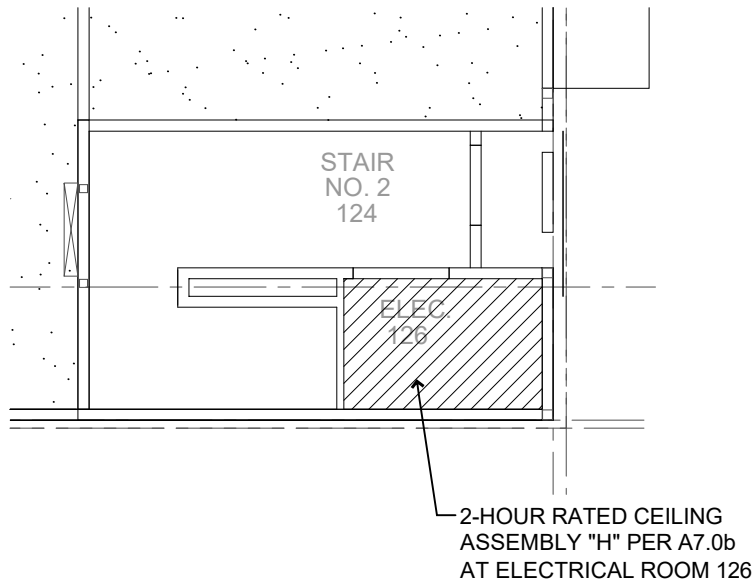
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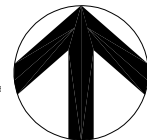
9/12/2019



PARTIAL REFLECTED CEILING PLAN

SCALE: 1/8" = 1'-0"

SUPPLEMENTAL TO A4.1



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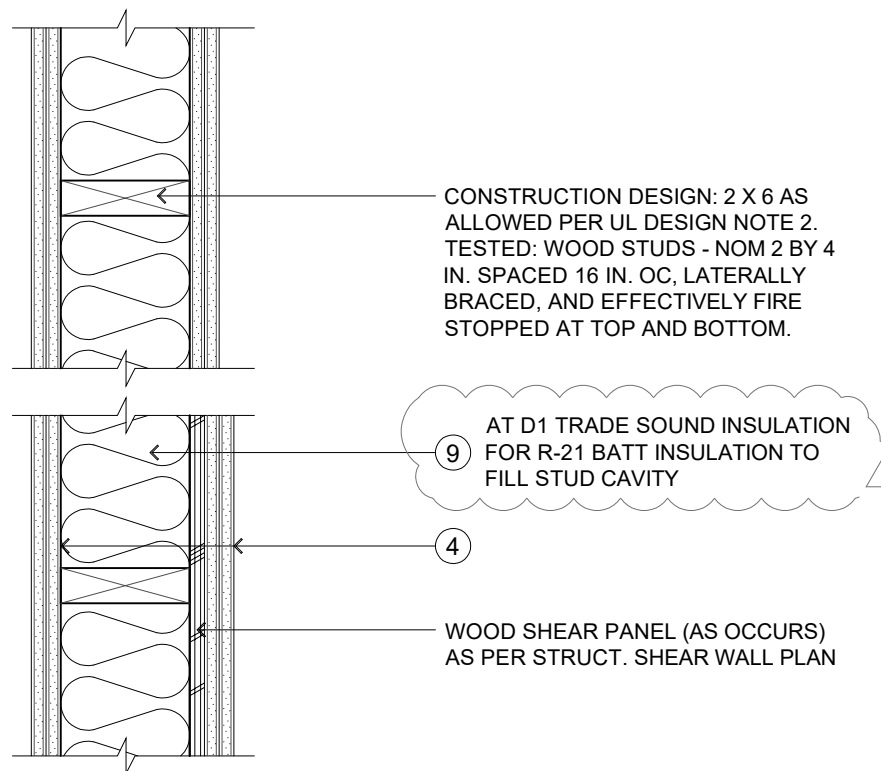
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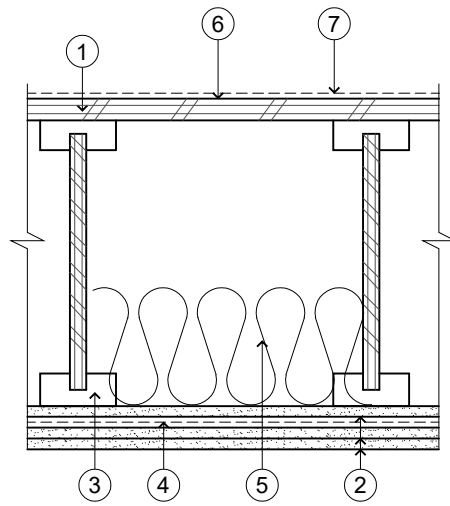
CONSTRUCTION ASSEMBLY	
UL DESIGN NO. U301	
NOTES	DESCRIPTION
①	NAILHEADS (NOT SHOWN) - EXPOSED OR COVERED WITH JOINT COMPOUND.
②	JOINTS (NOT SHOWN) - EXPOSED JOINTS COVERED WITH JOINT COMPOUND AND PAPER TAPE. JOINT COMPOUND AND PAPER TAPE MAY BE OMITTED WHEN SQUARE EDGE BOARDS ARE USED. AS AN ALTERNATE, NOM 3/32 IN. THICK GYPSUM VENEER PLASTER MAY BE APPLIED TO THE ENTIRE SURFACE OF CLASSIFIED VENEER BASEBOARD WITH THE JOINTS REINFORCED WITH PAPER TAPE.
③	NAILS - 6D CEMENT COATED NAILS 1-7/8 IN. LONG, 0.0915 IN. SHANK DIAM, 1/4 IN. DIAM HEADS, AND 8D CEMENT COATED NAILS 2-3/8 IN. LONG, 0.113 IN. SHANK DIAM, 9/32 IN. DIAM HEADS.
④	GYPSUM BOARD - 5/8 IN. THICK, TWO LAYERS APPLIED EITHER HORIZONTALLY OR VERTICALLY. INNER LAYER ATTACHED TO STUDS WITH THE 1-7/8 IN. NAILS SPACED 6 IN. OC. OUTER LAYER ATTACHED TO STUDS OVER INNER LAYER WITH THE 2-3/8 IN. LONG NAILS SPACED 8 IN. OC. VERTICAL JOINTS LOCATED OVER STUDS. ALL JOINTS IN FACE LAYERS STAGGERED WITH JOINTS IN BASE LAYERS. JOINTS OF EACH BASE LAYER OFFSET WITH JOINTS OF BASE LAYER ON OPPOSITE SIDE. WHEN USED IN WIDTHS OTHER THAN 48 IN., GYPSUM BOARD TO BE INSTALLED HORIZONTALLY. (SEE UL DESIGN U301 FOR APPROVED GYPSUM BY MANUFACTURER)
⑨	CONSTRUCTION DESIGN: SOUND BATT INSULATION SIZED TO FILL STUD CAVITY COMPLETELY. TESTED: BATTS AND BLANKETS - MIN. 3 IN. THICK GLASS FIBER BATTS BEARING THE UL CLASSIFICATION MARKING AS TO SURFACE BURNING AND/OR FIRE RESISTANCE, PLACED TO FILL THE INTERIOR OF THE WALL, ATTACHED TO THE NOM. 4 IN. FACE OF THE STUDS WITH STAPLES PLACED 24 IN. OC. SEE BATTS AND BLANKETS (BKNV OR BZJZ) CATEGORIES FOR NAMES OF CLASSIFIED COMPANIES.
ACTUAL FIRE RESISTANCE RATING	
2 HOUR FIRE	



INT WALL ASSEMBLY (2 HR FIRE BARRIER 2X6 WOOD STUD WALL)

SCALE 1 1/2" = 1'-0"

P:/OR-7805 13TH AVE, PORTLAND/DETAILS/INT-WALL-ASSMB-2HR-FIREBARRIER-WD



CONSTRUCTION ASSEMBLY

ICC-ES EVALUATION REPORT - ESR-1153 ASSEMBLY 'G'

NOTES	DESCRIPTION
①	<p>FINISHED FLOORING: THE FLOORING MUST CONSIST OF A SINGLE LAYER OF 48/24 SPAN-RATED, TONGUE-AND-GROOVE, WOODBASED, STRUCTURAL-USE (EXPOSURE 1). THE FLOORING MUST BE ATTACHED TO THE TJI JOIST TOP FLANGE WITH AFG-01 CONSTRUCTION ADHESIVE, AND NAILED USING 8D COMMON NAILS SPACED A MAXIMUM OF 6 INCHES (152 MM) ON CENTER ALONG THE BOUNDARY AND EDGES AND 12 INCHES (305 MM) ON CENTER IN THE FIELD. WHEN USED AS A ROOF-CEILING ASSEMBLY, A SINGLE LAYER OF SQUARE-EDGE, SPAN-RATED WOOD-BASED, STRUCTURAL-USE (EXPOSURE 1), COMPLYING WITH THE CODE, IS PERMITTED TO BE USED FOR ROOF SHEATHING. ALL BUTT JOINTS OF THE SHEATHING MUST BE LOCATED OVER FRAMING MEMBERS.</p>
②	<p>CEILING: THE CEILING MEMBRANE MUST CONSIST OF THREE LAYERS OF 1/2 INCH THICK GOLD BOND FIRE SHIELD C, TYPE X GYPSUM BOARD. THE BASE LAYER MUST BE APPLIED PERPENDICULAR TO THE JOISTS OR TRUSSES, WITH END JOINTS STAGGERED, AND MUST BE ATTACHED DIRECTLY TO THE BOTTOM FLANGE / CHORD USING 1-1/2 INCH LONG, TYPE S SCREWS SPACED 12 INCHES ON CENTER ALONG EACH JOIST OR TRUSS. THE MIDDLE LAYER OF GYPSUM BOARD MUST BE INSTALLED PERPENDICULAR TO THE RESILIENT CHANNELS, WITH END JOINTS STAGGERED, AND ATTACHED TO THE RESILIENT CHANNELS WITH 1 INCH LONG, TYPE S SCREWS SPACED 12 INCHES ON CENTER. THE FINISH LAYER OF GYPSUM BOARD MUST BE INSTALLED WITH EDGES AND END JOINTS STAGGERED FROM THE MIDDLE LAYER, AND MUST BE FASTENED TO THE RESILIENT CHANNELS USING 1-1/2 INCH LONG, TYPE S SCREWS SPACED 8 INCHES ON CENTER. JOINTS OF THE FINISH LAYER OF GYPSUM BOARD MUST BE COVERED WITH JOINT COMPOUND AND PAPER TAPE, AND EXPOSED SCREW HEADS MUST BE COVERED WITH JOINT COMPOUND.</p>
③	<p>STRUCTURAL MEMBERS: RED-I JOISTS OR OPENWEB TRUSSES MUST BE INSTALLED IN ACCORDANCE WITH ICC ESR-2994/1774, WITH A MAXIMUM SPACING OF 24 INCHES ON CENTER FOR FLOOR-CEILING ASSEMBLIES. MINIMUM RED-I JOIST OR OPENWEB TRUSS DEPTH IS 9 INCHES.</p>
④	<p>RESILIENT CHANNELS: A MINIMUM OF NO 28 GAGE 0.016-INCH, MUST BE APPLIED UNDER THE FIRST LAYER OF GYPSUM BOARD, PERPENDICULAR TO THE JOISTS OR TRUSSES AND SPACED A MAXIMUM OF 16 INCHES ON CENTER. THE CHANNELS MUST BE ATTACHED TO THE BOTTOM FLANGE / CHORD OF EACH JOIST OR TRUSS, RESPECTIVELY, WITH 1 1/2 INCH LONG, TYPE S SCREWS.</p>
⑤	<p>INSULATION: (OPTIONAL). WHEN INSULATION IS USED, IT MUST CONSIST OF GLASS-FIBER INSULATION WITH UNFACED BATTS THAT ARE 24 INCHES WIDE BY 48 INCHES LONG BY 3 1/2 INCH THICK. THE INSULATION MUST BE PLACED IN THE PLENUM AND SUPPORTED BY STAY WIRES SPACED AT 12 INCHES ALONG THE JOIST OR TRUSS BOTTOM FLANGE / CHORD.</p>
ACTUAL FIRE RESISTANCE RATING	
2 HOUR FIRE	
FINISHES	
⑥	1" OF CEMENT TOPPING
⑦	CUSHIONED VINYL (Jumpax Underlay System) OR CARPET & PAD (PER INTERIORS)
SOUND RATING (STC)	50+ (NOT INCLUDING CEMENT TOPPING)
SOUND RATING (IIC)	64



FLOOR CEILING ASSEMBLY (AT SUITES)

SCALE: 1-1/2" = 1'-0"

(RedBuilt
ASSEMBLY 'G')

P:/OR-7805 13TH AVE, PORTLAND/DETAILS/XXFC-2HR

DOOR SCHEDULE

NO.	LOCATION	SIZE	TYPE	DOOR MAT.	FRAME MAT.	FIRE RATING	HDWR GROUP	DETAILS A8.2 UNO	KEY NOTES
126	ELECTRICAL	(PR) 2068	B	SC	MTL	90 MIN.	C9	2	#1 #3, #15

PARTIAL DOOR SCHEDULE

SCALE: NONE

SUPPLEMENTAL TO A8.2



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