

Development Services

From Concept to Construction

Phone: 503-823-7300 Email: bds@portlandoregon.gov 1900 SW 4th Ave, Portland, OR 97201

More Contact Info (<http://www.portlandoregon.gov/bds/article/519984>)



APPEAL SUMMARY

Status: Decision Rendered

Appeal ID: 20808	Project Address: 2408 SE 60th Ave, Ste 201
Hearing Date: 8/28/19	Appellant Name: Emily Mitchell
Case No.: B-016	Appellant Phone: 503-890-6250
Appeal Type: Building	Plans Examiner/Inspector: Sloan Shelton
Project Type: commercial	Stories: 2 Occupancy: B Construction Type: V-B
Building/Business Name: Parkside Clinic	Fire Sprinklers: No
Appeal Involves: other: Elevator requirement	LUR or Permit Application No.: 19-183989-CO
Plan Submitted Option: pdf [File 1]	Proposed use: Medical office

APPEAL INFORMATION SHEET

Appeal item 1

Code Section 1104.4

Requires

Elevator requirement to provide an accessible route to 2nd floor

1104.4 Multilevel Buildings and Facilities

At least one accessible route shall connect each accessible level, including mezzanines, in multilevel buildings and facilities.

Exceptions:

In nonresidential buildings, an accessible route is not required to levels and mezzanines above and below accessible levels where the aggregate area of all such levels and mezzanines that are not provided with accessible routes is not more than 2,500 square feet (232.3 m2). This exception shall not apply to:

1.2. Levels containing offices of health care providers (Group B or I)

Proposed Design

Parkside Clinic was built in 2016 and operates on the ground floor of the 2nd story tenant suite under this appeal. The original building was constructed under permit #: 15-196745-CO. We are requesting that the current tenant improvement permit be addressed as an 'Existing Building' and the "25% Rule" of accessible upgrades, outlined in Chapter 34 of the OSSC, be applied to this project. The project valuation is \$30,000, of which \$7,500 is equal to 25%. Installing an elevator would far exceed this cost.

Parkside Clinic has a full-time receptionist and includes equivalent ground floor treatment rooms that can accommodate any client that requires access on the ground floor.

The building owner has moved forward with leasing the space to a family mental health therapist due to a previous ruling by the city in 2018 for an adjacent tenant space (Permit #: 18-177878-CO), without requiring an elevator.

Reason for alternative Owners statement:

Following a previous decision by the city to allow health care providers in the upstairs of the building, I began planning to lease out the remaining space. Requiring significant time and at considerable expense, I found a designer and had plans drawn, had three builders come and do estimates, found financing at a local bank, and at last have a lease in place with a family mental health therapist. All of these actions and expenses occurred because I believed, based on recent precedent with the city, that the 25% rule applied to building out offices upstairs in an existing building.

Adding an elevator to the building is not feasible due to design constraints and significant cost. I understand the needs of our community members and do not want to discriminate in any way based on physical ability, so as with the other upstairs tenants, we have written into the lease that if any person needs ADA accommodations that they can be seen on the first floor of the clinic, which is entirely ADA accessible.

Please consider applying the 25% rule for existing buildings and allowing all of these interested parties to move forward. This is a community oriented neighborhood clinic with an excellent reputation that is providing valuable services, and is a true asset to the neighborhood and the City of Portland. I myself have been a business owner here in Portland for nearly 20 years, always in good standing, and am striving to continue to provide good care, good jobs, and excellent places for people to work.

Sincerely,

Aaron Armbruster, DC
Parkside Clinic

APPEAL DECISION

Omission of accessible route to 2nd floor for use by state regulated health services provider: Denied.
Proposal does not provide an equivalent level of accessibility.
Appellant may contact John Butler (503 823-7339) with questions.

Pursuant to City Code Chapter 24.10, you may appeal this decision to the Building Code Board of Appeal within 90 calendar days of the date this decision is published. For information on the appeals process, go to www.portlandoregon.gov/bds/appealsinfo, call (503) 823-7300 or come in to the Development Services Center.

CODE/BUILDING INFORMATION:

-ZONING : CS
-JURISDICTION: MULTNOMAH COUNTY
-CONSTRUCTION TYPE: VB
-OCCUPANCY: B
-NUMBER OF EXITS: SECOND FLOOR: PER TABLE 1021.2(2), SECOND STORY, B OCCUPANCY, OCCUPANT LOAD <30, ONE EXIT REQUIRED, ONE EXIT PROVIDED.
-SQUARE FOOTAGE: TI TOTAL: 716
-EXIT TRAVEL DISTANCE: SECOND FLOOR: PER TABLE 1021.2(2), B OCCUPANCY, STOREIS WITH ONE EXIT. ALLOWABLE=75', PROPOSED=74'

-EXIT ILLUMINATION: 1 FOOT CANDLE AVERAGE WITH 90 MINUTE BACK UP
-FIRE SPRINKLERS: NO
-PLUMBING: TWO RESTROOMS REQUIRED, TWO PROVIDED
-OCCUPANCY: SECOND FLOOR:

OFFICE*	1709 SF	1:100	17	*Suite 201=716 SF (7) *Suite 202=993 SF (10)
KITCHENETTE	40 SF	1:15	3	
RR/CIRCULATION	329SF	1:100	3	
EXTERIOR BALCONY	66 SF	1:15	4	
TOTAL OCCUPANCY			27	

ACCESSIBLE UPGRADE SUMMARY: PROJECT VALUATION: \$30,000.
25% OF \$30,000=\$7,500 OF REQUIRED ACCESSIBLE UPGRADES. NO UPGRADES AVAILABLE AS BUDILING IS
NEW PER PERMIT #: 2015-196745-DFS-01-CO (ADDRESS: 2408 SE 60th Ave PORTLAND, OR 97206)

PROJECT DIRECTORY:

LOCATION: 2408 SE 60TH AVE SUITE 201
PORTLAND, OR 97026

BUILDING OWNER: PARKSIDE DEVELOPMENT LLC
6030 SE DIVISION ST
PORTLAND, OR 97206

CONTRACTOR: RJR CONSTRUCTION
PO BOX 1347
GRESHAM, OR 97030
503-661-4685
OR CCB#: 104920

DESIGNER: MITCHELL DESIGN GROUP
CONTACT: EMILY MITCHELL
EMILY@MITCHELLDESIGNGROUP.NET
503-890-6250

DRAWING INDEX:

G1.0 COVER SHEET
A1.0 EXISTING FLOOR PLAN
A1.1 EXISTING RCP
A1.2 NEW FLOOR PLAN
A1.3 NEW RCP/POWER PLAN
A5.0 DETAILS

ON SEPARATE PERMIT:

-MECHANICAL
-ELECTRICAL

PROJECT DESCRIPTION:
INTERIOR BUILD-OUT OF 716 OFFICE SPACE. CURRENT SPACE IF VACANT, FINISHED SPACE, WITH NO PRIOR TENANT. WORK TO INCLUDE INTERIOR PARTITIONS, DOORS, CASEWORK, HVAC AND ELECTRICAL.



2ND FLOOR EGRESS PLAN
SCALE: 1/8" = 1'-0"

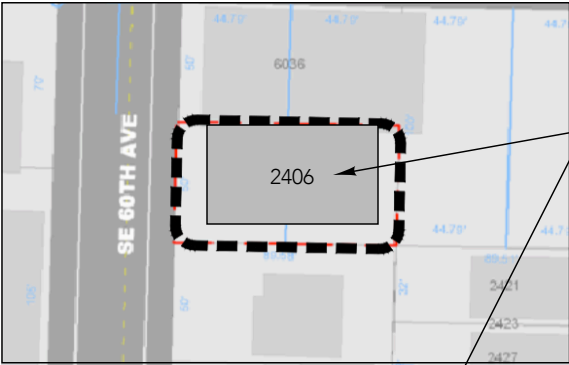


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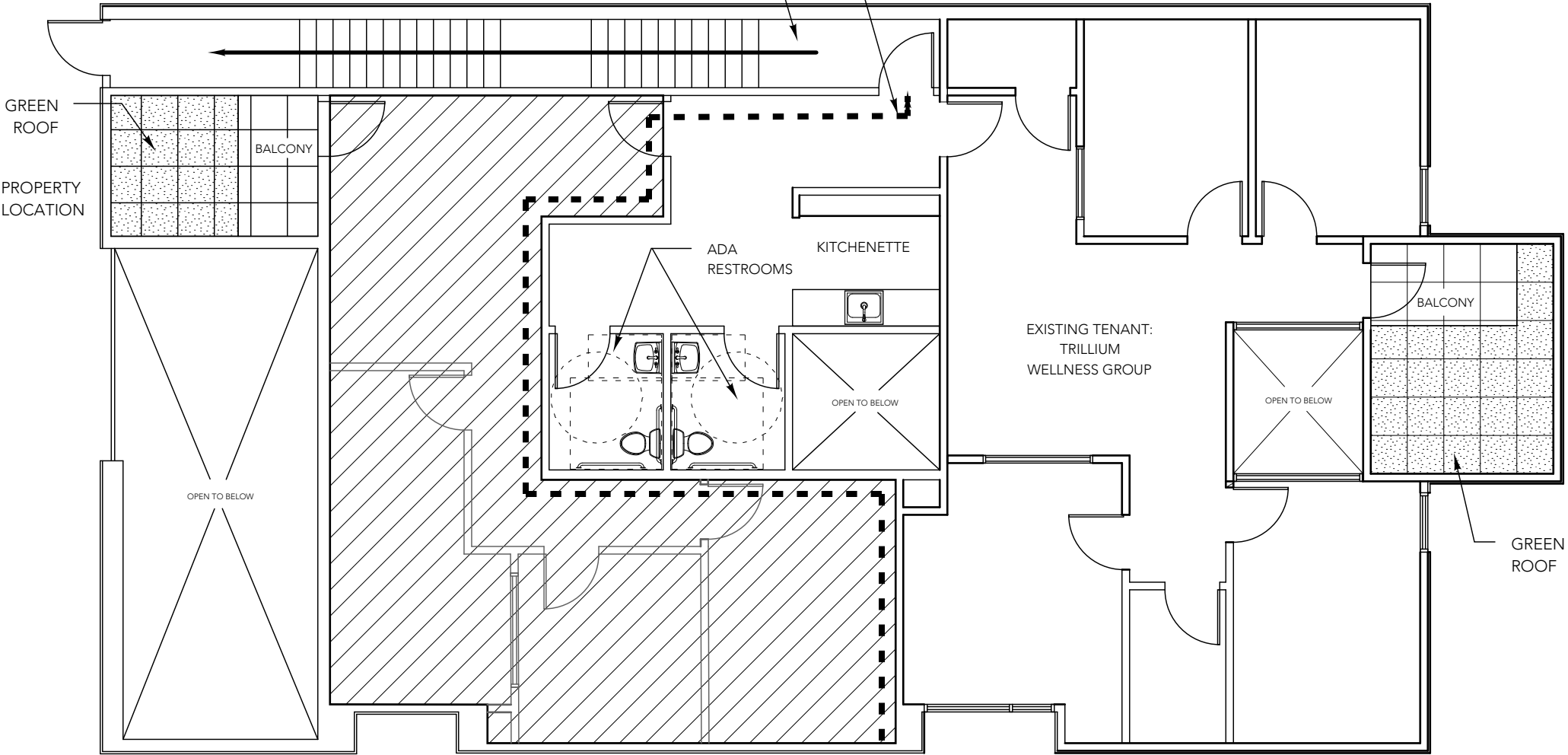
MAXIMUM TRAVEL
DISTANCE=74'

EGRESS PATH
44" MIN

LOCATION MAP:



VICINITY MAP:



CLIENT APPROVAL
I have reviewed these plans & have been given the opportunity to ask questions about them prior to issue. These plans conform to our requirements. I understand that any modifications to these plans will be an additional service with potential impact on construction cost & scheduling.

☐ ACCEPTED AS IS
☐ ACCEPTED AS NOTED
Signature: _____ Date: _____

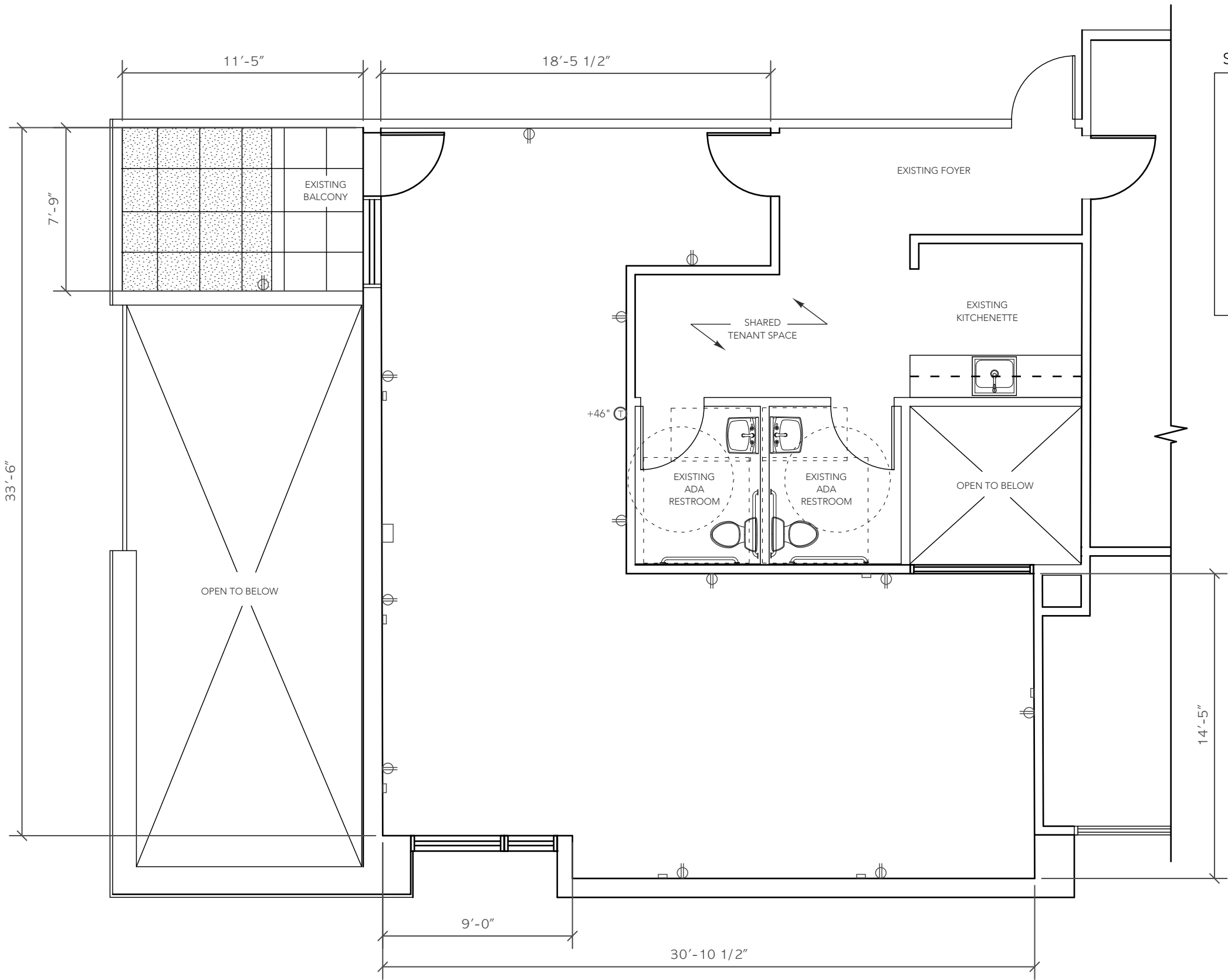
PERMIT SET

2ND STORY TENANT SUITE
(LEASABLE SPACE)

2408 SE 60TH AVE
SUITE 201
PORTLAND, OR 97206

COVER SHEET

Sheet Number:
G.1.0



SHEET NOTES

- ALL EXISTING OUTLETS, DOORS, RELITES AND FLOORING TO REMAIN
- 'SHARED TENANT SPACE' IS EXISTING INCLUDING RESTROOMS AND KITCHENETTE-TO REMAIN

1 EXISTING FLOOR PLAN
1.0 SCALE: 3/16" = 1'-0"

LEGEND

- DUPLEX OUTLET-EXISTING
- DUPLEX OUTLET-NEW
- QUADPLEX OUTLET
- BLANK PLATE/MUDRING-EXISTING
- JUNCTION BOX-NEW
- DATA PORT-NEW
- PHONE PORT-NEW
- PHONE/DATA PORT-NEW
- THERMOSTAT-EXISTING

MITCHELL DESIGN GROUP
emily@mitchelldesigngroup.net | 503.890.6250

No.	Issue	Date
1	SCHEMATIC DESIGN	5.26.19
2	PERMIT SET	6.25.19
3	REV I PERMIT SET	8.7.19

CLIENT APPROVAL

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☐ ACCEPTED AS NOTED

Signature: _____

Date: _____

PERMIT SET

2ND STORY TENANT SUITE
(LEASABLE SPACE)

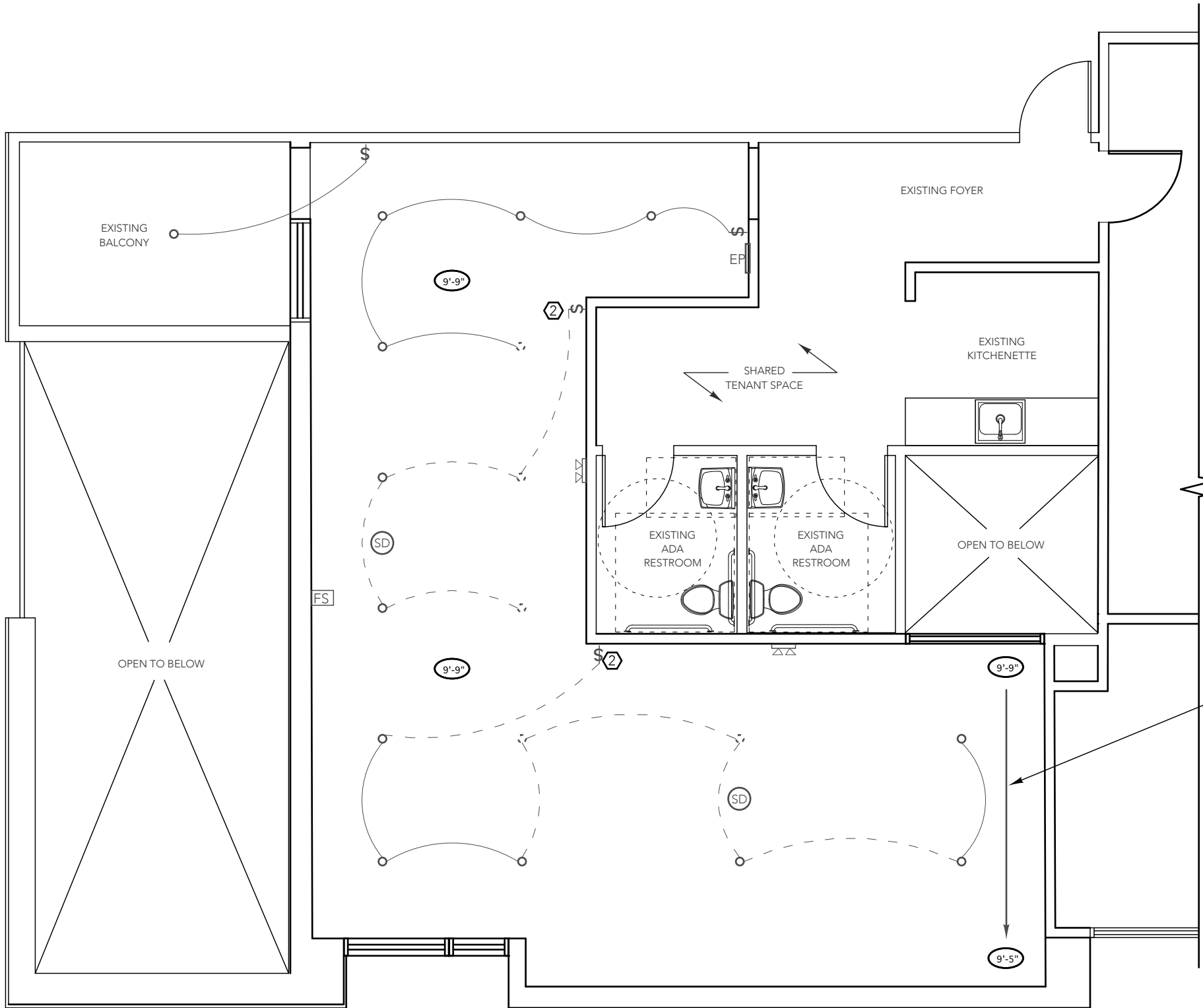
2408 SE 60TH AVE
SUITE 201
PORTLAND, OR 97206

Title: _____

EXISTING FLOOR PLAN

Sheet Number: _____

A1.0



SHEET NOTES

- REMOVE LIGHTING AS INDICATED ON RCP. NEW SWITCHING PER NEW REFLECTED CEILING PLAN
- DEMOED CAN LIGHTS TO BE SALAVAGED FOR RE-INSTALL

PLAN NOTES

- 1 RELOCATE EMERGENCY EGRESS LIGHTS AS REQUIRED FOR NEW WALLS
- 2 DEMO LIGHT SWITCH

LEGEND

- ⊕ DUPLEX OUTLET-EXISTING
- ⊕_N DUPLEX OUTLET-NEW
- ⊕_Q QUADPLEX OUTLET
- BLANK PLATE/MUDRING
- _J JUNCTION BOX
- ▲ DATA PORT
- △ PHONE PORT
- ▲△ PHONE/DATA PORT
- ⊙ EXISTING THERMOSTAT
- L-1 ○ RECESSED LED CAN LIGHT
- L-2 ▬ UNDER CABINET LIGHT
- L-3 ▬ WALL SCONCE
- L-4 ▬ EMERGENCY EGRESS LIGHT W/ BATTERY BACK-UP
- L-5 EXIT ILLUMINATED EXIT SIGN W/ BATTERY BACK-UP
- ▬ ACOUSTICAL CEILING GRID
- HARDLID CEILING
- ^{X'-X"} CEILING HEIGHT ABOVE FINISH FLOOR
- \$ SWITCH-EXISTING
- _N\$ SWITCH-NEW
- _D\$ SWITCH W/ DIMMER
- FS FIRE STROBE
- ⊙_{SD} SMOKE DETECTOR

1 EXISTING/DEMO CEILING PLAN
1.1 SCALE: 3/16" = 1'-0"

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Signature: _____

Date: _____

PERMIT SET

2ND STORY TENANT SUITE (LEASABLE SPACE)

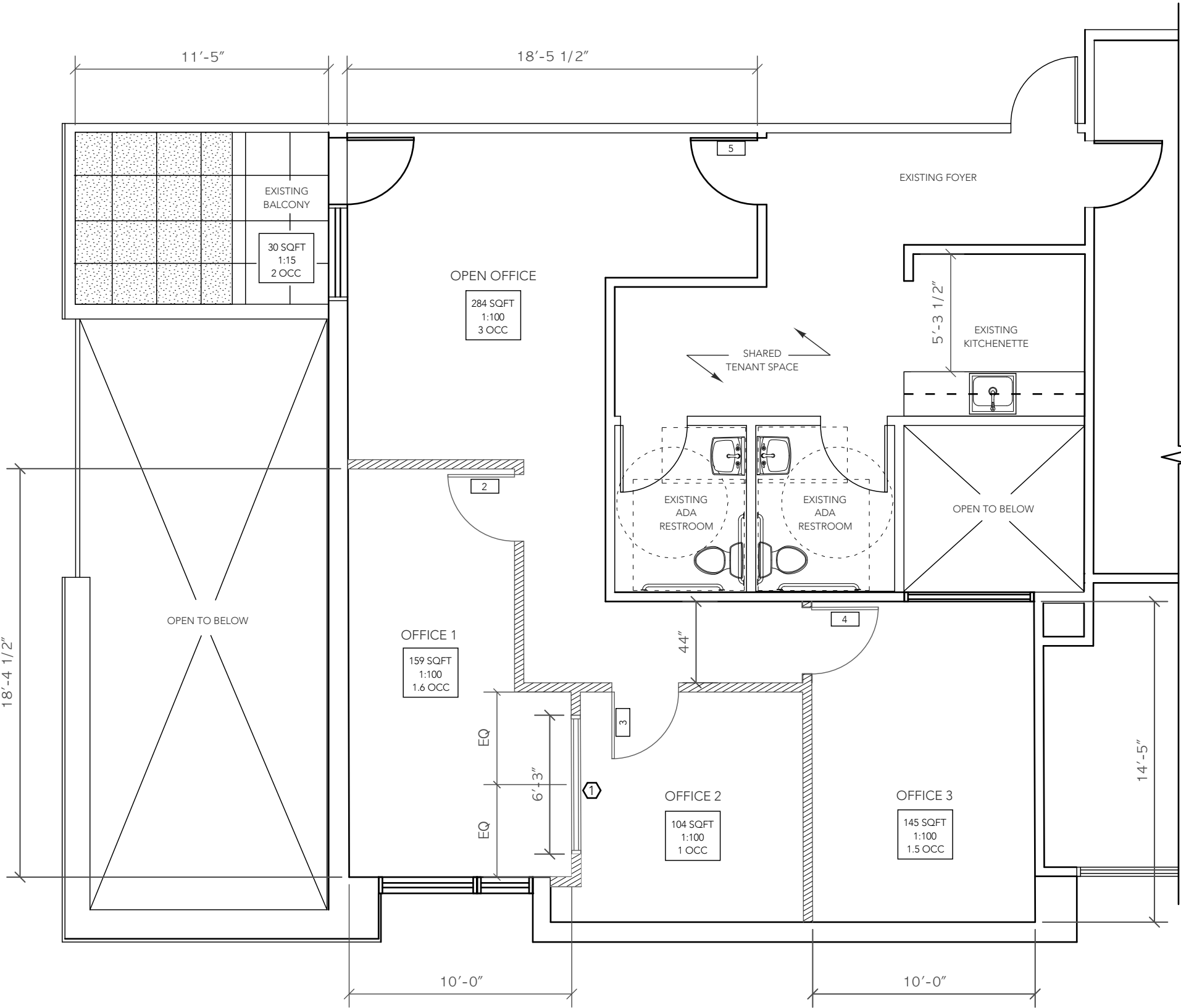
2408 SE 60TH AVE
SUITE 201
PORTLAND, OR 97206

Title:

EXISTING CEILING PLAN

Sheet Number:

A1.1



SHEET NOTES

- ALL DIMENSIONS ARE FINSHED DIMENSIONS. IF THERE ARE ANY CHANGES, NOTIFY CLIENT OR DESIGNER FOR APPROVAL.
- NEW WALLS & CEILING PAINT TO MATCH EXISTING
- NEW DOORS & TRIM TO MATCH EXISTING- CLEAR FIR WITH 3 1/2" WOOD TRIM
- NEW PAINTED FLOOR BASE 3 1/2" FLUSH WITH WALL & REVEAL - TO MATCH EXISTING
- LEVEL IV DRYWALL FINISH
- CURRENT HVAC SYSTEM FEEDS TO SHARED TENANT SPACE. DUCT WORK TO BE RE-DESIGNED TO SEPERATE TENANT SPACE FROM SHARED SPACE. HVAC DESIGN-BUILD BY HVAC CONTRACTOR. PROPOSED DUCTWORK LAYOUT TO BE APPROVED BY CLIENT PRIOR TO INSTALL. ADD DUCTLESS SYSTEM TO SHARED TENANT SPACE
- PRICE ALTERNATE TO UPGRADE WALL INSTALLATION TO ROCKWOOL AT ALL NEW INTERIOR WALLS WITH THE EXCEPTION OF THE NORTH AND EAST WALL OF STORAGE

PLAN NOTES

- 1 NEW GLASS RE-LITE WITH 3 1/2" CLEAR FIR TRIM-TO MATCH EXISTING STYLE & INSTALL. DOUBLE-PANED CLEAR GLASS. SIZE: 6'3"W x 20"H. RELITE TRIM TO FINISH AT CEILING.

LEGEND

- EXISTING WALLS, TO REMAIN
- 3 5/8" NEW METAL STUD WALLS TO EXISTING DRYWALL CEILING DECK

1 NEW FLOOR PLAN
1.2 SCALE: 3/16" = 1'-0"

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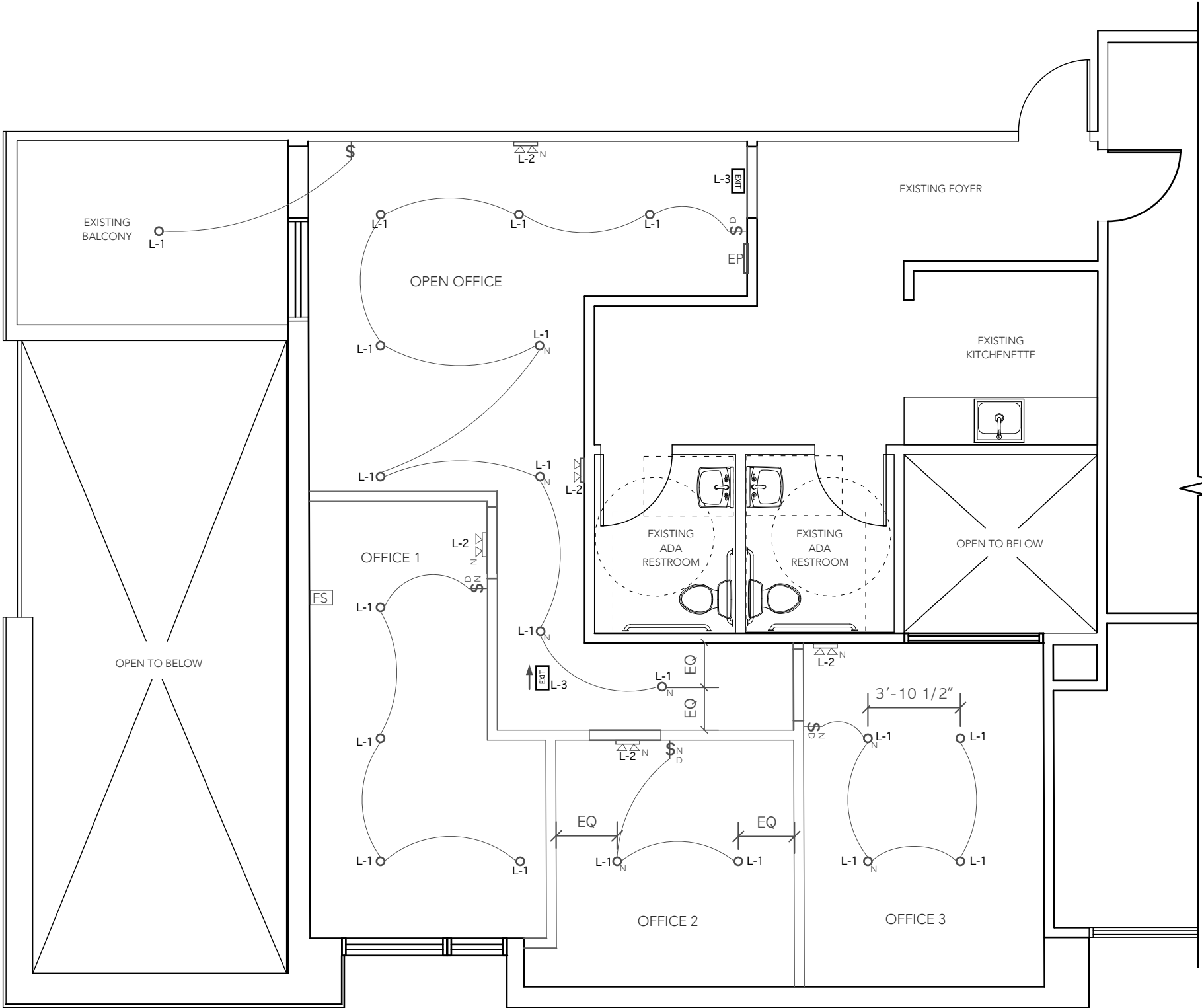
PERMIT SET

2ND STORY TENANT SUITE
(LEASABLE SPACE)

2408 SE 60TH AVE
SUITE 201
PORTLAND, OR 97206

Title:
NEW FLOOR PLAN

Sheet Number:
A1.2



SHEET NOTES

- ALL NEW LIGHTING FIXTURE LOCATIONS ARE NOTED 'N'
- RE-INSTALL REMOVED CAN LIGHTS AND SUPPLEMENT WITH NEW, AS REQUIRED-TO MATCH EXISTING
- INSTALL NEW FIRE STROBES, AS REQUIRED
- STANDARD SWITCHING TO BE INSTALLED WITH DIMMER SWITCH
- PROVIDE PRICE FOR 'ALTERNATE' CEILING PLAN ON SHEET 5.1 IN LIEU OF LAYOUT ON 1/1.3

LEGEND

- DUPLEX OUTLET-EXISTING
- DUPLEX OUTLET-NEW
- QUADPLEX OUTLET
- BLANK PLATE/MUDRING
- JUNCTION BOX
- DATA PORT
- PHONE PORT
- PHONE/DATA PORT
- EXISTING THERMOSTAT
- RECESSED LED CAN LIGHT
- EMERGENCY EGRESS LIGHT W/ BATTERY BACK-UP
- ILLUMINATED EXIT SIGN W/ BATTERY BACK-UP-GREEN
- UNDER CABINET LIGHT
- WALL SCONCE
- ACOUSTICAL CEILING GRID
- HARDLID CEILING
- CEILING HEIGHT ABOVE FINISH FLOOR
- SWITCH-EXISTING
- SWITCH-NEW
- SWITCH W/ DIMMER
- FIRE STROBE
- SMOKE DETECTOR

1 NEW REFLECTED CEILING PLAN
1.3 SCALE: 3/16" = 1'-0"

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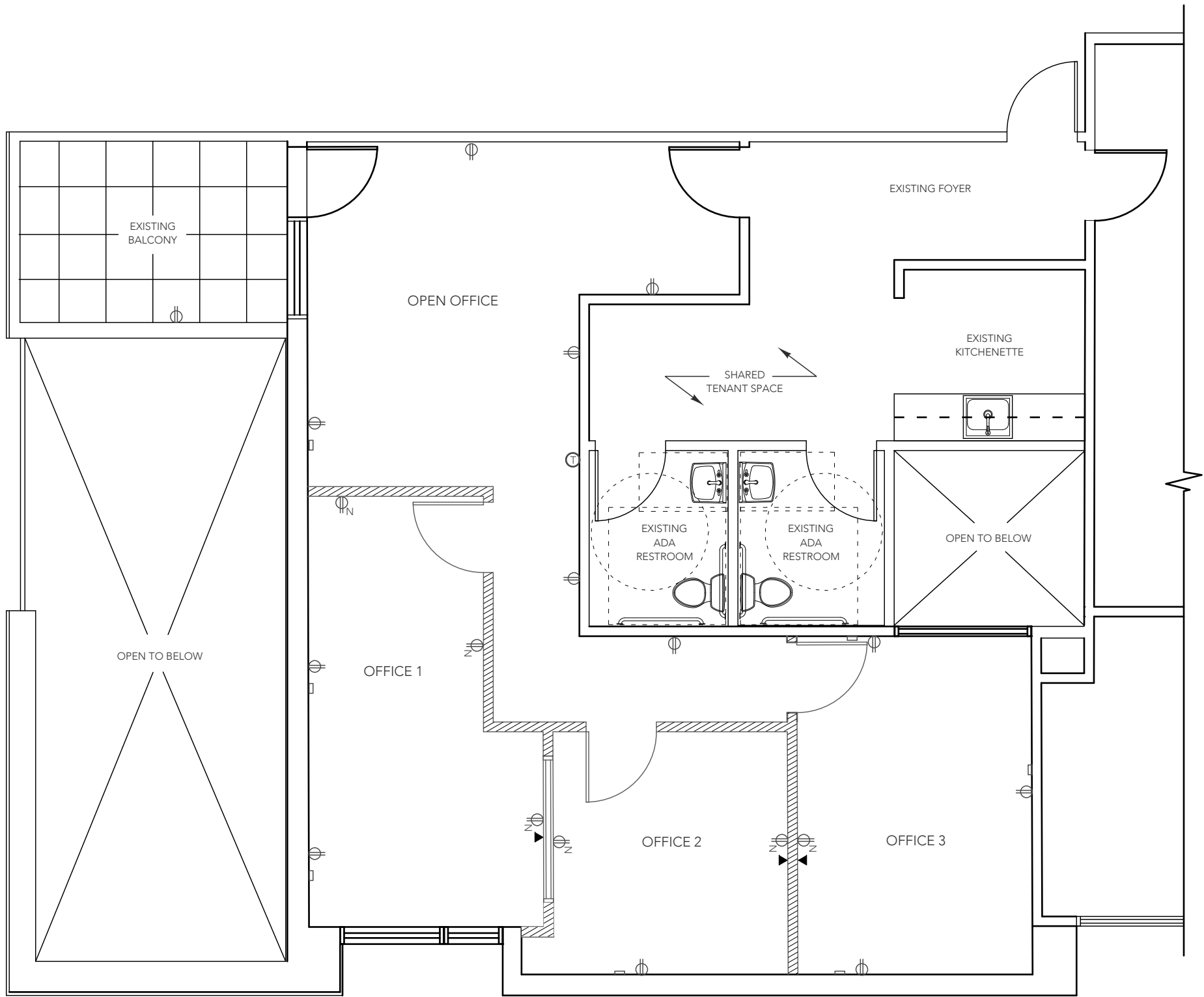
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2ND STORY TENANT SUITE
(LEASABLE SPACE)

2408 SE 60TH AVE
SUITE 201
PORTLAND, OR 97206

Title:
NEW CEILING PLAN
Sheet Number:
A1.3



1 NEW POWER/DATA PLAN
1.4 SCALE: 3/16" = 1'-0"

LEGEND

- ⊖= DUPLEX OUTLET-EXISTING
- ⊖= DUPLEX OUTLET-NEW
- ⊕= QUADPLEX OUTLET
- ▭ COVER PLATE/CAT-5 EXISTING
- ▭ JUNCTION BOX-NEW
- ▲ DATA PORT-NEW
- △ PHONE PORT-NEW
- ▲△ PHONE/DATA PORT-NEW
- ⊖ THERMOSTAT-EXISTING

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(LEASABLE SPACE)

2408 SE 60TH AVE
SUITE 201
PORTLAND, OR 97206

NEW POWER/DATA
PLAN

Sheet Number:
A1.4

DOOR SCHEDULE

NUMBER	LOCATION	SIZE	DOOR TYPE	DOOR MNFT	DOOR MATERIAL	FINISH	FRAME MATERIAL	HARDWARE	NOTES
1	STORAGE	3/0 X 7/0	B	TO MATCH EXISTING	SC FIR WOOD	CLEAR	WOOD	HW3	DELETED
2	OFFICE 1	3/0 X 7/0	B	TO MATCH EXISTING	SC FIR WOOD	CLEAR	WOOD	HW3	NO CLOSER
3	OFFICE 2	3/0 X 7/0	B	TO MATCH EXISTING	SC FIR WOOD	CLEAR	WOOD	HW3	NO CLOSER
4	OFFICE 3	3/0 X 7/0	B	TO MATCH EXISTING	SC FIR WOOD	CLEAR	WOOD	HW3	NO CLOSER
5	SUITE ENTRY								EXISTING DOOR. ADD FULL GLASS RE-LITE WITH WOOD STOP

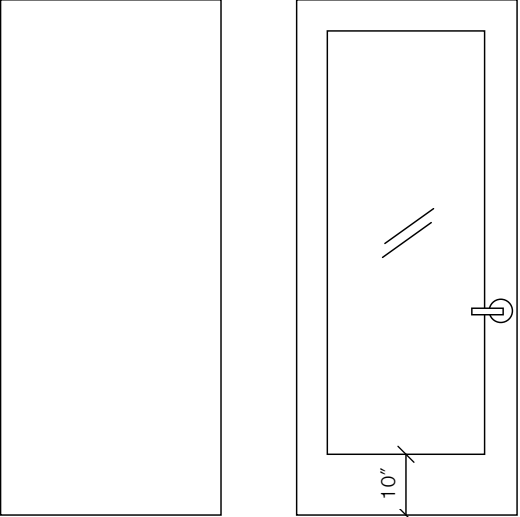
HARDWARE SCHEDULE

TYPE	DESCRIPTION
HW1	RESTROOM PRIVACY LATCH W/ OCCUPANCY INDICATOR
HW2	PASSAGE LATCH LEVER-TO MATCH EXISTING
HW3	PASSAGE LATCH LEVER W/ KEYED LOCK-TO MATCH EXISTING

1

5.0

DOOR SCHEDULE

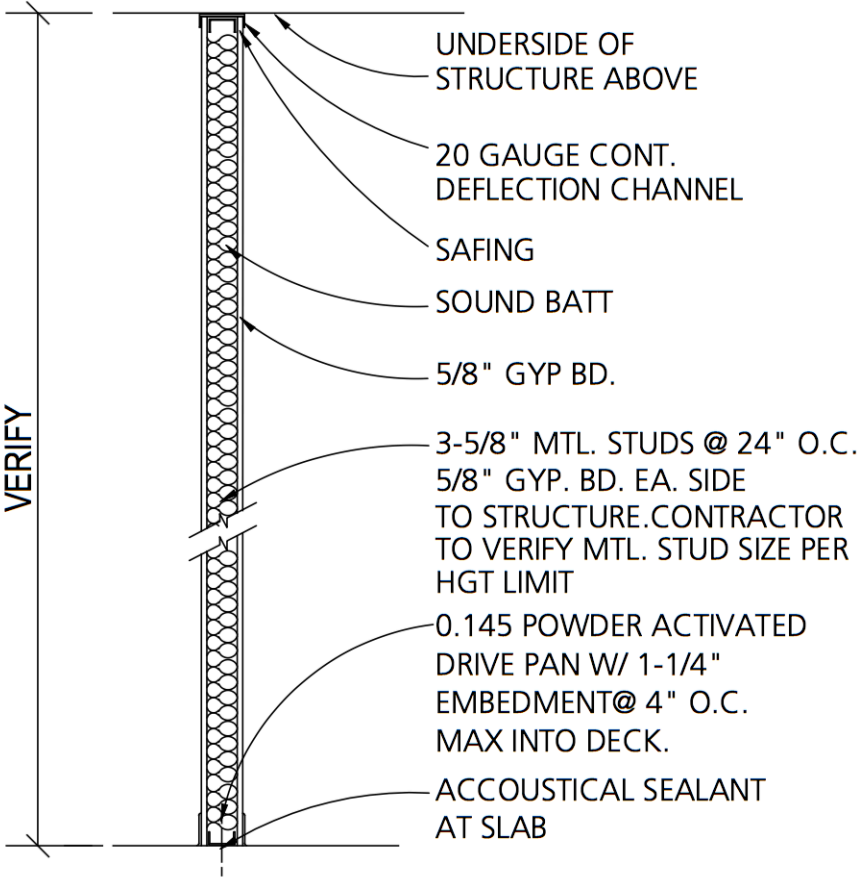


A

FLUSH HINGED WOOD

B

FLUSH WOOD HINGED W/ GLASS, TRIMMED WITH WOOD STOP



2

5.0

WALL DETAIL

NTS

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CLIENT APPROVAL

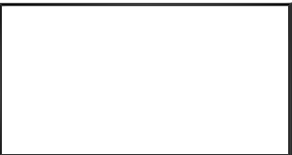
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PERMIT SET

2ND STORY TENANT SUITE
(LEASABLE SPACE)

2408 SE 60TH AVE
SUITE 201
PORTLAND, OR 97206



Title:

DETAILS/
INTERIOR ELEVATIONS

Sheet Number:

A5.0