

# Development Services

## From Concept to Construction

Phone: 503-823-7300 Email: [bds@portlandoregon.gov](mailto:bds@portlandoregon.gov) 1900 SW 4th Ave, Portland, OR 97201

More Contact Info (<http://www.portlandoregon.gov/bds/article/519984>)



### APPEAL SUMMARY

**Status:** Decision Rendered

<b>Appeal ID:</b> 20802	<b>Project Address:</b> 4110 SW Vesta St
<b>Hearing Date:</b> 8/28/19	<b>Appellant Name:</b> Beate Ioanide-Culi
<b>Case No.:</b> B-011	<b>Appellant Phone:</b> 5033802714
<b>Appeal Type:</b> Building	<b>Plans Examiner/Inspector:</b> Robert Bigelow
<b>Project Type:</b> residential	<b>Stories:</b> 2 <b>Occupancy:</b> R <b>Construction Type:</b> V-B
<b>Building/Business Name:</b>	<b>Fire Sprinklers:</b> No
<b>Appeal Involves:</b> Addition to an existing structure	<b>LUR or Permit Application No.:</b> 19-198305-RS
<b>Plan Submitted Option:</b> pdf [File 1]	<b>Proposed use:</b> Residential

### APPEAL INFORMATION SHEET

#### Appeal item 1

**Code Section** ADU Program Guide

**Requires** The ADU Program Guide requires that common areas be separated from the main house or ADU by 1-hr fire rated wall construction.

**Proposed Design** A common deck and roof is proposed to connect the existing main house with the new Accessory Dwelling Unit. The existing wall of the main house at the deck area is required to be 1-HR rated. The existing wall is a 2x4 stud wall with 1/2" gypsum board at the interior face and plywood sheathing on the exterior. We propose to add 5/8" type 'x' gypsum board at the exterior face over the plywood but keep the 1/2" gypsum board at the interior. Detail 2 on Sheet 3 describes the assembly in detail and the Upper Floor Plan on Sheet 3 shows the location of the exterior wall that requires the 1-hr rating. The existing door will be replaced with a 20-min rated door.

**Reason for alternative** It is cost prohibitive to remove the existing 1/2" gypsum board at the interior face of the exterior wall that is required to be 1-hr rated and replace it with 5/8" type 'x' gypsum board. An existing bathroom and staircase are adjacent to the wall. Replacing the 1/2" gypsum board with 5/8" gypsum board would also reduce the existing staircase width which is at the minimum required for existing staircases. The proposed design to add 1 layer of 5/8" type 'x' gypsum board to the exterior face of the wall to bring the wall closer to the 1-hr rating is consistent with the ADU program guide provisions for allowing existing gypsum board to remain at existing walls.

### APPEAL DECISION

**Alternate 1 hour fire rated wall assembly to separate main house from common deck: Granted provided Type X gypsum sheathing extends to bottom of roof sheathing with fire blocking as required above the top plate.**

The Administrative Appeal Board finds with the conditions noted, that the information submitted by the appellant demonstrates that the approved modifications or alternate methods are consistent with the intent of the code; do not lessen health, safety, accessibility, life, fire safety or structural requirements; and that special conditions unique to this project make strict application of those code sections impractical.

Pursuant to City Code Chapter 24.10, you may appeal this decision to the Building Code Board of Appeal within 90 calendar days of the date this decision is published. For information on the appeals process, go to [www.portlandoregon.gov/bds/appealsinfo](http://www.portlandoregon.gov/bds/appealsinfo), call (503) 823-7300 or come in to the Development Services Center.

AREA SUMMARY

SITE AREA: 5,000 SF  
EXISTING FINISHED BASEMENT: 280 SF  
EXISTING MAIN FLOOR: 697 SF  
EXISTING UPPER FLOOR: 437 SF  
TOTAL EXISTING AREA: 1,414 SF  
EXISTING GARAGE: 285 SF

NEW GARAGE:  
NEW ADU:

ZONING INFORMATION

ADDRESS:  
4110 SW VESTA ST  
PORTLAND, OR 97219  
PROPERTY ID: R303086

JURISDICTION: PORTLAND, OREGON  
ZONE: R7  
REQUIRED MINIMUM SETBACKS:  
FRONT: 15 FT  
SIDE: 5 FT  
REAR: 5 FT  
GARAGE: 18 FT

ALLOWABLE HEIGHT: 30 FT

MAX ALLOWABLE BUILDING COVERAGE: 2,250 SF

PROPOSED BUILDING COVERAGE:

MAX ALLOWABLE ACCESSORY STRUCTURES  
BUILDING COVERAGE: 5,000 SF X 15% = 750 SF

ENERGY NOTES

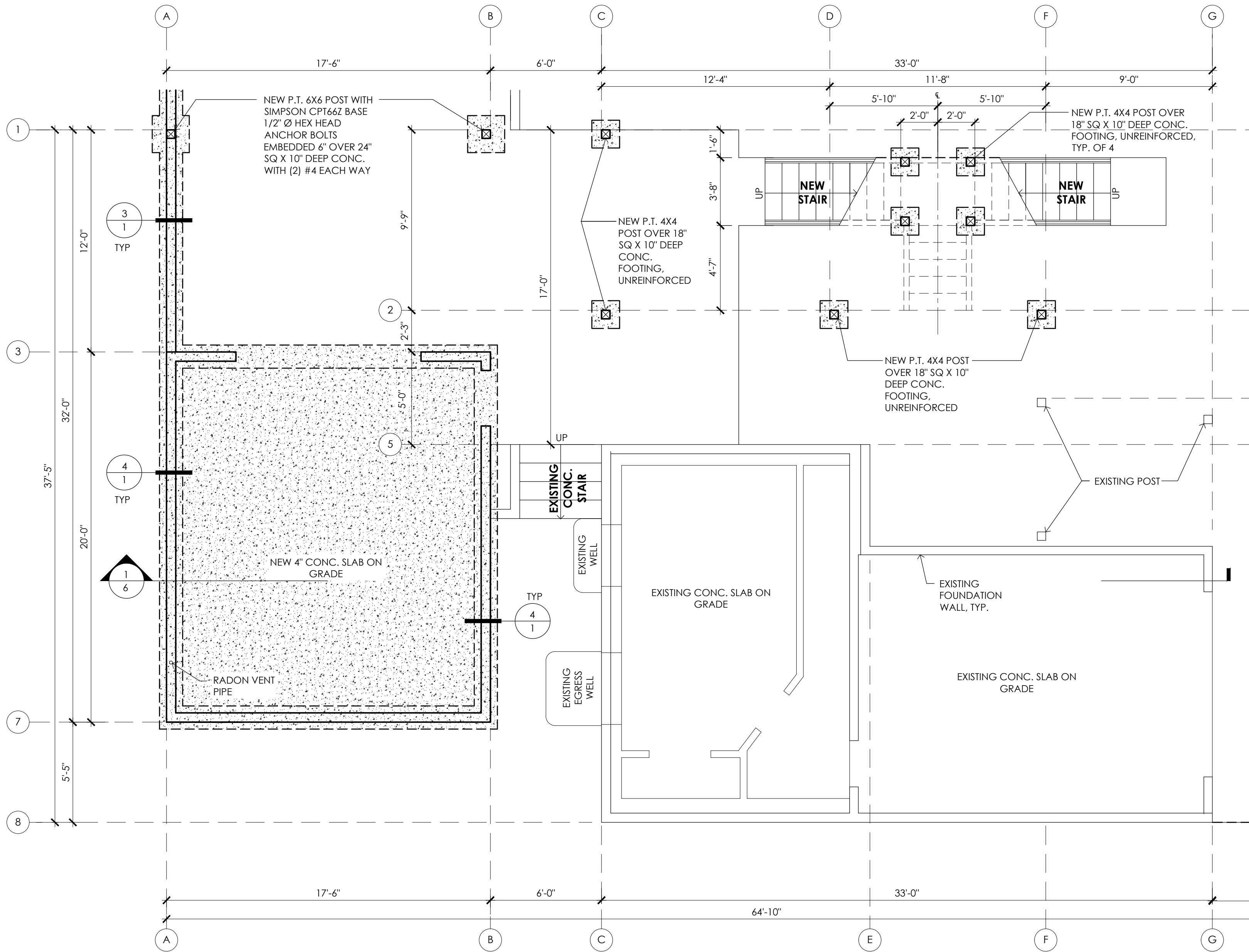
PRESCRIPTIVE ENVELOPE REQUIREMENTS FOR RESIDENTIAL  
BUILDINGS PER TABLE N1101.1(1):

MAXIMUM ALLOWABLE WINDOW AREA: NO LIMIT  
WINDOW GLASS AND SLIDING GLASS DOORS: U=0.30  
SKYLIGHTS: U=0.50  
EXTERIOR DOORS: U=0.20  
EXTERIOR DOORS W/ >2.5 SQFT GLAZING: U=0.40  
WALL INSULATION - ABOVE GRADE: R-21  
WALL INSULATION - BELOW GRADE: R-15  
SLAB EDGE PERIMETER: R-10  
HEATED SLAB INTERIOR: R-30  
UNDERFLOOR INSULATION: R-49  
FLAT CEILINGS: R-38  
VAULTED CEILINGS: R-8  
FORCED AIR DUCT INSULATION:

PLUS TWO ADDITIONAL MEASURES PER TABLE N1101.1(2):

5. AIR SEALING HOME AND DUCTS:  
MANDATORY AIR SEALING OF ALL WALL COVERINGS AT TOP  
PLATE AND AIR SEALING CHECKLIST, AND MECHANICAL  
WHOLE-BUILDING VENTILATION SYSTEM WITH RATES MEETING  
M1503 OR ASHRAE 62.2 AND ALL DUCTS SEALED WITH MASTIC

C. DUCTLESS HEATPUMP HSPF 10.0 IN PRIMARY ZONE OF  
DWELLING

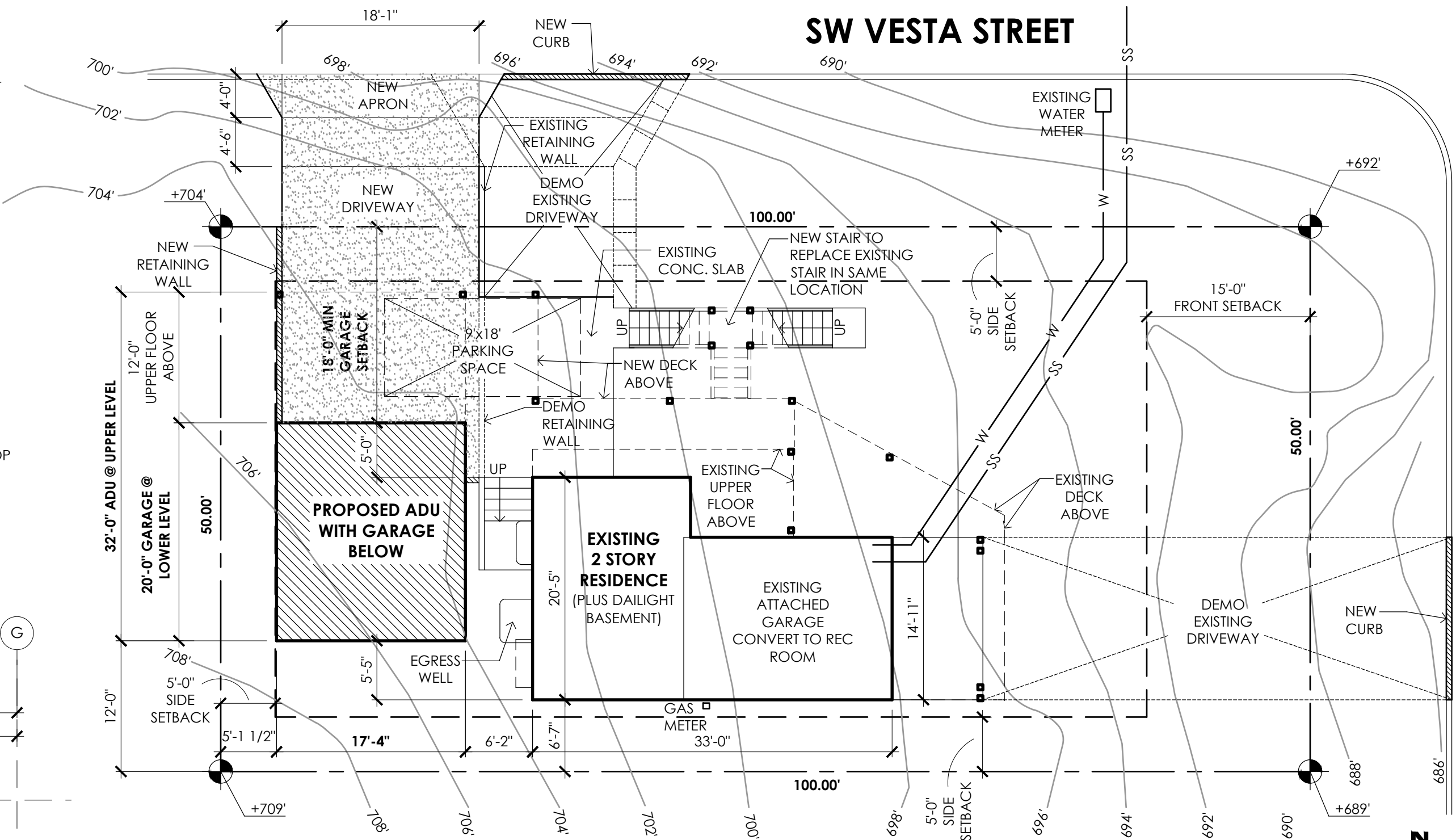


2 FOUNDATION PLAN

SCALE: 1/4"=1'-0"

LEGEND:

NEW CONC. STEMWALL AND FOOTING - SEE  
FOUNDATION DETAILS ON SHEET 2

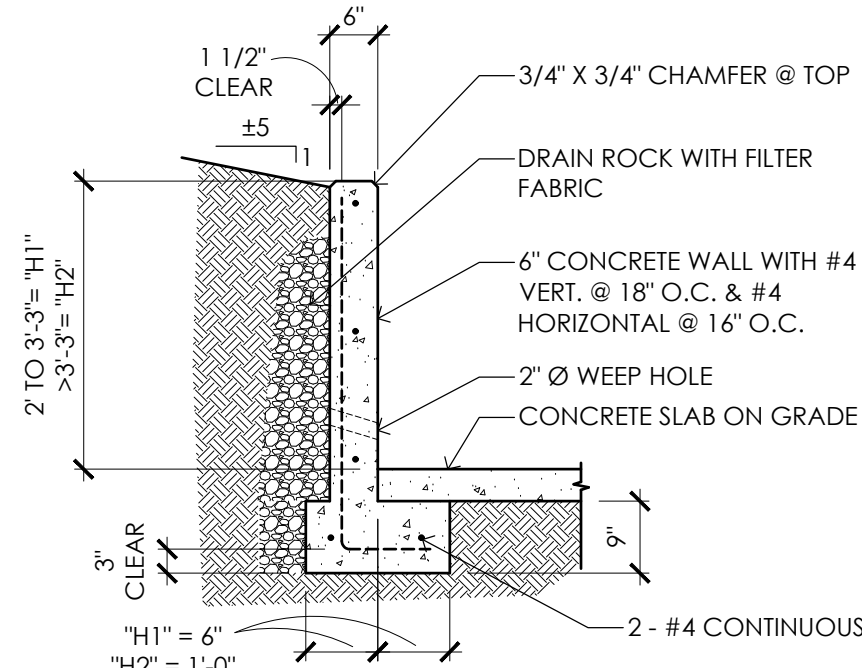


1 SITE PLAN

SCALE: 1"=10'-0"

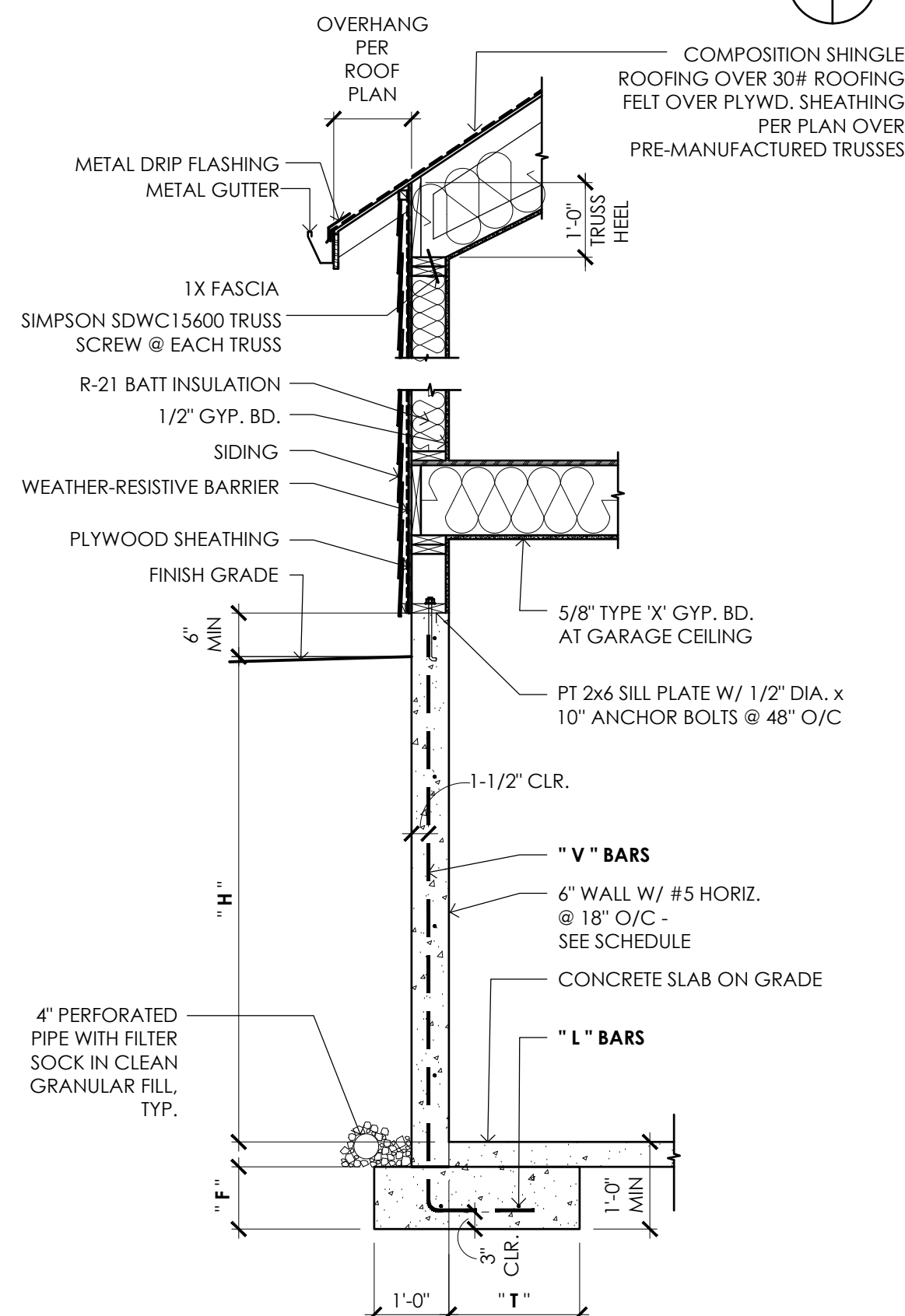
LEGEND:

EXISTING BUILDING  
FOOTPRINT  
PROPOSED GARAGE/ADU  
FOOTPRINT  
PROPERTY LINE  
ZONING SETBACK LINE  
EXISTING WATER  
EXISTING SANITARY SEWER  
CONNECTION  
TREE PROTECTION FENCING  
CONSISTING OF MINIMUM  
6-FOOT HIGH METAL  
CHAINLINK FENCE, SECURED  
WITH 8-FOOT METAL POSTS



3 RETAINING WALL

SCALE: 1/2"=1'-0"



4 FOUNDATION DETAIL AT GARAGE WALLS

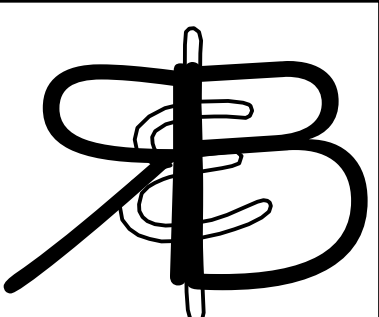
SCALE: 1/2"=1'-0"

SCHEDULE

DIMENSIONS			REINFORCING	
"H"	"T"	"F"	"V" BARS	"L" BARS
4'-0"	1'-0"	9"	#4 @ 18" O/C	2 - #4
5'-3"	1'-6"	9"	#4 @ 18" O/C	3 - #4
6'-6"	2'-3"	11"	#5 @ 18" O/C	3 - #5

DESIGN NOTES

ALLOWABLE SOIL BEARING PRESSURE = 1500 PSF  
DESIGN ACTIVE PRESSURE = 35 PCF  
CONCRETE STRENGTH - f<sub>c</sub> = 2500 PSI  
REINFORCING STEEL = GRADE 60



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PRISCO RESIDENCE GARAGE AND ADU

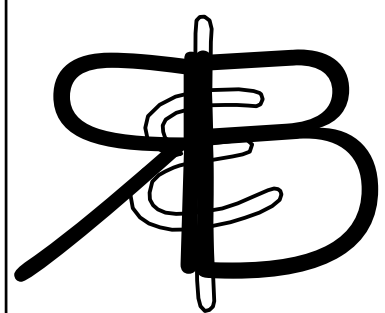
4110 SW VESTA ST., PORTLAND, OR 97219

SITE PLAN,  
FOUNDATION  
PLAN, &  
FOUNDATION  
DETAILS

PERMIT SET  
DATE: 07.24.19  
08.23.19

1806ADU

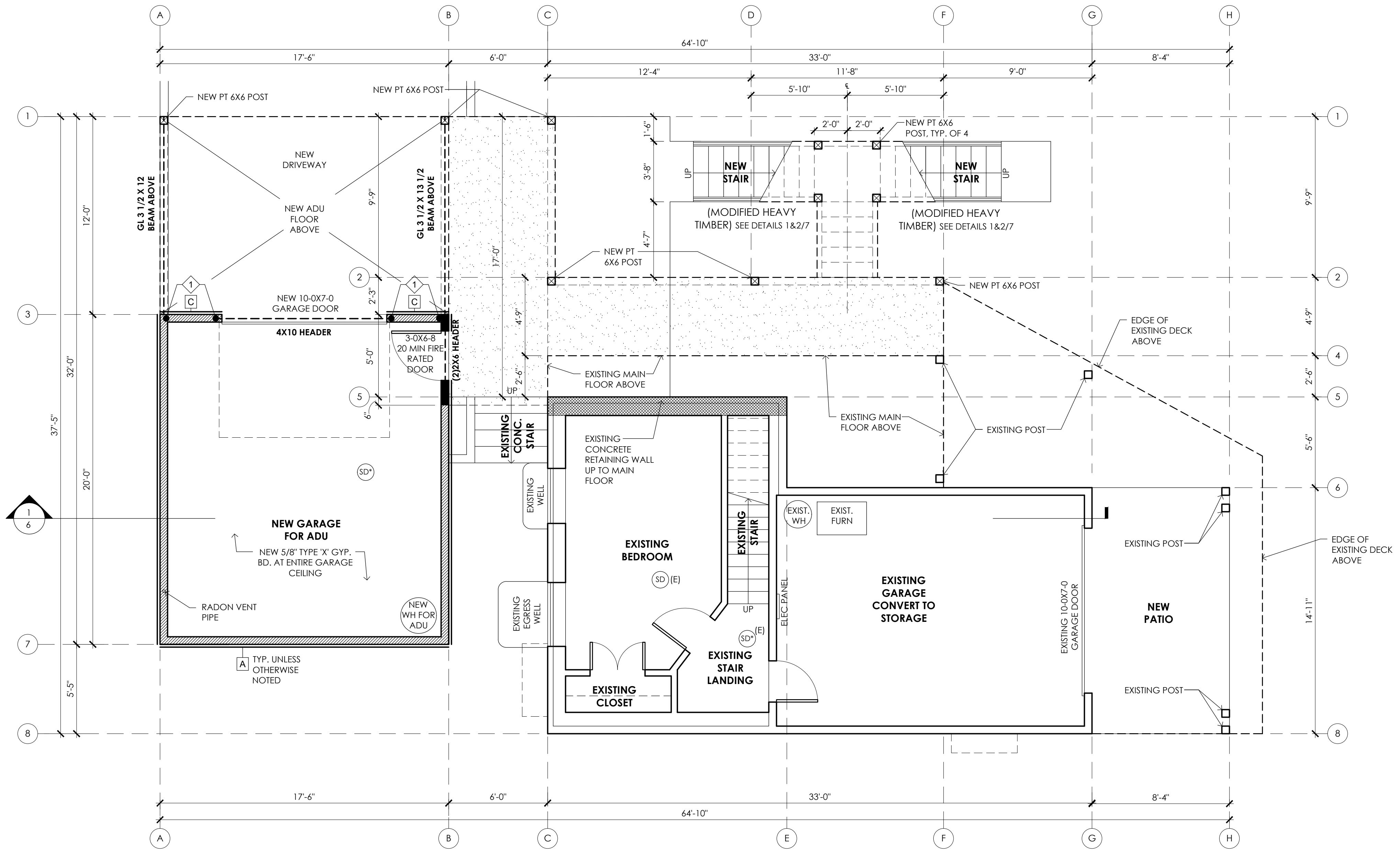
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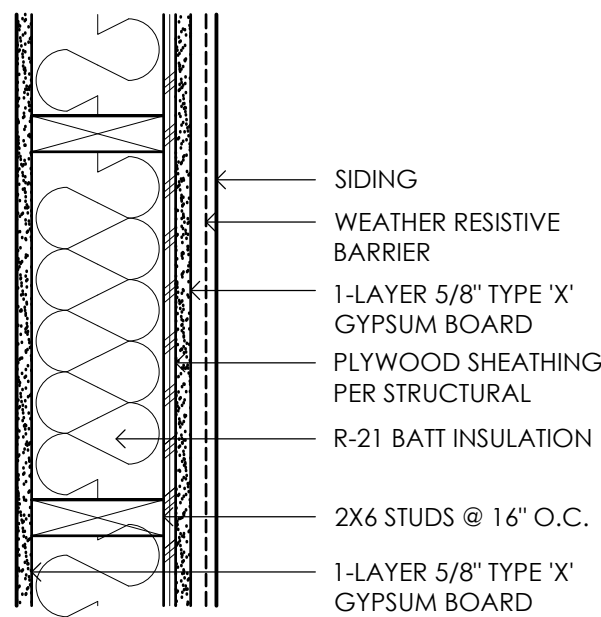
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1 LOWER FLOOR PLAN  
2 SCALE: 1/4"=1'-0"



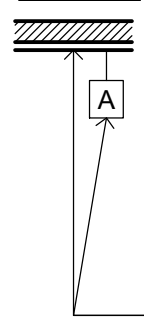
GA FILE NO. WP 8105

EXTERIOR SIDE: 1 LAYER 48" WIDE 5/8" TYPE 'X' GYPSUM SHEATHING APPLIED PARALLEL TO 2X6 STUDS @ 16" O.C. WITH 1 3/4" GALVANIZED ROOFING NAILS 4" O.C. AT VERTICAL JOINTS AND 7" O.C. AT INTERMEDIATE STUDS AND TOP AND BOTTOM PLATES. JOINTS OF GYPSUM SHEATHING MAY BE LEFT UNTREATED.

INTERIOR SIDE: 1 LAYER 5/8" TYPE 'X' GYPSUM BOARD APPLIED AT RIGHT ANGLES TO STUDS WITH 6d COATED NAILS, 1 5/8" LONG, 0.0915 SHANK, 3/4" HEADS, 7" O.C.

2 1-HOUR EXTERIOR WALL ASSEMBLY  
2 SCALE: 1 1/2"=1'-0"

LEGEND:



NEW WALL ASSEMBLY:

EXTERIOR WALLS: 2X6 @ 16" O.C. WITH MIN R-21 BATT INSULATION AND 1/2" GYP.BD. ON INTERIOR FACE, LAP SIDING OVER WEATHER RESISTIVE BARRIER OVER WALL SHEATHING PER PLAN

INTERIOR WALLS: 2X4 @ 16" O.C. WITH 1/2" GYP. BD. EACH FACE.

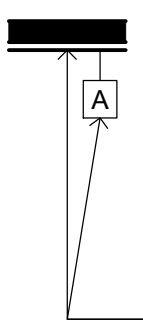
WALL SHEATHING:  
SEE SHEARWALL SCHEDULE

1 HOLDOWN - SEE HOLDDOWN SCHEDULE

NEW EXHAUST FAN ABOVE - SEE ORSC; M1507.3 AND M1507.4 FOR FAN AND DUCT SIZING

SD\* SMOKE DETECTOR - \* INDICATES COMBO CO2/SMOKE DETECTOR PER R315.3.3 & R315.4.3

1-HR MODIFIED HEAVY TIMBER DECK ABOVE FOR COMMON ENTRY STAIR TO BOTH ADU AND MAIN HOUSE



NEW 1-HR WALL ASSEMBLY:

EXTERIOR WALLS: 2X6 @ 16" O.C. WITH MIN R-21 BATT INSULATION AND 5/8" TYPE 'X' GYP.BD. ON INTERIOR FACE, LAP SIDING OVER WEATHER RESISTIVE BARRIER OVER 5/8" TYPE 'X' GYP. BD. OVER WALL SHEATHING PER PLAN

SEE DETAIL 2/2

WALL SHEATHING:  
SEE SHEARWALL SCHEDULE

EXISTING EXTERIOR WALL:

EXISTING SIDING OVER EXISTING WALL SHEATHING OVER EXISTING STUDS WITH 1/2" GYP. BD. AT INTERIOR FACE TO REMAIN PER CITY OF PORTLAND ADU GUIDE

SHEAR WALL SCHEDULE

8d COMMON NAILS TYPICAL ( DIA.=0.131", L=2 1/2")

MARK	SHEATHING	SHEATHING NAILING	SILL PLATE NAILING	FOUNDATION ANCHORS	REMARKS
A	NOM. 1/2" APA RATED WOOD STRUCTURAL PANELS (24/16); BLOCK ALL EDGES	6" o/c EDGES 12" o/c FIELD	16d SINKERS @ 12" o/c	2x PL W/ 1/2" DIA. x 10" ANCHOR BOLTS @ 48" o/c	TYPICAL, UNLESS NOTED OTHERWISE
B	NOM. 1/2" APA RATED WOOD STRUCTURAL PANELS (24/16); BLOCK ALL EDGES	4" o/c EDGES 12" o/c FIELD	16d SINKERS @ 8" o/c	2x PL W/ 1/2" DIA. x 10" ANCHOR BOLTS @ 30" o/c	
C	NOM. 1/2" APA RATED WOOD STRUCTURAL PANELS (24/16); BLOCK ALL EDGES	3" o/c EDGES 12" o/c FIELD	16d SINKERS @ 6" o/c	2x PL W/ 1/2" DIA. x 10" ANCHOR BOLTS @ 24" o/c	

HOLDOWN SCHEDULE

MARK	TYPE	POST	ATTACHMENT	ANCHOR
1	SIMPSON HDU2	DOUBLE STUD (MINIMUM)	(6) 1/4"x2-1/2" SD SCREWS INTO STUDS	SIMPSON SSTB20
2	SIMPSON MSTC66B3	DOUBLE STUD (MINIMUM)	(38) 16d INTO STUDS ABOVE AND (14) 16d INTO BEAM IN FLOOR	(4) 16 d INTO BOTTOM OF BEAM
3	SIMPSON MST4A8	DOUBLE STUD (MINIMUM)	(16) 16d INTO STUDS ABOVE AND POST BELOW FLOOR	
4	SIMPSON CS14	SINGLE STUD	(10) 8d INTO STUDS ABOVE AND BELOW FLOOR	END LENGTH 12"

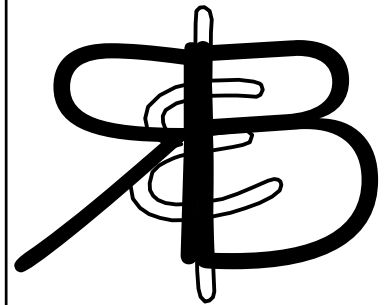
LOWER FLOOR PLAN & WALL ASSEMBLY DETAIL

PERMIT SET  
DATE: 07.24.19

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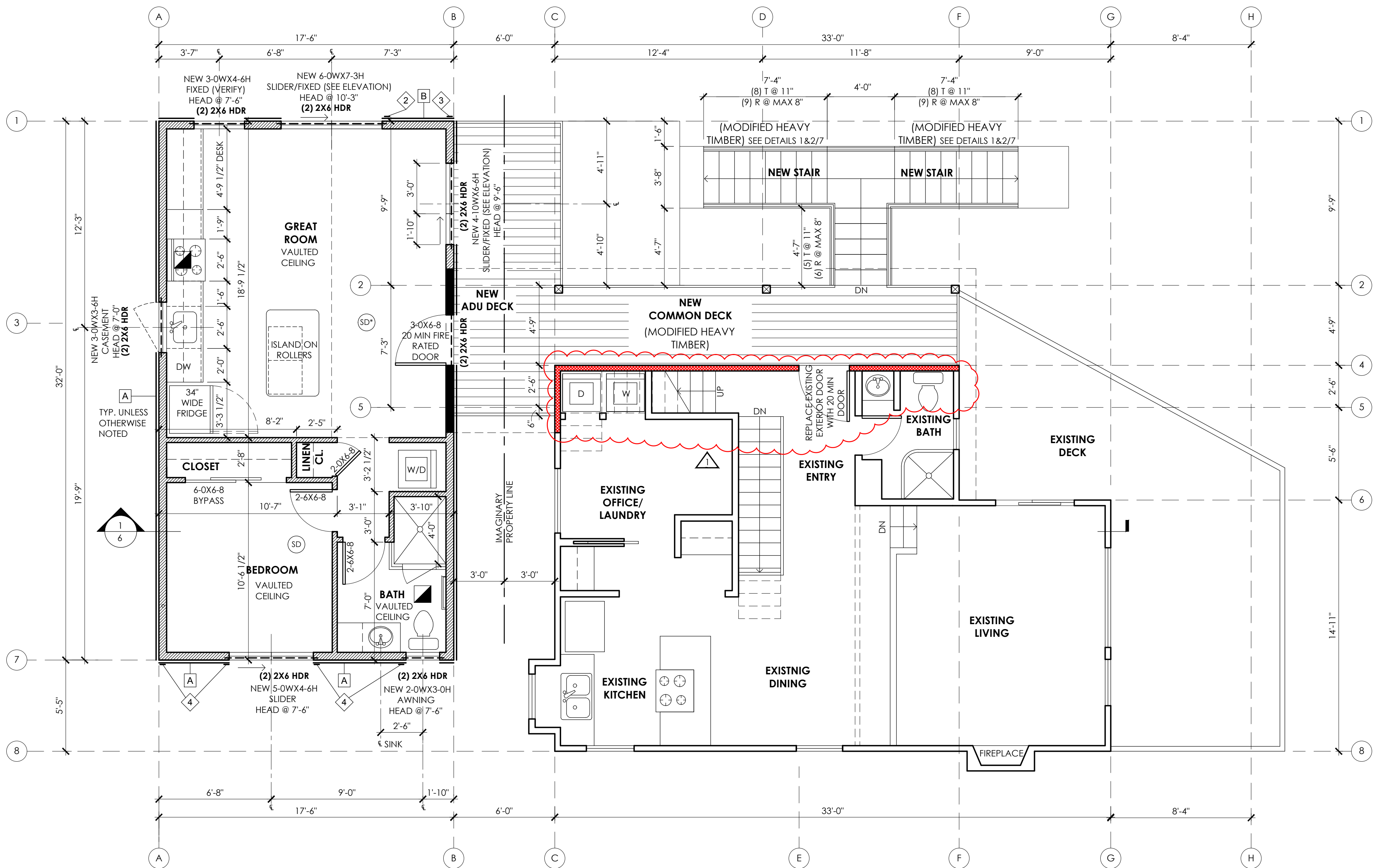




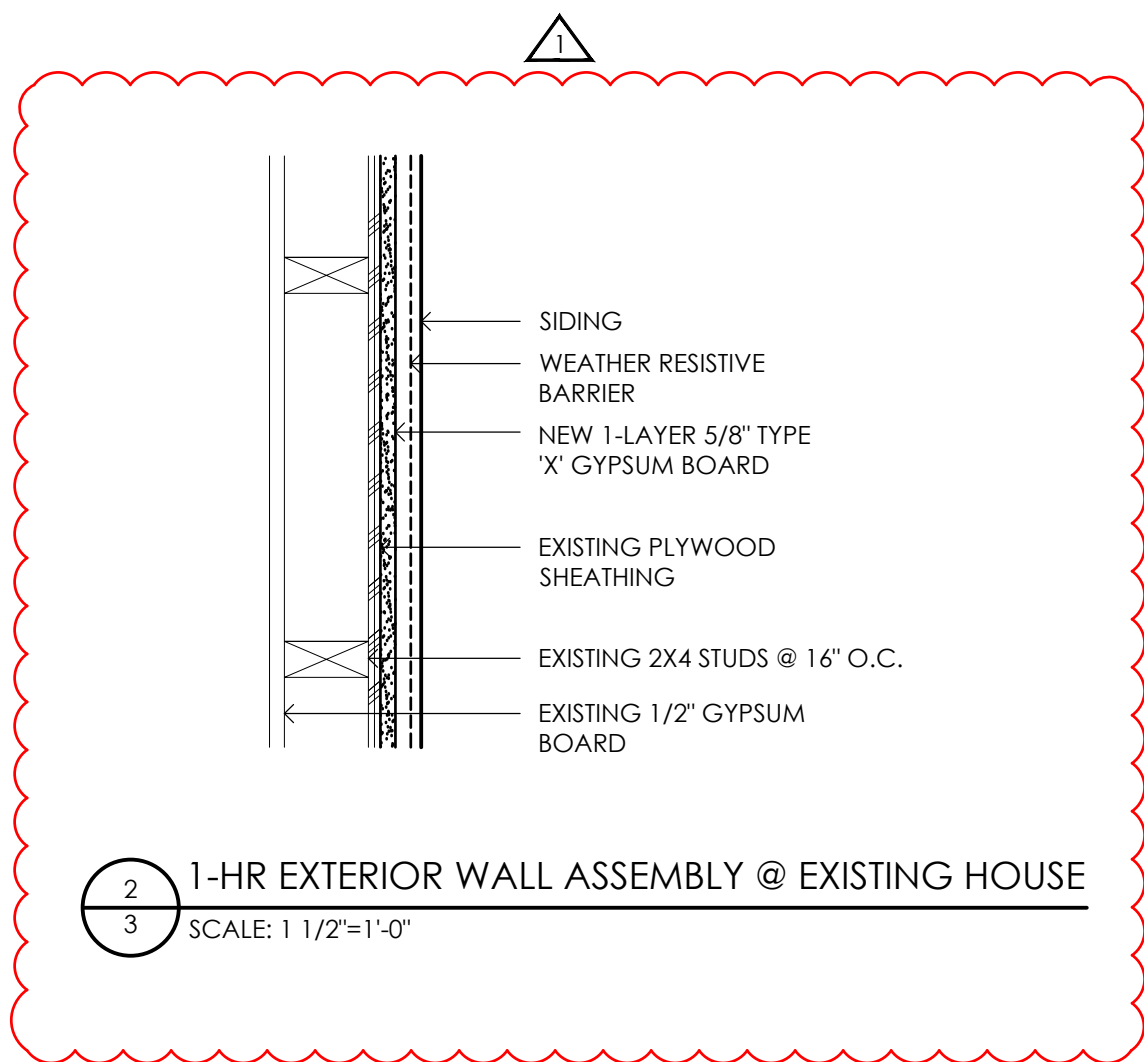
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# PRISCO RESIDENCE GARAGE AND ADU

4110 SW VESTA ST., PORTLAND, OR 97219



1  
3  
UPPER FLOOR PLAN  
SCALE: 1/4"=1'-0"



2  
3  
1-HR EXTERIOR WALL ASSEMBLY @ EXISTING HOUSE  
SCALE: 1 1/2"=1'-0"

## LEGEND:



**NEW WALL ASSEMBLY:**  
EXTERIOR WALLS: 2X6 @ 16" O.C. WITH MIN R-21 BATT INSULATION AND 1/2" GYP.BD. ON INTERIOR FACE, LAP SIDING OVER WEATHER RESISTIVE BARRIER OVER WALL SHEATHING PER PLAN  
INTERIOR WALLS: 2X4 @ 16" O.C. WITH 1/2" GYP. BD. EACH FACE.

**WALL SHEATHING:**  
SEE SHEARWALL SCHEDULE

● 1 HOLDOWN - SEE HOLDOWN SCHEDULE

▲ NEW EXHAUST FAN ABOVE - SEE ORSC M1507.3 AND M1507.4 FOR FAN AND DUCT SIZING

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1-HR MODIFIED HEAVY TIMBER DECK ABOVE FOR COMMON ENTRY STAIR TO BOTH ADU AND MAIN HOUSE



**NEW WALL ASSEMBLY:**  
1-HR EXTERIOR WALLS: 2X6 @ 16" O.C. WITH MIN R-21 BATT INSULATION AND 5/8" TYPE 'X' GYP.BD. ON INTERIOR FACE, LAP SIDING OVER WEATHER RESISTIVE BARRIER OVER 5/8" TYPE 'X' GYP. BD. OVER WALL SHEATHING PER PLAN

SEE DETAIL 2/2

**WALL SHEATHING:**  
SEE SHEARWALL SCHEDULE

## EXISTING EXTERIOR WALL:

SIDING OVER WEATHER RESISTIVE BARRIER OVE NEW 5/8" TYPE. "X" GYP. BD. OVER EXISTING WALL SHEATHING OVER EXISTING STUDS WITH 1/2" GYP. BD. AT INTERIOR FACE TO REMAIN PER CITY OF PORTLAND ADU GUIDE -

SEE WALL ASSEMBLY DETAIL 2/3

## SHEAR WALL SCHEDULE

8d COMMON NAILS TYPICAL ( DIA.=0.131", L=2 1/2")

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## HOLDOWN SCHEDULE

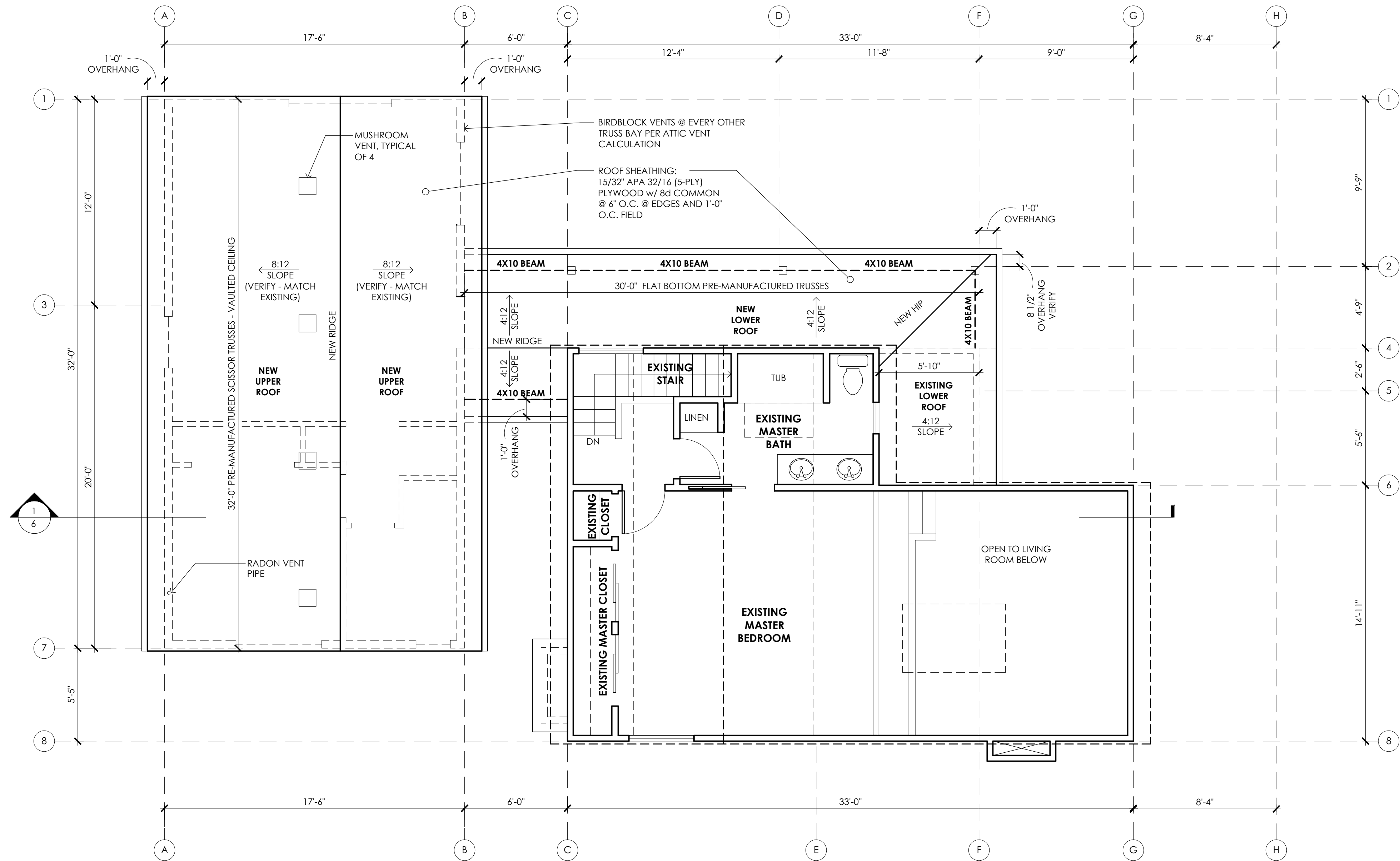
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## UPPER FLOOR PLAN

PERMIT SET  
DATE: 07.24.19  
08.23.19

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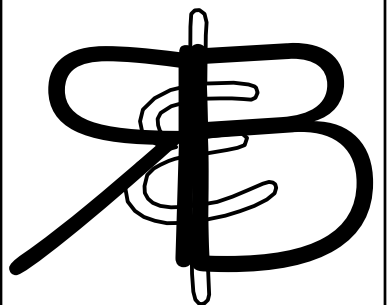
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1  
5 ROOF PLAN/ ROOF FRAMING PLAN  
SCALE: 1/4"=1'-0"

ATTIC VENT CALCULATIONS (PER ORSC R806.2)		
ATTIC AREA NUMBER	ATTIC AREA (SQ FT)	*REQ'D VENT: 1/300 (SQ. IN.)
AREA 1	560 SF	<b>268 SQ. IN. REQUIRED</b>
		INSTALL MIN 3 MUSHROOM VENTS @ 51 SQ IN. = 153 SQ. IN. & 14 BIRD BLOCK VENTS @ EVERY OTHER TRUSS BAY @ 20 SQ. IN. = 280 SQ. IN. TOTAL NET FREE AREA PROVIDED = <b>433 SQ. IN.</b>

\* TOTAL NET FREE AREA REQUIRED WITH AT LEAST 50% BUT NOT MORE THAN 80% OF VENTS AT LEAST 3 FEET ABOVE THE EAVE AND THE REMAINING AT THE EAVE.



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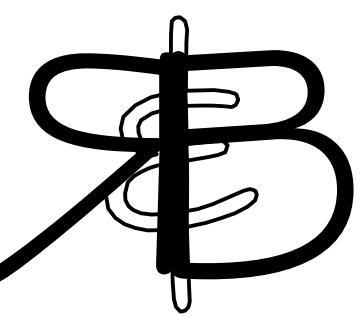
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ROOF PLAN

PERMIT SET  
DATE: 07.24.19

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5



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4110 SW VESTA ST., PORTLAND, OR 97219

BUILDING SECTION, EXTERIOR ELEVATIONS

PERMIT SET  
DATE: 07.24.19

1806ADU

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