

Development Services

From Concept to Construction

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More Contact Info (<http://www.portlandoregon.gov/bds/article/519984>)



APPEAL SUMMARY

Status: Decision Rendered - Reconsideration of ID 20378

Appeal ID: 20394	Project Address: 736 SE Ankeny St
Hearing Date: 5/15/19	Appellant Name: Nick Mira
Case No.: B-005	Appellant Phone: 503-593-1222
Appeal Type: Building	Plans Examiner/Inspector: Anne Schmidt
Project Type: commercial	Stories: 2 Occupancy: B Construction Type: 3-B
Building/Business Name: Ironside Fitness	Fire Sprinklers: No
Appeal Involves: Alteration of an existing structure, Reconsideration of appeal	LUR or Permit Application No.: 19-123426-CO
Plan Submitted Option: pdf [File 1]	Proposed use: Double B

APPEAL INFORMATION SHEET

Appeal item 1

Code Section	303.4, 303.1.1
Requires	<p>303.4 Gymnasiums are classified as A-3</p> <p>303.1.1 Allows spaces for (A) assembly purposes with less with less than 50 occupants to be considered as a B occupancy</p>
Proposed Design	<p>This appeal item requests approval of the double B configuration, including some low occupancy spaces in the north portion of the building on the second floor.</p> <p>The fitness program on the project consists of two separate fitness areas, each are located on the level of exit discharge and each have an occupant load of 49 or less. The exit access travel distances are significantly less than the code allows, the opening between the two separate B spaces does provide common path exit options, and the opening is equipped with a smoke draft curtain to provide additional life safety.</p> <p>The cumulative occupant load of Fitness Area 1, including the second floor totals 40 occupants. The cumulative occupant load of Fitness Area 2 totals 17 occupants. We will be providing a new outswinging door to serve Fitness Area 1. Additionally, there are 3 existing inswing doors to remain in Fitness Area 1 - so exit access is abundant and dispersed across the space.</p>
Reason for alternative	<p>It was suggested in the FLS checksheet 19-123426-000-00-CO to request approval of this double B configuration.</p> <p>*Reconsideration Text*</p>

We received comments that the Fitness Area 2 exit path had congestion due to the bicycle storage and the lack of a door on the storage room in this area as previously shown. Therefore, plans have been updated to clear this exit path in the following ways:

- 1-Moved bikes into Storage Room
- 2-Added a door to Storage Room for separation of uses

Additionally, a smoke draft curtain was requested to be added to the plans at the connection of the Double B spaces. This has been added. A101, keynote 11.

APPEAL DECISION

Side by side B occupancies: Granted for this tenant and configuration provided a draft curtain is installed above the opening between the two rooms, extending a minimum of 24” below the ceiling height of both rooms.

Appellant may contact John Butler (503 823-7339) with questions.

The Administrative Appeal Board finds with the conditions noted, that the information submitted by the appellant demonstrates that the approved modifications or alternate methods are consistent with the intent of the code; do not lessen health, safety, accessibility, life, fire safety or structural requirements; and that special conditions unique to this project make strict application of those code sections impractical.

Pursuant to City Code Chapter 24.10, you may appeal this decision to the Building Code Board of Appeal within 180 calendar days of the date this decision is published. For information on the appeals process and costs, including forms, appeal fee, payment methods and fee waivers, go to www.portlandoregon.gov/bds/appealsinfo, call (503) 823-7300 or come in to the Development Services Center.

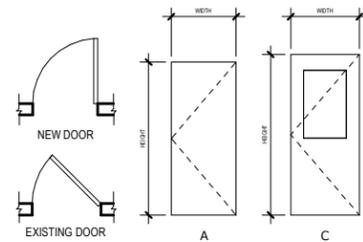
DOOR OPENING SCHEDULE

MARK	DOOR OPENING SIZE		FIRE RATING	DOOR TYPE	NOTES
	W	H			
101a	3' - 4"	6' - 8"	-	C	
101b	3' - 4"	6' - 8"	-	C	
101c	3' - 4"	6' - 8"	-	C	
101d	2' - 6"	5' - 6"	-	E	
102a	4' - 0"	7' - 0"	-	A	
103	3' - 0"	7' - 0"	-	D	
105	3' - 0"	3' - 0"	-	A	GATE DOOR
106	2' - 10"	6' - 8"	-	A	DOOR HAS AN OCCUPANCY INDICATOR LOCK ON INTERIOR SIDE.
107	2' - 4"	6' - 8"	-	A	DOOR HAS AN OCCUPANCY INDICATOR LOCK ON INTERIOR SIDE.
108	2' - 4"	6' - 8"	-	A	DOOR HAS AN OCCUPANCY INDICATOR LOCK ON INTERIOR SIDE.
109	2' - 6"	6' - 8"	-	A	
201	2' - 6"	6' - 8"	-	A	
202	3' - 0"	6' - 8"	-	A	

1008.1.9.3 Locks and latches. Locks and latches shall be permitted to prevent operation of doors where any of the following exists:

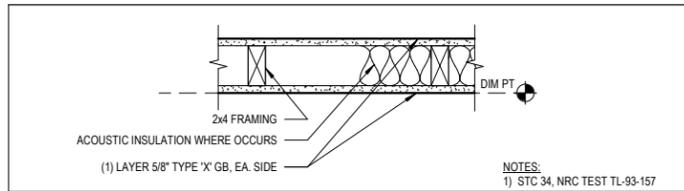
- Places of detention or restraint.
- In buildings in occupancy Group A having an *occupant load* of 300 or less, Groups B, F, M and S, and in *places of religious worship*, the main exterior door or doors are permitted to be equipped with key-operated locking devices from the egress side provided:
 - The locking device is readily distinguishable as locked;
 - A readily visible durable sign is posted on the egress side on or adjacent to the door stating: **THIS DOOR TO REMAIN UNLOCKED WHEN BUILDING IS OCCUPIED.** The sign shall be in letters 1 inch (25 mm) high on a contrasting background; and
 - The use of the key-operated locking device is revokable by the *building official* for due cause.

LEGEND - DOOR TYPES

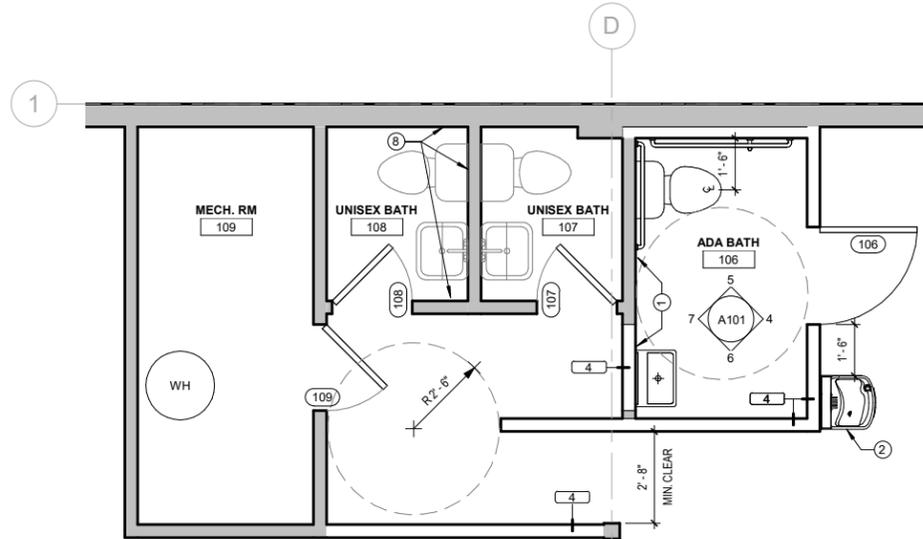
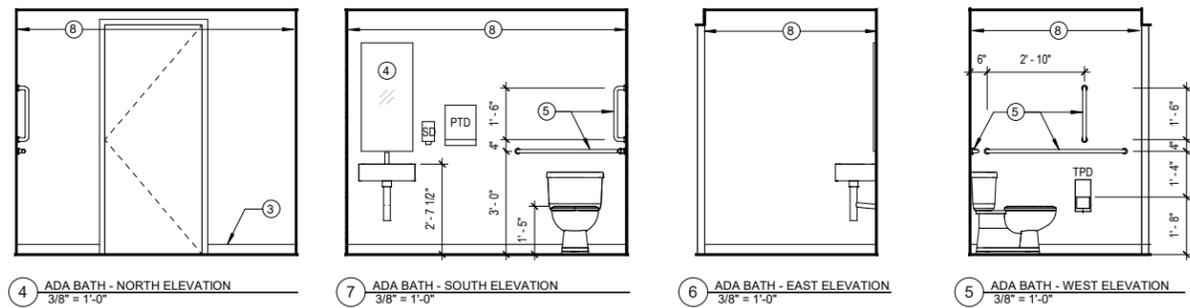


NOTE BLOCK - FLOOR PLANS & INTERIOR ELEVATIONS

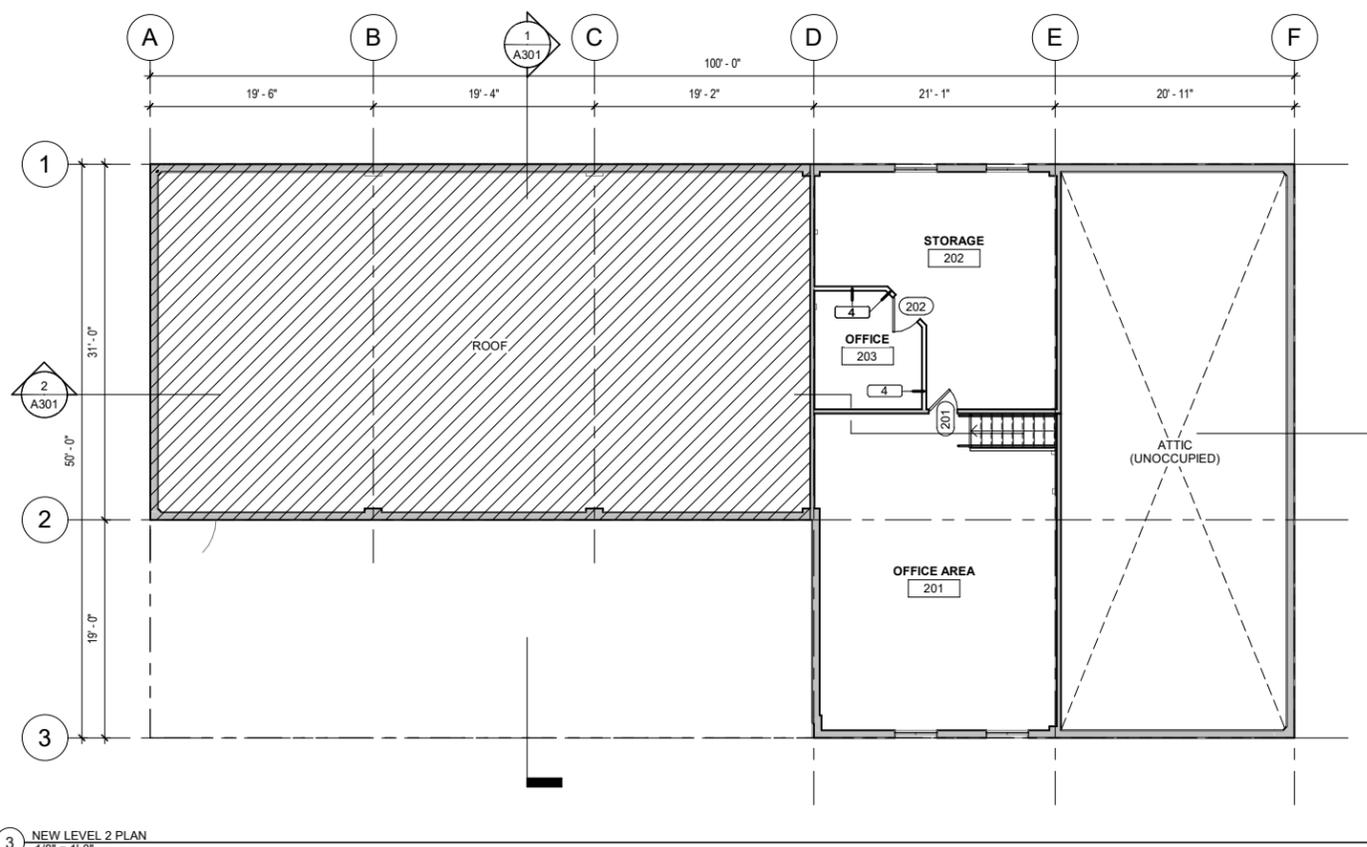
- ALIGN
- NEW DRINKING FOUNTAIN WITH BOTTLE FILL. ELKAY MODEL LZSSWSLP OR EQUAL. SPOUT HEIGHT TO BE 35" AFF
- RUBBER BASE, TYP. FOR ROOM
- MIRROR
- ADA GRAB BAR
- OPENING BETWEEN FITNESS AREA 1 & FITNESS AREA 2 NOT TO BE MORE THAN 49% OF OVERALL AREA OF SEPARATING WALL
- (2) LONG TERM BIKE PARKING SPACES
- NON-ABSORBENT, DURABLE, EASY TO CLEAN EPOXY PAINT WALL FINISH TO 4'-0" AFF MIN.
- SMOKE DRAFT CURTAIN



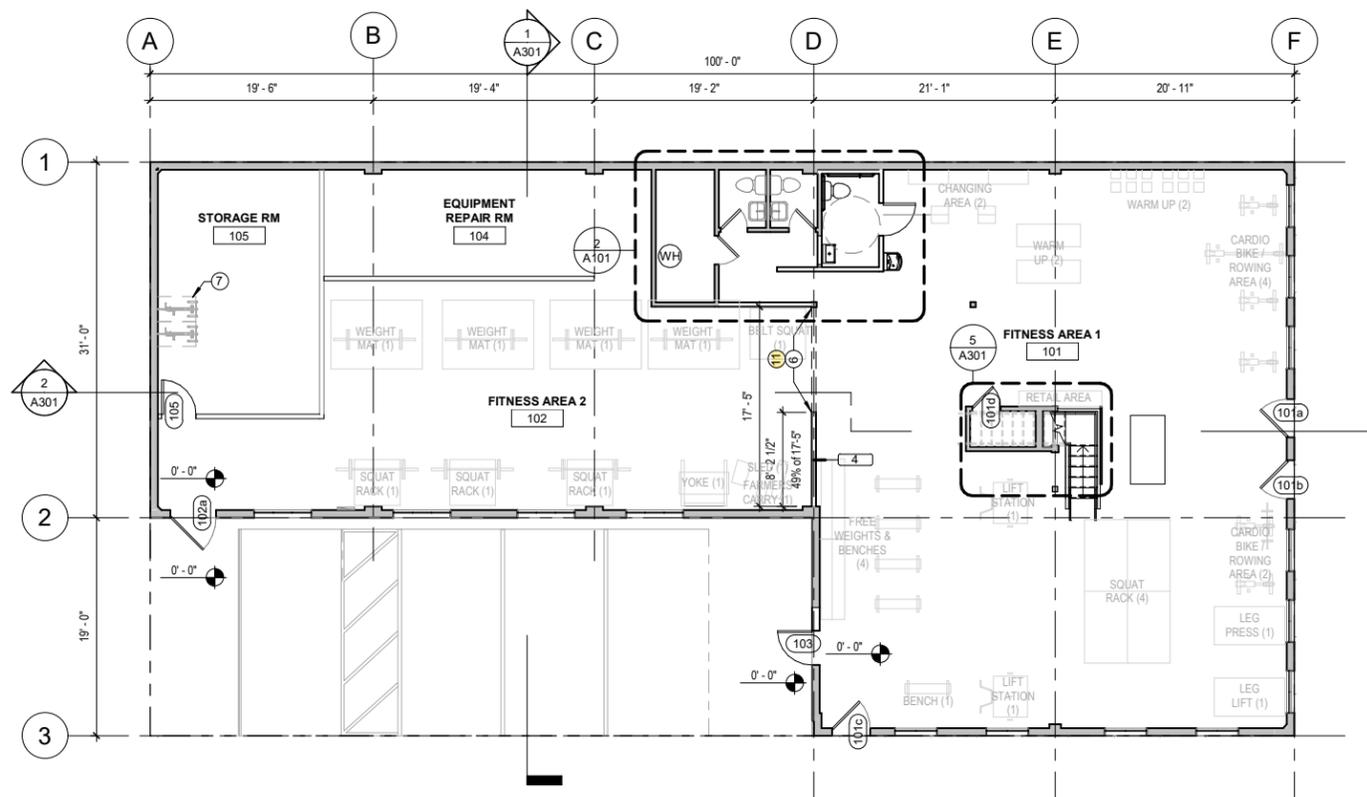
PARTITION WALL
NOT RATED



NEW LEVEL 1 PLAN
3/8" = 1'-0"



NEW LEVEL 2 PLAN
1/8" = 1'-0"



NEW LEVEL 1 PLAN
1/8" = 1'-0"

ABBREVIATIONS

---	NONE
&	AND
@	AT
±	APPROXIMATELY
CL	CENTERLINE
Ø	DIAMETER
#	NUMBER
"	INCH(ES)
'	FOOT (FEET)
ACSF	ACCESS FLOORING
ADJ	ADJACENT
AFF	ABOVE FINISH FLOOR
AHJ	AUTHORITY HAVING JURISDICTION
BO	BOTTOM OF
BOB	BOTTOM OF BEAM
BOT	BOTTOM
BOS	BOTTOM OF STEEL
CODE	APPLICABLE REGULATIONS GOVERNING CONTRACT SCOPE
OF	WORK, SEE CODE COMPLIANCE SUMMARY SHEETS
CJ	CONTROL JOINT
CLG	CELLING
CLR	CLEAR
CO	CLEAN OUT
DS	DOWN SPOUT
DW	DISHWASHER
DWG	DRAWING
(E)	EXIST(ING)
EJ	EXPANSION JOINT
EQ	EQUAL
EXP	EXPOSED STRUCTURE
FD	FLOOR DRAIN
FE	FIRE EXTINGUISHER
FEC	FIRE EXTINGUISHER CABINET
FF EL	FINISH FLOOR ELEV
FO	FACE OF
FOB	FACE OF BEAM
FOC	FACE OF CONCRETE
FOF	FACE OF FINISH
FOM	FACE OF MASONRY
FOS	FACE OF STRUCTURE
FOW	FACE OF WALL
GA	GAUGE
GB	GYPSTUM BOARD
GALV	GALVANIZED
HB	HOSE BIB
HS	HEAT STRENGTHENED
ID	INSIDE DIAMETER
MAX	MAXIMUM
MH	MANHOLE
MIN	MINIMUM
MO	MASONRY OPENING
MTL	MATERIAL
MW	MICROWAVE
NIC	NOT IN CONTRACT
NTS	NOT TO SCALE
OAE	OR APPROVED EQUAL
OC	ON CENTER
OD	OUTSIDE DIAMETER
OFD	OVERFLOW DRAIN
OF/CI	OWNER FURNISHED, CONTRACTOR INSTALLED
OF/OI	OWNER FURNISHED, OWNER INSTALLED
OPH	OPPOSITE HAND
PFN	PREFINISHED (ALTERNATE PREFIN)
PLAS	PLASTER
RD	ROOF DRAIN
REF	REFRIGERATOR
RO	ROUGH OPENING
ROW	RIGHT OF WAY
SF	SQUARE FOOT (FEET)
SHTHG	SHEATHING
SIM	SIMILAR
SST	STAINLESS STEEL (BASE, WALL PANEL, OR COVERING)
STF	STOREFRONT SYSTEM
STN	STAIN
T	TEMPERED
TO	TOP OF
TOB	TOP OF BEAM
TOC	TOP OF CONCRETE
TOD	TOP OF STEEL DECK
TOP	TOP OF PARAPET
TOS	TOP OF STEEL
TOW	TOP OF WALL
T/M	TO MATCH
TYP	TYPICAL
UNO	UNLESS NOTED OTHERWISE
VIF	VERIFY IN FIELD

GENERAL NOTES

- A. REVIEW ALL CONTRACT DOCUMENTS AND FIELD CONDITIONS BEFORE PROCEEDING. FIELD VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS PRIOR TO PROCEEDING WITH THE WORK. DISCREPANCIES WITHIN THE DOCUMENTS AND FIELD CONDITIONS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT AND THE OWNER BEFORE PROCEEDING.
- B. DIMENSIONS TAKE PRECEDENCE OVER DRAWINGS. DO NOT SCALE DRAWINGS. NOTIFY ARCHITECT OF DISCREPANCIES PRIOR TO PROCEEDING WITH THE WORK.
- C. ALL WORK SHALL CONFORM TO THE CODES OF THE REGULATORY AGENCY HAVING JURISDICTION OVER THE PROJECT.
- D. CONTRACTOR IS RESPONSIBLE FOR CONSTRUCTION MEANS AND METHODS AND SHALL MAINTAIN THE STRUCTURAL INTEGRITY OF CONSTRUCTION UNTIL FINAL LATERAL AND VERTICAL CARRYING SYSTEMS ARE COMPLETED.
- E. DIMENSIONS SHOWN ARE TO FACE OF STUD, FACE OF CONCRETE, FACE OF MASONRY, GRID/COLUMN LINE, CENTER OF ELEMENT, COUNTERTOP EDGE, OR AS NOTED.
- F. DETAILS NOTED AS "TYPICAL" OR "TYP" APPLY IN ALL CASES UNLESS SPECIFICALLY REFERENCED. DETAILS THAT ARE SPECIFICALLY REFERENCED SHALL TAKE PRECEDENCE OVER DETAILS NOTED AS "TYPICAL" OR "TYP". SPECIFIC NOTES AND DETAILS SHALL TAKE PRECEDENCE OVER GENERAL NOTES AND DETAILS.
- G. PROVIDE ACCESS PANELS AS REQUIRED. LOCATION, FINISH, AND TYPE SHALL BE APPROVED BY ARCHITECT PRIOR TO OBTAINING AND INSTALLING. ACCESS PANEL LOCATIONS NOT APPROVED BY ARCHITECT WILL BE SUBJECT TO MODIFICATION AT NO ADDITIONAL COST. PROVIDE RATED ACCESS PANELS WITH THE SAME RATING AS THE ASSEMBLY IN WHICH THEY ARE INSTALLED. ACCESS PANELS IN SHAFT WALLS, RATED FLOOR/CEILINGS OR RATED ROOF/CEILINGS SHALL BE SMOKE SEALED.
- H. CONTRACTOR TO PROVIDE NON-COMBUSTIBLE BLOCKING AS REQUIRED TO SUPPORT WALL AND CEILING HUNG ELEMENTS THAT INCLUDE BUT ARE NOT LIMITED TO GRAB BAR(S), LED DISPLAYS, CASEWORK, TOILET ACCESSORIES, LOCKERS, MIRRORS, LIGHTBOXES, HEADWALL EQUIPMENT, ETC. VERIFY LOCATION(S) WITH ARCHITECT AND OWNER PRIOR TO INSTALLATION OF FINISH MATERIAL(S).
- I. RELOCATED ITEMS: CONTRACTOR TO INSPECT INSTALLATION OF ANY ITEMS AT EXISTING LOCATION PRIOR TO RELOCATION. MODIFY ITEM AS REQUIRED FOR NEW LOCATION; VERIFY WITH ARCHITECT AS REQUIRED. INSTALLATION AT NEW LOCATION TO MATCH EXISTING CONDITION UOI
- J. ALL PENETRATIONS THROUGH RATED ASSEMBLIES SHALL BE FIRE STOPPED PER THE AUTHORITY HAVING JURISDICTION'S REQUIREMENTS. RATED ASSEMBLIES SHALL BE CONSTRUCTED TO PREVENT THE MOVEMENT OF HOT FLAME OR GASES PER OSSC SECTION 709.6.
- K. ALL SAFETY GLAZING SHALL BE PERMANENTLY LABELED WITH THE MANUFACTURERS NAME AND TEST APPROVAL INFORMATION.
- L. INSTALL GWB CONTROL JOINTS AT ALL LOCATIONS WHERE NEW WALLS ABUT EXISTING CORE & SHELL WALLS.
- M. CARBON MONOXIDE ALARMS SHALL BE REQUIRED PER 2014 OREGON STRUCTURAL SPECIALTY CODE SECTION 908.7 M/E/P/FP DESIGN AND PERMITTING TO BE HANDLED UNDER THE CONTRACTOR AS A SEPARATE PERMIT. SUBMIT DESIGN DRAWINGS TO ARCHITECT IN DD PHASE FOR REVIEW, COORDINATION, AND APPROVAL. ALL DESIGN-BUILD CONTRACTORS TO PROVIDE AS-BUILT DOCUMENTS TO ARCHITECT AT PROJECT COMPLETION.
- O. ANY MECHANICAL, ELECTRICAL, PLUMBING, AND FIRE PROTECTION FIXTURES AND DEVICES INDICATED IN THE ARCHITECTURAL DRAWINGS ARE FOR PLANNING PURPOSES ONLY.
- P. WHERE ENLARGED PLANS ARE PROVIDED, DETAILED DIMENSIONS AND OTHER INFORMATION WILL BE FOUND ON THE ENLARGED PLAN UNLESS OTHERWISE INDICATED
- Q. AT ALL OPEN CEILING AREAS, INSTALL ALL MEP, FIRE SUPPRESSION, & LOW VOLTAGE WIRING IN A VISUALLY CLEAN MANNER. AT THE HIGHEST FEASIBLE ELEVATION. ROUTING SHALL BE COMPLETED IN A MANNER WHICH MINIMIZES THE AMOUNT OF EXPOSED MEP, FIRE SUPPRESSION & LOW VOLTAGE ITEMS.

BUILDING NARRATIVE

THIS PROJECT IS TO ADDRESS CODE VIOLATION #2017-283205-000-00-VI. A CHANGE OF OCCUPANCY WILL BE NECESSARY TO BRING THE PREVIOUS OCCUPANCY F-1 TO MEET THE CURRENT REQUIREMENTS. AS DISCUSSED PREVIOUSLY WITH PLAN EXAMINERS, THE PROPOSED APPROACH FOR THIS IS TO CONFIGURE THE FITNESS AREAS INTO TWO B OCCUPANCY SPACES CONNECTED BY AN OPENING.

APPLICABLE BUILDING REGULATIONS

- 2014 OREGON STRUCTURAL SPECIALTY CODE (OSSC)
- 2014 OREGON MECHANICAL SPECIALTY CODE (OMSC)
- 2017 OREGON ELECTRICAL SPECIALTY CODE (OPSC)
- 2017 OREGON PLUMBING SPECIALTY CODE (OPSC)
- ICC A117.1 ACCESSIBLE AND USABLE BUILDINGS AND FACILITIES
- AMERICANS WITH DISABILITIES ACT ACCESSIBILITY GUIDELINES (ADAAG)

BUILDING OCCUPANCY SEPARATIONS CHAPTER 3

APPLICABLE OCCUPANCY CLASSIFICATION GROUPS: S-1, B

OCCUPANCY SEPARATION (TABLE 508.3.3):

OCCUPANCY	REQUIRED SEPARATION (UNSPRINKERED)
S-1 TO B	NO SEPARATION REQUIREMENT

BUILDING CONSTRUCTION CHAPTER 5, 6 & 7

CONSTRUCTION TYPE: III-B

FIRE RESISTANCE RATING REQ'TS FOR BUILDING ELEMENTS (TABLE 601)

BUILDING ELEMENT	ALLOWABLE	PROPOSED
STRUCTURAL FRAME	0 HOUR	0 HOUR
BEARING WALLS - EXTERIOR	2 HOUR	2 HOUR
INTERIOR	0 HOUR	0 HOUR
NONBEARING INTERIOR WALLS	0 HOUR	0 HOUR
FLOOR CONSTRUCTION	0 HOUR	0 HOUR
ROOF CONSTRUCTION	0 HOUR	0 HOUR

MEANS OF EGRESS CHAPTER 10

EXIT ACCESS (1014): COMMON PATH OF EGRESS TRAVEL PER 1014.3 100'-0"

EXIT ACCESS TRAVEL DISTANCE (1016):

OCC B = 200'-0" OCC S = 200'-0"

SEPERATE PERMIT SUBMITTALS

1. ELECTRICAL
2. MECHANICAL
3. PLUMBING

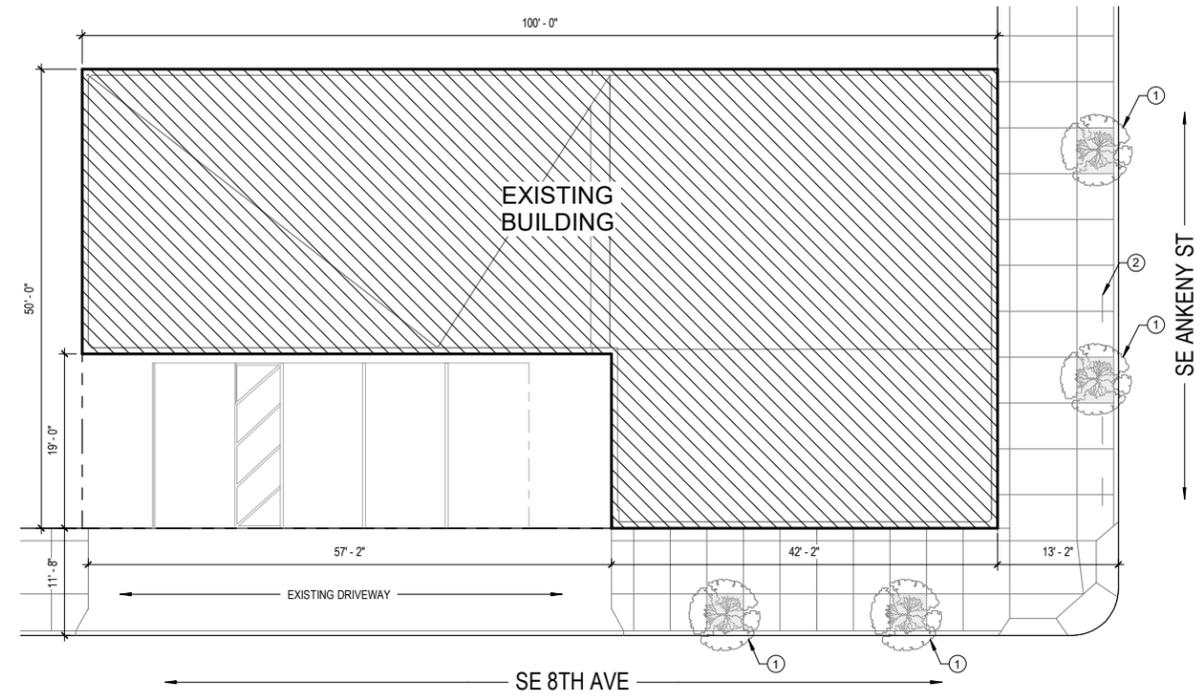
LEGEND - PROJECT SYMBOLS

	CONCRETE		1/4:12 SURFACE SLOPE		ROOM TAG ROOM NAME ROOM NUMBER		DRAWING REVISION		BUILDING SECTION SECTION NUMBER SHEET NUMBER
	CONCRETE MASONRY		ASSEMBLY TAG ASSEMBLY TYPE - REFER TO ASSEMBLIES		NORTH ARROW		RIDGE		WALL OR PARTIAL SECTION SECTION NUMBER SHEET NUMBER
	SHAFT WALL		DOOR TAG DOOR NUMBER REFER TO DOOR SCHEDULE FLOOR TRANSITION WHERE OCCURS		EXTERIOR ELEVATION ELEVATION NUMBER SHEET NUMBER		VALLEY		WALL OR PARTIAL SECTION SECTION NUMBER SHEET NUMBER
	RIGID INSULATION		WINDOW TAG WINDOW TYPE REFER TO WINDOW SCHEDULE		INTERIOR ELEVATION ELEVATION NUMBER SHEET NUMBER		SLOPE DOWN		DRAWING TITLE DRAWING NUMBER
	ACOUSTIC/THERMAL INSULATION		EXISTING SPOT ELEV		STEP IN ELEVATION		SLOPE UP		DRAWING SCALE
	NEW STUD WALL		NEW SPOT ELEV				KEYNOTE		
	EXISTING WALL								
	DEMO WALL								

DISCLAIMER
THE WRITTEN AGREEMENT, DRAWINGS, SPECIFICATIONS AND ANY ADDENDA COMPRISE THE CONTRACT FOR THIS PROJECT. THEY SHALL BE TREATED AS ONE ENTITY, EQUALLY, WITHOUT PRIORITY. ITEMS, ELEMENTS, FIXTURES, SYSTEMS AND EQUIPMENT SHOWN SHALL BE FURNISHED AND INSTALLED EVEN THOUGH TYPICALLY SHOWN ELSEWHERE. THEREFORE IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO READ AND COMPREHEND ALL THESE DOCUMENTS IN ORDER TO COMPLETE THE WORK. IF A CONTRACTOR CHOOSES TO NOT THOROUGHLY REVIEW THE ENTIRE SET OF CONTRACT DOCUMENTS, THEY DO SO AT THEIR OWN RISK AND AGREE TO FURNISH & INSTALL ALL ITEMS NOTED ABOVE AT NO ADDITIONAL COST OR DELAY TO THE OWNER. (THE ONLY EXCEPTION TO THIS IS THAT THE SPECIFICATIONS SHALL TAKE PRECEDENCE OVER GENERAL NOTES ON THIS SHEET.)

NOTE BLOCK - SITE PLAN

- 1 EXISTING STREET TREE TO REMAIN
- 2 BIKE PARKING RACK, TYP. FOR (3)

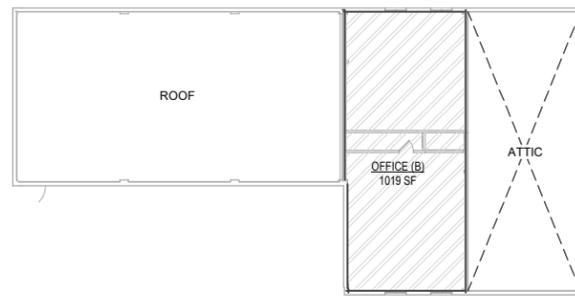


CITYBIKES TO IRONSIDE
CITYBIKES WORKERS' COOPERATIVE
734-736 SE ANKENY ST, PORTLAND, OR 97214

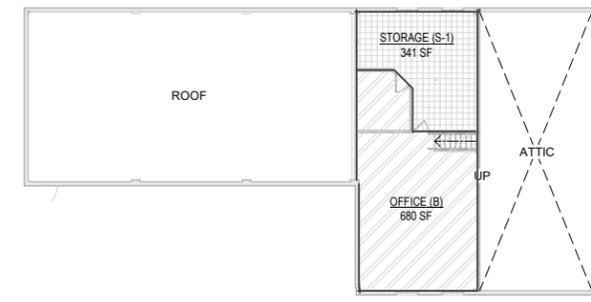
REVISIONS
1 PLAN REVIEW 05/13/2019

ISSUE DATE FEB 21, 2019
PROJECT # 18-101

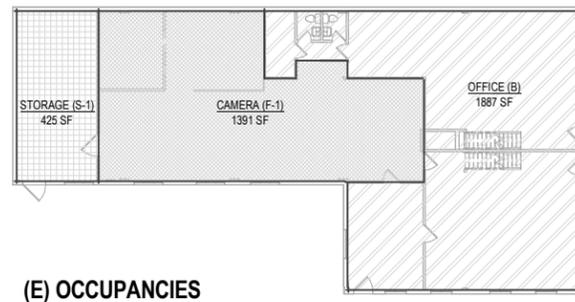
GENERAL NOTES & SITE PLAN
G001



2 (E) SEISMIC MATRIX PLAN - LEVEL 2
1/16" = 1'-0"



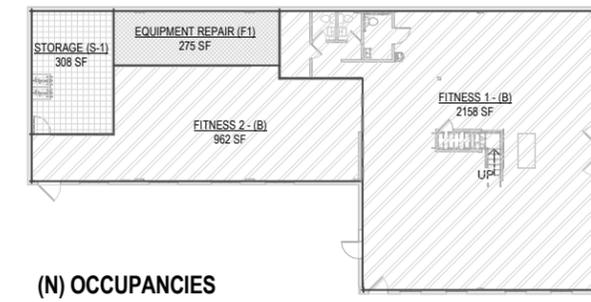
1 (N) SEISMIC MATRIX PLAN - LEVEL 2
1/16" = 1'-0"



(E) OCCUPANCIES

- Accessory Storage Areas, Mech Equip Rooms
- Business areas
- Industrial

14 (E) SEISMIC MATRIX PLAN - LEVEL 1
1/16" = 1'-0"



(N) OCCUPANCIES

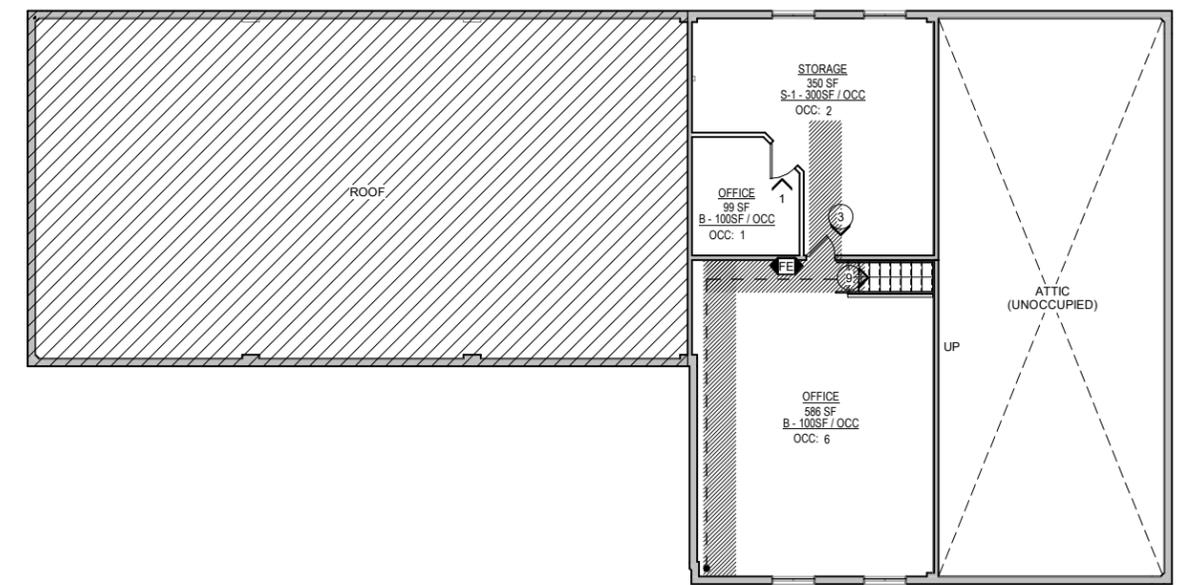
- Accessory Storage Areas, Mech Equip Rooms
- Business areas
- Industrial

7 (N) SEISMIC MATRIX PLAN - LEVEL 1
1/16" = 1'-0"

LEGEND

- PROPERTY LINE
- EXTERIOR EGRESS PATH TO R.O.W. WITH TRAVEL WIDTH REQUIRED (PROVIDE MINIMUM ILLUMINATION FOR EXITING - REFER TO ELECTRICAL DRAWINGS).
- EGRESS PATH OF TRAVEL WITH TRAVEL WIDTH REQUIRED (PROVIDE MINIMUM ILLUMINATION FOR EXITING - REFER TO ELECTRICAL DRAWINGS).
- COMMON PATH OF TRAVEL EXIT ACCESS DISTANCE
- RATED SHAFT (WALL CONSTRUCTION TO MEET FIRE BARRIER REQUIREMENTS)
- ACCESSIBLE ENTRANCE
- OCCUPANT LOAD AT OPENING
- CUMMULATIVE OCCUPANT LOAD AT OPENING
- BUILDING EXIT
- BUILDING CODE APPEAL
- AREA AREA NAME
- STANDPIPE
- LIGHTED EXIT SIGN - SHADING INDICATES LIGHTED FACE(S). DIRECTION ARROW CORRESPONDS TO DIRECTION ARROW ON SIGN
- LIGHTED EXIT SIGN - CEILING MOUNTED
- LIGHTED EXIT SIGN - WALL MOUNTED
- FIRE EXTINGUISHER (AND CABINET WHERE OCCURS)
- SIDEWALL SPRINKLER (LETTER INDICATES DIRECTION)

CODE OCCUPANCY SCHEDULE				
Level	Name	Area	Occupancy Classification	Occupancy Load
GRADE	FITNESS AREA 1	1889 SF	Exercise Rooms	26
GRADE	BOILER	65 SF	Accessory Storage Areas, Mech Equip Rooms	1
GRADE	STORAGE	58 SF	Accessory Storage Areas, Mech Equip Rooms	1
GRADE	FITNESS AREA 2	959 SF	Exercise Rooms	12
GRADE	RESTROOMS	149 SF	Business areas	3
LEVEL 2	STORAGE	350 SF	Accessory Storage Areas, Mech Equip Rooms	2
LEVEL 2	OFFICE	99 SF	Business areas	1
LEVEL 2	OFFICE	586 SF	Business areas	6
GRADE	EQUIPMENT REPAIR	275 SF	Industrial	3
GRADE	STORAGE	308 SF	Accessory Storage Areas, Mech Equip Rooms	2
Grand total				57



12 LEVEL 2 - CODE OCCUPANCY PLAN
1/8" = 1'-0"

CHANGE OF OCCUPANCY MATRIX

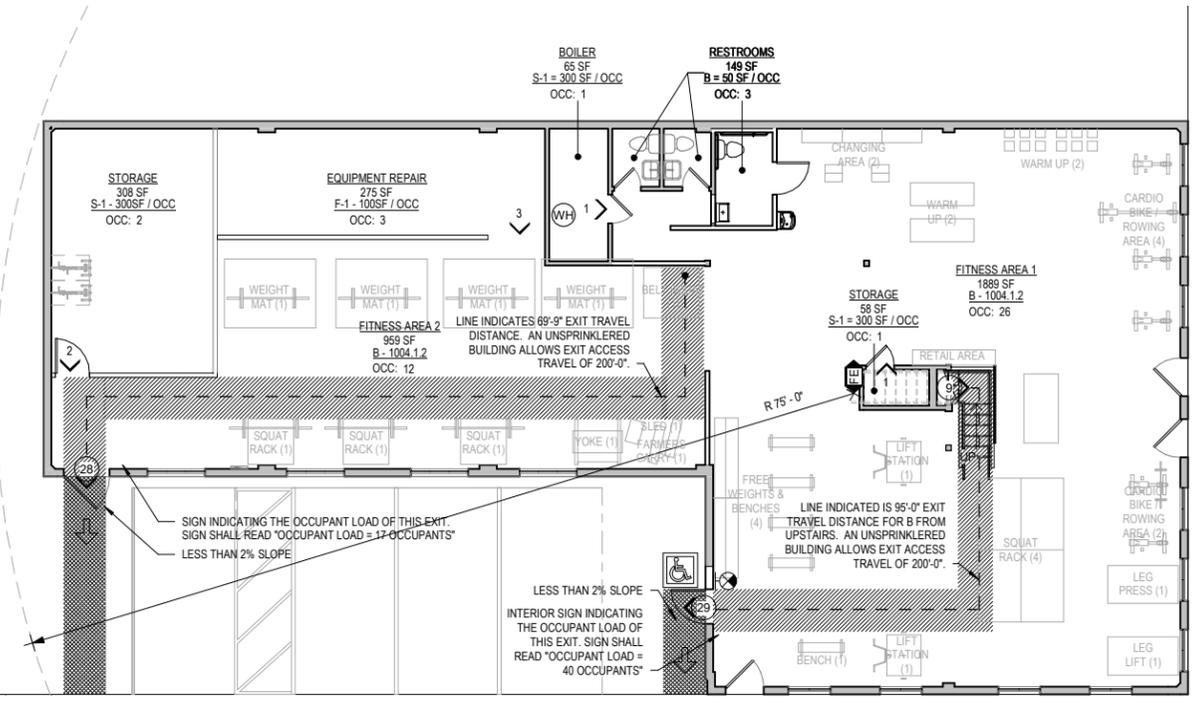
EXISTING			
TOTAL SQUARE FOOTAGE:	4,722 SF		
OCCUPANCY	AREA	OCCUPANT LOAD	
B	2,907	30	
F-1	1,390	14	
S-1	425	2	
TOTAL	4,722	46	
NEW			
TOTAL SQUARE FOOTAGE:	4,722 GSF		
OCCUPANCY	AREA	OCCUPANCY LOAD	
B (GYM)	3,120	63	
B (OFFICE)	680	7	
S-1	309	2	
F-1	275	3	
TOTAL	4,722	75	
% OF BUILDING AREA CHANGED:			
S-1:	457/4,722 = 9.68% OF TOTAL GROSS BUILDING AREA IS CHANGING S-1 TO B, B TO S-1		
F-1:	1,115/4,722 = 23.61% OF TOTAL GROSS BUILDING AREA IS CHANGING FROM F-1 TO B		
33.29% OCCUPANCY CHANGING			
OCCUPANT LOAD INCREASE: 75-46 = 29 ADDITIONAL OCCUPANTS. 29 < 150 = OK			

MINIMUM PLUMBING FIXTURE REQUIREMENTS

OCCUPANCY	OCC. LOAD	WATER CLOSETS		URINALS	LAVATORIES		BATHTUBS/SHOWERS	DRINKING FOUNTAINS
		RATIO	QTY.		RATIO	QTY.		
A-3	56							1
	28 MEN	1:125	224	2/3	1:200	.14		
	28 WOMEN	1:65	430		1:200	.14		
B	9							
	4.5 MEN	1:25	.180	2/3	1:40	.1125		
	4.5 WOMEN	1:25	.180		1:40	.1125		
S-1	5							
	2.5 MEN	1:100	.025	2/3	1:100	.025		
	2.5 WOMEN	1:100	.025		1:100	.025		
F-1	3							
	1.5 MEN	1:100	.015	2/3	1:100	.015		
	1.5 WOMEN	1:100	.015		1:100	.015		
SUM	73							
	36.5 MEN		.444	2/3		.293		
	38.5 WOMEN		.65			.293		
TOTAL REQ.	MEN	1	0		1			1
	WOMEN	1			1			
TOTAL PROVIDED	MEN	3	0		3			1
	WOMEN	3			3			

GENERAL NOTES - CODE

- A. ALL WORK SHOWN ON THIS SHEET IS INCLUDED IN THE CONTRACT FOR CONSTRUCTION, WHETHER SHOWN ELSEWHERE OR NOT. CONTRACTOR SHALL MAKE ALLOWANCES FOR CONNECTION, HOOK UP, ETC. AS REQUIRED SO THAT ITEMS, EQUIPMENT, ETC. ARE FIT FOR INTENDED PURPOSE.
- B. SEE ELECTRICAL & MECHANICAL PLANS FOR ADDITIONAL SYMBOLS PROVIDE A LISTED FIRESTOP, CONTINUOUS AT PERIMETER GAPS OF ALL RATED CONSTRUCTION AS REQUIRED TO MAINTAIN THE SPECIFIED RATING.
- C.



11 GRADE LEVEL - CODE OCCUPANCY PLAN
1/8" = 1'-0"

CITYBIKES TO IRONSIDE

CITYBIKES WORKERS' COOPERATIVE
734-736 SE ANKENY ST., PORTLAND, OR 97214

REVISIONS
1 PLAN REVIEW 05/13/2019

ISSUE DATE FEB 21, 2019
PROJECT # 18-101

CODE SUMMARY SHEET
G002

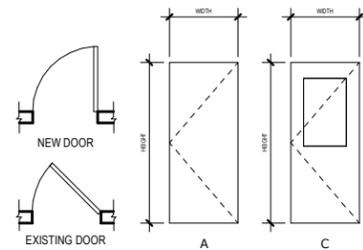
DOOR OPENING SCHEDULE

MARK	DOOR OPENING SIZE		FIRE RATING	DOOR TYPE	NOTES
	W	H			
101a	3' - 4"	6' - 8"	-	C	
101b	3' - 4"	6' - 8"	-	C	
101c	3' - 4"	6' - 8"	-	C	
101d	2' - 6"	5' - 6"	-	E	
102a	4' - 0"	7' - 0"	-	A	
106	2' - 6"	6' - 8"	-	A	
106	2' - 10"	6' - 8"	-	A	DOOR HAS AN OCCUPANCY INDICATOR LOCK ON INTERIOR SIDE. DOOR DOES NOT HAVE A CLOSER OR LATCH ON EXTERIOR SIDE.
107	2' - 4"	6' - 8"	-	A	
107	3' - 0"	7' - 0"	-	D	
108	2' - 4"	6' - 8"	-	A	DOOR HAS AN OCCUPANCY INDICATOR LOCK ON INTERIOR SIDE.
108	3' - 0"	6' - 8"	-	A	
109	2' - 6"	6' - 8"	-	A	
109	3' - 0"	6' - 8"	-	A	
110	3' - 0"	6' - 8"	-	A	
111	4' - 0"	7' - 0"	-	A	
115	2' - 6"	6' - 8"	-	A	
201	2' - 6"	6' - 8"	-	A	
202	3' - 0"	6' - 8"	-	A	

1008.1.9.3 Locks and latches. Locks and latches shall be permitted to prevent operation of doors where any of the following exists:

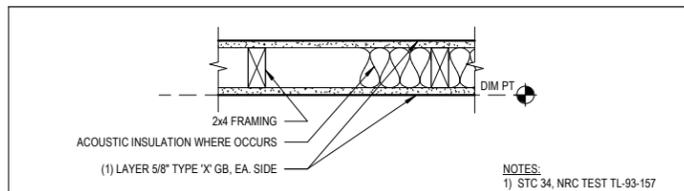
- Places of detention or restraint.
- In buildings in occupancy Group A having an occupant load of 300 or less, Groups B, F, M and S, and in places of religious worship, the main exterior door or doors are permitted to be equipped with key-operated locking devices from the egress side provided:
 - The locking device is readily distinguishable as locked;
 - A readily visible durable sign is posted on the egress side on or adjacent to the door stating: **THIS DOOR TO REMAIN UNLOCKED WHEN BUILDING IS OCCUPIED.** The sign shall be in letters 1 inch (25 mm) high on a contrasting background; and
 - The use of the key-operated locking device is revokable by the building official for due cause.

LEGEND - DOOR TYPES

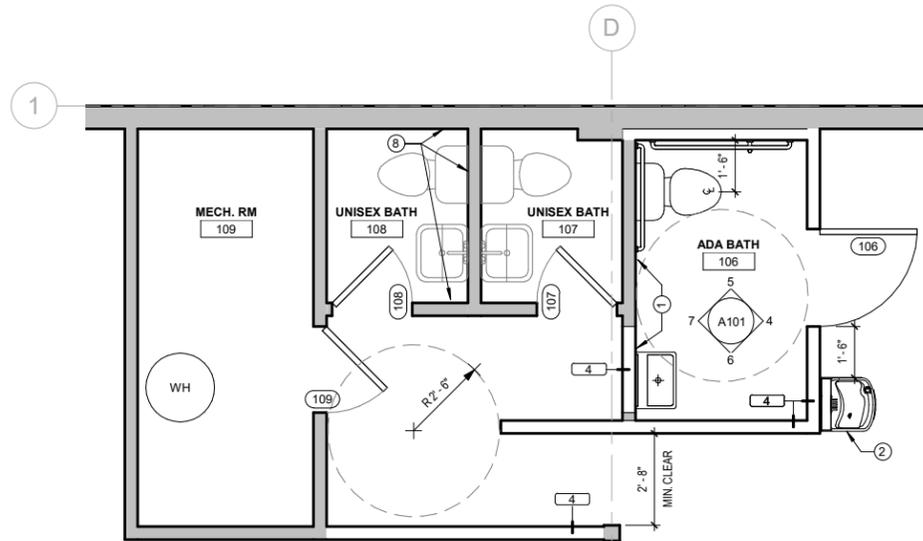
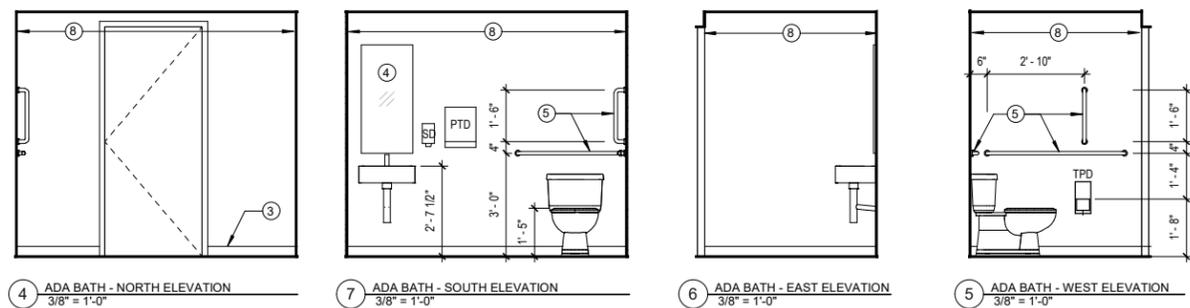


NOTE BLOCK - FLOOR PLANS & INTERIOR ELEVATIONS

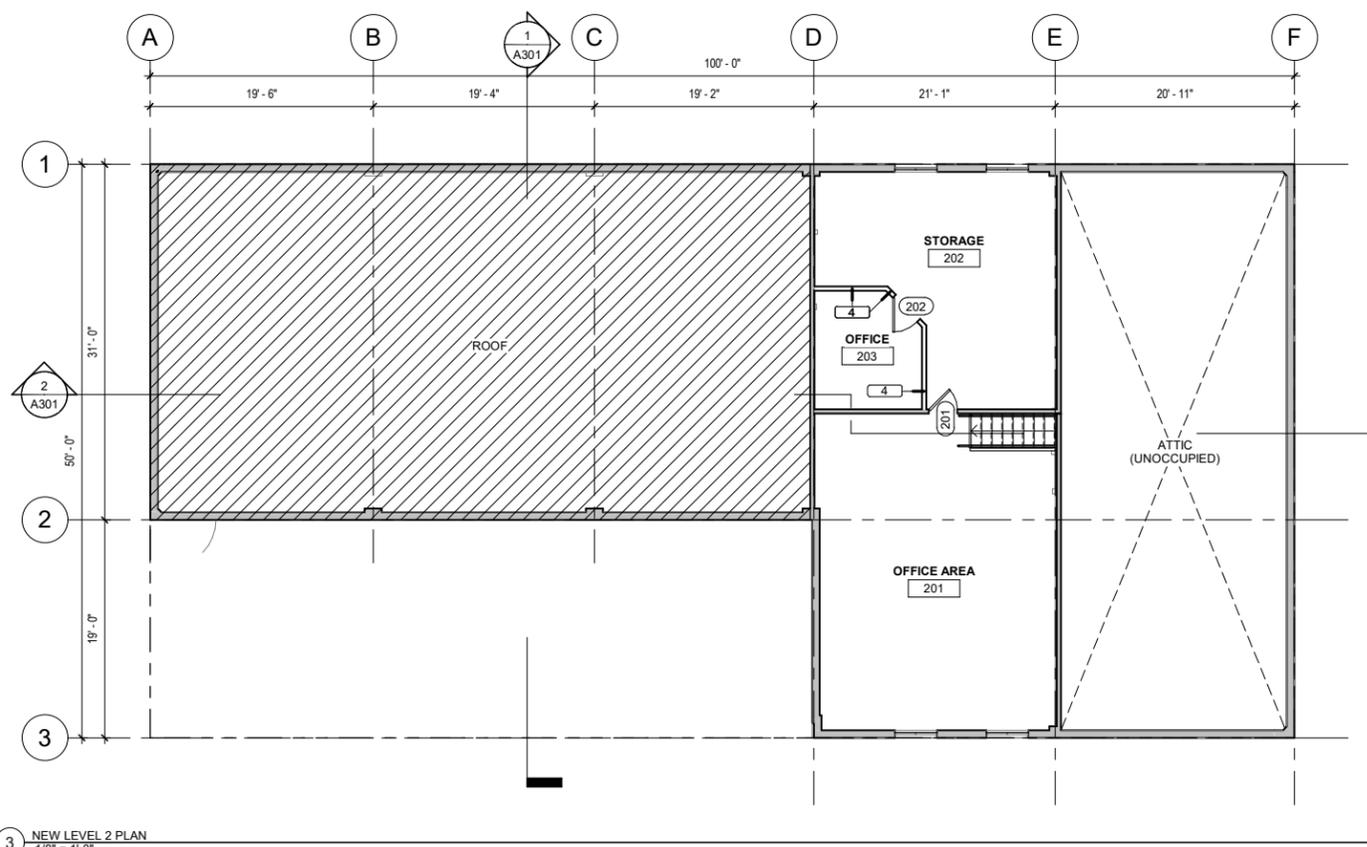
- ALIGN
- NEW DRINKING FOUNTAIN WITH BOTTLE FILL. ELKAY MODEL LZSSWSLP OR EQUAL. SPOUT HEIGHT TO BE 35" AFF
- RUBBER BASE, TYP. FOR ROOM
- MIRROR
- ADA GRAB BAR
- OPENING BETWEEN FITNESS AREA 1 & FITNESS AREA 2 NOT TO BE MORE THAN 49% OF OVERALL AREA OF SEPARATING WALL
- (2) LONG TERM BIKE PARKING SPACES
- NON-ABSORBENT, DURABLE, EASY TO CLEAN EPOXY PAINT WALL FINISH TO 4'-0" AFF MIN.



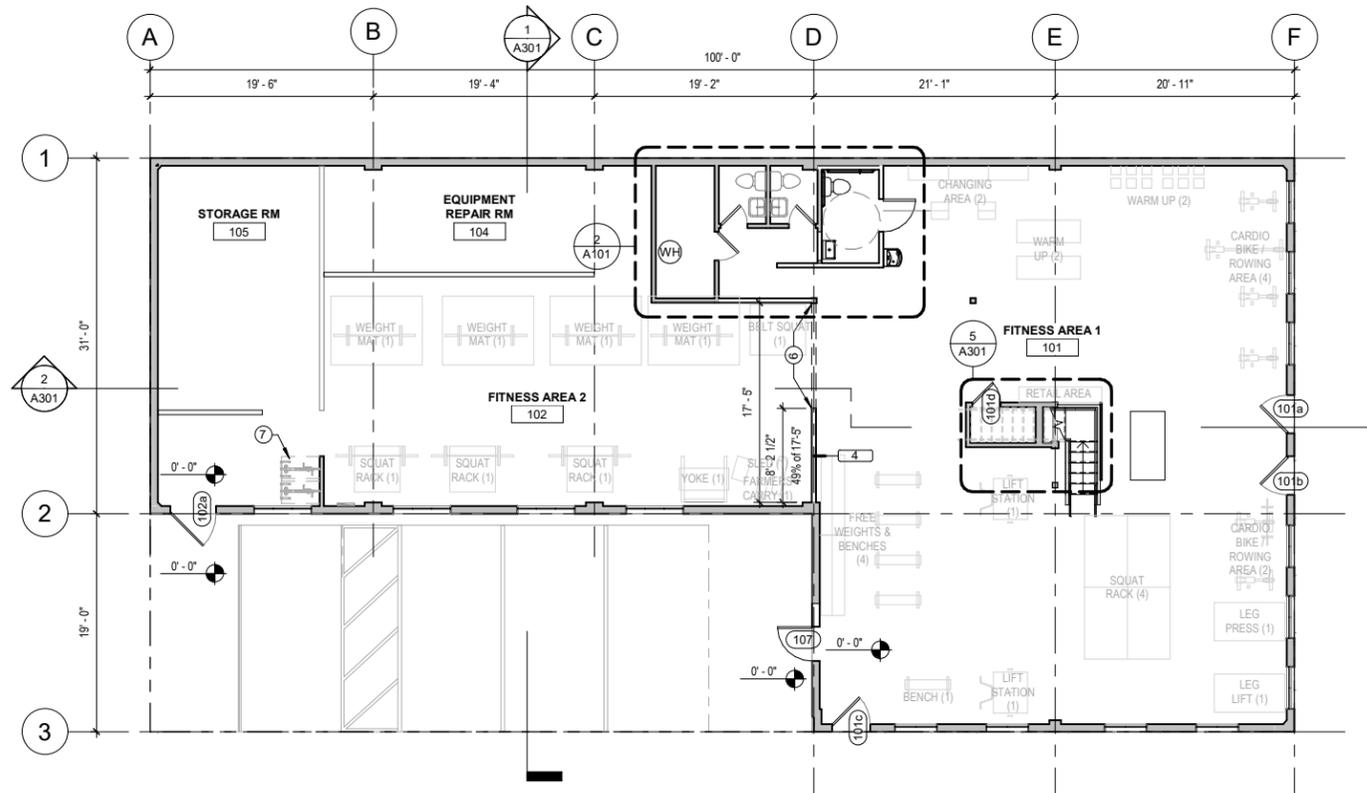
PARTITION WALL NOT RATED



NEW LEVEL 1 PLAN
3/8" = 1'-0"



NEW LEVEL 2 PLAN
1/8" = 1'-0"



NEW LEVEL 1 PLAN
1/8" = 1'-0"

ABBREVIATIONS

---	NONE
&	AND
@	AT
±	APPROXIMATELY
CL	CENTERLINE
Ø	DIAMETER
#	NUMBER
"	INCH(ES)
'	FOOT (FEET)
ACSF	ACCESS FLOORING
ADJ	ADJACENT
AFF	ABOVE FINISH FLOOR
AHJ	AUTHORITY HAVING JURISDICTION
BO	BOTTOM OF
BOB	BOTTOM OF BEAM
BOT	BOTTOM
BOS	BOTTOM OF STEEL
CODE	APPLICABLE REGULATIONS GOVERNING CONTRACT SCOPE
OF	WORK, SEE CODE COMPLIANCE SUMMARY SHEETS
CJ	CONTROL JOINT
CLG	CELLING
CLR	CLEAR
CO	CLEAN OUT
DS	DOWN SPOUT
DW	DISHWASHER
DWG	DRAWING
(E)	EXIST(ING)
EJ	EXPANSION JOINT
EQ	EQUAL
EXP	EXPOSED STRUCTURE
FD	FLOOR DRAIN
FE	FIRE EXTINGUISHER
FEC	FIRE EXTINGUISHER CABINET
FF EL	FINISH FLOOR ELEV
FO	FACE OF
FOB	FACE OF BEAM
FOC	FACE OF CONCRETE
FOF	FACE OF FINISH
FOM	FACE OF MASONRY
FOS	FACE OF STRUCTURE
FOW	FACE OF WALL
GA	GAUGE
GB	GYPSTUM BOARD
GALV	GALVANIZED
HB	HOSE BIB
HS	HEAT STRENGTHENED
ID	INSIDE DIAMETER
MAX	MAXIMUM
MH	MANHOLE
MIN	MINIMUM
MO	MASONRY OPENING
MTL	MATERIAL
MW	MICROWAVE
NIC	NOT IN CONTRACT
NTS	NOT TO SCALE
OAE	OR APPROVED EQUAL
OC	ON CENTER
OD	OUTSIDE DIAMETER
OFD	OVERFLOW DRAIN
OF/CI	OWNER FURNISHED, CONTRACTOR INSTALLED
OF/OI	OWNER FURNISHED, OWNER INSTALLED
OPH	OPPOSITE HAND
PFN	PREFINISHED (ALTERNATE PREFIN)
PLAS	PLASTER
RD	ROOF DRAIN
REF	REFRIGERATOR
RO	ROUGH OPENING
ROW	RIGHT OF WAY
SF	SQUARE FOOT (FEET)
SHTHG	SHEATHING
SIM	SIMILAR
SST	STAINLESS STEEL (BASE, WALL PANEL, OR COVERING)
STF	STOREFRONT SYSTEM
STN	STAIN
T	TEMPERED
TO	TOP OF
TOB	TOP OF BEAM
TOC	TOP OF CONCRETE
TOD	TOP OF STEEL DECK
TOP	TOP OF PARAPET
TOS	TOP OF STEEL
TOW	TOP OF WALL
T/M	TO MATCH
TYP	TYPICAL
UNO	UNLESS NOTED OTHERWISE
VIF	VERIFY IN FIELD

GENERAL NOTES

- A. REVIEW ALL CONTRACT DOCUMENTS AND FIELD CONDITIONS BEFORE PROCEEDING. FIELD VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS PRIOR TO PROCEEDING WITH THE WORK. DISCREPANCIES WITHIN THE DOCUMENTS AND FIELD CONDITIONS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT AND THE OWNER BEFORE PROCEEDING.
- B. DIMENSIONS TAKE PRECEDENCE OVER DRAWINGS. DO NOT SCALE DRAWINGS. NOTIFY ARCHITECT OF DISCREPANCIES PRIOR TO PROCEEDING WITH THE WORK.
- C. ALL WORK SHALL CONFORM TO THE CODES OF THE REGULATORY AGENCY HAVING JURISDICTION OVER THE PROJECT.
- D. CONTRACTOR IS RESPONSIBLE FOR CONSTRUCTION MEANS AND METHODS AND SHALL MAINTAIN THE STRUCTURAL INTEGRITY OF CONSTRUCTION UNTIL FINAL LATERAL AND VERTICAL CARRYING SYSTEMS ARE COMPLETED.
- E. DIMENSIONS SHOWN ARE TO FACE OF STUD, FACE OF CONCRETE, FACE OF MASONRY, GRID/COLUMN LINE, CENTER OF ELEMENT, COUNTERTOP EDGE, OR AS NOTED.
- F. DETAILS NOTED AS "TYPICAL" OR "TYP" APPLY IN ALL CASES UNLESS SPECIFICALLY REFERENCED. DETAILS THAT ARE SPECIFICALLY REFERENCED SHALL TAKE PRECEDENCE OVER DETAILS NOTED AS "TYPICAL" OR "TYP". SPECIFIC NOTES AND DETAILS SHALL TAKE PRECEDENCE OVER GENERAL NOTES AND DETAILS.
- G. PROVIDE ACCESS PANELS AS REQUIRED. LOCATION, FINISH, AND TYPE SHALL BE APPROVED BY ARCHITECT PRIOR TO OBTAINING AND INSTALLING. ACCESS PANEL LOCATIONS NOT APPROVED BY ARCHITECT WILL BE SUBJECT TO MODIFICATION AT NO ADDITIONAL COST. PROVIDE RATED ACCESS PANELS WITH THE SAME RATING AS THE ASSEMBLY IN WHICH THEY ARE INSTALLED. ACCESS PANELS IN SHAFT WALLS, RATED FLOOR/CEILINGS OR RATED ROOF/CEILINGS SHALL BE SMOKE SEALED.
- H. CONTRACTOR TO PROVIDE NON-COMBUSTIBLE BLOCKING AS REQUIRED TO SUPPORT WALL AND CEILING HUNG ELEMENTS THAT INCLUDE BUT ARE NOT LIMITED TO GRAB BAR(S), LED DISPLAYS, CASEWORK, TOILET ACCESSORIES, LOCKERS, MIRRORS, LIGHTBOXES, HEADWALL EQUIPMENT, ETC. VERIFY LOCATION(S) WITH ARCHITECT AND OWNER PRIOR TO INSTALLATION OF FINISH MATERIAL(S).
- I. RELOCATED ITEMS: CONTRACTOR TO INSPECT INSTALLATION OF ANY ITEMS AT EXISTING LOCATION PRIOR TO RELOCATION. MODIFY ITEM AS REQUIRED FOR NEW LOCATION; VERIFY WITH ARCHITECT AS REQUIRED. INSTALLATION AT NEW LOCATION TO MATCH EXISTING CONDITION UOI
- J. ALL PENETRATIONS THROUGH RATED ASSEMBLIES SHALL BE FIRE STOPPED PER THE AUTHORITY HAVING JURISDICTION'S REQUIREMENTS. RATED ASSEMBLIES SHALL BE CONSTRUCTED TO PREVENT THE MOVEMENT OF HOT FLAME OR GASES PER OSSC SECTION 709.6.
- K. ALL SAFETY GLAZING SHALL BE PERMANENTLY LABELED WITH THE MANUFACTURERS NAME AND TEST APPROVAL INFORMATION.
- L. INSTALL GWB CONTROL JOINTS AT ALL LOCATIONS WHERE NEW WALLS ABUT EXISTING CORE & SHELL WALLS.
- M. CARBON MONOXIDE ALARMS SHALL BE REQUIRED PER 2014 OREGON STRUCTURAL SPECIALTY CODE SECTION 908.7 M/E/P/FP DESIGN AND PERMITTING TO BE HANDLED UNDER THE CONTRACTOR AS A SEPARATE PERMIT. SUBMIT DESIGN DRAWINGS TO ARCHITECT IN DD PHASE FOR REVIEW, COORDINATION, AND APPROVAL. ALL DESIGN-BUILD CONTRACTORS TO PROVIDE AS-BUILT DOCUMENTS TO ARCHITECT AT PROJECT COMPLETION.
- O. ANY MECHANICAL, ELECTRICAL, PLUMBING, AND FIRE PROTECTION FIXTURES AND DEVICES INDICATED IN THE ARCHITECTURAL DRAWINGS ARE FOR PLANNING PURPOSES ONLY.
- P. WHERE ENLARGED PLANS ARE PROVIDED, DETAILED DIMENSIONS AND OTHER INFORMATION WILL BE FOUND ON THE ENLARGED PLAN UNLESS OTHERWISE INDICATED
- Q. AT ALL OPEN CEILING AREAS, INSTALL ALL MEP, FIRE SUPPRESSION, & LOW VOLTAGE WIRING IN A VISUALLY CLEAN MANNER. AT THE HIGHEST FEASIBLE ELEVATION. ROUTING SHALL BE COMPLETED IN A MANNER WHICH MINIMIZES THE AMOUNT OF EXPOSED MEP, FIRE SUPPRESSION & LOW VOLTAGE ITEMS.

BUILDING NARRATIVE

THIS PROJECT IS TO ADDRESS CODE VIOLATION #2017-283205-000-00-VI. A CHANGE OF OCCUPANCY WILL BE NECESSARY TO BRING THE PREVIOUS OCCUPANCY F-1 TO MEET THE CURRENT REQUIREMENTS. AS DISCUSSED PREVIOUSLY WITH PLAN EXAMINERS, THE PROPOSED APPROACH FOR THIS IS TO CONFIGURE THE FITNESS AREAS INTO TWO B OCCUPANCY SPACES CONNECTED BY AN OPENING.

APPLICABLE BUILDING REGULATIONS

- 2014 OREGON STRUCTURAL SPECIALTY CODE (OSSC)
- 2014 OREGON MECHANICAL SPECIALTY CODE (OMSC)
- 2017 OREGON ELECTRICAL SPECIALTY CODE (OPSC)
- 2017 OREGON PLUMBING SPECIALTY CODE (OPSC)
- ICC A117.1 ACCESSIBLE AND USABLE BUILDINGS AND FACILITIES
- AMERICANS WITH DISABILITIES ACT ACCESSIBILITY GUIDELINES (ADAAG)

BUILDING OCCUPANCY SEPARATIONS CHAPTER 3

APPLICABLE OCCUPANCY CLASSIFICATION GROUPS: S-1, B

OCCUPANCY SEPARATION (TABLE 508.3.3):

OCCUPANCY	REQUIRED SEPARATION (UNSPRINKERED)
S-1 TO B	NO SEPARATION REQUIREMENT

BUILDING CONSTRUCTION CHAPTER 5, 6 & 7

CONSTRUCTION TYPE: III-B

FIRE RESISTANCE RATING REQ'TS FOR BUILDING ELEMENTS (TABLE 601)

BUILDING ELEMENT	ALLOWABLE	PROPOSED
STRUCTURAL FRAME	0 HOUR	0 HOUR
BEARING WALLS - EXTERIOR	2 HOUR	2 HOUR
INTERIOR	0 HOUR	0 HOUR
NONBEARING INTERIOR WALLS	0 HOUR	0 HOUR
FLOOR CONSTRUCTION	0 HOUR	0 HOUR
ROOF CONSTRUCTION	0 HOUR	0 HOUR

MEANS OF EGRESS CHAPTER 10

EXIT ACCESS (1014): COMMON PATH OF EGRESS TRAVEL PER 1014.3 100'-0"
EXIT ACCESS TRAVEL DISTANCE (1016):
 OCC B = 200'-0" OCC S = 200'-0"

SEPERATE PERMIT SUBMITTALS

1. ELECTRICAL
2. MECHANICAL
3. PLUMBING

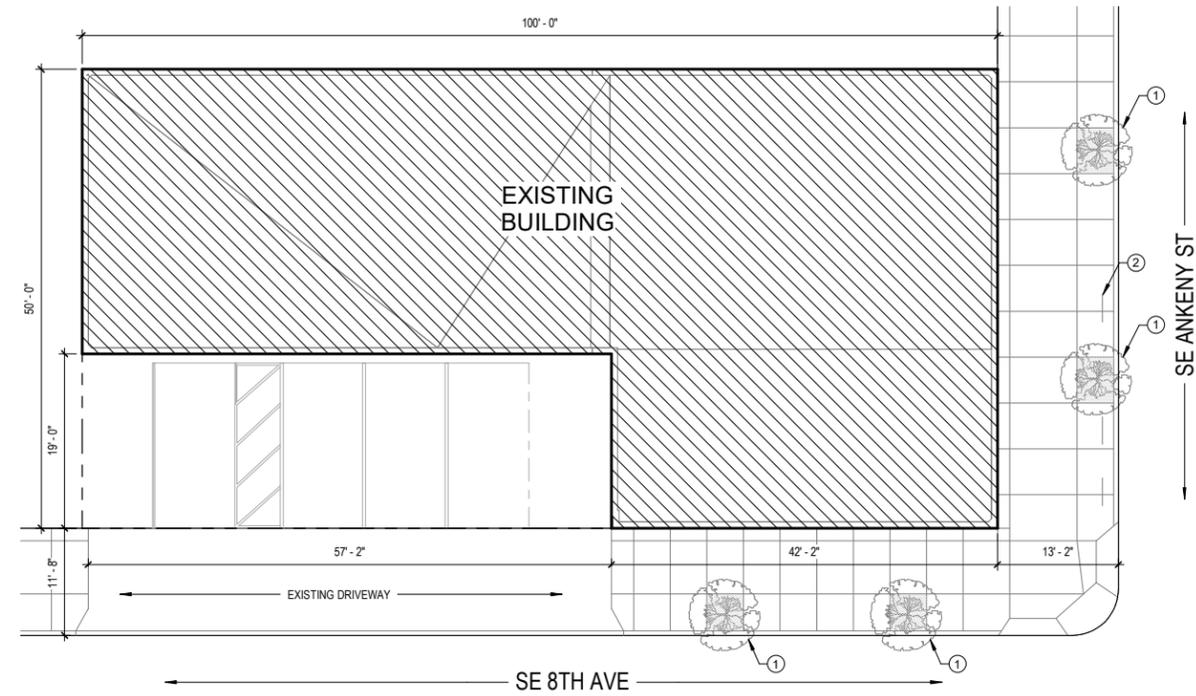
LEGEND - PROJECT SYMBOLS

	CONCRETE		1/4:12 SURFACE SLOPE		ROOM TAG ROOM NAME ROOM NUMBER		DRAWING REVISION		BUILDING SECTION SECTION NUMBER SHEET NUMBER
	CONCRETE MASONRY		ASSEMBLY TAG ASSEMBLY TYPE - REFER TO ASSEMBLIES		NORTH ARROW		RIDGE		WALL OR PARTIAL SECTION SECTION NUMBER SHEET NUMBER
	SHAFT WALL		DOOR TAG DOOR NUMBER REFER TO DOOR SCHEDULE FLOOR TRANSITION WHERE OCCURS		EXTERIOR ELEVATION ELEVATION NUMBER SHEET NUMBER		VALLEY		WALL OR PARTIAL SECTION SECTION NUMBER SHEET NUMBER
	RIGID INSULATION		WINDOW TAG WINDOW TYPE REFER TO WINDOW SCHEDULE		INTERIOR ELEVATION ELEVATION NUMBER SHEET NUMBER		SLOPE DOWN		DRAWING TITLE - DRAWING NUMBER
	ACOUSTIC/THERMAL INSULATION		EXISTING SPOT ELEV		STEP IN ELEVATION		DRAWING SCALE		
	NEW STUD WALL		NEW SPOT ELEV						
	EXISTING WALL		KEYNOTE						
	DEMO WALL								

DISCLAIMER
 THE WRITTEN AGREEMENT, DRAWINGS, SPECIFICATIONS AND ANY ADDENDA COMPRISE THE CONTRACT FOR THIS PROJECT. THEY SHALL BE TREATED AS ONE ENTITY, EQUALLY, WITHOUT PRIORITY. ITEMS, ELEMENTS, FIXTURES, SYSTEMS AND EQUIPMENT SHOWN SHALL BE FURNISHED AND INSTALLED EVEN THOUGH TYPICALLY SHOWN ELSEWHERE. THEREFORE IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO READ AND COMPREHEND ALL THESE DOCUMENTS IN ORDER TO COMPLETE THE WORK. IF A CONTRACTOR CHOOSES TO NOT THOROUGHLY REVIEW THE ENTIRE SET OF CONTRACT DOCUMENTS, THEY DO SO AT THEIR OWN RISK AND AGREE TO FURNISH & INSTALL ALL ITEMS NOTED ABOVE AT NO ADDITIONAL COST OR DELAY TO THE OWNER. (THE ONLY EXCEPTION TO THIS IS THAT THE SPECIFICATIONS SHALL TAKE PRECEDENCE OVER GENERAL NOTES ON THIS SHEET.)

NOTE BLOCK - SITE PLAN

- 1 EXISTING STREET TREE TO REMAIN
- 2 BIKE PARKING RACK, TYP. FOR (3)



CD - SITE / GRADE
 1" = 10'-0"

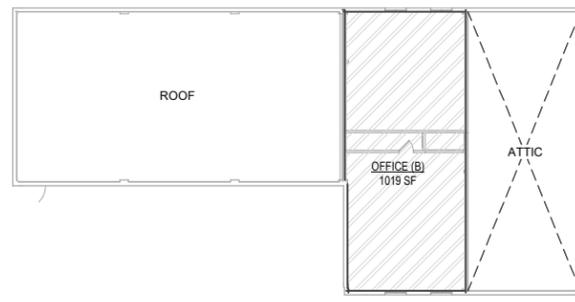


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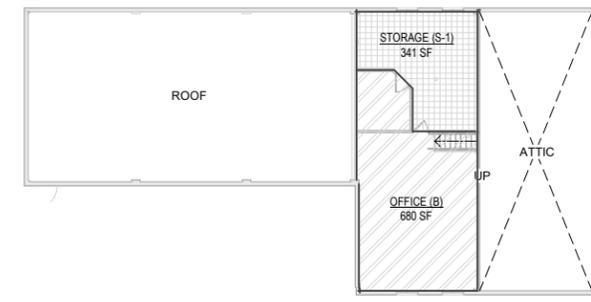
REVISIONS
 1 PLAN REVIEW 05/13/2019

ISSUE DATE FEB 21, 2019
 PROJECT # 18-101

GENERAL NOTES & SITE PLAN
G001



2 (E) SEISMIC MATRIX PLAN - LEVEL 2
1/16" = 1'-0"



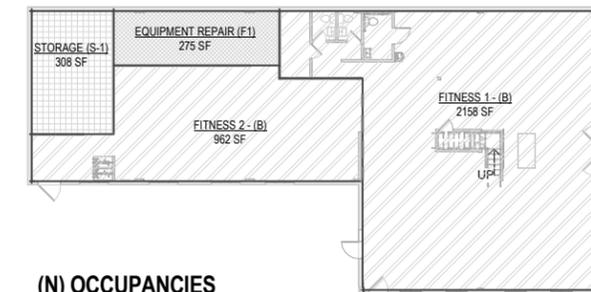
1 (N) SEISMIC MATRIX PLAN - LEVEL 2
1/16" = 1'-0"



(E) OCCUPANCIES

- Accessory Storage Areas, Mech Equip Rooms
- Business areas
- Industrial

14 (E) SEISMIC MATRIX PLAN - LEVEL 1
1/16" = 1'-0"



(N) OCCUPANCIES

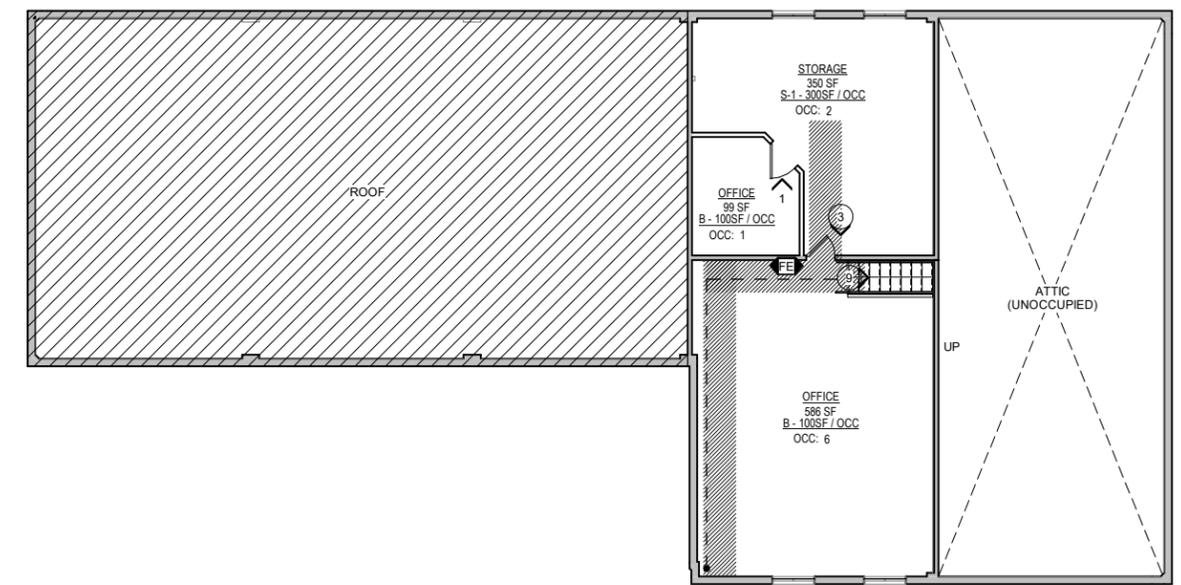
- Accessory Storage Areas, Mech Equip Rooms
- Business areas
- Industrial

7 (N) SEISMIC MATRIX PLAN - LEVEL 1
1/16" = 1'-0"

LEGEND

- PROPERTY LINE
- EXTERIOR EGRESS PATH TO R.O.W. WITH TRAVEL WIDTH REQUIRED (PROVIDE MINIMUM ILLUMINATION FOR EXITING - REFER TO ELECTRICAL DRAWINGS).
- EGRESS PATH OF TRAVEL WITH TRAVEL WIDTH REQUIRED (PROVIDE MINIMUM ILLUMINATION FOR EXITING - REFER TO ELECTRICAL DRAWINGS).
- COMMON PATH OF TRAVEL
- EXIT ACCESS DISTANCE
- RATED SHAFT (WALL CONSTRUCTION TO MEET FIRE BARRIER REQUIREMENTS)
- ACCESSIBLE ENTRANCE
- OCCUPANT LOAD AT OPENING
- CUMMULATIVE OCCUPANT LOAD AT OPENING
- BUILDING EXIT
- BUILDING CODE APPEAL
- AREA
- AREA NAME
- STANDPIPE
- LIGHTED EXIT SIGN - SHADING INDICATES LIGHTED FACE(S). DIRECTION ARROW CORRESPONDS TO DIRECTION ARROW ON SIGN
- LIGHTED EXIT SIGN - CEILING MOUNTED
- LIGHTED EXIT SIGN - WALL MOUNTED
- FIRE EXTINGUISHER (AND CABINET WHERE OCCURS)
- SIDEWALL SPRINKLER (LETTER INDICATES DIRECTION)

CODE OCCUPANCY SCHEDULE				
Level	Name	Area	Occupancy Classification	Occupancy Load
GRADE	FITNESS AREA 1	1889 SF	Exercise Rooms	26
GRADE	BOILER	65 SF	Accessory Storage Areas, Mech Equip Rooms	1
GRADE	STORAGE	58 SF	Accessory Storage Areas, Mech Equip Rooms	1
GRADE	FITNESS AREA 2	959 SF	Exercise Rooms	12
GRADE	RESTROOMS	149 SF	Business areas	3
LEVEL 2	STORAGE	350 SF	Accessory Storage Areas, Mech Equip Rooms	2
LEVEL 2	OFFICE	99 SF	Business areas	1
LEVEL 2	OFFICE	586 SF	Business areas	6
GRADE	EQUIPMENT REPAIR	275 SF	Industrial	3
GRADE	STORAGE	308 SF	Accessory Storage Areas, Mech Equip Rooms	2
Grand total				57



12 LEVEL 2 - CODE OCCUPANCY PLAN
1/8" = 1'-0"

CHANGE OF OCCUPANCY MATRIX

TITLE 24.85

EXISTING	TOTAL SQUARE FOOTAGE:	4,722 SF
OCCUPANCY	AREA	OCCUPANT LOAD
B	2,907	30
F-1	1,390	14
S-1	425	2
TOTAL	4,722	46
NEW	TOTAL SQUARE FOOTAGE:	4,722 GSF
OCCUPANCY	AREA	OCCUPANCY LOAD
B (GYM)	3,120	63
B (OFFICE)	680	7
S-1	309	2
F-1	275	3
TOTAL	4,722	75
% OF BUILDING AREA CHANGED:	S-1: 457/4,722 = 9.68% OF TOTAL GROSS BUILDING AREA IS CHANGING S-1 TO B, B TO S-1	
	F-1: 1,115/4,722 = 23.61% OF TOTAL GROSS BUILDING AREA IS CHANGING FROM F-1 TO B	
33.29% OCCUPANCY CHANGING		
OCCUPANT LOAD INCREASE:	75-46 = 29 ADDITIONAL OCCUPANTS. 29 < 150 = OK	

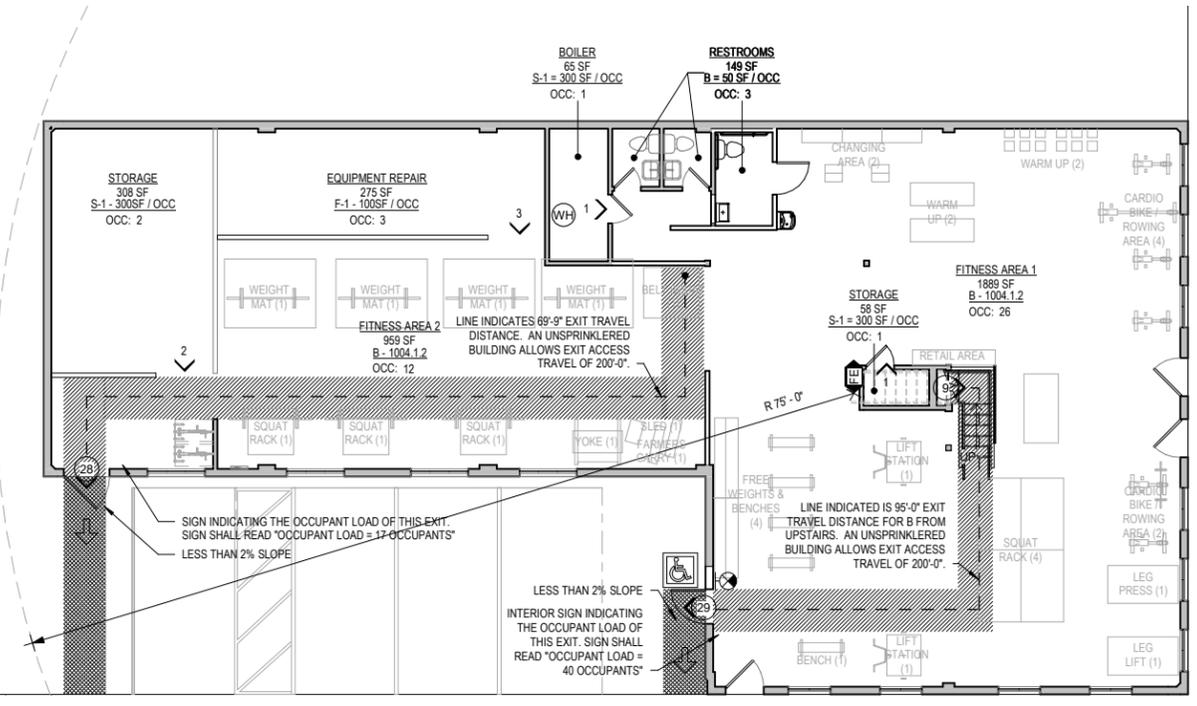
MINIMUM PLUMBING FIXTURE REQUIREMENTS

CHAPTER 29 AND PLUMBING CODE

OCCUPANCY	OCC. LOAD	WATER CLOSETS		URINALS	LAVATORIES		BATHTUBS/SHOWERS	DRINKING FOUNTAINS
		RATIO	QTY.		RATIO	QTY.		
A-3	56							1
	28 MEN	1:125	224	2/3	1:200	.14		
	28 WOMEN	1:65	430		1:200	.14		
B	9							
	4.5 MEN	1:25	.180	2/3	1:40	.1125		
	4.5 WOMEN	1:25	.180		1:40	.1125		
S-1	5							
	2.5 MEN	1:100	.025	2/3	1:100	.025		
	2.5 WOMEN	1:100	.025		1:100	.025		
F-1	3							
	1.5 MEN	1:100	.015	2/3	1:100	.015		
	1.5 WOMEN	1:100	.015		1:100	.015		
SUM	73							
	36.5 MEN		.444	2/3		.293		
	38.5 WOMEN		.65			.293		
TOTAL REQ.	MEN		1	0	1			1
	WOMEN		1		1			
TOTAL PROVIDED	MEN		3	0	3			1
	WOMEN		3		3			

GENERAL NOTES - CODE

- A. ALL WORK SHOWN ON THIS SHEET IS INCLUDED IN THE CONTRACT FOR CONSTRUCTION, WHETHER SHOWN ELSEWHERE OR NOT. CONTRACTOR SHALL MAKE ALLOWANCES FOR CONNECTION, HOOK UP, ETC. AS REQUIRED SO THAT ITEMS, EQUIPMENT, ETC. ARE FIT FOR INTENDED PURPOSE.
- B. SEE ELECTRICAL & MECHANICAL PLANS FOR ADDITIONAL SYMBOLS PROVIDE A LISTED FIRESTOP, CONTINUOUS AT PERIMETER GAPS OF ALL RATED CONSTRUCTION AS REQUIRED TO MAINTAIN THE SPECIFIED RATING.
- C.



11 GRADE LEVEL - CODE OCCUPANCY PLAN
1/8" = 1'-0"

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