

# Development Services

## From Concept to Construction

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More Contact Info (<http://www.portlandoregon.gov/bds/article/519984>)



### APPEAL SUMMARY

**Status:** Decision Rendered

<b>Appeal ID:</b> 20265	<b>Project Address:</b> 5145 SE 85th Ave
<b>Hearing Date:</b> 4/17/19	<b>Appellant Name:</b> Tim Richard
<b>Case No.:</b> B-014	<b>Appellant Phone:</b> 503-449-7326
<b>Appeal Type:</b> Building	<b>Plans Examiner/Inspector:</b> preliminary
<b>Project Type:</b> residential	<b>Stories:</b> 1+ <b>Occupancy:</b> R <b>Construction Type:</b> V-B
<b>Building/Business Name:</b>	<b>Fire Sprinklers:</b> No
<b>Appeal Involves:</b> Alteration of an existing structure	<b>LUR or Permit Application No.:</b>
<b>Plan Submitted Option:</b> pdf [File 1] [File 2]	<b>Proposed use:</b> single family dwelling w/ADU

### APPEAL INFORMATION SHEET

#### Appeal item 1

<b>Code Section</b>	2017 ORSC Section R311.7.5.2
<b>Requires</b>	9-inch minimum step run/tread from nosing to nosing. See attached.
<b>Proposed Design</b>	Existing stair meets all requirements EXCEPT the minimum tread depth from nosing to nosing. 36-inch width, 7-inch risers and 6'-8" head height clearance. Top and bottom landings are provided. Existing treads are 9 ¼" with a ½" nosing resulting in 8 ¾-inch tread dimension from nosing to nosing. Stairs are well built and serviceable.
<b>Reason for alternative</b>	Owner would like to use existing stairs without modification.

### APPEAL DECISION

**Decrease in minimum tread depth to 8.75 inches: Denied. Proposal does not provide equivalent Life Safety protection.**

**Appellant may contact Dave Tebeau (503-823-6802) with questions.**

Pursuant to City Code Chapter 24.10, you may appeal this decision to the Building Code Board of Appeal within 180 calendar days of the date this decision is published. For information on the appeals process and costs, including forms, appeal fee, payment methods and fee waivers, go to [www.portlandoregon.gov/bds/appealsinfo](http://www.portlandoregon.gov/bds/appealsinfo), call (503) 823-7300 or come in to the Development Services Center.

## Summary of Building Code Standards

These standards apply only to conversions that would increase livable space for the existing dwelling, not those that would add a dwelling unit.

### Minimum room area and ceiling height

- **Floor area and sloped ceilings:** Living space must have at least 70 square feet of floor area. Utility and storage rooms, closets, bathrooms or kitchens may be any size. In living space with sloped ceilings, no more than one half of the minimum required floor area may have a sloped ceiling less than 6'8" in height with no part of the required floor area less than five feet in height.
- **Ceiling height:** Where the ceiling is flat, living space may have a ceiling as low as 6'8". Beams, heating ducts, pipes, etc. are allowed as low as six feet from the floor if they are within two feet of a wall, or as low as 6'2" where they do not take up more than 10% of the floor area in the room where they are located. No projections below 6'8" may be within 3' of a door into the room.
- **Sloped bathroom ceilings:** In bathrooms with sloped ceilings, not more than 75 percent of the floor area is permitted to have a ceiling height less than 6'8", provided an area of 21 inches deep by 24 inches wide in front of toilets and lavatories has a minimum height of 6'4", measured from the finished floor. An area of 24 inches by 30 inches both in front of and inside of a tub or shower shall have a minimum height of 6'4", measured from the standing surface of the fixture.

### Stairs

**Existing stairways:** An existing stairway leading to new living space may be steeper, narrower and have lower headroom than the current code allows:

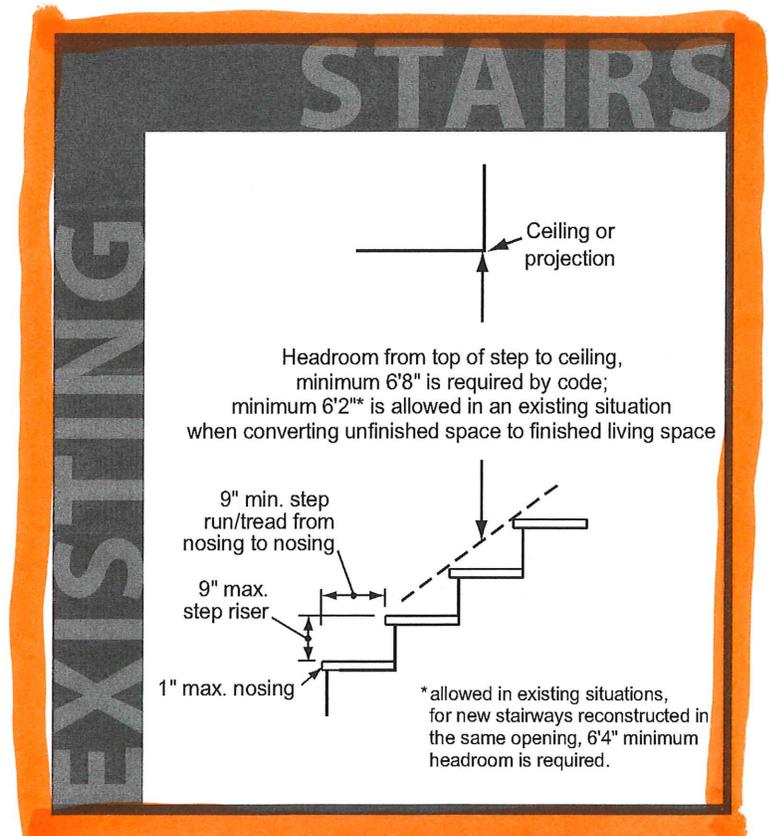
- **Rise and run:** The stairway must have treads (runs) no smaller than nine inches and risers no higher than nine inches. The steps should be relatively even with the largest difference between the biggest and the smallest rise or run not more than a three-eighths inch.
- **Width:** Must be at least 30 inches.
- **Headroom:** Must be at least 6'2" measured vertically from the slope of the stair nosings to the lowest overhead projection or ceiling.
- **Landings:** Are required at the top and bottom of stairs. The landing's length and width must be at least 30" wide and 30" long and have at least 6'2" headroom.
- **Doorways:** Are allowed at the top of stairs as long as the door does not swing over the stairs. A door may not obstruct the landing at the bottom of the stairs.
- **Existing winder stairs:** which are triangular in shape, are allowed. New winder stairs must meet current code.

**Rebuilt stairways:** stairs reconstructed in the same opening can be a minimum of 30" wide, have a maximum riser height of 9" and a minimum of 6' 4" headroom. All other criteria for a stair must meet current code requirements. See the Stairs Brochure ([www.portlandoregon.gov/bds/article/93024](http://www.portlandoregon.gov/bds/article/93024)) for these standards.

**Existing Noncompliant stairs:** Where an existing stair cannot be made to comply and another compliant means of egress is provided, the noncompliant stair shall either be rebuilt or walled off.

### Doors and emergency escape and rescue openings (egress windows)

- **Door size:** The clear opening of a door that leads into a converted attic, basement or garage must be at least 6'2" high and 30 inches wide. Exterior doors used for emergency escape and rescue must be at least the same size.
- **All sleeping rooms:** must have at least one egress window or exterior door for escape or rescue in case of an emergency.
- **Egress window size:** An egress window must have a clear opening with a minimum width of at least 20 inches and a minimum height of at least 24 inches and with a sufficient dimension to result in a minimum clear opening of 5.7 square feet in area, except egress windows with sills within 44" of grade may have a minimum clear opening of 5 square feet. NOTE: A window with only minimum width and minimum height does not meet the minimum area requirement.
- **Sill height:** The bottom of the egress window's clear opening may not be more than 44 inches above the floor. A single step, not less than 12 inches deep, no higher than 12 inches, and at least as wide as the window opening, may be permanently installed under an existing window to reduce the height to the bottom of the clear opening to 44 inches or less, provided there is at least six feet clear from the top of the step to the ceiling.
- **Exterior egress door:** In basements, an exterior door at least 6 feet 2 inches high and at least 30 inches wide, may be used to meet emergency egress requirements with no limit to the bottom of the clear opening height as long as the door is along a compliant stair, and is located at least one step below the level of the floor above.



**DOOR SCHEDULE:**

DOOR#	ROOM	SIZE	FRAME	TYPE	NOTES
D1	ENTRY	2'-8" x 6'-8"	DEPTH TBD	EXT.	MARVIN CLAD
D2	GARAGE	2'-6" x 6'-8"	DEPTH TBD	INT.	
D3	(E) UTILITY RM	2'-8" x 6'-8"	DEPTH TBD	INT.	
D4	ADU ENTRY	2'-6" x 6'-8"	DEPTH TBD	INT.	
D5	BATH	2'-6" x 6'-8"	DEPTH TBD	INT.	
D6	CLOSET	2'-8" x 6'-8"	SURFACE SLIDING	INT.	

**HARDWARE:**

ALL HARDWARE TO BE PROVIDED BY OWNER  
OIL BRUBBED BRONZE TYPICAL  
BRUSHED NICHOL AT KITCHEN AND BATHROOM

**DOORS:**

EXTERIOR DOOR: PRE-HUNG MARVIN ALUMINUM CLAD DOOR AND FRAME  
EXPOSED WOOD INTERIOR FOR CLEAR FINISH - PREMIUM GRADE SOLID CONSTRUCTION

INTERIOR DOORS: VG DOUG FIR STYLE AND RAIL, SIMPSON 20 SERIES  
PREMIUM GRADE SOLID CONSTRUCTION

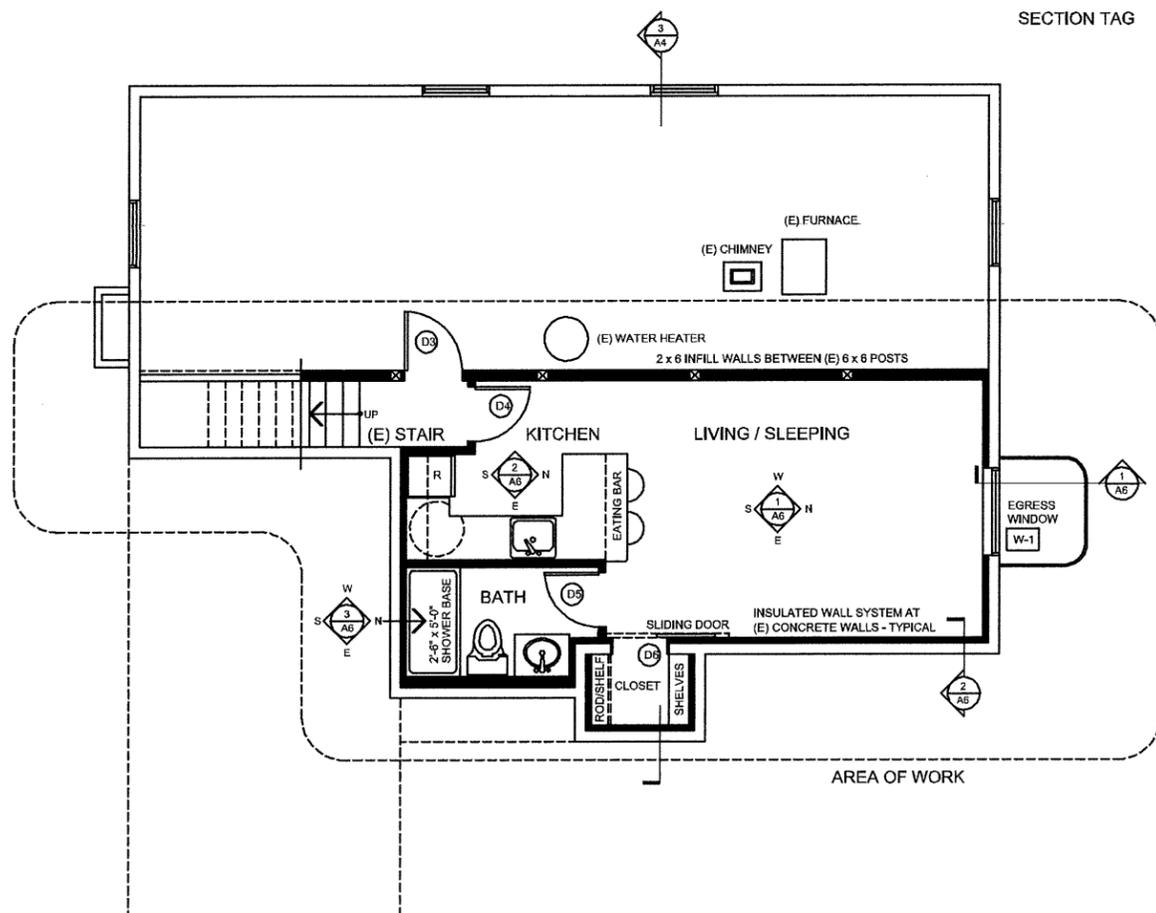
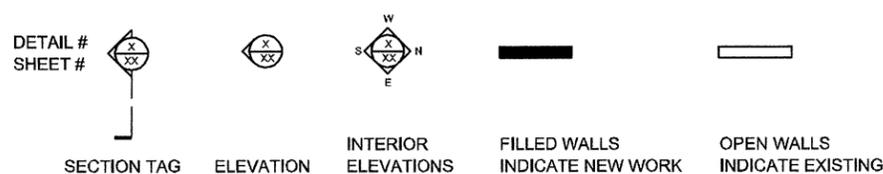
**INTERIOR DOOR FRAMES:**

VG DOUG FIR  
PREMIUM GRADE SOLID CONSTRUCTION

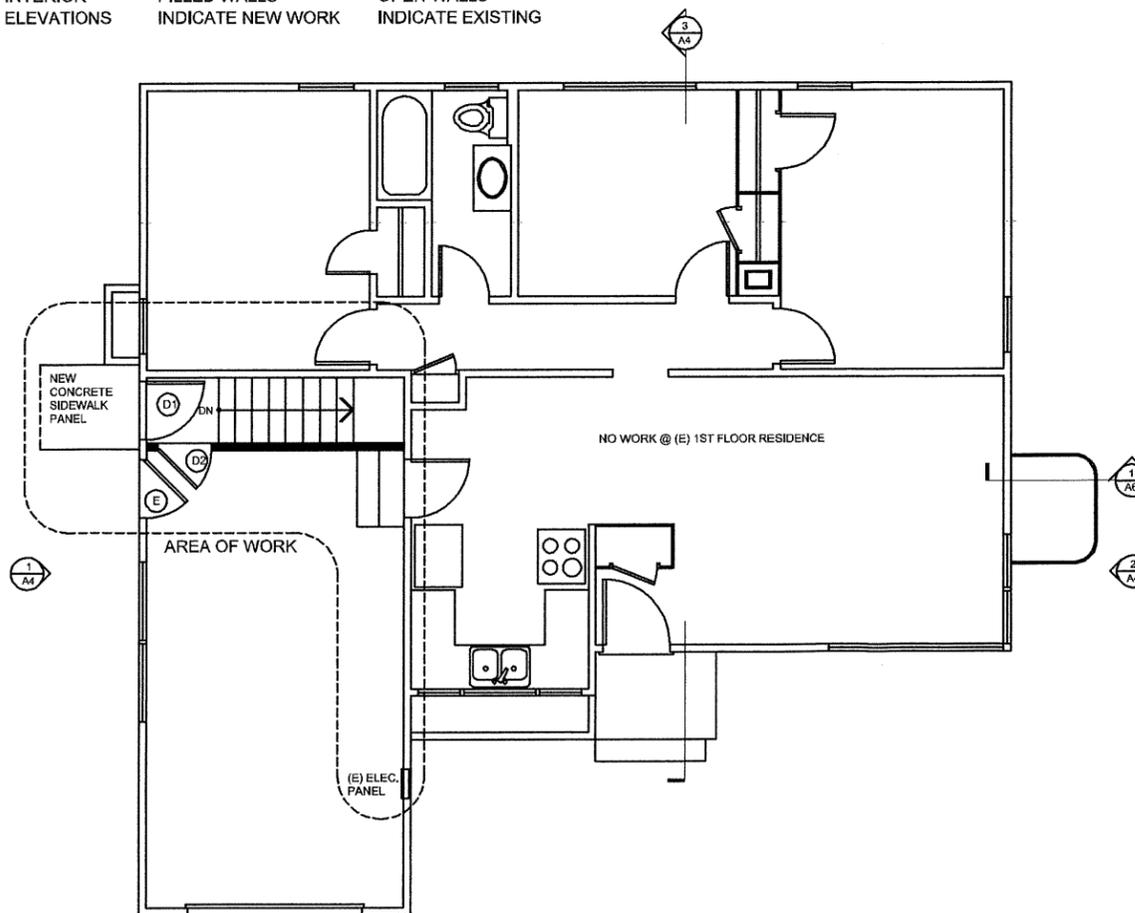
**FINISH SCHEDULE:**

ROOM	FLOOR	WALLS	CEILING	NOTES
STAIR	WOOD TREADS	GWB	GWB	
LANDING	PAINTED CONCRETE	GWB	GWB	
KITCHEN	PAINTED CONCRETE	GWB	GWB	
LIVING / SLEEPING	PAINTED CONCRETE	GWB	GWB	
BATHROOM	PAINTED CONCRETE	WR-GWB	GWB	
CLOSET	PAINTED CONCRETE	GWB	GWB	

**SYMBOLS**



1 BASEMENT FLOOR PLAN  
A3 SCALE: 1/4" = 1'-0"



2 FIRST FLOOR PLAN  
A3 SCALE: 1/4" = 1'-0"

