

Development Services

From Concept to Construction

Phone: 503-823-7300 Email: bds@portlandoregon.gov 1900 SW 4th Ave, Portland, OR 97201

More Contact Info (<http://www.portlandoregon.gov/bds/article/519984>)



APPEAL SUMMARY

Status: Decision Rendered

Appeal ID: 20244	Project Address: 1410 NW Kearney St
Hearing Date: 4/10/19	Appellant Name: John Burgard
Case No.: B-030	Appellant Phone: (503) 285-7566
Appeal Type: Building	Plans Examiner/Inspector: N.A.
Project Type: commercial	Stories: 11 Occupancy: 125 res Construction Type: Concrete
Building/Business Name:	Fire Sprinklers: Yes -
Appeal Involves: Alteration of an existing structure, other:	LUR or Permit Application No.: Preliminar
Plan Submitted Option: pdf [File 1] [File 2]	Proposed use: Apartment Building

APPEAL INFORMATION SHEET

Appeal item 1

Code Section	1108.1.9.11
Requires	Interior exit stair doors to be openable from both sides.
Proposed Design	(Describe the alternate methods or materials of construction to be used or that exist. Be as specific as possible) Add a timer set on a business hours open / close to (un)lock staircase doors with an emergency glass break door release at each location with a local sounder. This system will be overridden by the building's fire alarm control panel during an alarm condition.
Reason for alternative	(Describe why the alternate is required and how it will provide equivalent health, accessibility, structural capacity, energy conservation, life safety or fire protection to what the code requires). Safety concerns to management for tenants and other users of building from vagrants and homeless people sleeping in staircases, defacing property by urinating or defecating, using drugs, smoking, starting fires, or leaving large amounts of trash in path of stairway.

APPEAL DECISION

Electro-magnetic Lock at Egress Door from Parking Garage: Granted provided a pull station with signage is provided at the door and the electro-magnetic lock is tied into the fire alarm system such that activation of the fire alarm system or loss of power will unlock the door.

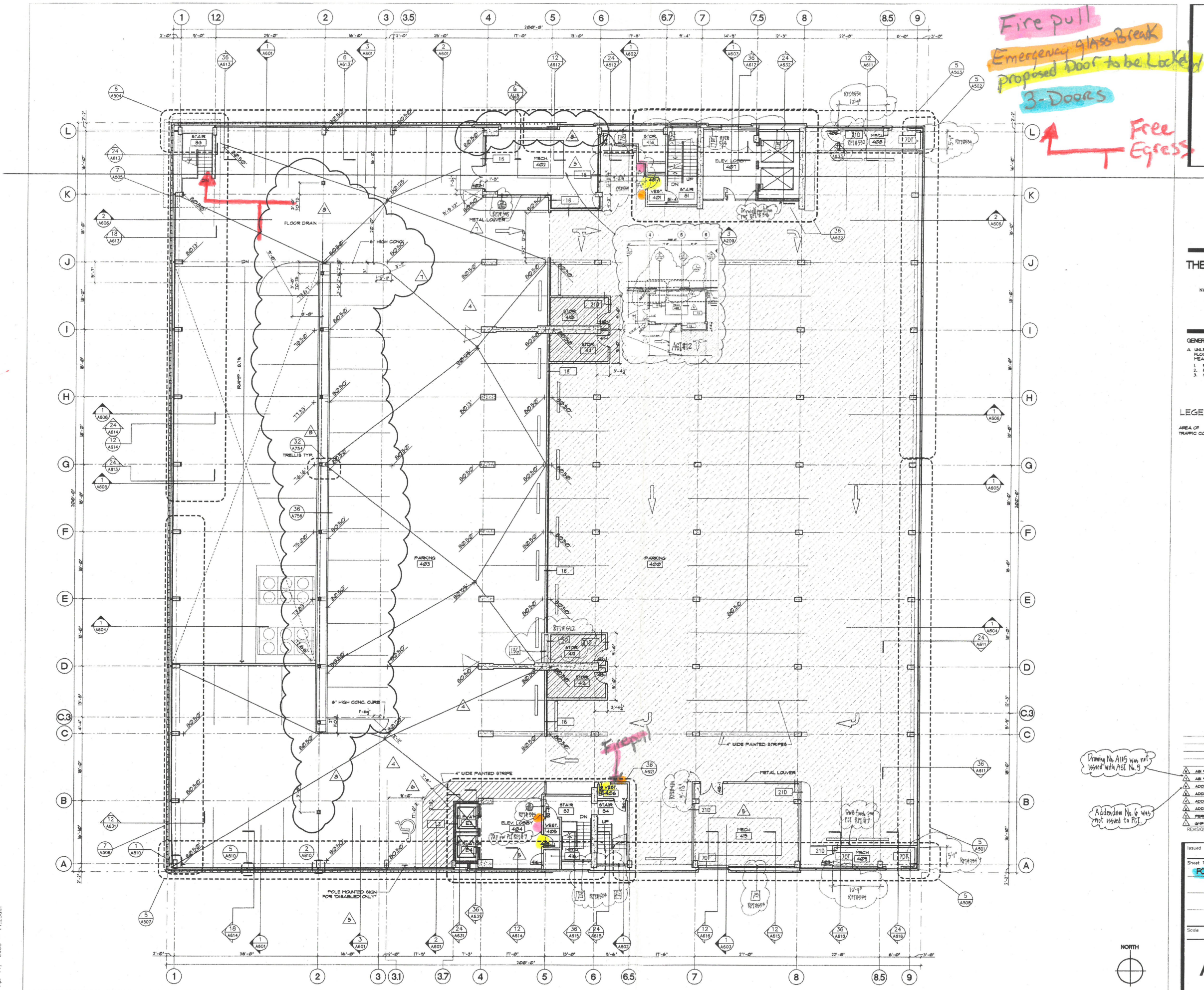
Appellant may contact John Butler (503 823-7339) with questions.

Note: Decision can be revoked at the discretion of the Fire Marshal where found to be in violation.

The Administrative Appeal Board finds with the conditions noted, that the information submitted by the appellant demonstrates that the approved modifications or alternate methods are consistent with the intent of the code; do not lessen health, safety, accessibility, life, fire safety or structural requirements; and that special conditions unique to this project make strict application of those code sections impractical.

Pursuant to City Code Chapter 24.10, you may appeal this decision to the Building Code Board of Appeal within 180 calendar days of the date this decision is published. For information on the appeals process and costs, including forms, appeal fee, payment methods and fee waivers, go to www.portlandoregon.gov/bds/appealsinfo, call (503) 823-7300 or come in to the Development Services Center.

C:\J:\FILE: P:\X02\3000-A0104R-The Edge\7.00 Drawings\PLANS-ELEVATIONS\A105.dwg
Apr 11, 2003 - 11:23am



GBD
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Fax: (503) 299-6273
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THE EDGE LOFTS

NW 14th Ave. & NW Kearney St.
Portland, OR
CARROLL ASPEN 108 LLC

Project: 10013000

GENERAL NOTES

1. UNLESS NOTED OTHERWISE, ALL FLOORPLAN DIMENSIONS ARE MEASURED FROM:
 1. FACE OF CHU OR CONCRETE.
 2. FACE OF METAL STUDS.
 3. CENTERLINE OF COLUMN.

LEGEND

AREA OF TRAFFIC COAT



NO.	DESCRIPTION	DATE
1	ADD #1 (CHANGING ROOM)	3/14/03
2	ADD #2	3/17/03
3	ADD #3	3/17/03
4	ADD #4	3/17/03
5	ADD #5	3/17/03
6	ADD #6	3/17/03
7	ADD #7	3/17/03
8	ADD #8	3/17/03
9	ADD #9	3/17/03
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Issued Date: JULY 30, 2002

Sheet Title: FOURTH FLOOR PLAN

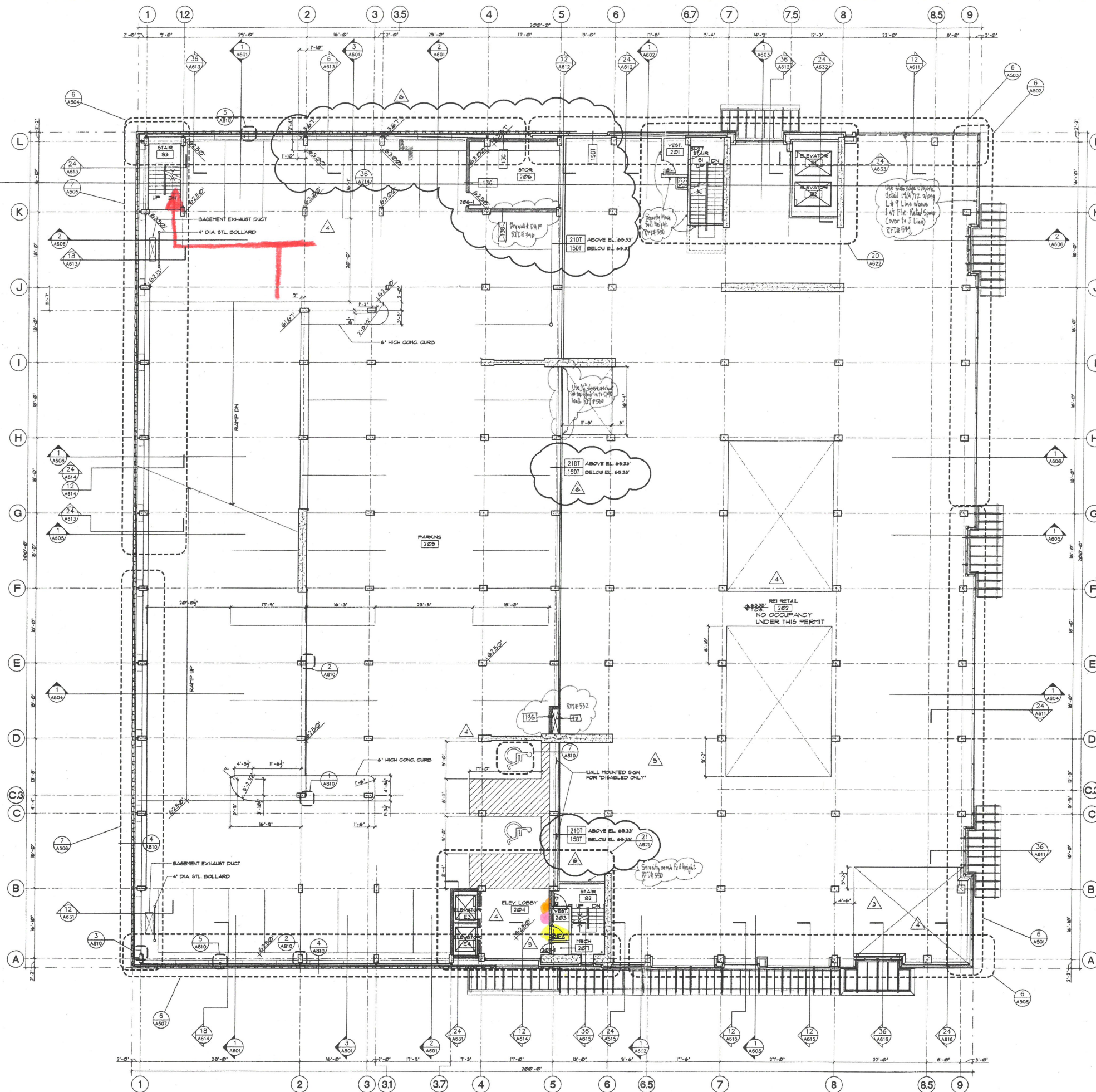
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A105

Drawing No. A105 was not
issued with Add #5

Addendum No. 6 was
not issued to PCL

CAD FILE: P:\2002\3000-JOHN-Edge\7.00 Drawings\PLANS-ELEVATIONS\A103.dwg
Feb 16, 2002 8:20am



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H.O.I.S.T.
REGISTERED ARCHITECT
STATE OF OREGON

000 0 2002

THE EDGE LOFTS

NW 14th Ave. & NW Kearney St.
Portland, OR
CARROLL ASPEN 108 LLC
Project 20023000

GENERAL NOTES
A. UNLESS NOTED OTHERWISE, ALL
FLOORPLAN DIMENSIONS ARE
MEASURED FROM:
1. FACE OF CUR OR CONCRETE.
2. FACE OF METAL STUDS.
3. CENTERLINE OF COLUMNS.

LEGEND
AREA OF
TRAFFIC COAT

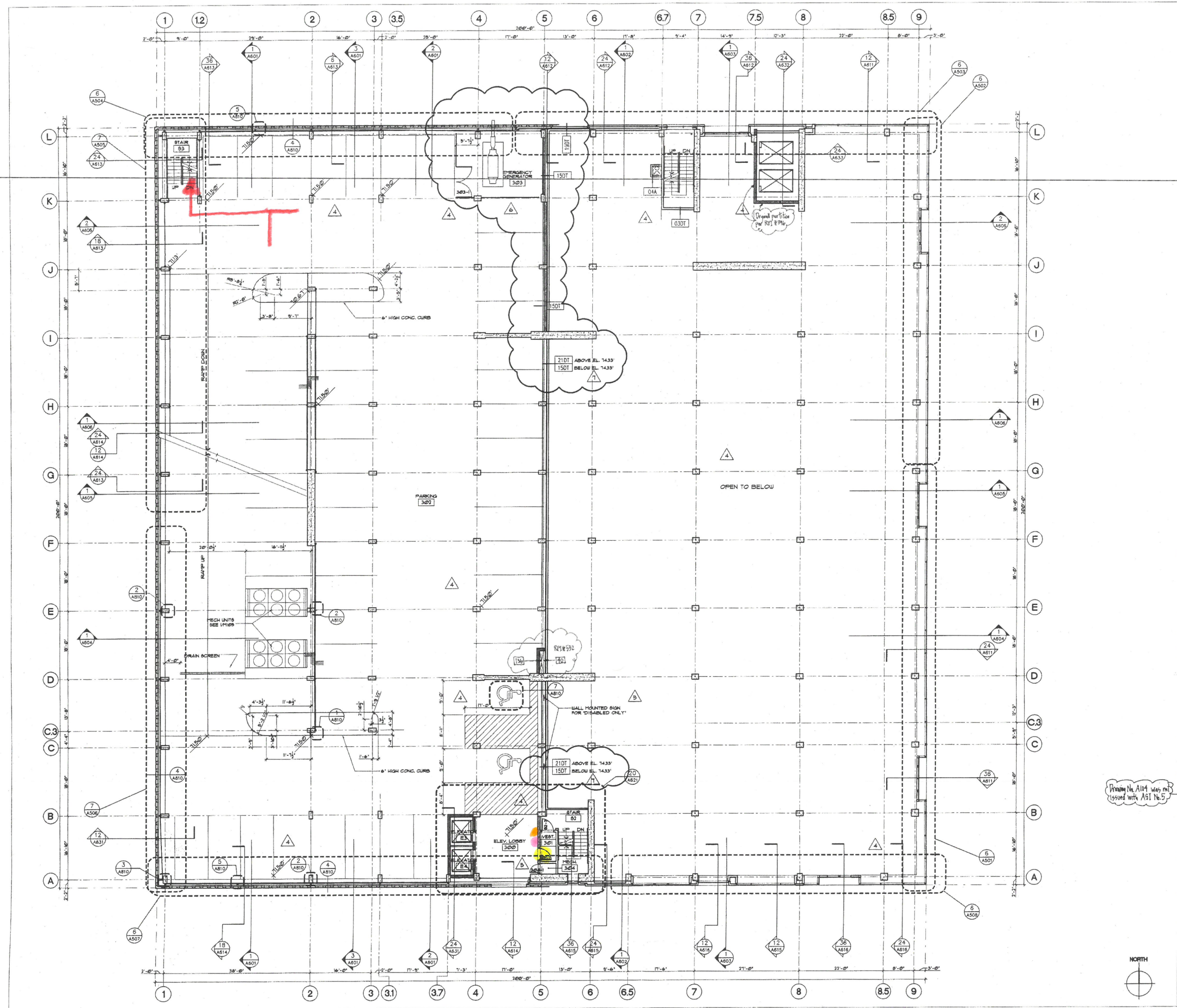
Fire pull
Emergency Glass Break
Proposed Door to be Locked
I-Door
Free Egress

ASB # 9 (10000 - NC 199)	2/17/99
ADDENDUM # 1	1/18/02
ADDENDUM # 2	5/18/02
ADDENDUM # 3	8/16/02
REVISION # 1	10/1/02
APP	10/1/02
REVISIONS NO.	Description

Issued Date: JULY 30, 2002
Sheet Title: **SECOND FLOOR PLAN**

Scale: SCALE 1/8" = 1'-0"
A103

CAD FILE: P:\2003\3000-UNVACAR-The Edge\7.00 Drawings\PLANS-ELEVATIONS\A104.dwg
Feb 27, 2003 11:35am



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HOLST
ARCHITECTS, P.C.

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STATE OF OREGON
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THE EDGE LOFTS

NW 14th Ave. & NW Kearney St.
Portland, OR
CARROLL ASPEN 108 LLC
Project 20023000

GENERAL NOTES
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2. FACE OF METAL STUDS
3. CENTERLINE OF COLUMN.

LEGEND
AREA OF
TRAFFIC COAT

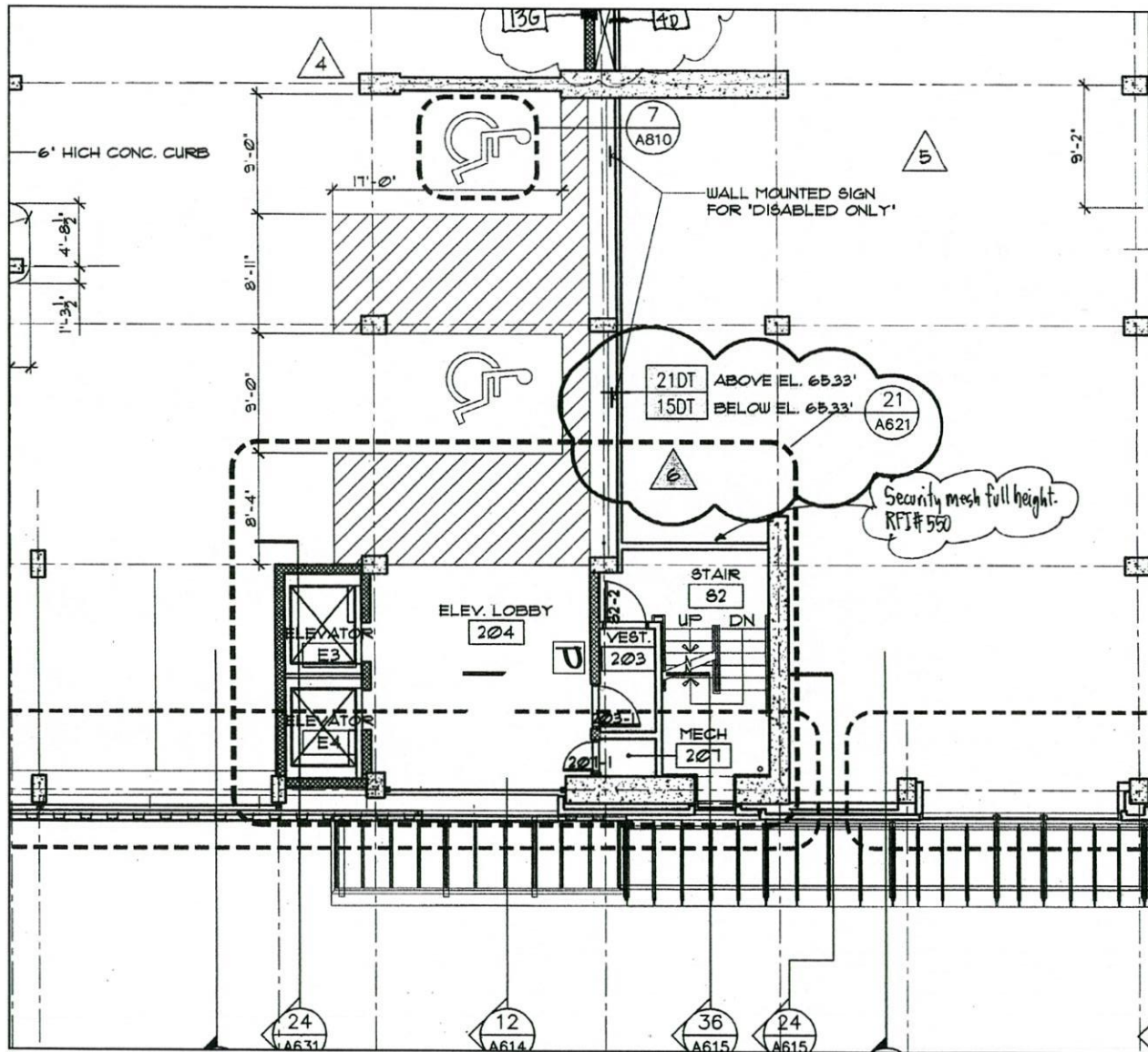
Fire pull
Emergency glass Break
proposed Door to be Locked
J-Door
Free Egress

Revisions table with columns for Revisions No. and Description.

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Issue Date: JULY 30, 2002
Sheet Title: THIRD FLOOR PLAN

Scale: SCALE 1/8" = 1'-0"
A104



P = DOOR
RELEASE
PULL
STATION



2525 NE COLUMBIA
PORTLAND, OR 97211
1-888-813-6772

PROJECT NAME

1 - DOOR

SITE ADDRESS

NW 14TH & NW
KEARNEY ST
PORTLAND, OR

DRAWING DATE TITLE

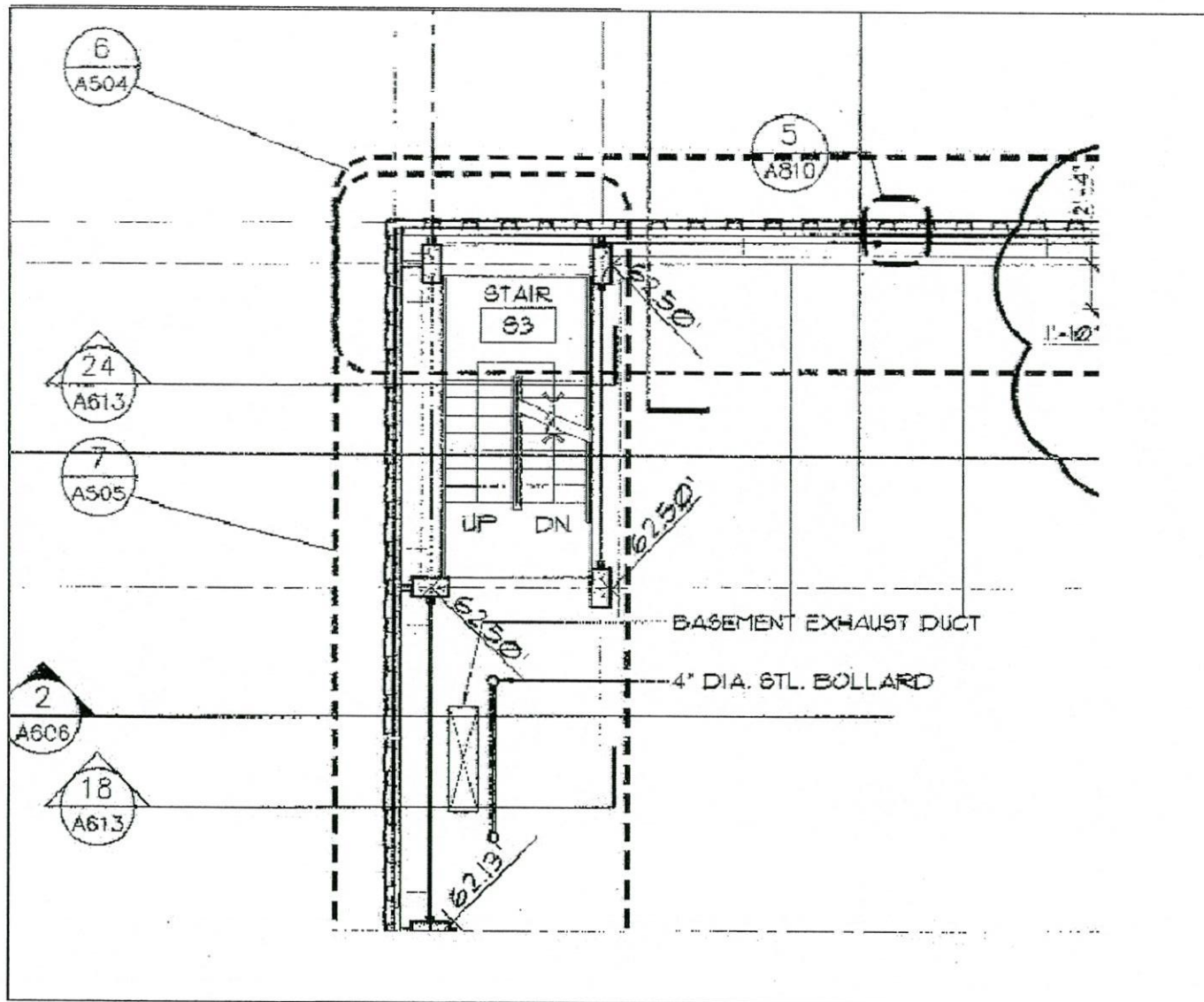
4.1.2019

2ND FLOOR SOUTH
STAIRS

SHEET #

1.1

SHEET 103.1



2525 NE COLUMBIA
PORTLAND, OR 97211
1-888-813-6772

PROJECT NAME
THE EDGE LOFTS
FREE EGRESS

SITE ADDRESS
NW 14TH & NW
KEARNEY ST
PORTLAND, OR

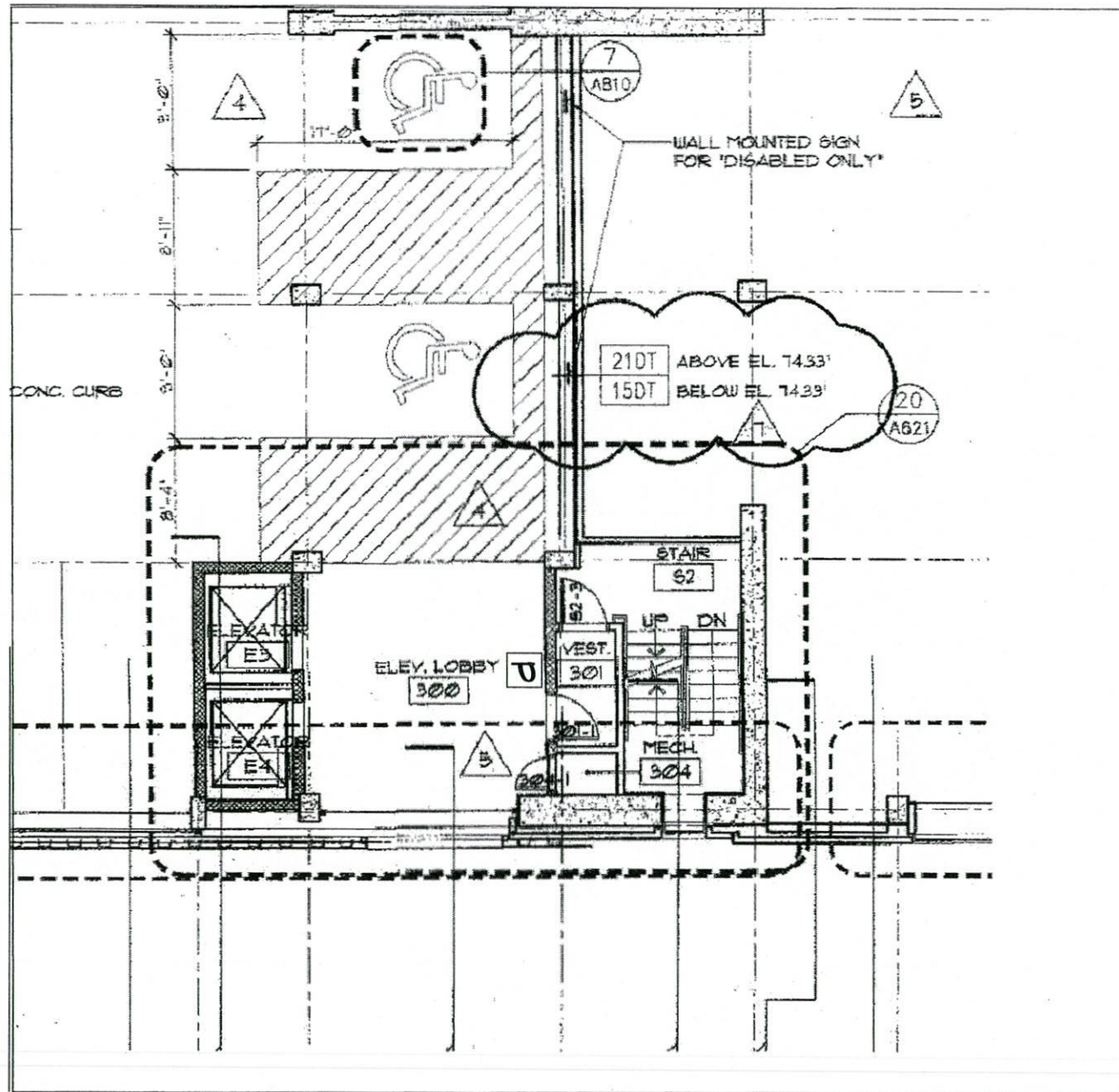
DRAWING DATE
4.1.2019

TITLE
A103.2 STAIRS
2ND FLOOR

SHEET 103.2

SHEET #

1.2



P = DOOR RELEASE
PULL STATION



2525 NE COLUMBIA
PORTLAND, OR 97211
1-888-813-6772

PROJECT NAME

1 - DOOR

SITE ADDRESS

NW 14TH & NW
KEARNEY ST
PORTLAND, OR

DRAWING DATE TITLE

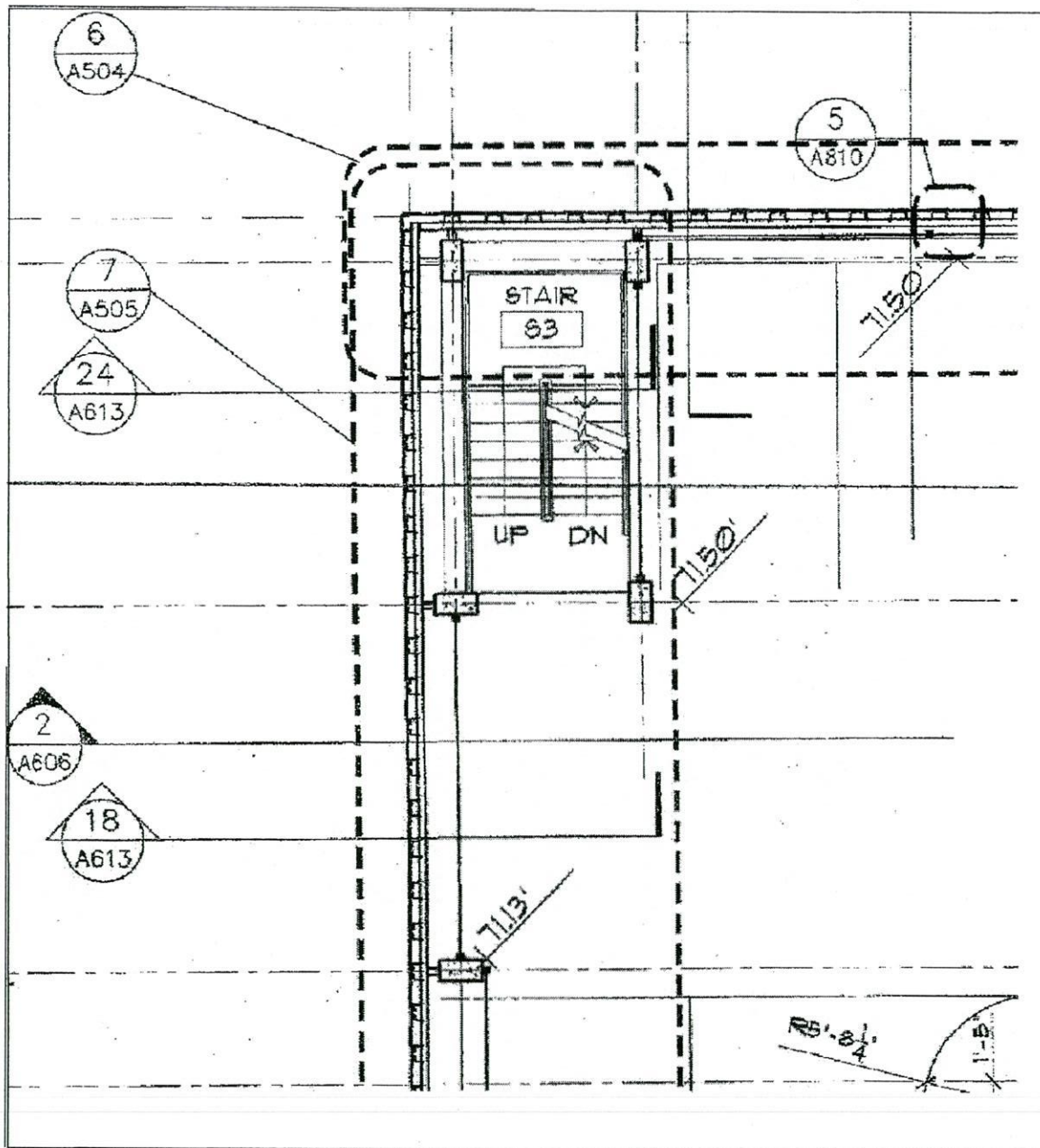
4.1.2019

A104.2 3RD FLOOR
SOUTH STAIRS

SHEET #

1.4

SHEET 104.2



2525 NE COLUMBIA
PORTLAND, OR 97211
1-888-813-6772

PROJECT NAME
THE EDGE LOFTS
FREE EGRESS

SITE ADDRESS
NW 14TH & NW
KEARNEY ST
PORTLAND, OR

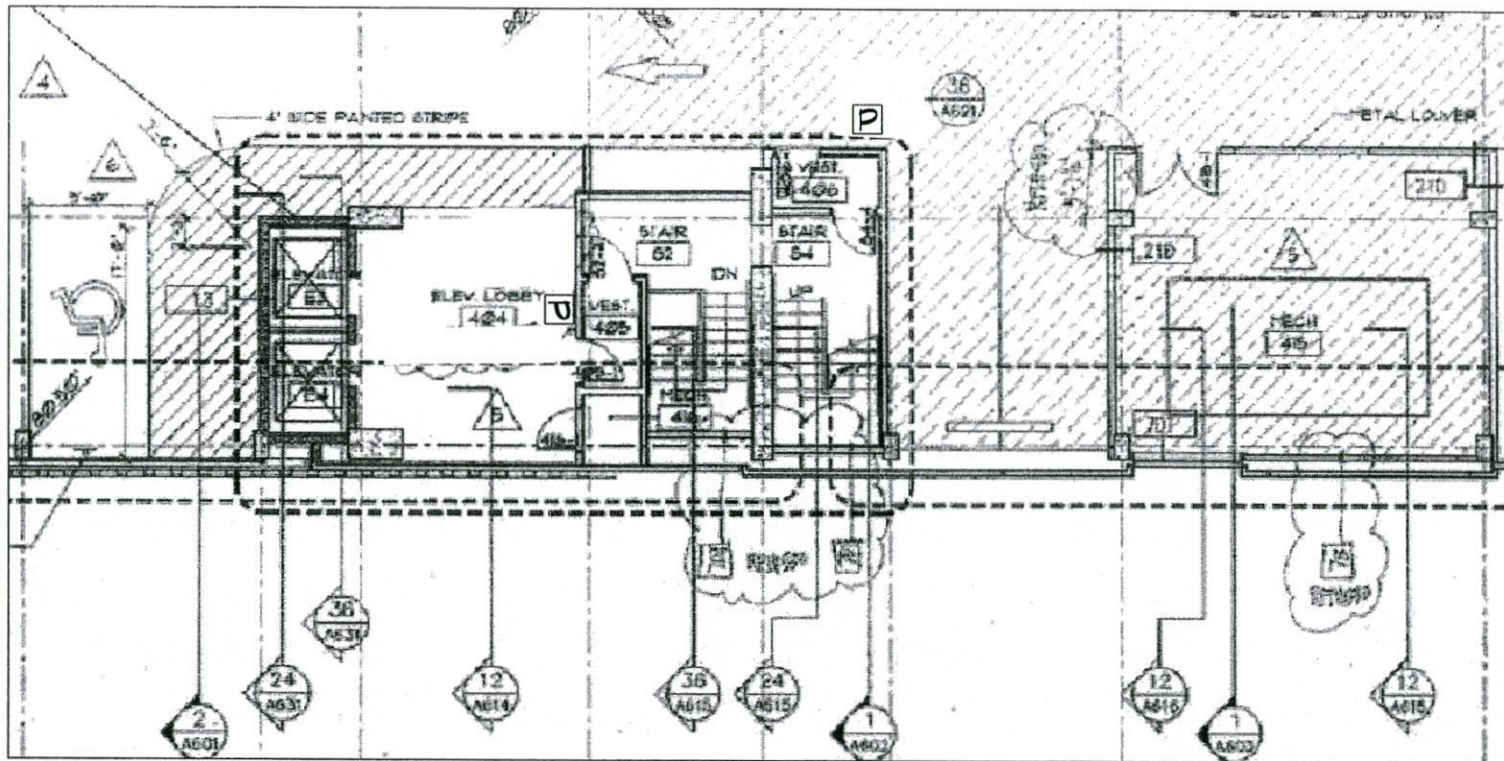
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4.1.2019

TITLE
104.1 STAIRS
3RD FLOOR

SHEET 104.1

SHEET #

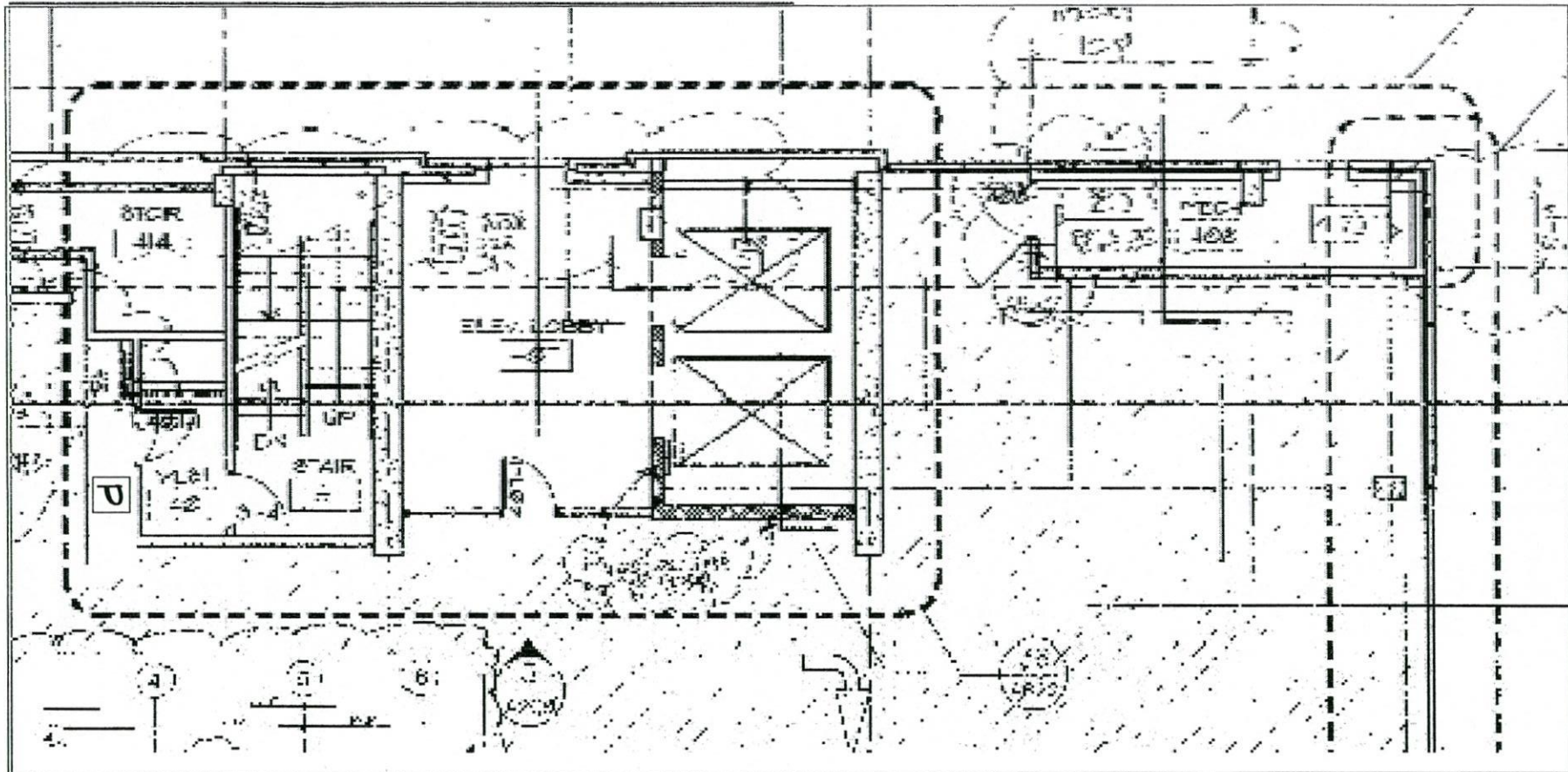
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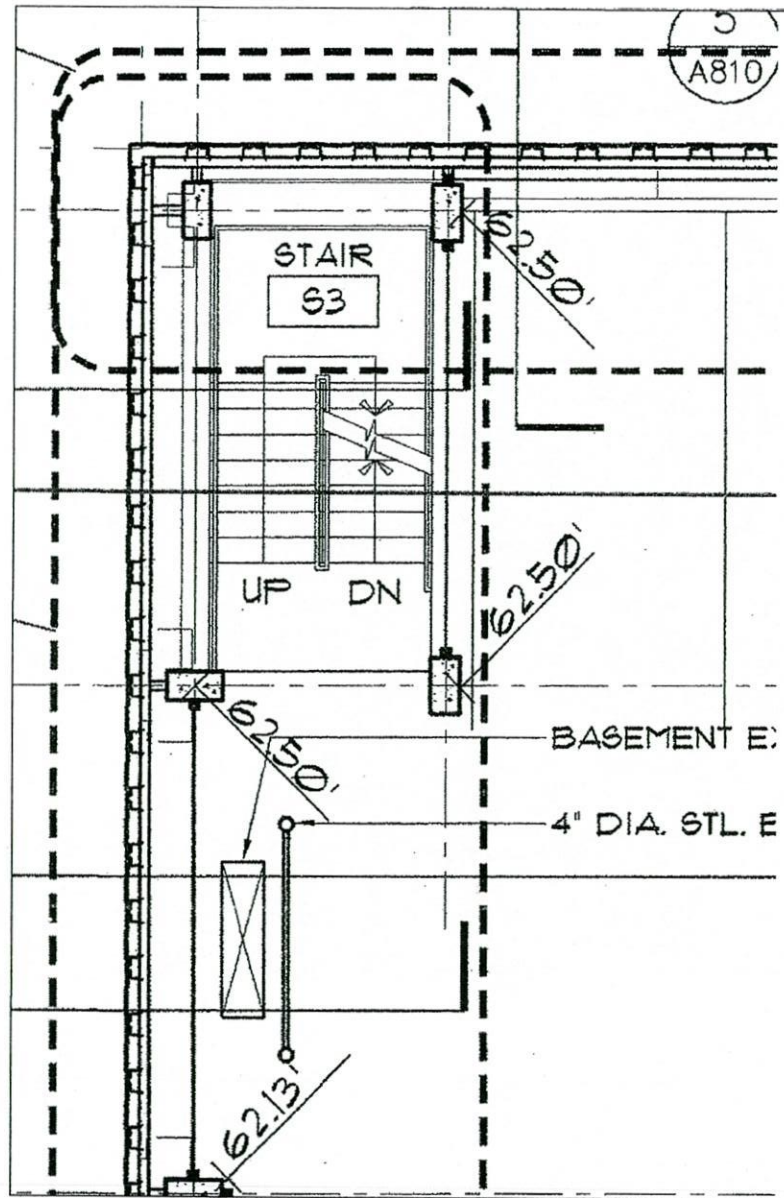


P = DOOR RELEASE PULL STATION



SHEET 105.3					
2525 NE COLUMBIA PORTLAND, OR 97211 1-888-813-6772	PROJECT NAME	SITE ADDRESS	DRAWING DATE	TITLE	SHEET #
	2 DOORS	NW 14TH & NW KEARNEY ST PORTLAND, OR	4.1.2019	105.3 SOUTH 4TH FLOOR STAIRS	1.7





2525 NE COLUMBIA
PORTLAND, OR 97211
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PROJECT NAME
THE EDGE LOFTS
FREE EGRESS

SITE ADDRESS
NW 14TH & NW
KEARNEY ST
PORTLAND, OR

DRAWING DATE
4.1.2019

TITLE
A105.1 STAIRS
4TH FLOOR

SHEET 105.1

SHEET #

1.5