

# 17TH AVENUE APARTMENTS



FILE NUMBER 21-113836



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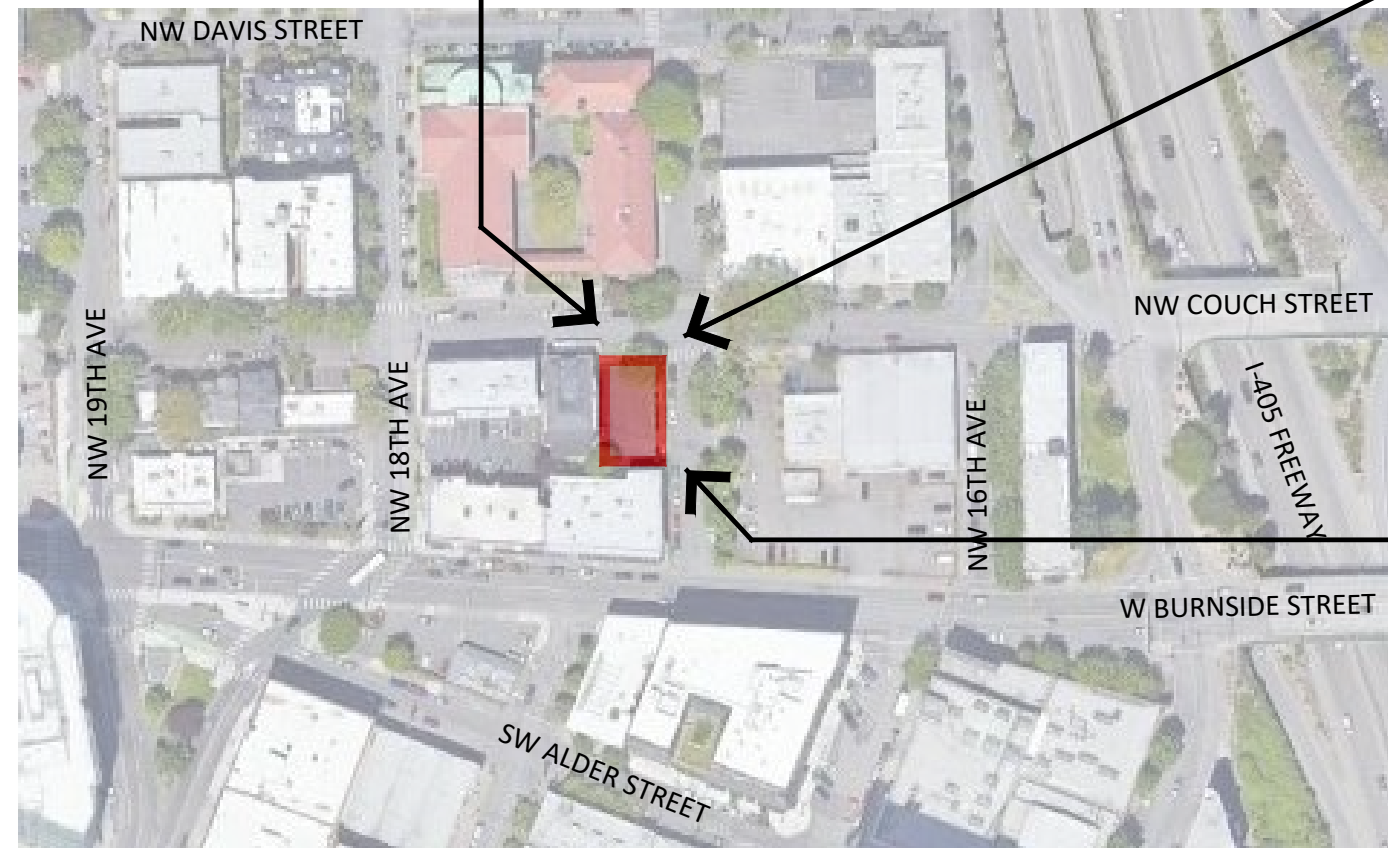
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COUCH STREET LOOKING SOUTHEAST



COUCH STREET LOOKING SW



17TH AVENUE LOOKING NORTHWEST



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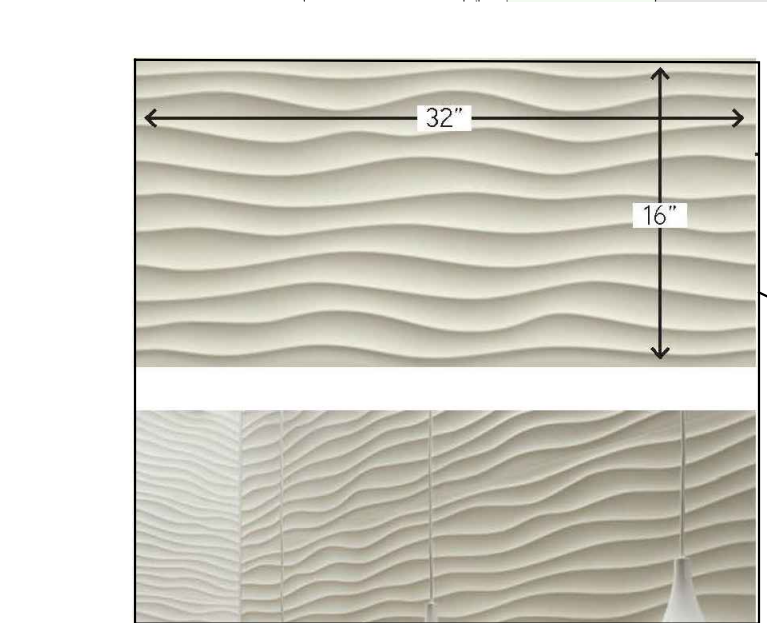
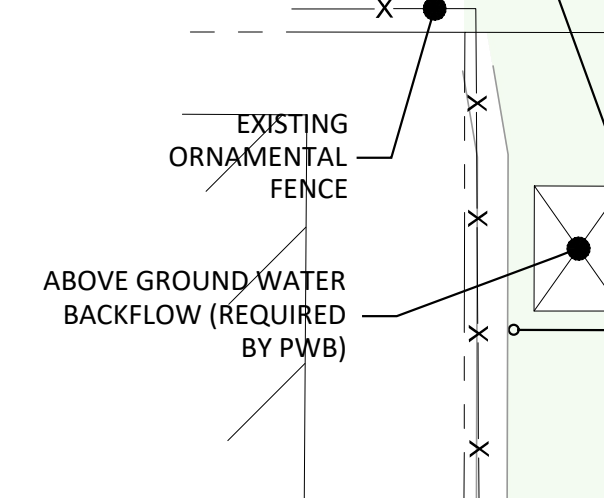


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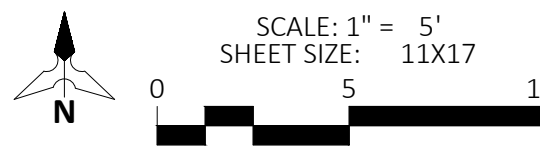
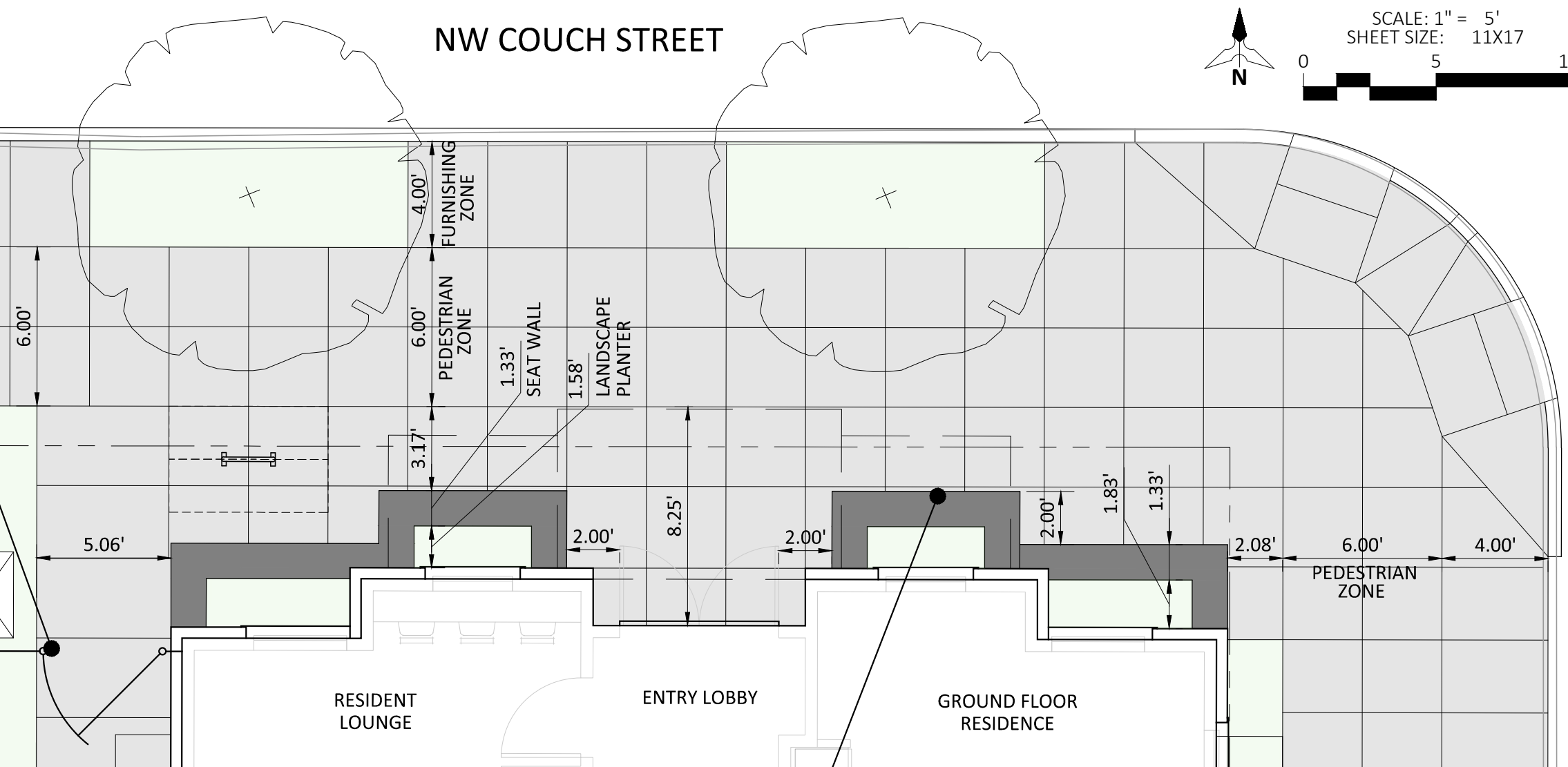




ORNAMENTAL FENCE AND GATE FOR RESIDENT ACCESS

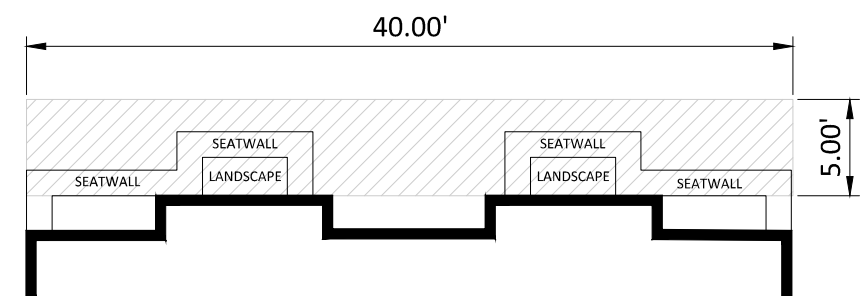


ART/WATER INSTALLATION



18" TALL BY 16" DEEP SEAT WALL

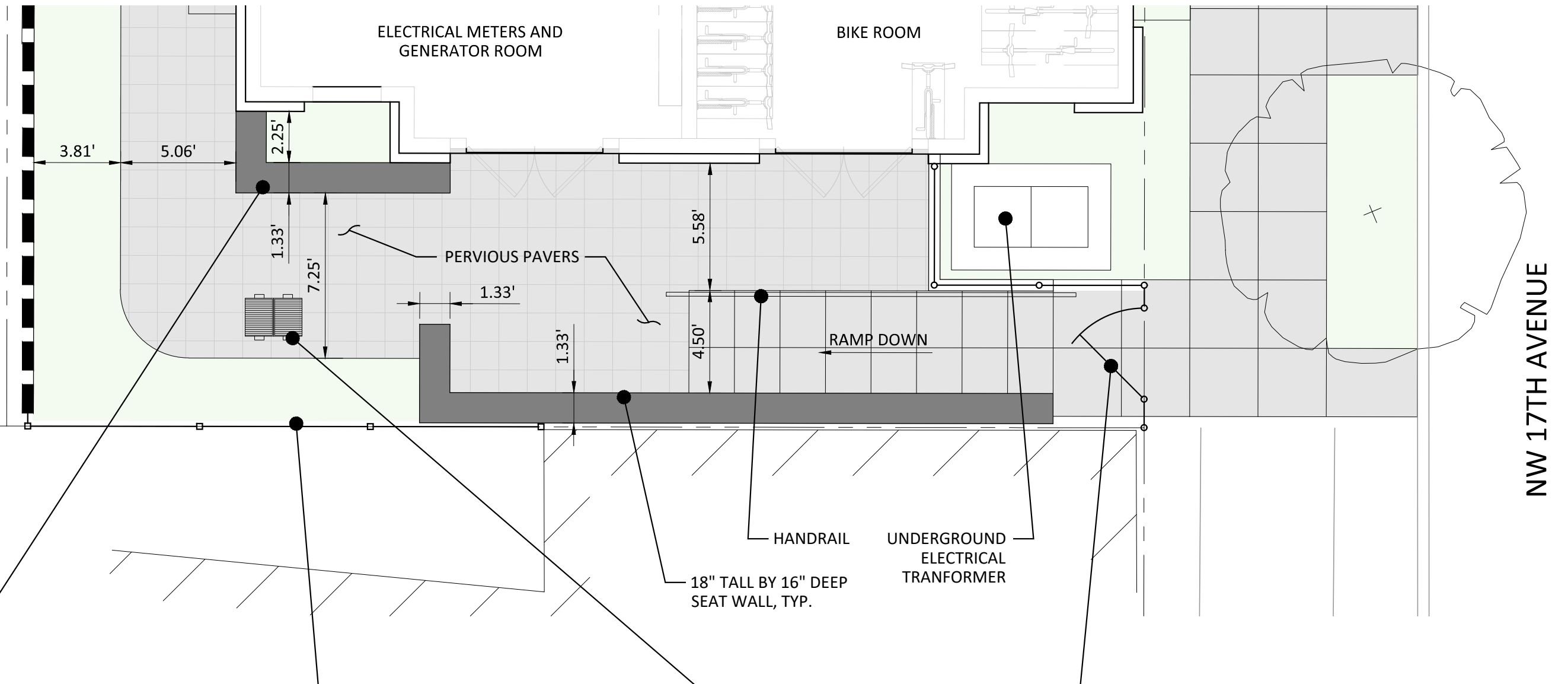
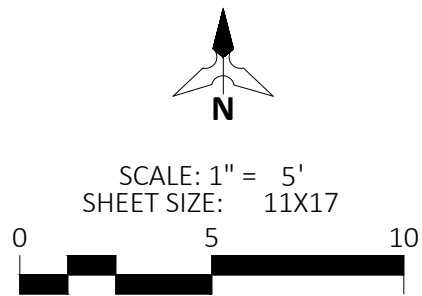
BUILDING LINES HARDSCAPE PERCENTAGE CALCULATION	
HARDSCAPE	182 SF (91%)
LANDSCAPE	18 SF (9%)
TOTAL	200 SF



FRONT BUILDING LINES PLAN

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18" TALL BY 16" DEEP SEAT WALL



CEDAR FENCE



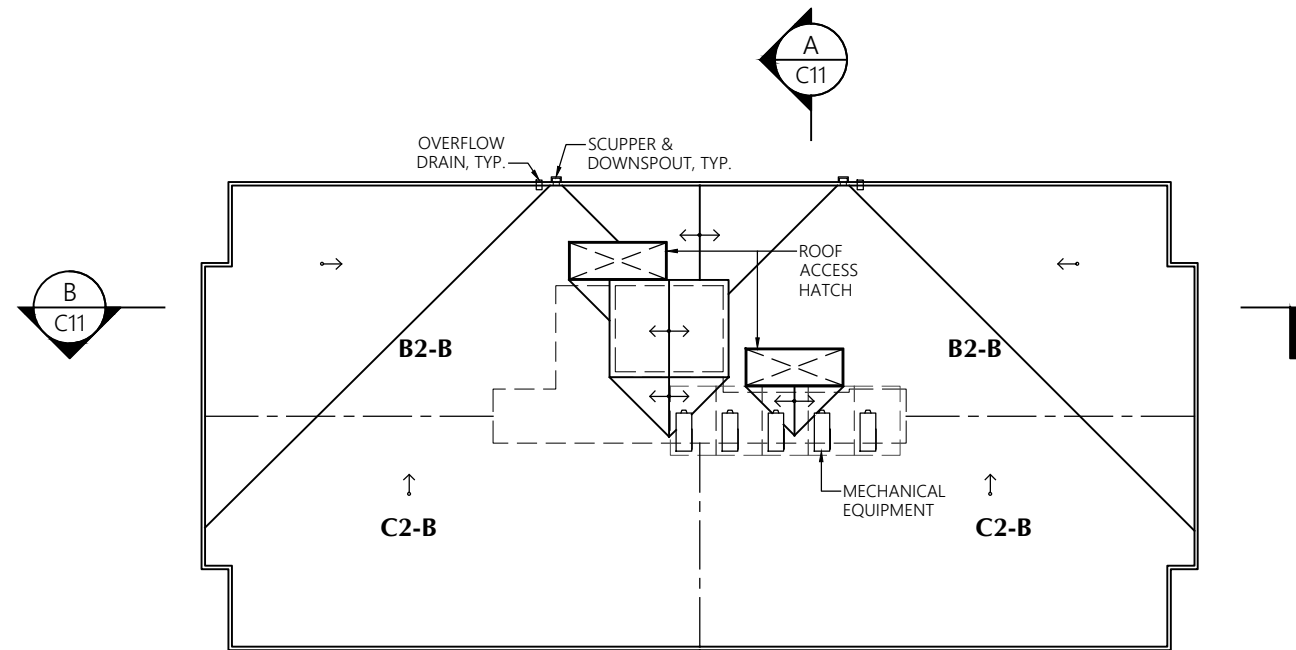
BARBEQUE GRILL



ORNAMENTAL FENCE AND GATE  
FOR RESIDENT ACCESS

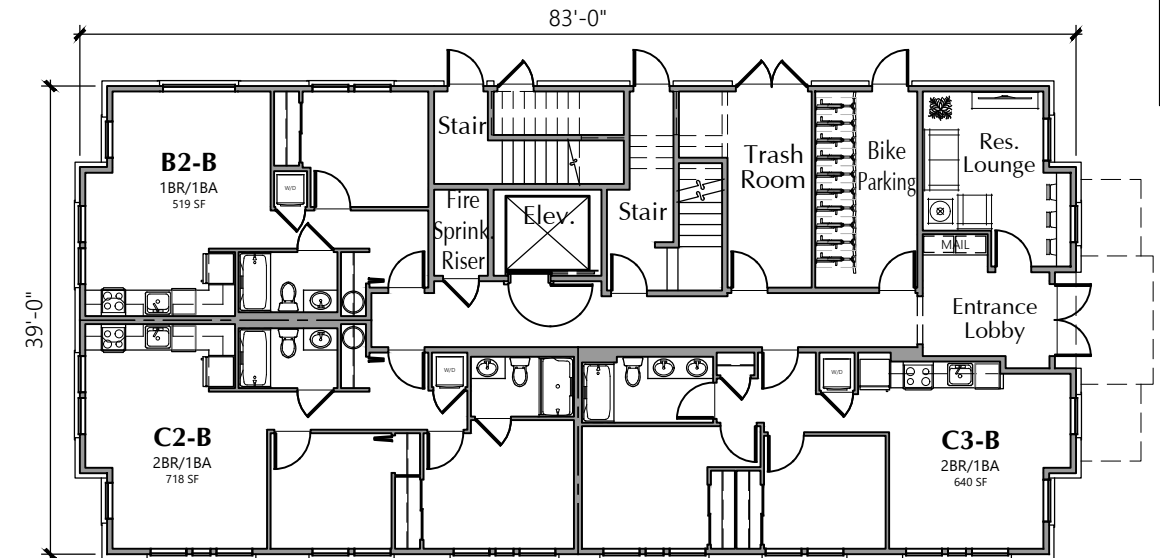
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**Roof Plan**

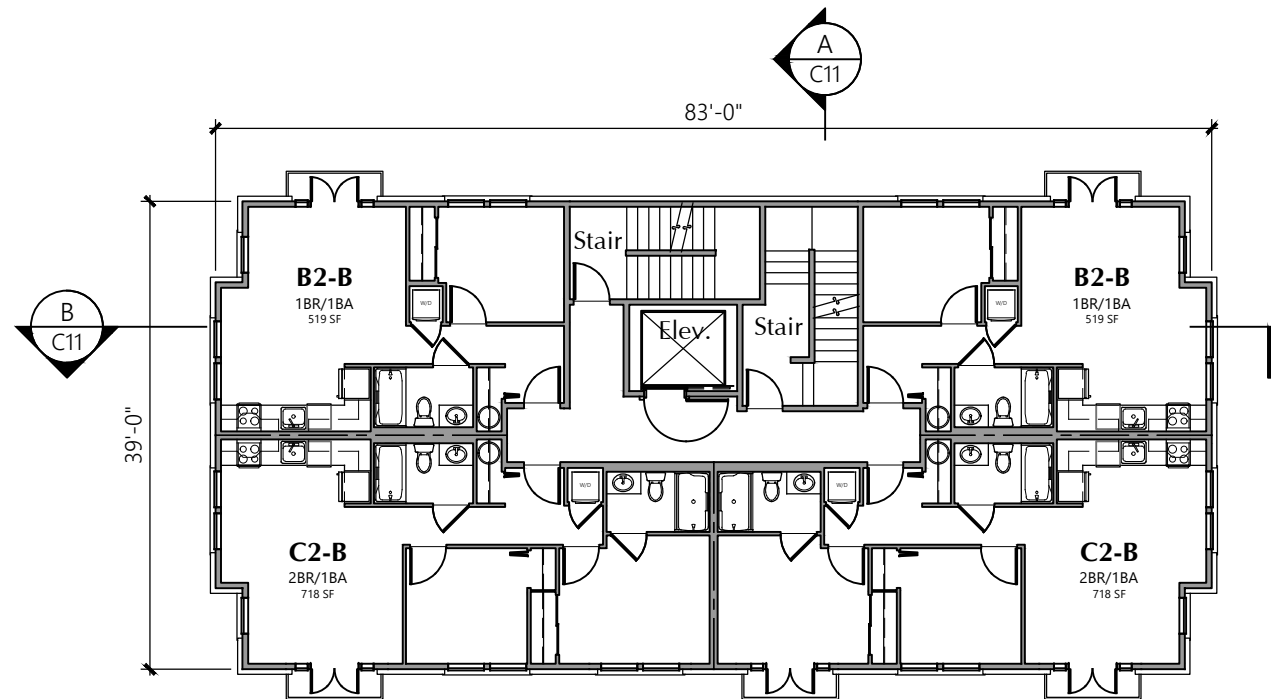
1/16" = 1'-0"



**Building Plans**

FIRST FLOOR PLAN

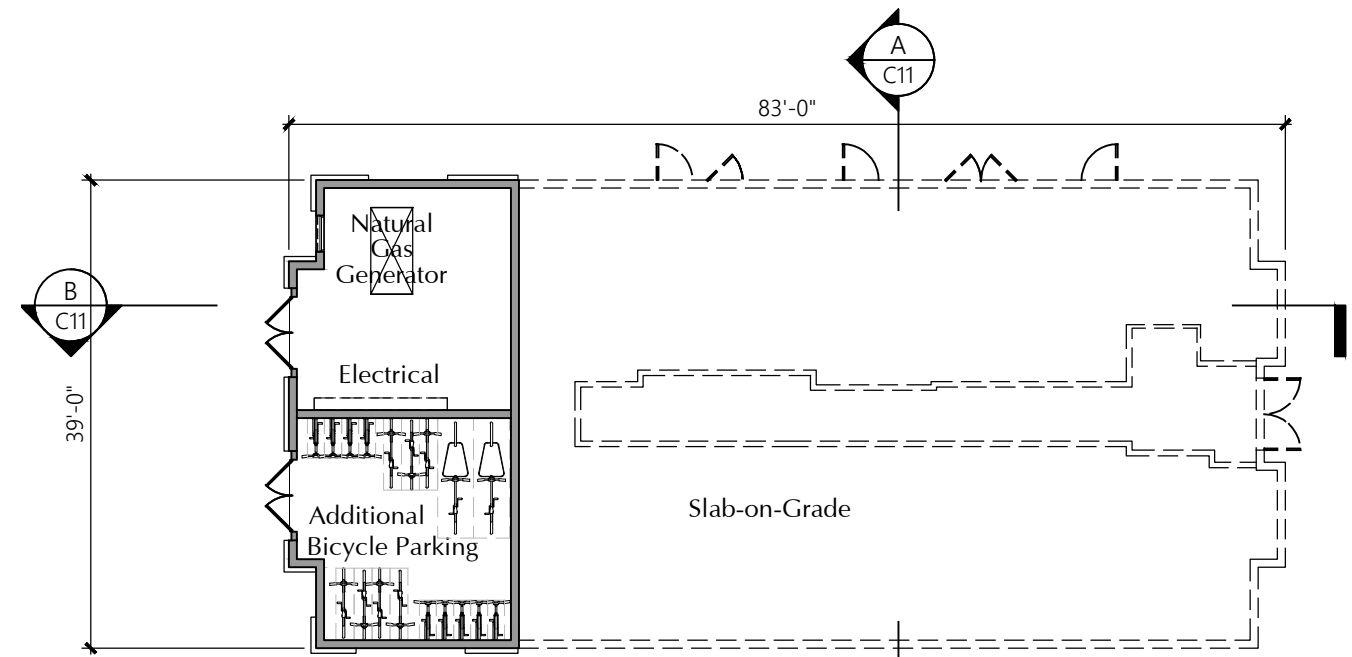
1/16" = 1'-0"



**Building Plans**

TYP. UPPER FLOOR PLAN

1/16" = 1'-0"



**Building Plans**

BASEMENT FLOOR PLAN

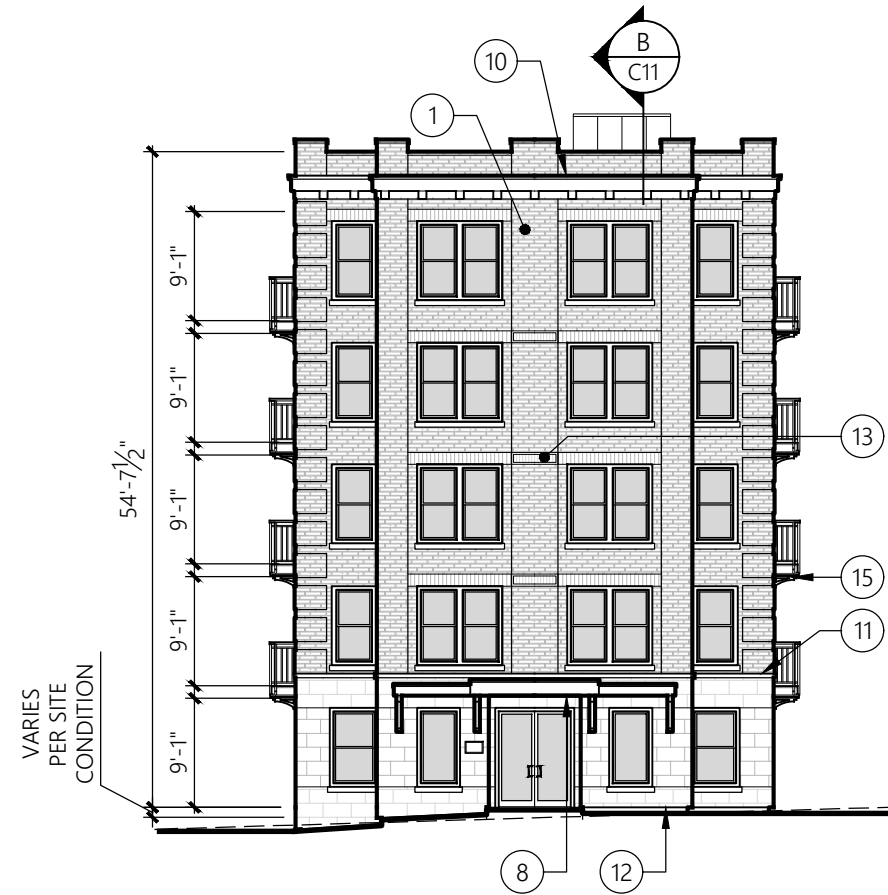
1/16" = 1'-0"

BUILDING AREA	
BASEMENT	717 SF
FIRST FLOOR	3,162 SF
UPPER FLOORS (2-5)	3,176 SF
TOTAL AREA	16,583 SF
SITE AREA	5,000 SF
ALLOWABLE AREA	20,000 SF (4:1 FAR)





**Facade Facing NW 17th Ave**  
1/16" = 1'-0"

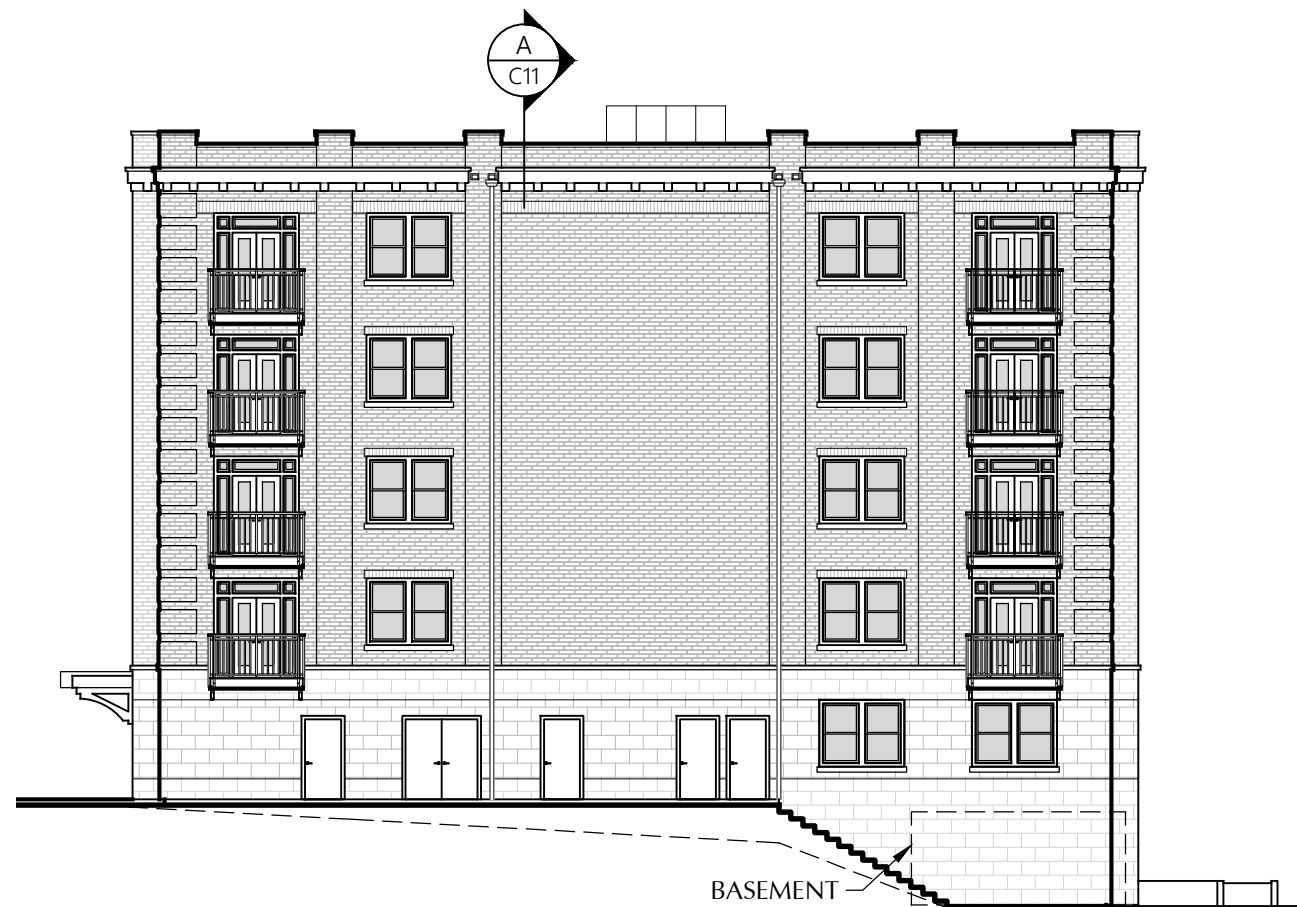


**Facade Facing NW Couch St.**  
1/16" = 1'-0"



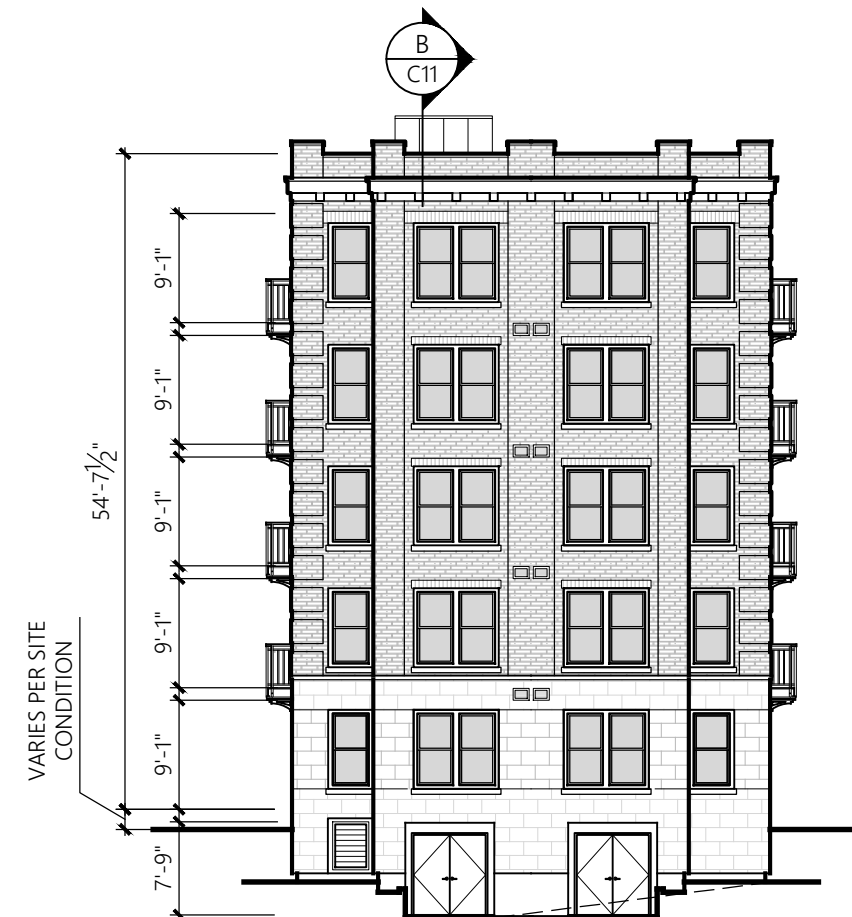
LEGEND	
← (X)	DETAIL CALLOUT SEE SHEETS C16-C19





## West-Facing Facade

1/16" = 1'-0"





Facade Material Keynotes

- 1 Energy efficient aluminum clad wood windows (exterior color: dark bronze or black)
  - a. Single hung window
  - b. Fixed window
  - c. French doors with sidelights
- 2 Prefabricated FRP or PVC cornice molding
- 3 Brick Veneer
- 4 Precast concrete or masonry window sill
- 5 Prefabricated metal Juliet balcony/railing (color: dark bronze or black)
- 6 Stone cap
- 7 Simulated cast stone veneer (color: Alabaster, texture: ground face)
- 8 Simulated cast stone veneer (color: Limestone, texture: rock face)
- 9 Prefabricated metal canopy with metal brace (color: dark bronze or black)
- 10 Prefabricated decorative metal grill (color: dark bronze or black)
- 11 Brass project identification sign



Facade Facing NW 17th Ave  
1/16" = 1'-0"



Facade Facing NW Couch St.  
1/16" = 1'-0"



Facade Material Keynotes

- 1 Energy efficient aluminum clad wood windows (exterior color: dark bronze or black)
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- 9 Prefabricated metal canopy with metal brace (color: dark bronze or black)



West-Facing Facade

1/16" = 1'-0"



South-Facing Facade

1/16" = 1'-0"

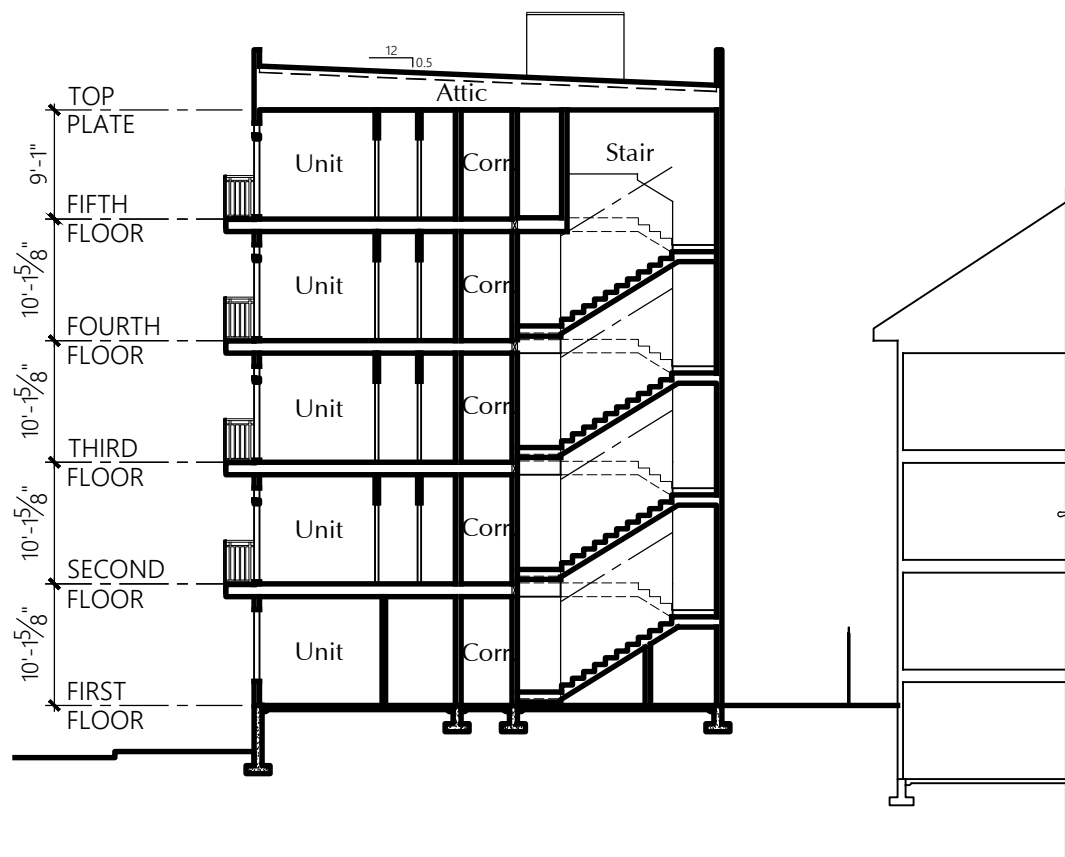






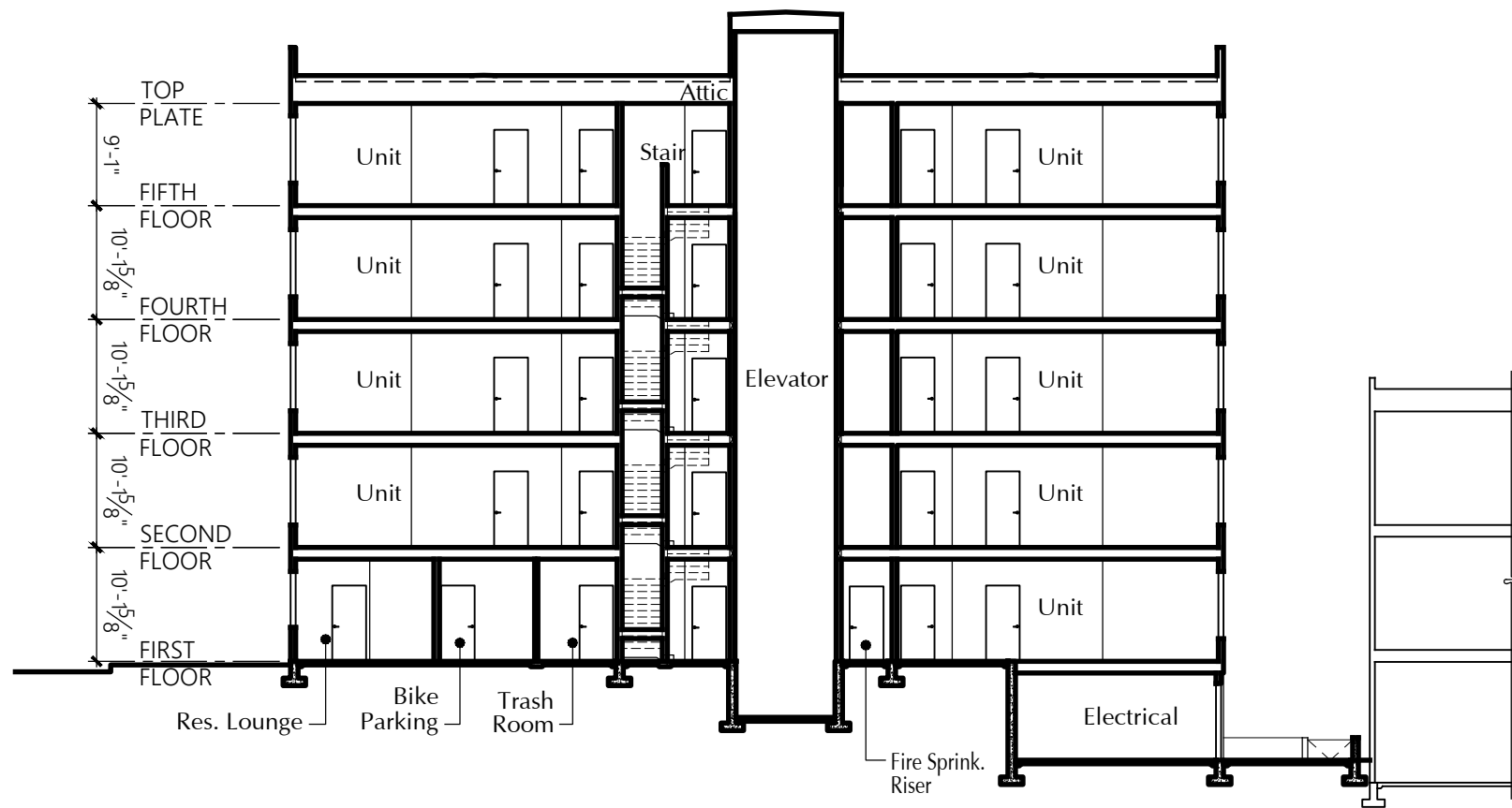






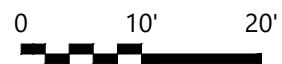
**SECTION A**

1/16" = 1'-0"



**SECTION B**

1/16" = 1'-0"







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NOT TO SCALE

FILE NUMBER 21-113836



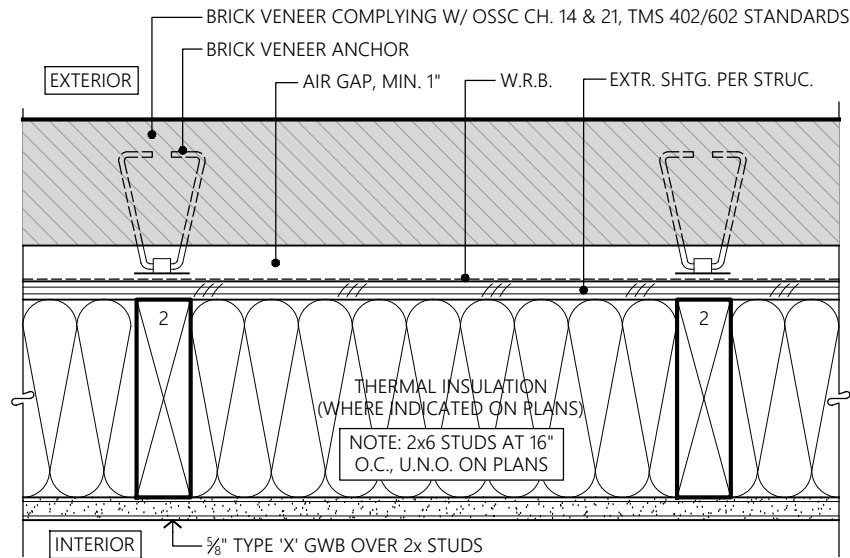


NOT TO SCALE









1 EXTR. WALL AT BRICK VENEER  
3" = 1'-0" 0" 6" PLAN

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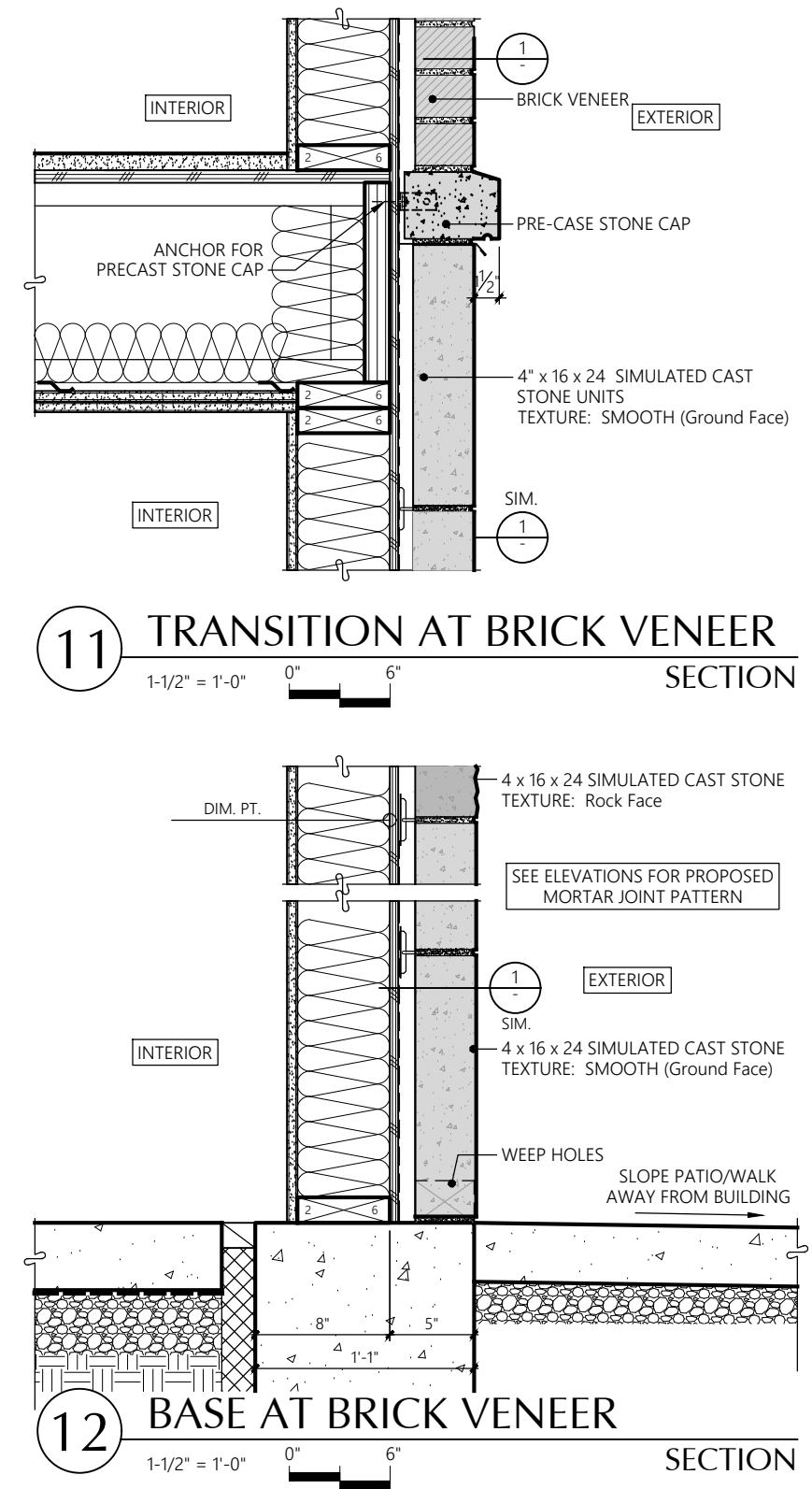
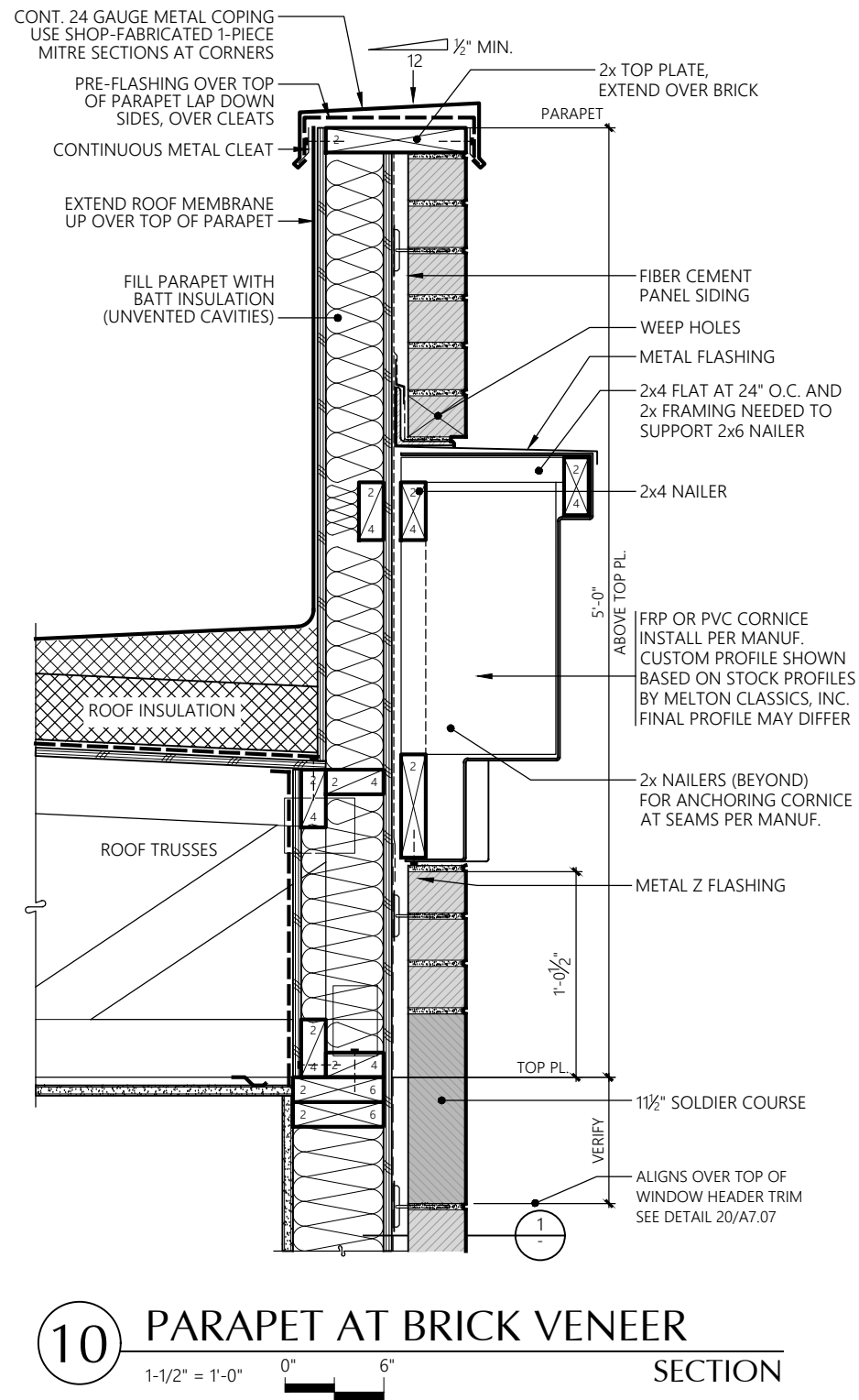
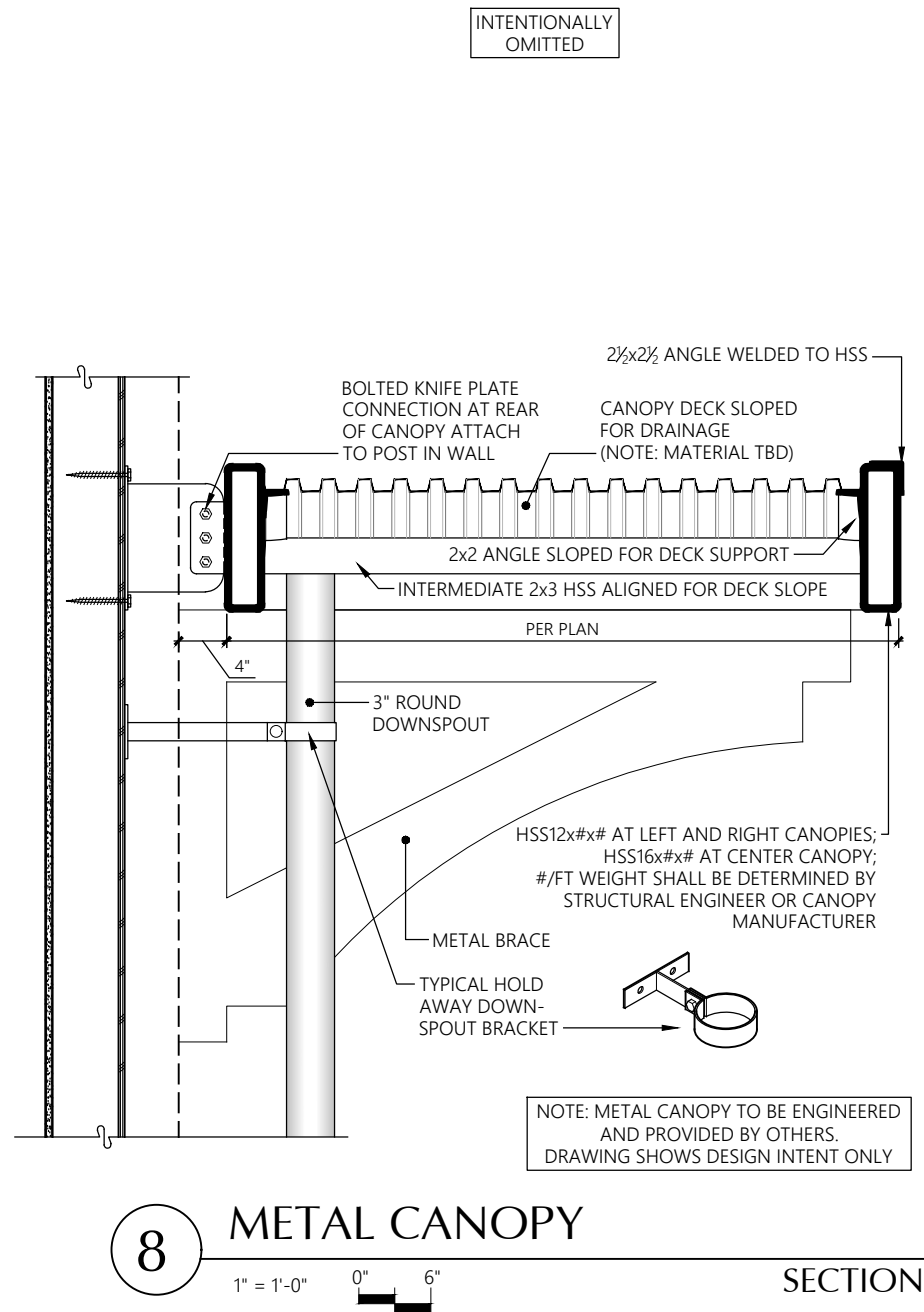
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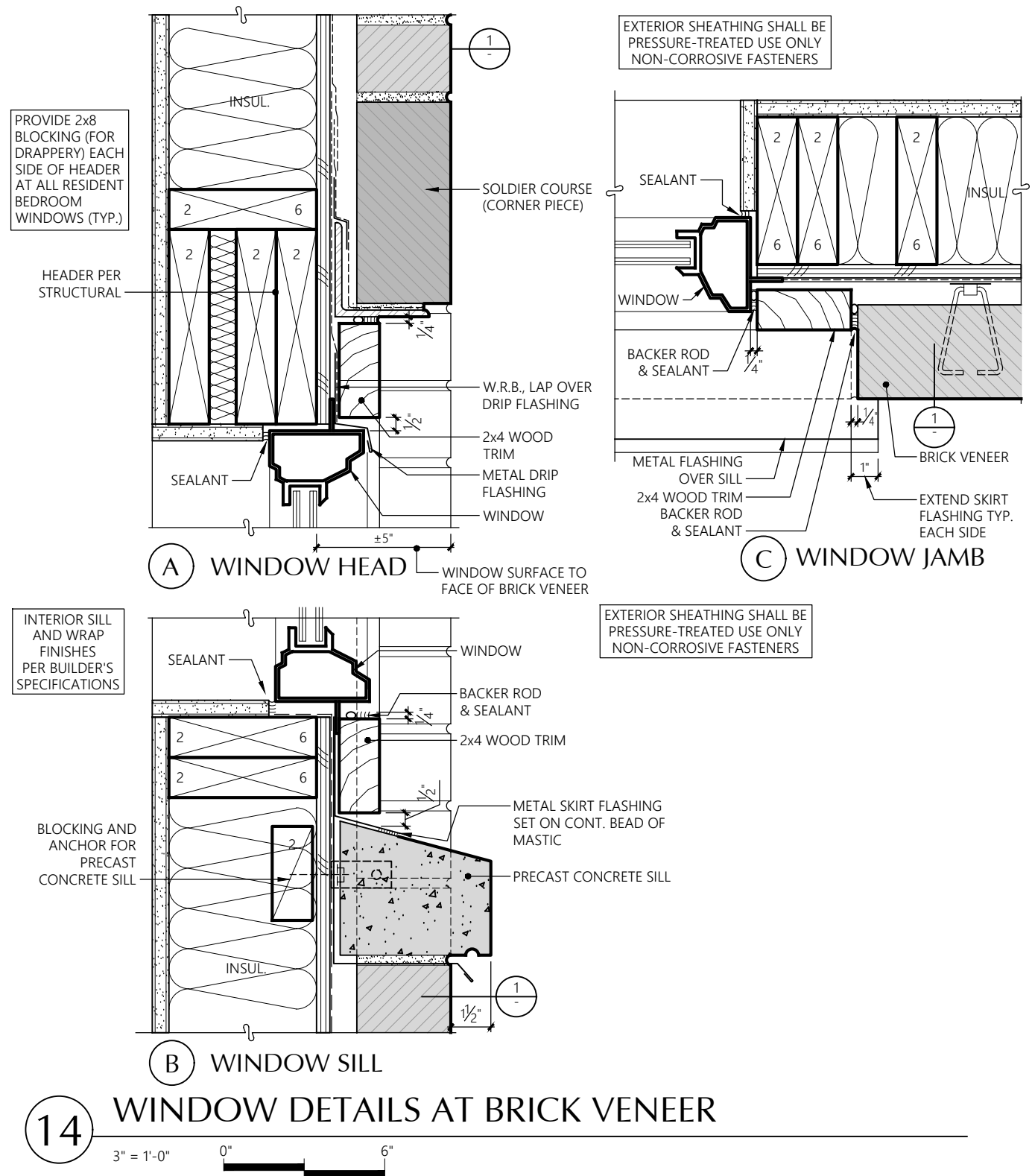
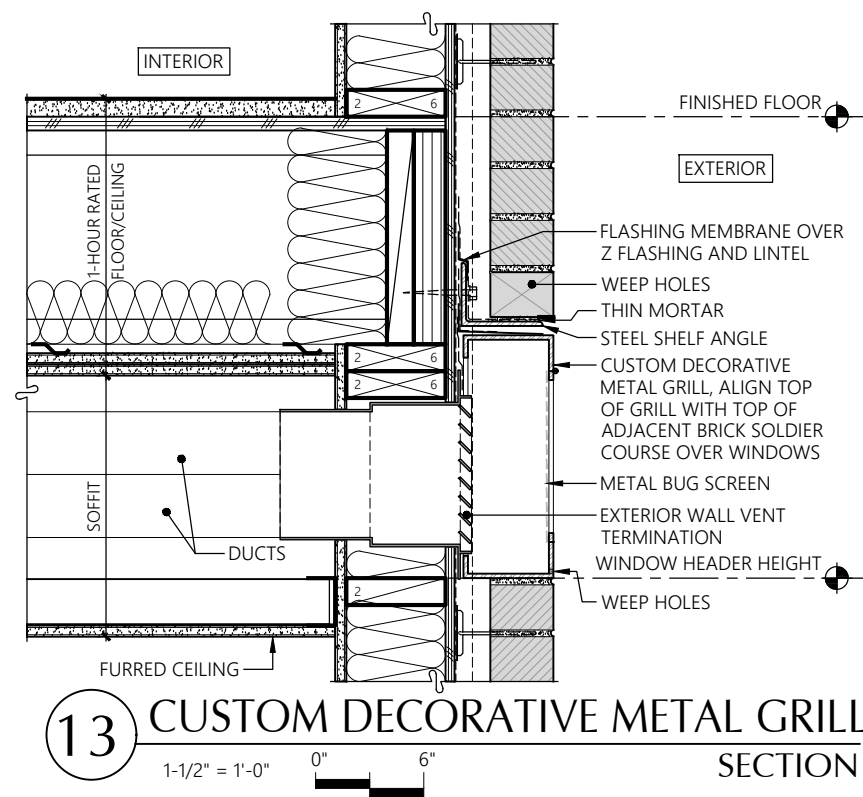
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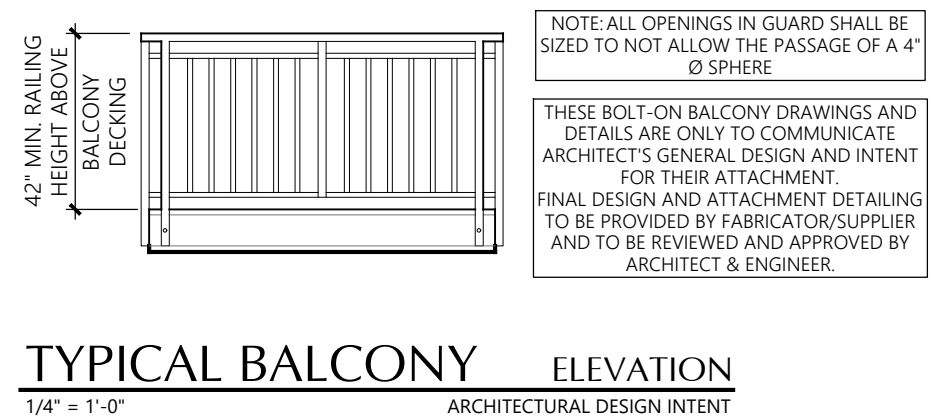
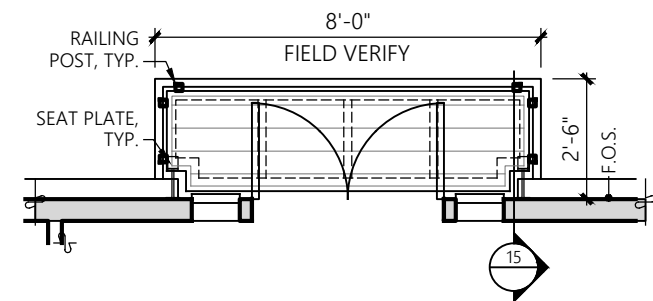
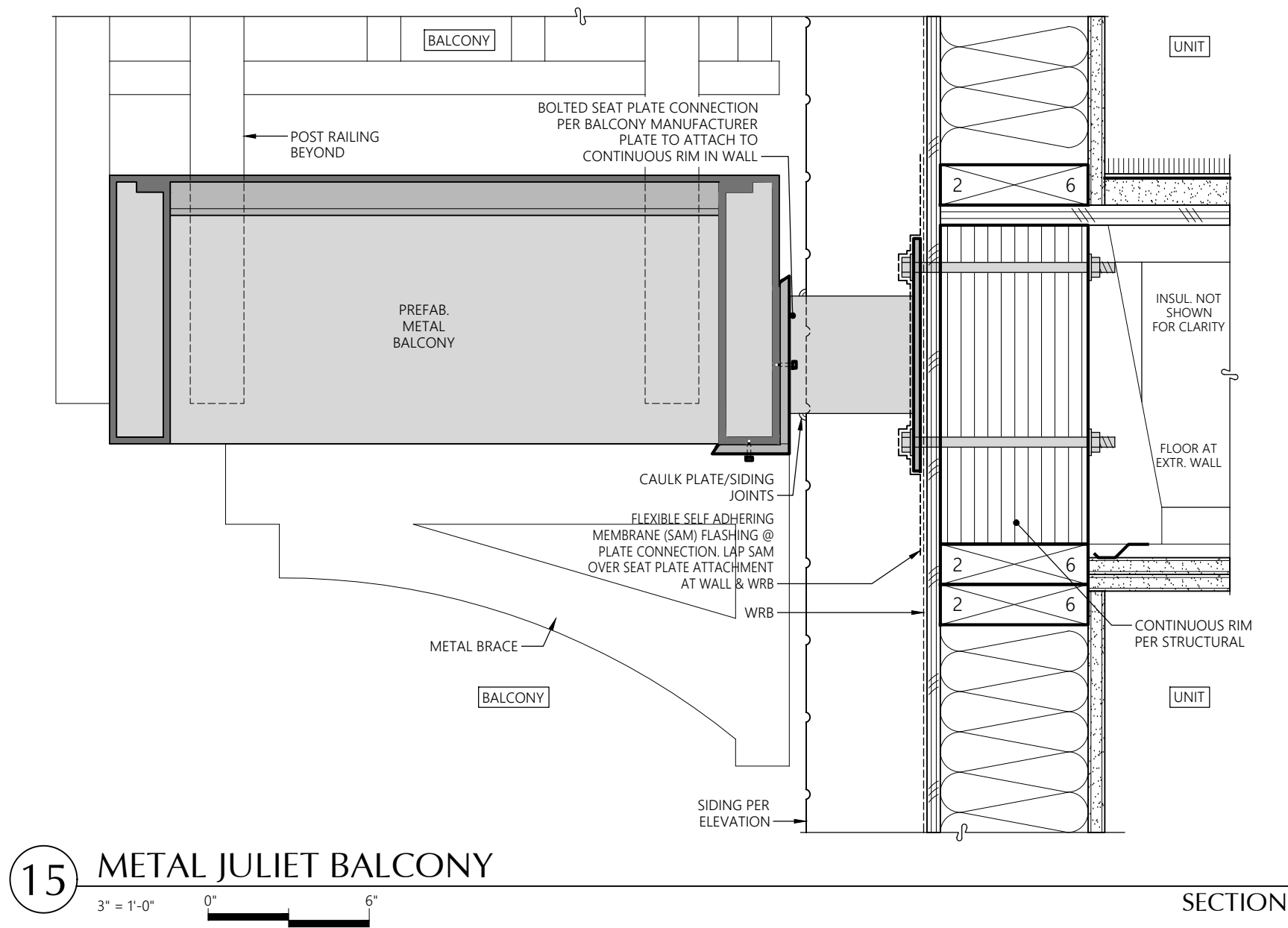






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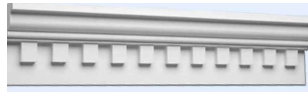


1 ENERGY EFFICIENT ALUMINUM CLAD WOOD WINDOWS

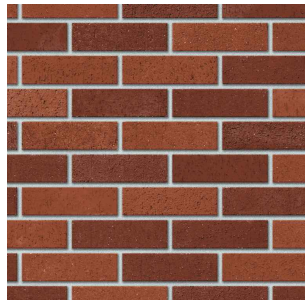


Exterior Color - dark bronze or black

2 PREFABRICATED FRP OR PVC CORNICE MOLDING



3 BRICK VENEER



(1) Inca Mission

(2) Imperial Red Mission

Manufacturer - Mutual Materials  
4" Nominal Depth Face Brick  
Brick Color - Custom blend of  
(1) Inca Mission;  
(2) Imperial Red Mission  
Grout Color - Light grey

4 PRECAST CONCRETE OR MASONRY WINDOW SILL



5 PREFABRICATED METAL JULIET BALCONY



Color - Dark Bronze or Black

6 STONE CAP



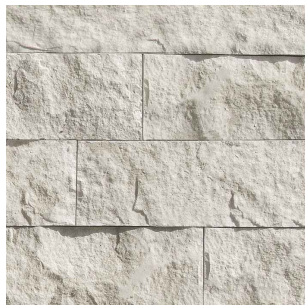
Manufacturer - Cordova Stone  
Color - Alabaster  
Texture - Smooth

7 SIMULATED CAST STONE VENEER



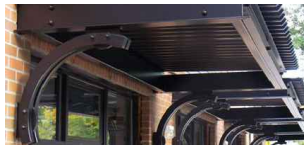
Manufacturer - Cordova Stone  
4" Nominal Depth  
Color: Alabaster  
Texture: Ground Face

8 SIMULATED CAST STONE VENEER



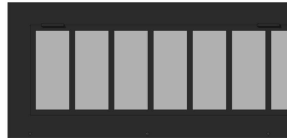
Manufacturer - Cordova Stone  
4" Nominal Depth  
Color - Limestone  
Texture - Rock Face

9 PREFABRICATED METAL CANOPY



Color - Dark Bronze or Black

10 PREFABRICATED DECORATIVE METAL GRILL



Color - Dark Bronze or Black

11 BRASS PROJECT IDENTIFICATION SIGN



12 WAVE TEXTURE WALL TILE



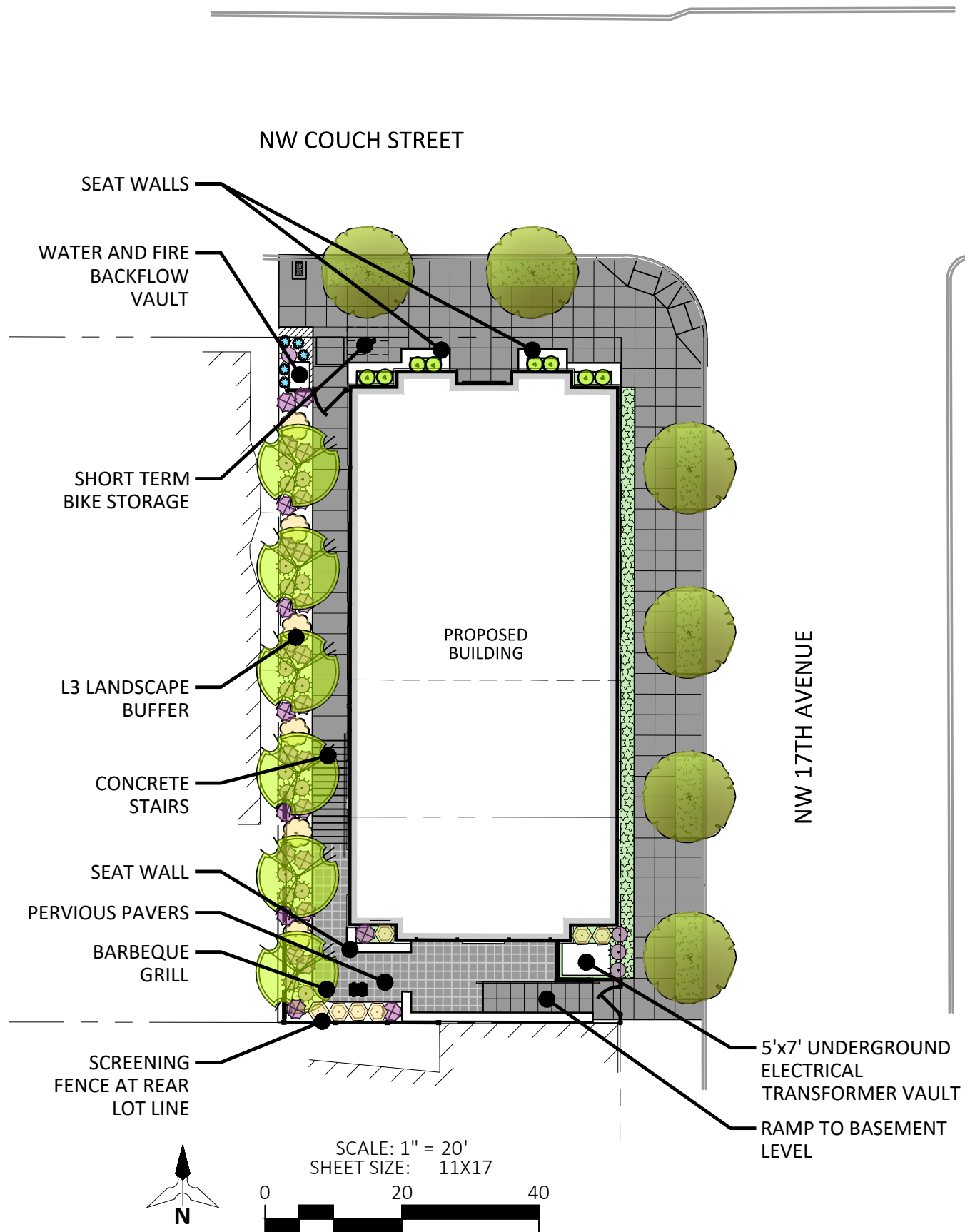
Manufacturer - Realstone Systems, Alesio 3D Collection  
Color - Smoky Beige



Facade Facing NW Couch St.

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1. CREEPING OREGON GRAPE



2. HEAVENLY BAMBOO



3. BUMALD SPIREA



4. CINNAMON LEAF VIBURNUM



5. EUROPEAN HORNBEAM



6. AMERICAN YELLOWWOOD



7. OAK LEAF HYDRANGEA



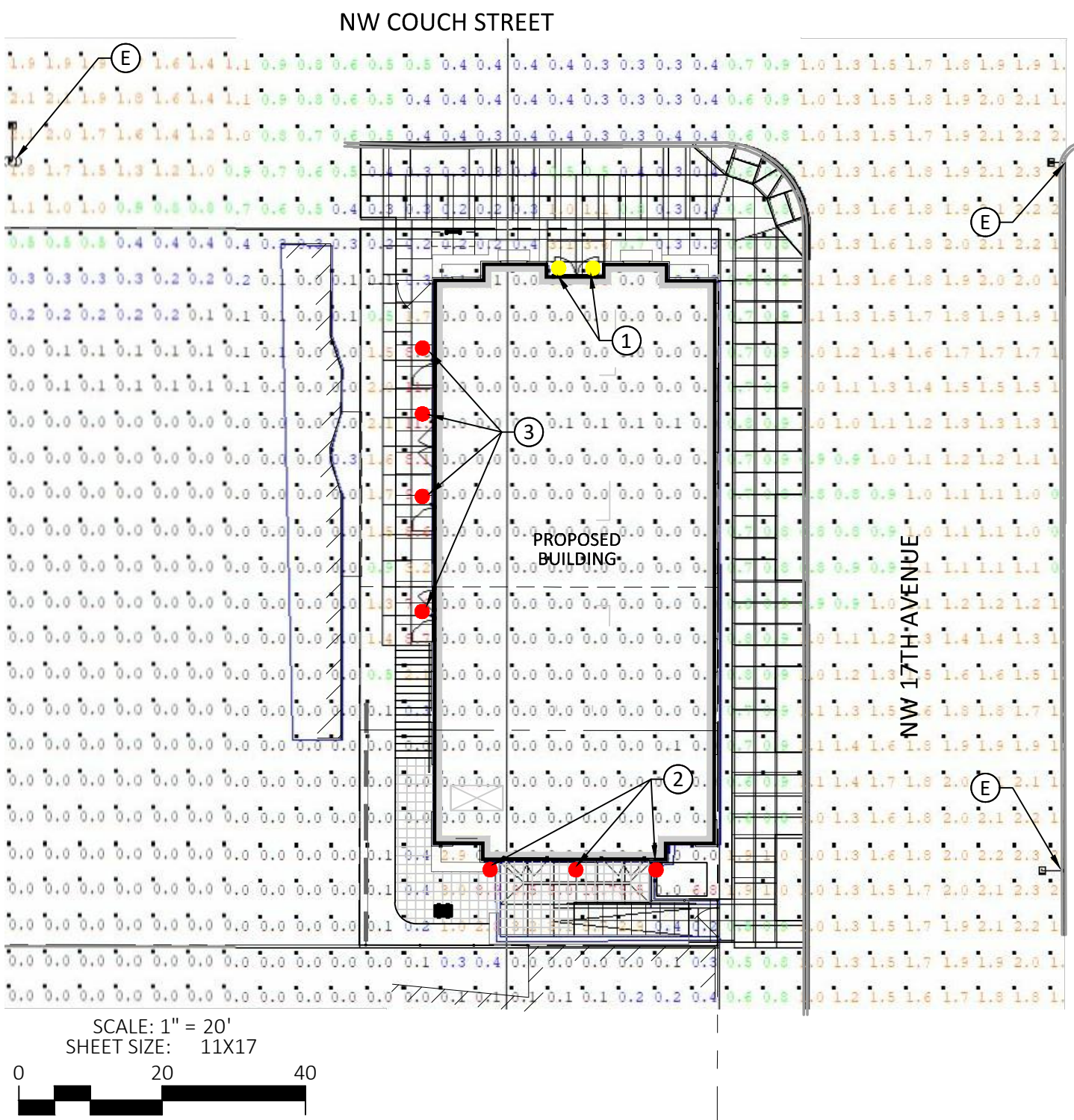
8. BLUE OAT GRASS

PLANT SCHEDULE	
GROUND COVER	LATIN NAME/ Common Name
	FINE LAWN
1	MEHONIA REPENS Creeping Oregon Grape
	FRAGARIA CHILOENSIS Beach or Coastal Strawberry
TREES	LATIN NAME/ Common Name
5	EUROPEAN HORNBEAM Carpinus betulus 'Franz Fontaine'
6	AMERICAN YELLOWWOOD Cladrastis kentukea

PLANT SCHEDULE	
SHRUBS	LATIN NAME/ Common Name
2	NANDINA DOMESTICA 'MOYERS RED' Heavenly Bamboo
3	SPIRAEA X BUMALDA CVS Bumald Spirea
4	VIBURNUM CINNAMOMIFOLIUM Cinnamon Leaf Viburnum
	VIBURNUM DAVIDII David Viburnum
7	OAK LEAF HYDRANGEA Helicotrachon sumpervirens
8	BLUE OAT GRASS Helicotrachon sumpervirens
	VARIEGATED WINTER DAPHNE Daphne Adora 'Aureo-Marginata'

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LUMINAIRE TABLE						
LUMINAIRE	STYLE	WATT	TYPE	DISTRIB-UTION	MOUNTING HEIGHT**	ARM LENGTH
EXISTING*	COBRAHEAD	73	LED	TYPE II	30'	5'
1	CEILING-MOUNTED	10.9	LED	TYPE V	9'	-
2	WALL-MOUNTED	19.8	LED	TYPE V	9'	-
3	WALL-MOUNTED	19.8	LED	TYPE V	7.75'	-
LUMINAIRE	MANUFACTURER, PART NUMBER		BUG RATING			
1	RAB, C6R12935UNVW		-			
2	RAB, CDLED4WD-20W-80D950-Z		B1-U0-G0			
3	RAB, CDLED4WD-20W-80D950-Z		B1-U0-G0			

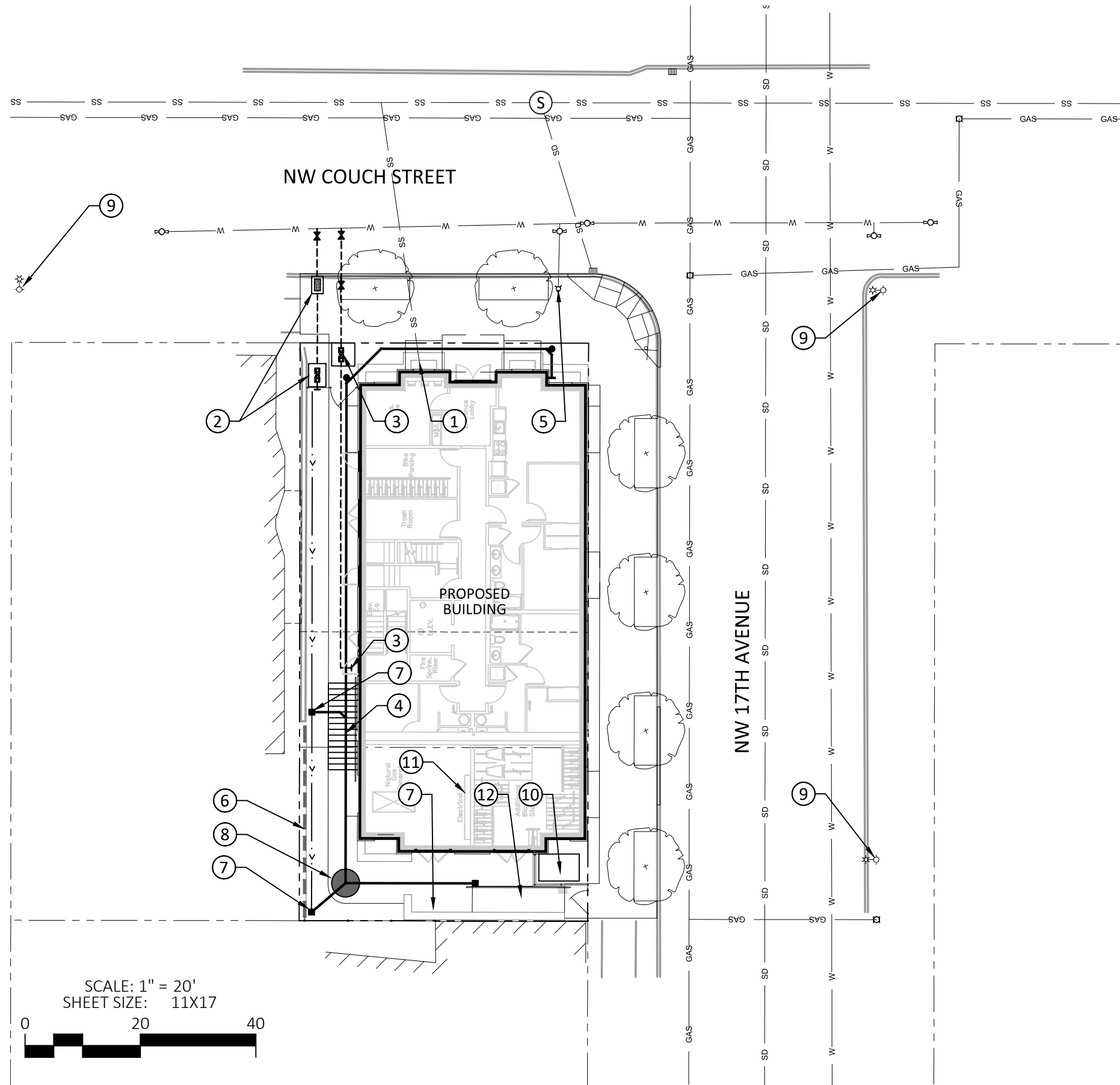
\*ESTIMATED WITH LEOTEK 73 WATT LED LAMP (GCM2-40H-MV-WW-2S-XX-575), PER PGE APPROVED LIST  
\*\* MOUNTING HEIGHTS ARE ESTIMATED FOR EXISTING LIGHTS AND PRELIMINARY FOR PROPOSED LIGHTS.

LIGHTING TABLE			
LOCATION	MINIMUM MAINTAINED (FC)	MAXIMUM MAINTAINED (FC)	AVERAGE MAINTAINED (FC)
ONSITE	0.0	11.4	0.96
ROW	0.2	2.0	1.02
NEIGHBORING SITES WITHIN 15'	0.0	0.4	0.06

- LIGHTING LEGEND
- E EXISTING COBRAHEAD LUMINAIRE MOUNTED ON WOODEN UTILITY POLE
  - 1 PROPOSED WALL-MOUNTED LUMINAIRE, SEE LUMINAIRE TABLE
  - 2 PROPOSED WALL-MOUNTED LUMINAIRE, SEE LUMINAIRE TABLE
  - 3 PROPOSED WALL-MOUNTED LUMINAIRE, SEE LUMINAIRE TABLE

COLOR KEY	
FOOTCANDLES	COLOR
0.0-0.1	
0.2-0.4	
0.5-0.9	
1.1-4.9	
5.0-20.0	





## UTILITY NOTES

- ① CONNECT TO EXISTING SANITARY LATERAL
- ② 2" WATER SERVICE AND BACKFLOW
- ③ FIRE SERVICE AND BACKFLOW
- ④ STORMWATER LATERAL FOR ROOF DRAINS
- ⑤ EXISTING FIRE HYDRANT
- ⑥ PROPOSED RETAINING WALL
- ⑦ TRAPPED CATCH BASIN
- ⑧ STORMWATER DRYWELL
- ⑨ EXISTING STREET LIGHT ON WOODEN POLE
- ⑩ 5'x7' UNDERGROUND ELECTRICAL TRANSFORMER VAULT
- ⑪ GAS AND ELECTRICAL METERS LOCATED IN BASEMENT MECHANICAL ROOM
- ⑫ SIDEWALK RAMP

## UTILITY CONTACT LIST

PORTLAND WATER BUREAU  
 JOEL HILL  
 JOEL.HILL@PORTLANDOREGON.GOV

PORTLAND GENERAL ELECTRIC  
 BRYAN HANGARTNER  
 BRYAN.HANGARTNER@PGN.COM

NORTHWEST NATURAL GAS  
 JASON HAGGART  
 JASON.HAGGART@NWNATUAL.COM

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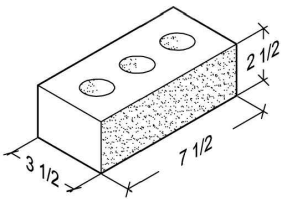
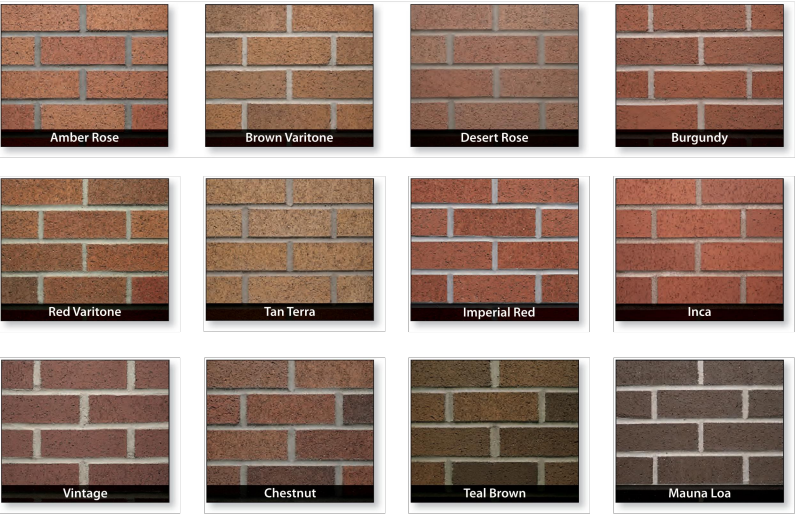




HEET



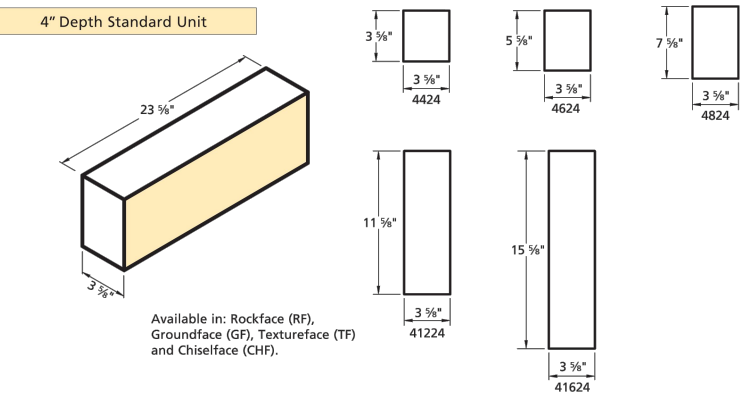
Face Brick - Mutual Materials



Cordova Stone

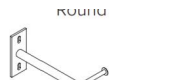
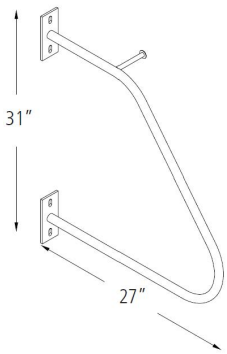


standard units





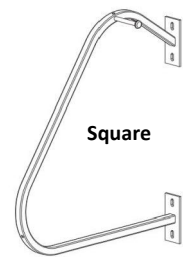
# Ultra Space Saver Single



Round



Square



**Height Requirement:** 87"

**Product** Ultra Space Saver Single

**Capacity** 1 Bike

**Materials**

Body is 1" OD 11 gauge tube (square or round available) with 1/2" steel round bar. Mounting flanges are 1/4" plate.

**Finishes**

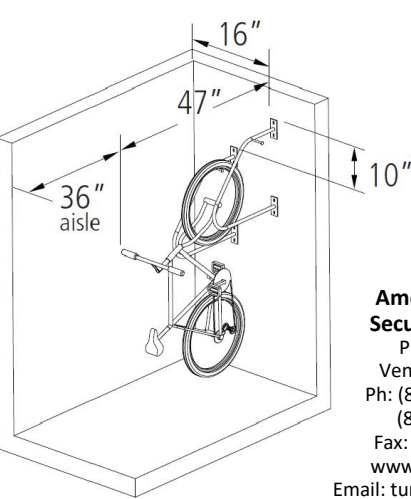
Black powder coat loop with rubber coated hanger ar m.

**Installation Methods**

Wall mount has two 2.5" x 6" foot plates set 25" apart (Centerline to centerline) with 4 fasteners. Can be set into concrete block, solid concrete, bricks, wood studs and other base materials.

**Space Use & Setbacks**

Racks should be placed minimum 16" apart. When installing racks next to each other, their heights should be staggered by 10". See diagram for approximate space use when loaded and recommended setbacks.



**American Bicycle Security Company**

P.O. Box 7359

Ventura, CA 93006

Ph: (800) 245-3723 or

(805) 933-3688

Fax: (805) 933-1865

www.ameribike.com

Email: turtle@ameribike.com

**Surface Mount Installation**

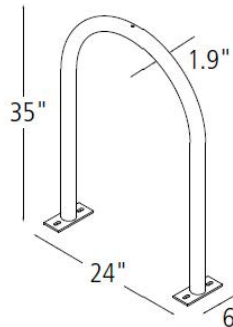
**Recommended Base Materials:** Solid concrete is the best base material. Brick, block, and wood stud walls may be acceptable. Metal stud walls are not an acceptable material for installation. Before installing make sure nothing is behind the wall that could be damaged by drilling and that the base material is strong enough to support a fully loaded rack. Tell your ABS Co. representative what kind of base material you are installing the Wall Rack into so the proper anchors can be shipped with the rack.

**Installation:** 3/8" anchors are shipped with the rack. Place the rack in the desired location. Use a marker or pencil to outline the holes of the flange onto the base material. Drill the holes in accordance with the specifications shipped with the anchors. Make sure the holes are at least 3" away from any cracks in the base material.

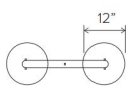
PRODUCT SHOWN IS RECOMMENDED FOR ITS GENERAL DESIGN AND PERFORMANCE.  
OTHER PRODUCTS, OF SIMILAR DESIGN AND QUALITY, MAY BE USED

TYPICAL VERTICAL BIKE RACK

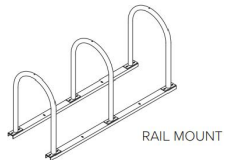
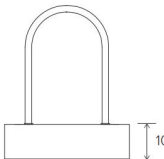
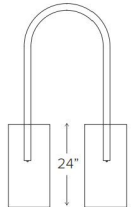
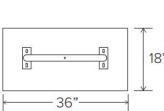
# Hoop Rack



IN-GROUND MOUNT



SURFACE MOUNT



RAIL MOUNT

**Product** Hoop Rack

**Capacity** 2 Bikes

**Materials**

1.5" Schedule 40 pipe (1.9" OD)

**Finishes**

Standard options are galvanized or powder coated\*. Also available in Black Rubber Dip or stainless steel upon request.

\*See web site for available powder coat colors.

**Installation Methods**

In-ground mount is embedded into concrete base. Specify in-ground mount for this option.

Foot-mount has two 2.5"x6"x.25" feet with two anchors per foot. Specify foot-mount for this option.

Rail-mount are bolted to two parallel rails which can be left freestanding or anchored to the ground. Rails are heavy duty 3"x1.4"x3/16" thick galvanized mounting rails. Specify rail-mount for this option.

**Space Use & Setbacks**

**For racks set parallel to a wall:**

Minimum: 24"

Recommended: 36"

**For racks set perpendicular to a wall:**

Minimum: 28"

Recommended: 42"

**Distance Between Racks:**

Minimum: 24"

Recommended: 36"

**Street Setbacks:**

Minimum: 24"

Recommended: 36"

**Surface Mount Installation**

**Recommended Base materials:** Solid concrete is the best base material for installation. To ensure the proper anchors are shipped with your rack, ask your American Bicycle representative which anchor is appropriate for your application. Be sure nothing is underneath the base material that could be damaged by drilling.

**Installation:** 3/8" anchors are shipped with the rack. Place the rack in the desired location. Use a marker or pencil to outline the holes of the flange onto the base material. Drill the holes in accordance with the specifications shipped with the anchors. Make sure the holes are at least 3" away from any cracks in the base material. Use washers to level rack if necessary. Tap in anchors and follow your specific anchor instructions provided with the rack.

PRODUCT SHOWN IS RECOMMENDED FOR ITS GENERAL DESIGN AND PERFORMANCE.  
OTHER PRODUCTS, OF SIMILAR DESIGN AND QUALITY, MAY BE USED

TYP. HORIZONTAL BIKE RACK FOR BOTH  
SHORT-TERM & LONG-TERM BIKE PARKING

**American Bicycle Security Company**

P.O. Box 7359

Ventura, CA 93006

Ph: (800) 245-3723 or

(805) 933-3688

Fax: (805) 933-1865

www.ameribike.com

Email: turtle@ameribike.com

FILE NUMBER 21-113836









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The Embassy Condos  
(NW Flanders St & NW 20th Ave)  
Historic Resource Inventory: Rank II



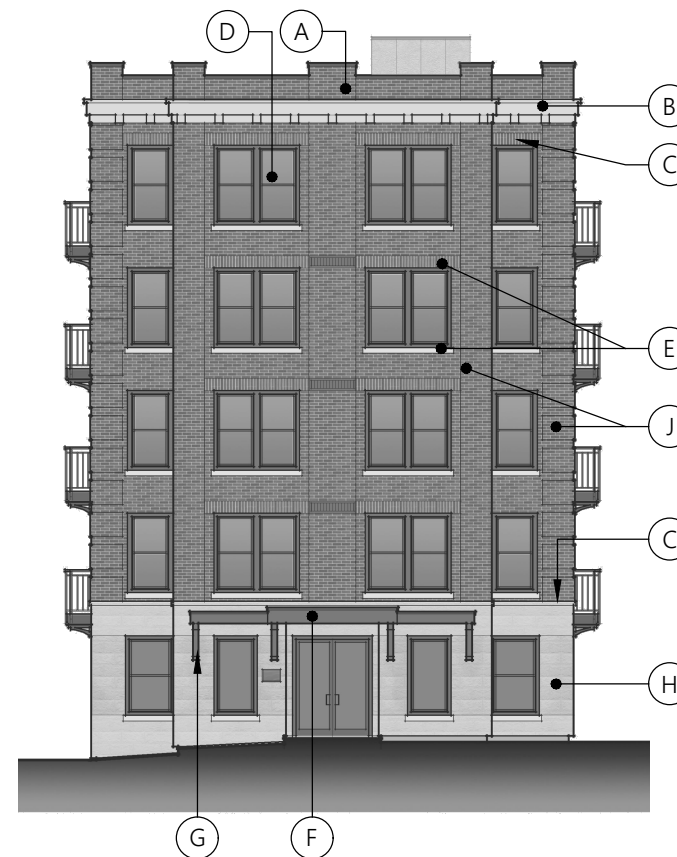
Chesterbury Apartments  
(NW Kearney St & NW 20th Ave)  
Historic Resource Inventory: Rank III



St. Mary's Cathedral at NW Davis St & NW 17th Ave  
Historic Resource Inventory: Rank II



Facade Facing NW Couch St.



Facade Facing NW 17th Ave

### Architectural Detail Keynotes

- (A) Parapet articulation through use of merlons, battlements or detailing
- (B) Cornice and/or frieze with classic detailing
- (C) Brick or masonry accent course or banding
- (D) Vertical sliding windows, spaced evenly or for symmetry
- (E) Masonry window header and precast masonry window sills
- (F) Canopy/covering at recessed entry
- (G) Decorative bracing at roof/canopy
- (H) Cast stone or concrete material at base of building
- (I) Juliet or shallow balcony
- (J) Traditional Brick Detailing





Trinity Place Apartments (NW Trinity Pl)  
National Registry Landmark    Local Landmark  
Historic Resource Inventory: Rank II



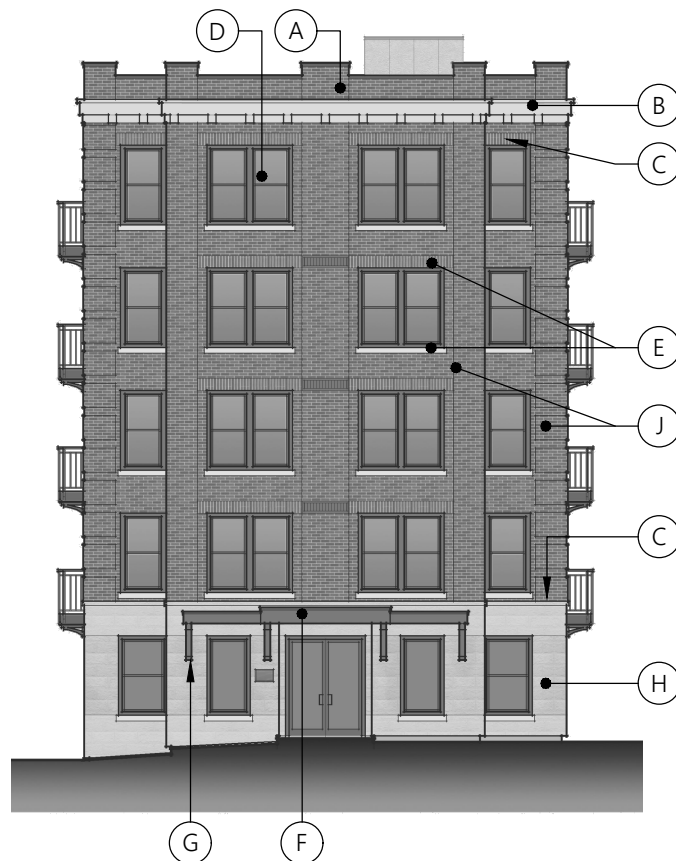
The Belle Court (NW Trinity Pl)  
National Registry Landmark    Local Landmark  
Historic Resource Inventory: Rank II

## Architectural Detail Keynotes

- (A) Parapet articulation through use of merlons, battlements or detailing
- (B) Cornice and/or frieze with classic detailing
- (C) Brick or masonry accent course or banding
- (D) Vertical sliding windows, spaced evenly or for symmetry
- (E) Masonry window header and precast masonry window sills
- (F) Canopy/covering at recessed entry
- (G) Decorative bracing at roof/canopy
- (H) Cast stone or concrete material at base of building
- (I) Juliet or shallow balcony
- (J) Traditional Brick Detailing



**Facade Facing NW Couch St.**

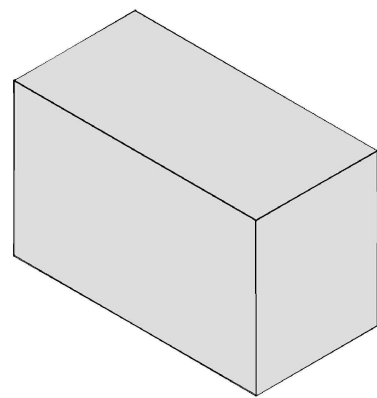


**Facade Facing NW 17th Ave**

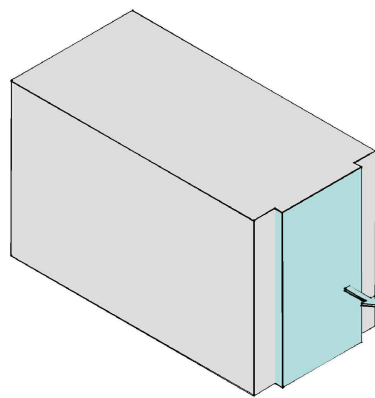


Tudor Arms (NW Couch St & NW 18th Ave)  
National Registry Landmark    Local Landmark  
Historic Resource Inventory: Rank II

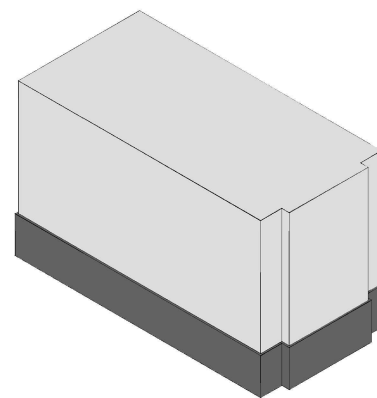




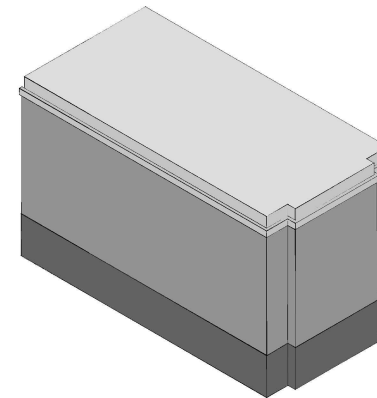
SIMPLE BOX FORM  
REMINISCENT OF EARLY HISTORICAL EXAMPLES



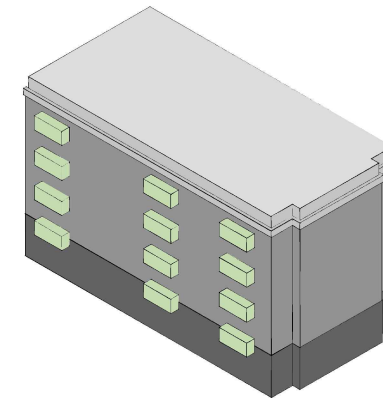
ESTABLISH MAIN BUILDING ENTRANCE  
PUSH CENTRAL BAY OF FRONT  
FACADE TOWARD HISTORICAL  
ALPHABET DISTRICT NEIGHBORHOOD.  
ACTIVATE AND ENGAGE CORNERS.



ESTABLISH BASE  
PROVIDE "HEAVY" MATERIAL AT BASE  
TO REINFORCE PEDESTRIAN SCALE



DEFINE VERTICAL HIERARCHY  
BUILD ON BASE WITH HISTORICALLY  
PREVALENT BRICK, AND ADD CORNICE &  
PARAPET FORMS TO DEFINE TOP,  
IN ORDER TO REFLECT SOME OF THE MOST  
PRESENT BUILDING MATERIALS AND FORMS



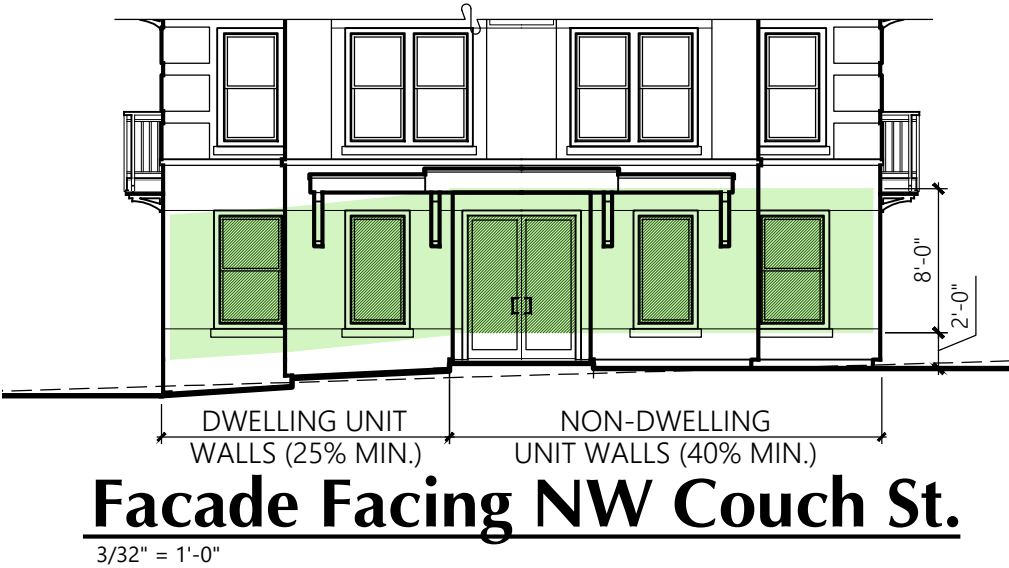
ACTIVELY ENGAGE BUILDING WITH PUBLIC WAY  
ADD JULIET BALCONIES TO PROVIDE INTEREST  
AND MODULATION ALONG NW 17th AVE,  
REACTING TO MORE ACTIVE CENTRAL CITY  
AREA AND WEST BURNSIDE ST.



Ground Floor Window Calculation

Portland Zoning Code 33.130.230 B.2.a(2)

	DWELLING UNIT WALLS	NON-DWELLING UNIT WALLS
Ground Level Wall Area:	124 SF	188 SF
Required Window Area:	31 SF	77.2 SF
Actual Window Area:	39 SF <b>31.5%</b>	78 SF <b>41.5%</b>



Ground Floor Window Calculation

Portland Zoning Code 33.130.230 B.2.a(2)

Ground Level Wall Area:	644 SF
Required Window Area:	161 SF
Actual Window Area:	166 SF <b>25%</b>



The ground floor wall area of street facing facades of dwelling units that are 20' or closer to a street lot line must meet one of three options of compliance. We are proposing to meet the requirement for 33.130.230 B4c as well as meeting the 25% window area requirement.

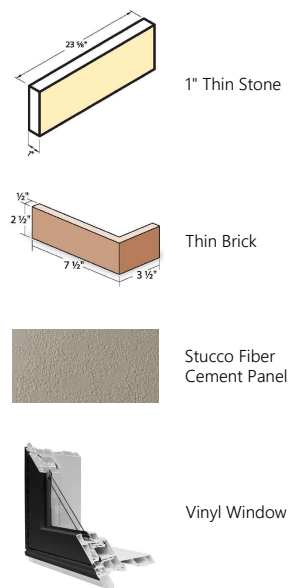
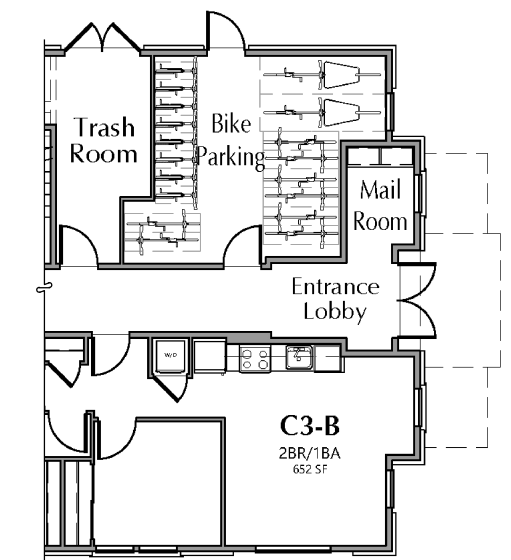


INITIAL DESIGN



NW 17th Avenue Elevation

NW Couch Street Elevation



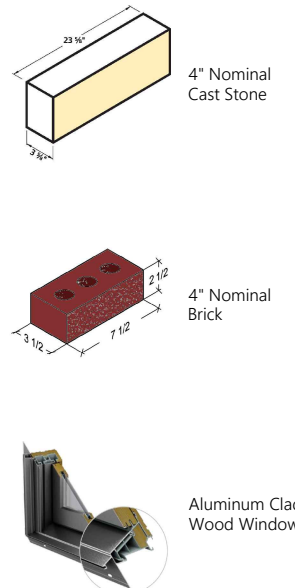
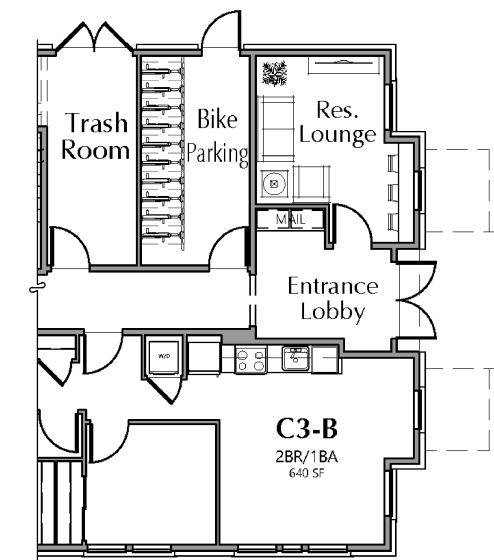
Partial Ground Level Plan

DESIGN - ROUND 2



NW 17th Avenue Elevation

NW Couch Street Elevation



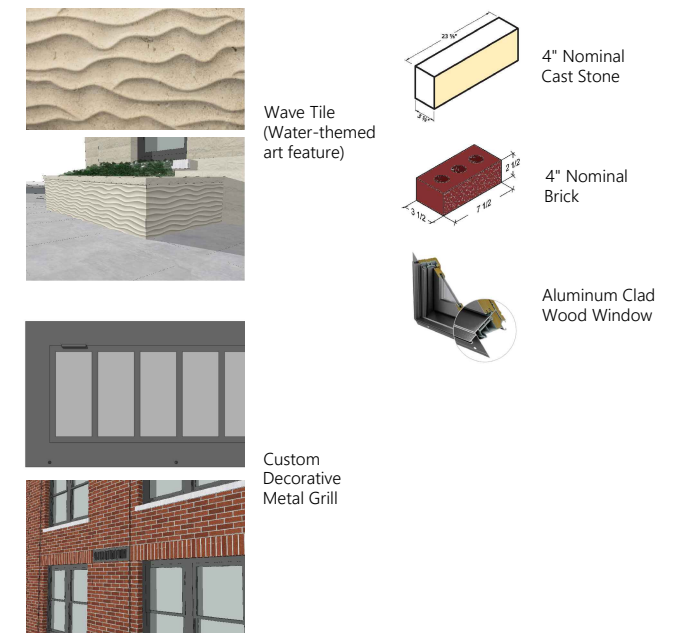
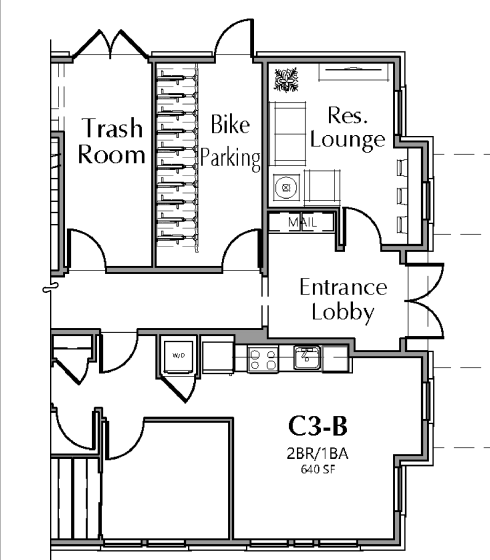
Partial Ground Level Plan

CURRENT DESIGN



NW 17th Avenue Elevation

NW Couch Street Elevation



Partial Ground Level Plan



INITIAL DESIGN

**CHANGES MADE:**

- 4" nominal cast stone
- 4" nominal brick veneer
- Brick color changed to red blend
- Aluminum clad wood windows
- Continuous cornice
- Eliminated fiber cement siding; stone at ground floor/basement; brick at upper floors
- Added additional brick detailing
- Added planters with seat walls at building entrance
- At balconies, replaced sliding glass doors with french doors and sidelights and transoms
- Added decorative braces at balconies
- Increased window sizes and number of windows at the ground floor
- Ground floor plan:
  - Enlarged entrance lobby
  - Added resident lounge
  - Reduced bike parking room size (relocated bike parking spaces to the basement)



DESIGN - ROUND 2

**CHANGES MADE:**

- Added additional brick detailing on NW Couch St. elevation
- Added custom decorative metal grills to better integrate mechanical vent terminations into facade
- Shifted windows on the NW Couch St. elevation to improve overall facade composition
- Added wave tile to planter walls to create water-themed art feature



CURRENT DESIGN

FILE NUMBER 21-113836