

# Development Services

## From Concept to Construction

Phone: 503-823-7300 Email: [bds@portlandoregon.gov](mailto:bds@portlandoregon.gov) 1900 SW 4th Ave, Portland, OR 97201

More Contact Info (<http://www.portlandoregon.gov/bds/article/519984>)



### APPEAL SUMMARY

**Status:** Decision Rendered

<b>Appeal ID:</b> 15943	<b>Project Address:</b> 5615 NE 15th Ave
<b>Hearing Date:</b> 10/11/17	<b>Appellant Name:</b> Jeff Whitaker
<b>Case No.:</b> B-007	<b>Appellant Phone:</b> 503-806-0306
<b>Appeal Type:</b> Building	<b>Plans Examiner/Inspector:</b> David Bartley
<b>Project Type:</b> residential	<b>Stories:</b> 1 <b>Occupancy:</b> R-3 <b>Construction Type:</b> V-B
<b>Building/Business Name:</b>	<b>Fire Sprinklers:</b> No
<b>Appeal Involves:</b> occ Change from garage to ADU	<b>LUR or Permit Application No.:</b> 17-250458-RS
<b>Plan Submitted Option:</b> pdf [File 1]	<b>Proposed use:</b> ADU

### APPEAL INFORMATION SHEET

#### Appeal item 1

<b>Code Section</b>	R302.1
<b>Requires</b>	Not given
<b>Proposed Design</b>	I want to put 2 layers of 5/8" sheetrock on the interior rather than putting a layer of each side of framing. I will use fire rated material in accordance with ASTM E 199 or UL 263. There are no openings on this wall.
<b>Reason for alternative</b>	I want to leave the original siding undisturbed. This will maintain continuity with the rest of the garage and house. This will also minimize the impact of this project on my neighbors. The reason this needs to be a fire rated wall is because it is less than 5' from the property line. However, because of the arrangement of structures on the adjacent properties, no structure is within 10' of this wall.

### APPEAL DECISION

**Alternate one hour exterior wall assembly: Granted as proposed with 2 layer of 5/8" type X gypsum board on interior side of wall, with either double blocking or two layers of gypsum board installed between top plate and underside of roof sheathing.**

The Administrative Appeal Board finds that the information submitted by the appellant demonstrates that the approved modifications or alternate methods are consistent with the intent of the code; do not lessen health, safety, accessibility, life, fire safety or structural requirements; and that special conditions unique to this project make strict application of those code sections impractical.

Pursuant to City Code Chapter 24.10, you may appeal this decision to the Building Code Board of Appeal within 180 calendar days of the date this decision is published. For information on the appeals process and costs, including forms, appeal fee, payment methods and fee waivers, go to [www.portlandoregon.gov/bds/appealsinfo](http://www.portlandoregon.gov/bds/appealsinfo), call (503) 823-7300 or come in to the Development Services Center.

1 HR. RATED CONSTRUCTION  
WITHIN 5'-0" OF PROPERTY LINE

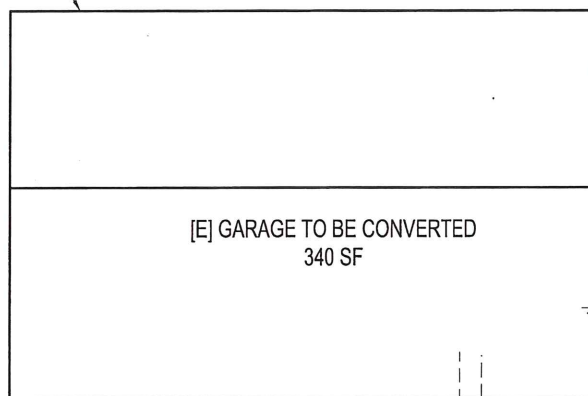
WORK IN  
PUBLIC RIGHT - OF - WAY IS  
NOT APPROVED AS PART OF  
THIS BUILDING PERMIT

APPLICANT / PERMITTEE IS RESPONSIBLE  
FOR PROPER REPAIR OR REPLACEMENT OF  
ANY PORTION OF THE RIGHT - OF - WAY  
DAMAGED OR IN ANY MANNER ALTERED  
FROM ITS ORIGINAL CONDITION

ZONING INFORMATION	
ZONE =	R2.5
LOT AREA =	5,000 SF
[E] BUILDING COVERAGE =	1,375 SF
TOTAL =	1,375 SF (NO CHANGE)

100'-0"

50'-0"



ductless mini split  
heat pump condenser

14'-10"

[E] DECK

[E] DRIVEWAY

[E] HOUSE  
1,035 SF

SIDEWALK

PROVIDE UNDERGROUND ELECTRICAL SERVICE FROM HOUSE

PROVIDE UNDERGROUND PLUMBING SERVICE FROM HOUSE

PROPERTY LINE

electrical  
sub panel  
shutoff

City of Portland  
Bureau of  
Development Services  
By *D. Brickett* Date *10/3/17*  
Approved by  
Planning and Zoning Review

~~City of Portland  
Bureau of  
Development Services  
By *Hurst* Date *10/3/17*  
Approved by  
Planning and Zoning Review~~

17.250/58-RS  
NE 80TH AVE.

DATE:  
9-25-2017

## GARAGE CONVERSION

OWNER:  
Jeff Whitaker and Devon Rile

PROPERTY:  
5615 ne 15th Ave.  
PORTLAND, OR 97211  
Property ID- R229098

DRAWINGS:  
Reid Leslie

415.407.4331  
rleslie7@gmail.com

1

SITE PLAN  
1" = 10'

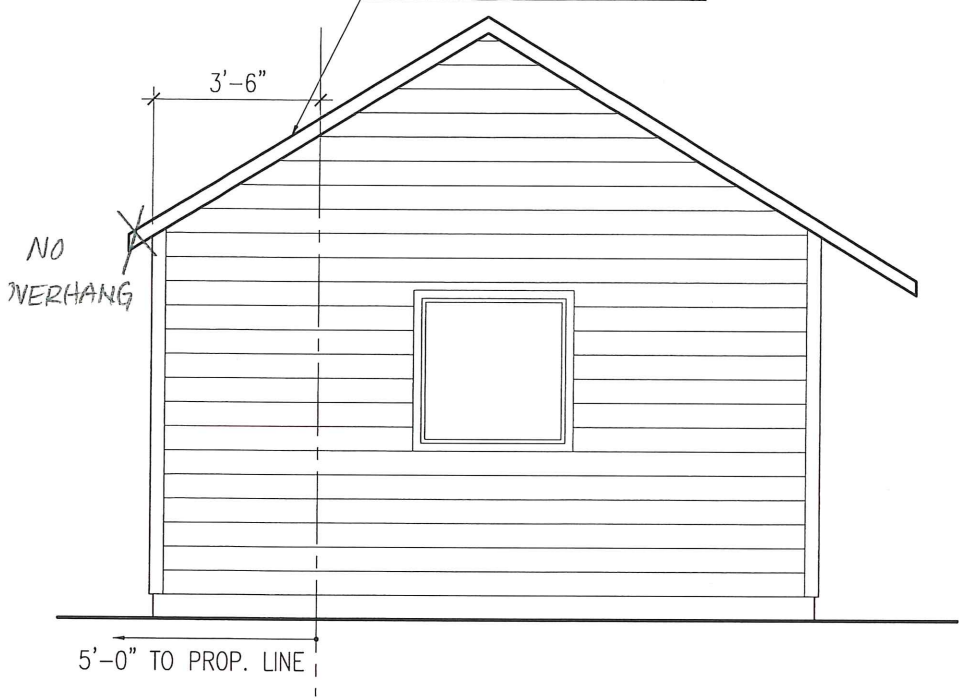


A0





1 HR. FIREWALL CONSTRUCTION:  
[E] ASPHALT SHINGLES  
[E] SHEATHING  
MIN. R-30 INSULATION  
2 LAYERS 5/8" TYPE X GYP  
FIREBLOCK AT UPPER EDGE



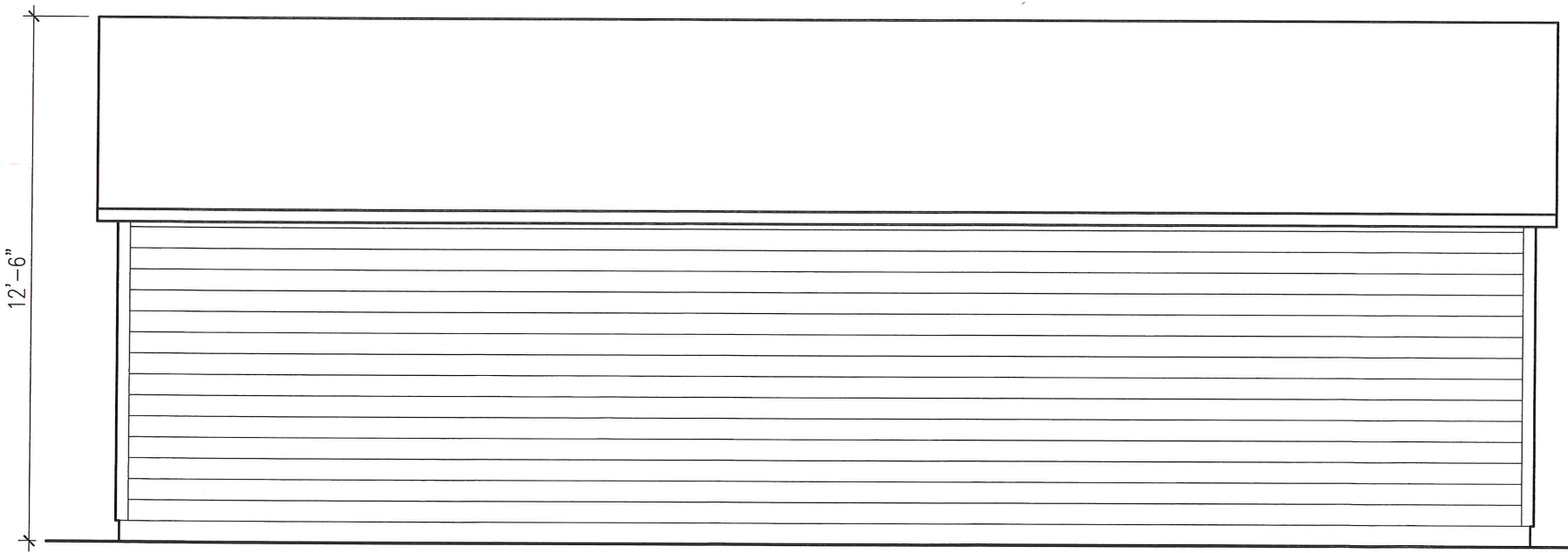
1 WEST ELEVATION  
1/4" = 1'- 0"



2 SOUTH ELEVATION  
1/4" = 1'- 0"

City of Portland  
Bureau of  
Development Services  
By *D. Strick* Date *10/3/17*  
Approved by  
Planning and Zoning Review

City of Portland  
Bureau of  
Development Services  
*Devon Riley* *10/3/17*  
Approved by  
Planning and Zoning Review



3 NORTH ELEVATION  
1/4" = 1'- 0"



4 EAST ELEVATION  
1/4" = 1'- 0"

DATE:  
9-25-2017

**GARAGE  
CONVERSION**

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reslie7@gmail.com