

Development Services

From Concept to Construction

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APPEAL SUMMARY

Status: Decision Rendered

Appeal ID: 15942	Project Address: 2133 N Argyle St
Hearing Date: 10/11/17	Appellant Name: Diana Moosman
Case No.: B-006	Appellant Phone: 5034168126
Appeal Type: Building	Plans Examiner/Inspector: Brian McCall
Project Type: commercial	Stories: 4 Occupancy: R-2 Construction Type: V-B
Building/Business Name: Argyle Housing	Fire Sprinklers: Yes - Fully sprinklered
Appeal Involves: Erection of a new structure	LUR or Permit Application No.: 16-282318-EA
Plan Submitted Option: pdf [File 1] [File 2]	Proposed use: R2 Residential Mixed Use

APPEAL INFORMATION SHEET

Appeal item 1

Code Section 1018.4.2

Requires In group R occupancy where the building is fully equipped with an NFPA automatic sprinkler system the length of dead end corridors may not exceed 50'.

Proposed Design We have two conditions where we exceed the 50' length of a dead end corridor.

At the west wing of the building at grids D1 we have a dead end corridor that is 60' long. The unit entry door is 47' feet from the stair door. We have extended the length of the corridor beyond the unit entry door to daylight the corridor with a window at the end.

At the east wing of the building near grids C8 we have a dead end corridor that is 57'-6" long.

Reason for alternative West condition: This window provides daylight into the corridor and helps occupants orient themselves to the outside as they move throughout this end of the building. It is evident that the path of travel from the residential units is towards the exit stair. As the point of exit from the residential unit is within the 50'-0" maximum this meets the intent of the code.

East condition: At this location there is a single loaded corridor that leads to four residential units. Two of these residential units exit into the corridor just beyond the 50'-0" maximum, one is at 54'-0" and one is at 57'-6". The end point of the corridor ends at the entry door for the residential unit which is at 57'-6". Because the corridor ends at a residential unit door it is evident that the path of travel is towards the exit stair. In order to enhance the safety of this condition we are proposing to make the wall separating the corridor from the residential units a 1 hour assembly instead of a ½ hour assembly as well as providing a 45 minute rated door at these two locations instead of a typical 20 minute rated door.

APPEAL DECISION

Dead end corridors over 50 feet in length: Denied. Proposal does not provide equivalent Life Safety protection.

Appellant may contact John Butler (503-823-7339) with questions.

Pursuant to City Code Chapter 24.10, you may appeal this decision to the Building Code Board of Appeal within 180 calendar days of the date this decision is published. For information on the appeals process and costs, including forms, appeal fee, payment methods and fee waivers, go to www.portlandoregon.gov/bds/appealsinfo, call (503) 823-7300 or come in to the Development Services Center.



GROUND FLOOR PLAN
 1/32" = 1'-0"

ARGYLE HOUSING
 2133 N. ARGYLE STREET, PORTLAND, OR 97217







