

Development Services

From Concept to Construction

Phone: 503-823-7300 Email: bds@portlandoregon.gov 1900 SW 4th Ave, Portland, OR 97201

More Contact Info (<http://www.portlandoregon.gov/bds/article/519984>)



APPEAL SUMMARY

Status: Decision Rendered - Held over from ID 15702 (8/16/17) for additional information

Appeal ID: 15731	Project Address: 535 NW 11th Ave
Hearing Date: 8/23/17	Appellant Name: Tom Jaleski
Case No.: B-016	Appellant Phone: 9712385266
Appeal Type: Building	Plans Examiner/Inspector: Jerry Englehardt
Project Type: commercial	Stories: 14 Occupancy: R-2, S-2, M Construction Type: I-A
Building/Business Name:	Fire Sprinklers: Yes - throughout
Appeal Involves: Reconsideration of appeal	LUR or Permit Application No.:
Plan Submitted Option: pdf [File 1]	Proposed use: Residential, parking, retail

APPEAL INFORMATION SHEET

Appeal item 1

Code Section 1101.2.1

Requires	The application of Section 104.11 to this chapter shall be limited to the extent that alternate methods of construction, designs or technologies shall provide substantially equivalent or greater accessibility. Where approved by the building official, the provisions of Fair Housing Act Amendments of 1988 may be considered as an alternate method to the criteria outlined in ICCA117.1 as it relates to covered multifamily dwellings.
Proposed Design	The 11th and Hoyt project is R-2 occupancy of public areas and dwelling units with Type A and Type B dwelling units as required per OSSC 1107.6.2.1. The proposed design will meet the requirements of OSSC Chapter 11 and 2009 A117.1, except the design of the Type B dwelling units will meet the requirements of 1988 Fair Housing Act Design Manual for door maneuvering clearance on the interior side of the primary entrance door. Public areas will meet the design requirements of OSSC Chapter 11 and 2009 A117.1. Type A dwelling units will be provided as required per OSSC 1107.6.2.1.1, with the designs of the units meeting the requirements for Type A units per 2009 ICC A117.1 for Type A units. Type B units will be provided as required per ORS 447.220 to be usable by persons with disabilities as provided in the Fair Housing Act using the Fair Housing Act Design Manual guidelines.
Reason for alternative	The proposed design follows ORS 447.220 that states that covered multifamily dwellings shall be accessible to and usable by all persons with disabilities, as provided in the Fair Housing Act. The Fair Housing Act uses a design manual called the Fair Housing Act Design Manual that provides guidelines on Usable Kitchens, Bathrooms and Doors, as well as routes and spaces. The Fair Housing Act has acknowledged that the 2003 ICC A117.1 is a safe harbor document for compliance to the federal requirements of the Fair Housing Act. Both the Fair Housing Act Design

Manual and the 2003 A117.1 specifically exempt door maneuvering clearance requirements on the interior side of the primary entrance door into a Type B unit.

The use of Type B units meets the requirements of ORS 447.220 and federal FHA standards, therefore provides equivalent accessibility.

APPEAL DECISION

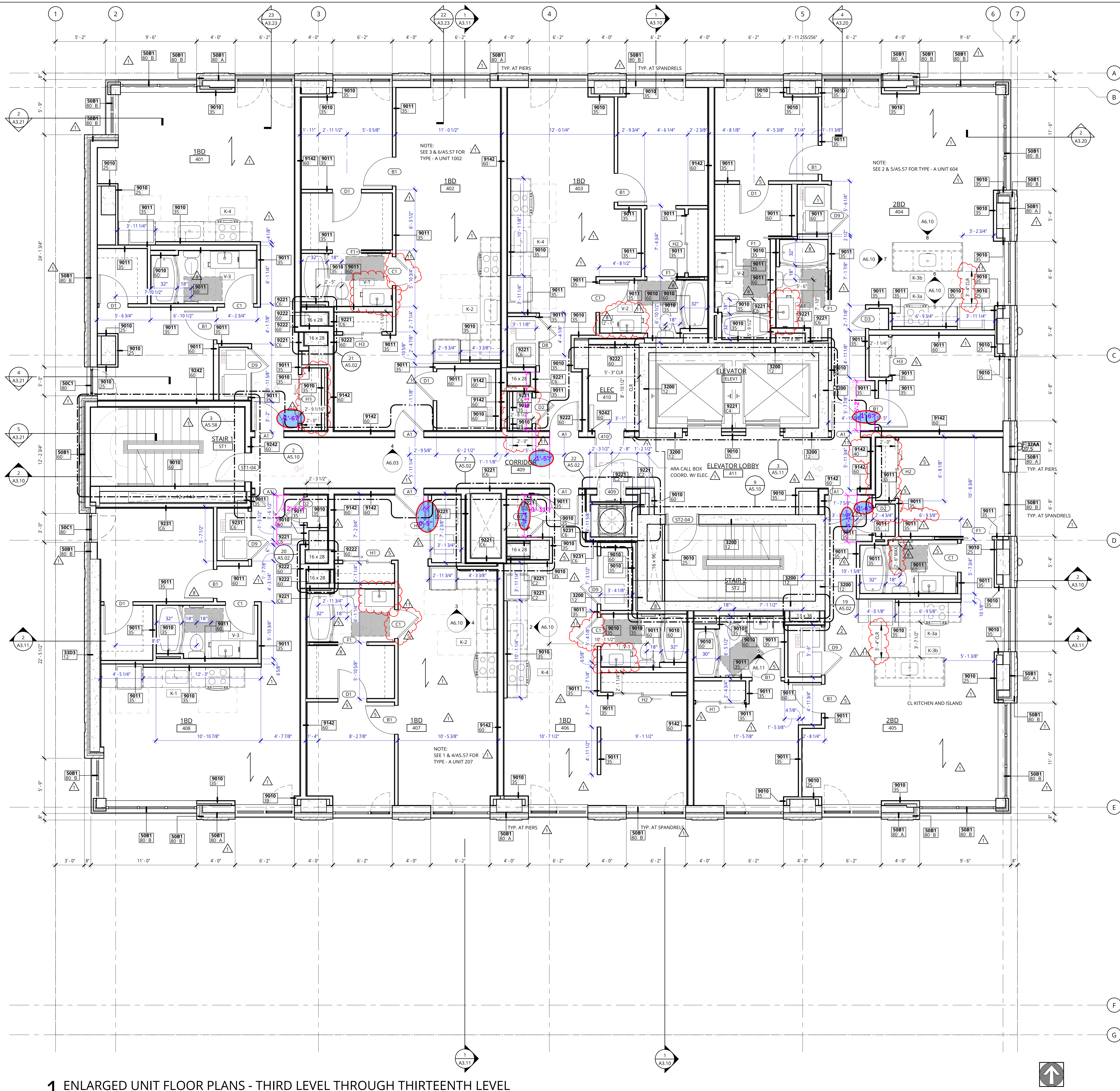
Type B residential units with maneuvering clearance on interior side of primary entrance door per 1988 Fair Housing Act Design Manual: Denied. Proposal does not provide equivalent accessability.

Appellant may contact John Butler (503-823-7339) with questions.

Pursuant to City Code Chapter 24.10, you may appeal this decision to the Building Code Board of Appeal within 180 calendar days of the date this decision is published. For information on the appeals process and costs, including forms, appeal fee, payment methods and fee waivers, go to www.portlandoregon.gov/bds/appealsinfo, call (503) 823-7300 or come in to the Development Services Center.

8/11/2017 11:42:44 AM

C:\Users\robertn\Documents\142520-15 NW 11th & Hoy Central.robertn.rvt



GENERAL NOTES ENLARGED PLAN

- LOCATE EXHAUST LOUVERS 3 FEET FROM ANY OPENING.
- ALL DOOR FRAMES ARE 4 INCHES FROM ADJACENT PERPENDICULAR WALLS U.O.N. SEE SHEET A4.01 DOOR AND FRAME SCHEDULE. REFER TO DOOR JAMB DETAILS FOR SETTING REQUIREMENTS.
- SEE ENLARGED ELEVATIONS AND WALL SECTIONS FOR ADDITIONAL EXTERIOR ENVELOPE DETAILS.
- SEE SHEET A2.00C FOR INTERIOR WALL TYPES AND A2.00d FOR TYPICAL WALL DETAILS, INCLUDING WALL INTERSECTIONS.
- SEE SHEET A5.00a, A5.00b, AND A5.00c FOR ACCESSIBILITY CLEARANCES.
- REFER TO THE PROJECT MANUAL FOR WALL FINISHES. REFER TO THE STRUCTURAL DRAWINGS FOR BEARING WALL LOCATIONS, WHICH ARE RATED PER THE LIFE SAFETY SHEETS.
- NOTE:** DIMENSION FROM CENTERLINE OF ALL TOILETS TO THE ADJACENT WALL SHOULD BE 18". REF SHEETS A5.00a, A5.00b & A5.00c.
- 'A' DESIGNATED UNITS ARE ANSI TYPE A ACCESSIBLE UNITS. ALL OTHER UNITS ARE ANSI TYPE B UNITS UNLESS OTHERWISE NOTED (UNO).
- EXTEND FLOORING AND FINISHES CONTINUOUSLY UNDER ALL REMOVABLE SINK BASE CABINETS IN UNIT KITCHENS AND BATHROOMS.
- SEE OVERALL FLOOR PLANS FOR DEMISING WALL ASSEMBLIES AND CORRIDOR RATED ASSEMBLIES.
- KITCHEN AND BATHROOM CASEWORK TYPES ARE NOTED ON ENLARGED UNIT PLANS. SEE SHEET A6.10 & A6.11 FOR ELEVATIONS.
- INTERIOR FLOORING TRANSITIONS TO COMPLY WITH ANSI 2009 SECTION 303. CHANGES IN LEVEL OF 1/4" MAXIMUM IN HEIGHT SHALL BE PERMITTED TO BE VERTICAL. CHANGES IN LEVEL GREATER THAN 1/4" IN HEIGHT AND NOT MORE THAN 1/2" MAXIMUM IN HEIGHT SHALL BE BEVELED WITH A SLOPE NOT STEEPER THAN 1:2.
- DIMENSIONS ARE TO GRIDLINE, FACE OF (FO) CONCRETE, FO MASONRY, FO FRAMING AT EXTERIOR WALLS, FACE OF STUD AT PARTITIONS, CL OF AIR SPACE IN DOUBLE STUD ASSEMBLIES AND CL OF DOORS AND WINDOW OPENINGS, UNO.
- REFERENCE SLAB PLANS FOR CONCRETE WALL LOCATIONS, UNO. COORDINATE WITH STRUCTURAL DRAWINGS.
- ALL RESIDENTIAL BATHROOMS TO RECEIVE ONE (1) EACH OF THE FOLLOWING:
 - SHOWER CURTAIN ROD
 - TOWEL BAR
 - TOILET PAPER HOLDER
 - TOWEL RING
 - ROBE HOOKFOR MOUNTING HEIGHTS REFER TO SHEET A5.00a AT 'TYPE A' UNITS AND REFER TO SHEET A5.00b AT 'TYPE B' UNITS.
- REFER TO SHEET A5.58 FOR PUBLIC SPACE CARPET AND TILE PLANS
- ALL CLOSETS TO BE MINIMUM 2'-0" INTERIOR CLEAR DEPTH

FLOOR PLAN LEGEND

- ADA CLEAR FLOOR AREA, SEE A5.00a
 - CMU WALL
 - CONCRETE WALL
 - BRICK VENEER
- NOTE:** REFER TO SHEET A5.58- ENLARGED FINISH PLANS- PUBLIC SPACES FOR FLOOR FINISH LAYOUT AT CORRIDORS, FIRST LEVEL LOBBY AND 15TH LEVEL VESTIBULE

NW ELEVENTH AND HOYT
535 NW 11th Ave
Portland, OR 97209

CARROLL INVESTMENTS LLC

REVISION	DATE	REASON FOR ISSUE
3	7/29/16	CCD 002
5	10/03/16	ASI 002
6	10/27/16	ASI 003
8	5/05/17	ASI 005
11	8/11/17	CCD 004

ENLARGED FLOOR
PLAN - TYPICAL LEVEL

CONSTRUCTION SET

DATE 7/03/17	REVISION 11
PROJECT NUMBER 142520	SHEET NUMBER A5.54
SCALE As indicated	

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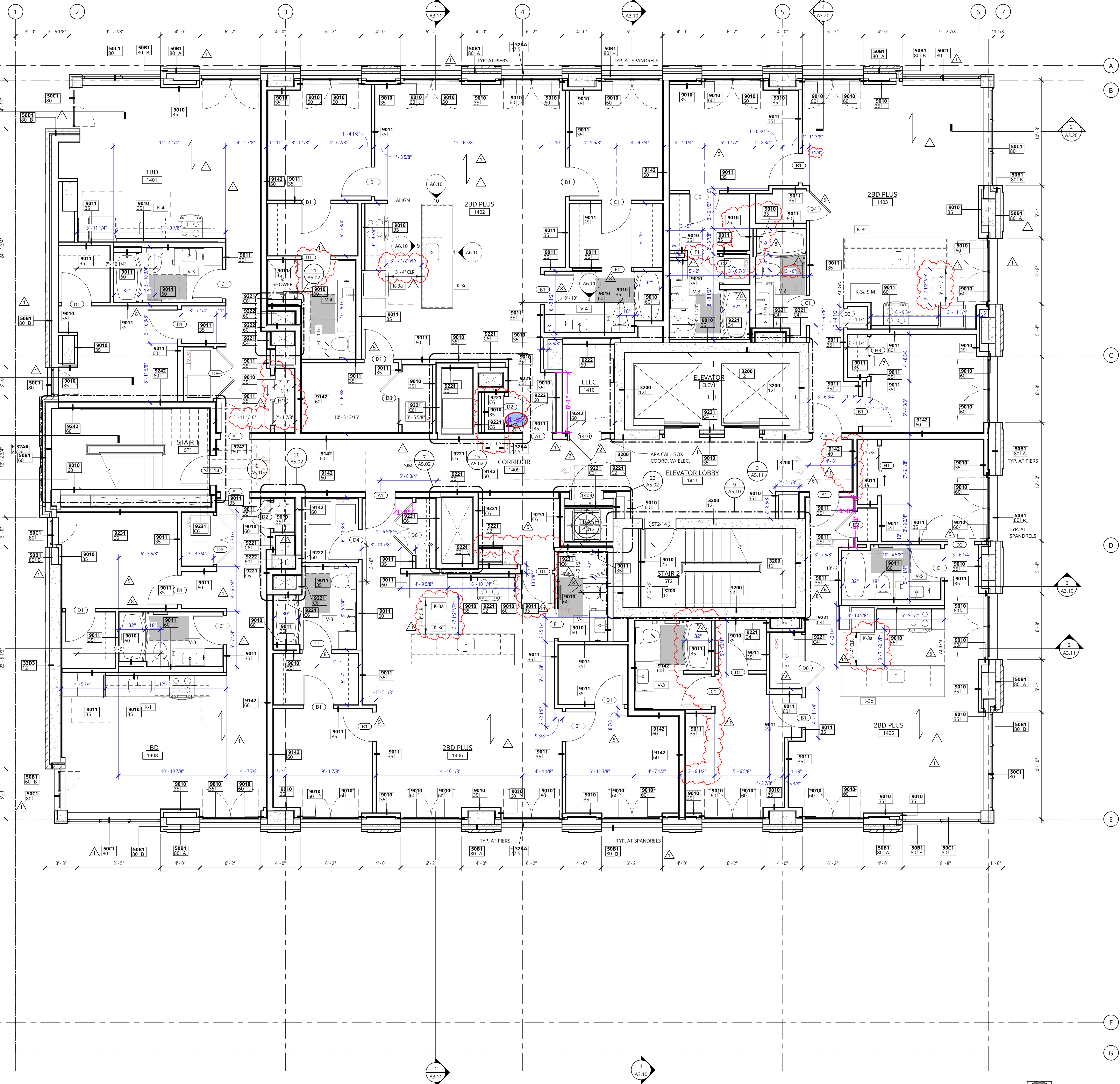
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8	5/05/17	ASI 005
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ENLARGED FLOOR
PLAN - FOURTEENTH
LEVEL

CONSTRUCTION SET

DATE 8/16/17	REVISION 11
PROJECT NUMBER 142520	SHEET NUMBER A5.55
SCALE As indicated	



1 ENLARGED UNIT FLOOR PLANS - FOURTEENTH LEVEL

A5.55 | 1/4" = 1'-0"