



City of Portland Design Commission

Design Advice Request

SUMMARY MEMO

Date: May 6, 2022
To: Agustin Enriquez, GBD Architects
From: Grace Jeffreys, Design & Historic Review Team
503.865.6521 | Grace.Jeffreys@portlandoregon.gov
Re: EA 22-119953 DA – RiverPlace Phase 1 South
Design Advice Request Commission Summary Memo – April 14, 2022

Thank you for taking advantage of the opportunity to hold a Design Advice Request regarding your project. I hope you find it informative and valuable as you continue with your project development. Following, is a summary of the comments provided by the Design Commission at the April 21, 2022 Design Advice Request. This summary was generated from notes taken at the public meeting and a subsequent review of the public meeting recordings. To review those recordings, please visit: <https://efiles.portlandoregon.gov/record/14964909>.

These Design Commission comments are intended to guide you in further design exploration of your project. These comments may also inform City staff when giving guidance over the course of future related land use reviews. It should be understood that these comments address the project as presented on April 21, 2022. As the project design evolves, the comments, too, may evolve or may no longer be pertinent.

Design Advice Requests are not intended to substitute for other Code-required land use or legislative procedures. Please keep in mind that the formal Type III land use review process [which includes a land use review application, public notification and a Final Decision] must be followed once the Design Advice Request meetings are complete, if formal approval for specific elements of your project is desired.

Please continue to coordinate with me as you prepare your Type III Land Use Review Application.

Encl:
Summary Memo

Cc: Design Commission
Respondents

Executive Summary. Most of the tower elevations seem well-related and simple in materials and forms. The most work is needed in the first three floors for a better relationship to surrounding streets and open spaces. *For an overview at each section, refer to comments in italics.*

Commissioners Present. *Present - Samuel Rodriguez, Chandra Robinson, Jessica Molinar, Zari Santner, Don Vallaster. Written comments provided and summary incorporated here - Brian McCarter. Absent - Julie Livingston*

Summary of Comments. Following is a general summary of Commission comments by design element rather than design tenet due to the nature of the discussion. Please refer to the attached Community Design Guidelines matrix for a summary of the concept's response to future approval criteria.

- **MOD 1 – Tower floor plate size** (works with MOD 2). *Needs mitigation, especially around the ground plane, but could be approvable if proven.*

A precedent for this size of floor plate has been established in SOWA, however, more justification will be needed to meet the approval criteria, including the purpose statement and mitigation. The larger floor plate will allow for interesting sculpting and an efficient plate to offer more housing. However, as mitigation for the larger floor plates of the tower above the ground level, the quality of the spaces at ground levels and the public realm will also be important. And in this location of the Master Plan area especially, there is an opportunity to use nature as an inspiration for the design of those areas.

- **MOD 2 - Tower Floor Dimension** (works with MOD 1). *As above, needs mitigation, especially around the ground plane, but could be approvable if proven.*

Comments as above, could be supportable with the right mitigation strategy. Alignment with the surrounding street grid makes sense.

- **MOD 3 – Ecoroofs.** *Does not yet appear supportable.*

Ecoroofs provide multiple benefits, and a modification here does not yet seem justified. The Commission was not convinced an ecoroof wouldn't work on the top of the tower, more justification needed. Seek expert advice on how an ecoroof can be successful on the tower. And if it isn't all on the tower due to the size of the mechanical, then more mitigation should be provided - on the lower roof and a more integrated landscape solution for a rain garden in the south open space.

- **MOD 4 - GFW.** *Does not yet appear supportable.*

While the Commission understands the challenges of the slopes, the setback different glazing at the upper ground level and the glazing w/o active spaces behind do little to activate the adjacent ground level areas. More mitigation is needed, or the project should meet or exceed the standard.

- **Open areas.** *Both the north and south open areas need to be made to feel more like publicly accessible areas that offer multiple amenities to the general public.*

The applicant and PBOT should be acknowledged for their efforts to find good solutions to ped/bike mobility, fire access along the old cul-de-sac, etc. Shifting the MUP to the west along Harbor Drive is a great improvement.

The site does have significant topography challenges, and the public access at the north and south ends can work together to provide access AND good public spaces. These areas need careful attention because they are important spaces to the overall CCMP.

- **South open area.** *There is a great opportunity here to create a really nice open area here, however, more work is needed.*
 - o Utilizing the excess ROW to the south end of the site for improved public pedestrian/bike access is a significant achievement. Moving the ramp into the ROW is supported, and will provide more room to create a richer more useable outdoor public open area here.
 - o Reconsider the angularity of the ramping system. The switchback ramp and stair system in the south open space may work well for pedestrians but as a bike access route, not as well. The sharp V-shaped switchback turns are not practical to ride a bike on and will result in ped-bike conflicts. Consider:
 - Wider, radiused, inside turns for bicyclists;
 - A larger mid-point landing entering the bike parking door at Level 1.5;
 - A comprehensive landscape plan for the whole south area including private property and public ROW that looks complete at the end of Phase 1.
 - o The overall design of the open area does not yet provide sufficient useable areas. Provide more opportunities for people to be in the landscape, and to step off ramps, especially at the landings. Rather than creating a hindrance to access of the open area, consider how the stormwater facility might enhance the use of the open space instead.
- **North open area.** *There is a great opportunity here to create a really nice open area here, however, again, more work is needed.*
 - o Same comments as the south open areas.

- **Ground Level Design.** *The overall design of ground levels needs rethinking. All four sides need to be better integrated with the adjacent public spaces.*

There is an overall lack of urban vitality at the ground levels. While the upper floors are well articulated, the bottom floors offer little character, and the heavy podium is turning this area into a basement. There is also not enough transparency, and too much of the glazing that is provided is programed with less than active uses. There is also an opportunity here to think outside the box, and get inspired by the original concepts shown at City Council during CC2035 Consider how to make:

- Stronger visual connections to the open space on the south;
- Successful public-private transition for the residential unit at Level 2 facing west using a more developed, layered landscape;
- Create a more compelling entry area and better activation of the west elevation by reconsidering the layout of the ground level facing Harbor Way. Consider creating a more prominent entrance from Level 2 (Multiuse Path) to a more prominent, transparent corridor leading to the elevator lobby and the work-from-home amenity space by relocating the dog wash and the other small room shown near the west façade; make the whole relationship from the west side of the building to the public open space and multiuse path stronger.
- The cutaway of Ground Level lobby to reveal the mid-block pedestrian open space/access stair is a good move. However, the combination of the Ground floor outdoor space in the front

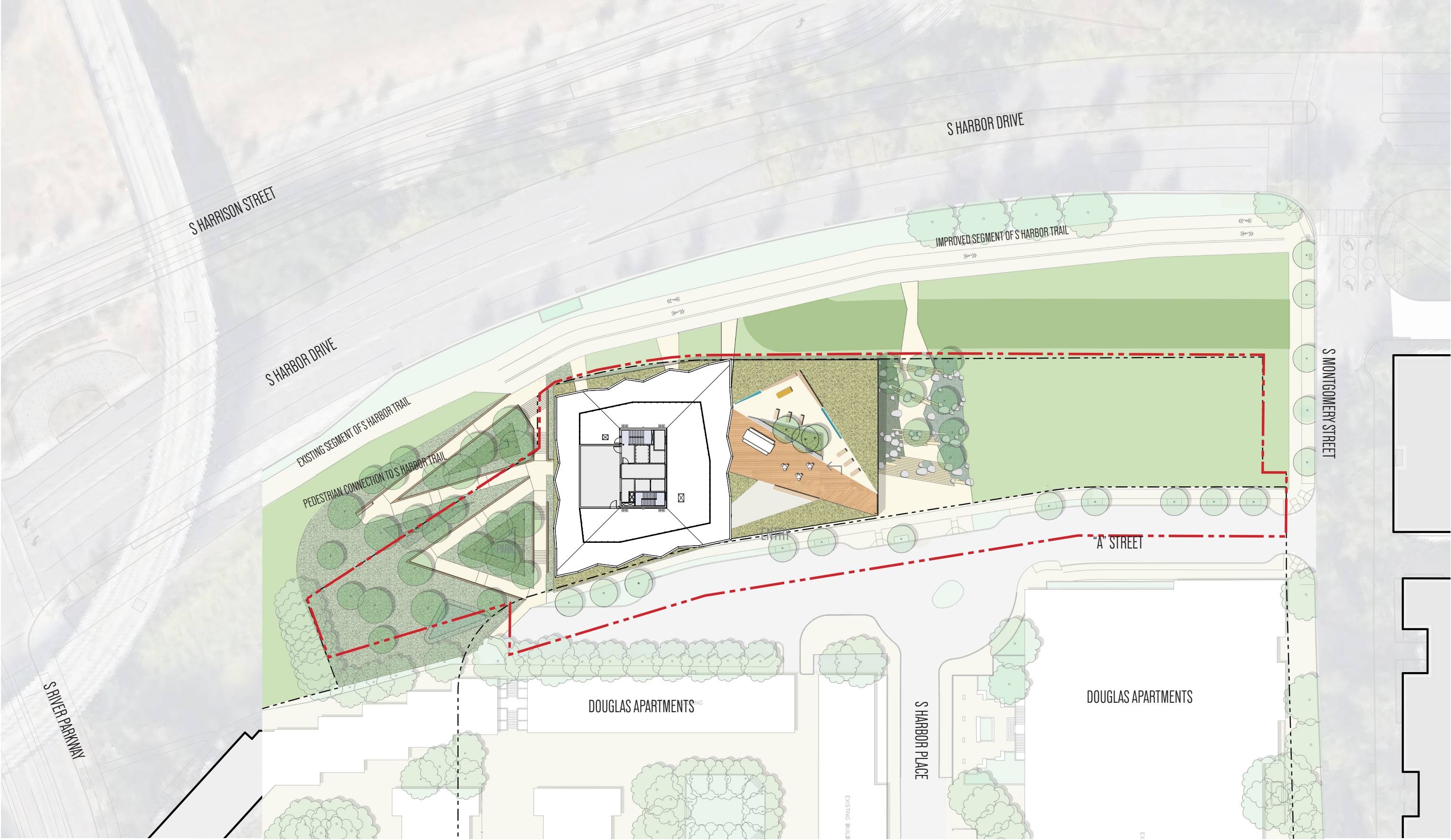
of the lobby, the pedestrian stairs/open space and the Level 2 Outdoor Amenity Space seem like three unconnected, separate gestures, and are an opportunity for a more coherent sequence of public spaces. The covered outdoor space at ground floor and the outdoor amenity space at Level 2 are common areas and the pedestrian stair/open space is public, but the three spaces could be better integrated.

Some additional detail considerations towards these goals include:

- Consider adding balconies/ porches on the south side looking down into the open area to engage with the open space below.
 - Add more layered landscaping to add a level of interest and better enhance both north and south open areas.
 - If a wall is blank, consider adding texture and depth.
 - The strong horizontal band above the ground levels make the levels below feel dark, like basement spaces. Consider removing the strong horizontal band at the south side at a minimum and bring tower down to brighten up these areas.
 - Add more playfulness to the base at the north and south, like on the east side.
 - The way the concept was described on the north side was compelling, with the “flared lid”, however, the design doesn’t yet demonstrate this. Maybe it’s the thinness of the eyebrow?
- **Tower Design.** *Off to a great start. Most of the tower elevations seem well-related and simple in materials and forms.*
- The upper floors are well articulated, and the generous number of balconies add further richness.
 - While there may be some reflectivity, limit it to 10-12% maximum.
 - Provide good diagrams of the solid vs glazing for the LU review.

Exhibit List

- A. Applicant's Submittals
 - 1. Drawings dated 3/4/22
 - 2. Tower alignment 4/8/22
 - 3. DAR presentation 4/21/22
- B. Zoning Map
- C. Drawings
 - 1. - 52 (Attach sheets C.14-16, 29-31)
- D. Notification
 - 1. Mailing list
 - 2. Mailed notice
 - 3. Posting instructions and notice sent to applicant
 - 4. Applicant's statement certifying posting
- E. Service Bureau Comments
 - 1. PBOT response 4/18/22
- F. Public Testimony
 - 1. Thomas Ray, 4/7/22, wrote with concerns with phased approach to the CCMS and the requested modifications.
 - 2. John Czarnecki, 4/7/22, wrote with concerns about the proposal not providing a complete neighborhood and the size and usability of the outdoor spaces.
 - 3. Dean Barnett, 4/7/22, wrote with concerns with the proposal not meeting CCMS criteria Policy 1.UD-3, 2.UD-4, 5.UD-3.
 - 4. Marian deBardelaben, 4/7/22, wrote with concerns with the proposal not meeting CCFDG C4 and complement the current context.
 - 5. Ron Doctor, 4/7/22, wrote with concerns with the proposal not meeting solar energy policies of the CC2035.
 - 6. Diana Stuart, 4/7/22, wrote with concerns with the proposal not meeting
 - 7. LaJune Thorson, 4/7/22, wrote with concerns with the proposal not meeting PZC 33.510.205 regarding FAR bonus allowances.
 - 8. Rudy Barton, 4/21/22, wrote with concerns with the noted adjustments and modifications.
- G. Other
 - 1. Application form
 - 2. Staff memo to Design Commission 4/5/22
 - 3. Revised Staff memo to the Commission 4/18/22
 - 4. Staff Presentation 4/21/2022
 - 5. Attendee/ testifier sheet 4/21/22
 - 6. Commissioner BM written comments, 4/21/22



N► SCALE: 1" = 60' - 0"

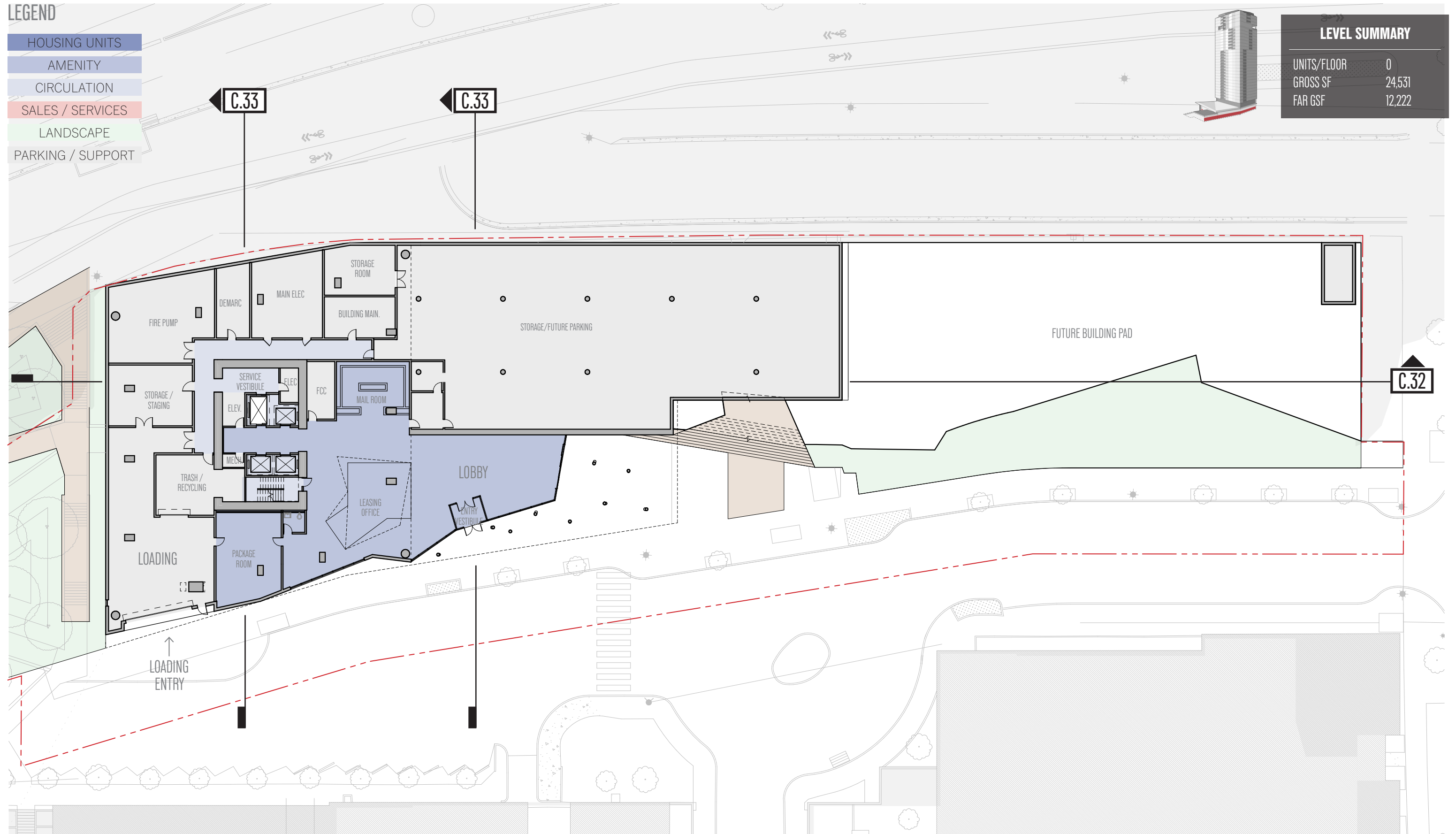
SITE PLAN

LEGEND

-
- HOUSING UNITS
- AMENITY
- CIRCULATION
- SALES / SERVICES
- LANDSCAPE
- PARKING / SUPPORT

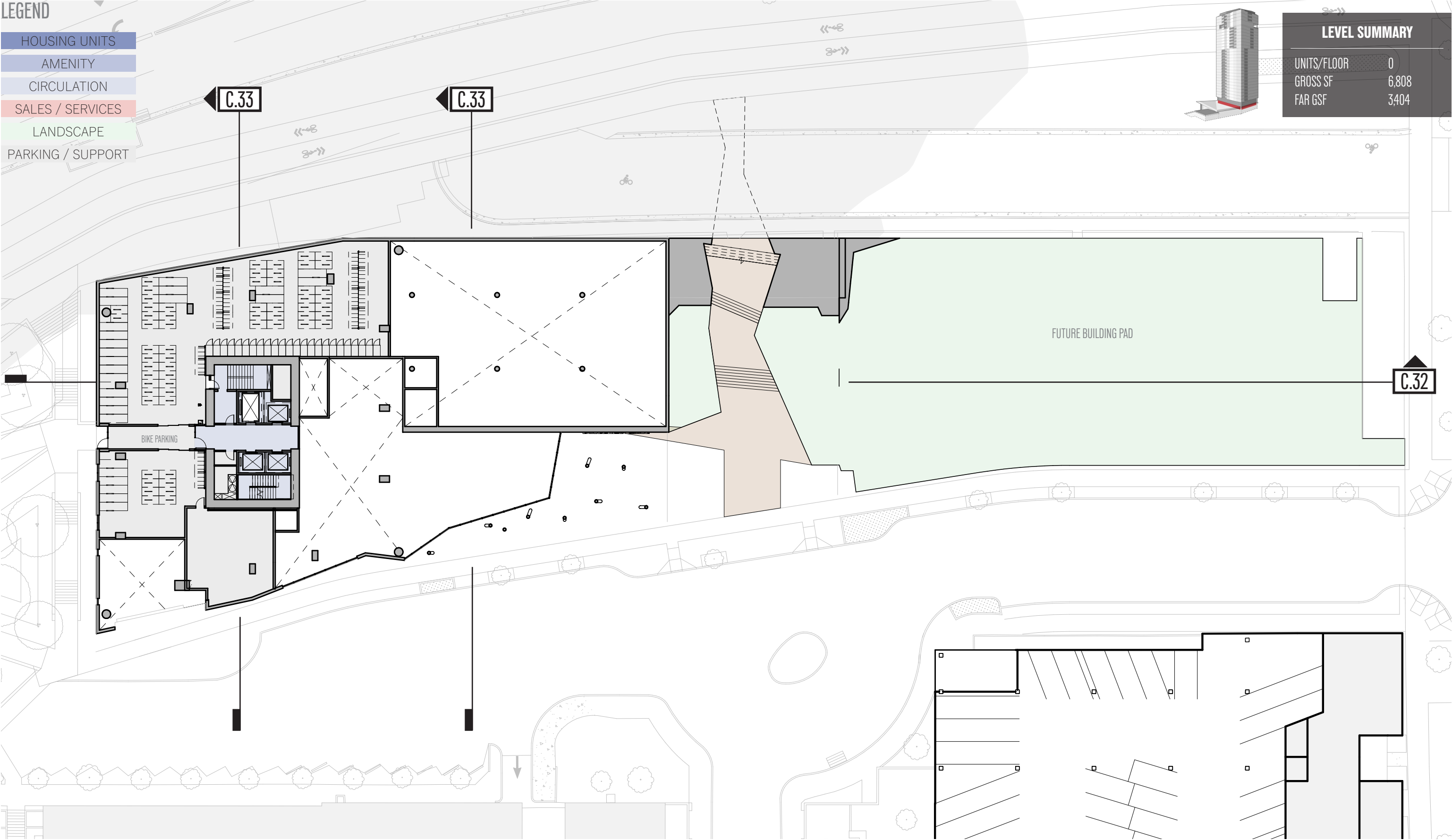
LEVEL SUMMARY

UNITS/FLOOR	0
GROSS SF	24,531
FAR GSF	12,222



N► SCALE: 1/32" = 1' - 0"

FLOOR PLAN: GROUND FLOOR





SCALE: 1" = 40' - 0"

GBD Architects

EAST ELEVATION: ALONG "A" STREET

EA 22-119953 AD, Exhibit C.29 C.29



SCALE: 1" = 40' - 0"

WEST ELEVATION: ALONG S HARBOR DRIVE



SCALE: 1" = 40' - 0"

SOUTH ELEVATION: ALONG S RIVER PARKWAY



NORTH ELEVATION: ALONG PEDESTRIAN ACCESSWAY



RIVERPLACE BLOCK 1

Design Advice Request *EA 21-103597*

March 4, 2022

GBD

QUESTIONS FOR DESIGN ADVICE REQUEST

1. TOWER FLOOR PLATE SIZE MODIFICATION
2. TOWER FLOOR DIMENSION MODIFICATION
3. REQUIRED ECO-ROOF MODIFICATION
4. OPEN AREA DESIGN
5. GROUND FLOOR WINDOW MODIFICATION

PROJECT OVERVIEW

The first phase of redevelopment in the Riverplace neighborhood is a new 30-story multi-family residential tower on the site of the former Riverplace Athletic Club (RAC), located at 150 South Montgomery Street. The site that encompasses the RAC and The Douglas Apartments and Townhomes is within the 8 acres of the RiverPlace Central City Masterplan CCMP that established the framework for redevelopment. The site is referred to as Block 1.

The Block 1 redevelopment will take a phased approach to the development site. Through the Central City Master Plan, the Block 1 parcel resulted in two building sites bisected by the Pedestrian Accessway. The first development will be the southern parcel of Block 1. The northern parcel of Block 1 will be a future mixed-use retail and multi-family building. It is anticipated the northern parcel development will begin design immediately after the southern parcel is submitted for building permit.

Phase 1 anticipates 329 new residential units to broaden the existing housing mix within the 8 acres of RiverPlace. Parking for the building will be provided by utilizing unused existing spaces in the adjacent Douglas Apartments garage, which contains 385 stalls. Phase 1 preserves all of the existing housing in the Douglas Apartments and townhouse portions of the site.

Phase 1 will add 16,610 square feet of new public open area on the site in two areas. In the middle of Block 1, a new connection is provided linking the Harbor Drive Trail on the west of the property to the new Street “A”. The open area is approximately 6,600 square foot and is located within a 60’ wide space that separates the northern and southern parcels of Block 1.

At the southern end of the block, a roughly 10,000 square foot open area will be provided that includes an accessible ramp and pedestrian path to link the Harbor Drive Trail to the southern end of Street “A.”

DESIGN SUMMARY

The development of the first phase of the RiverPlace Master Plan seeks to make connections to the unique landscape of the Pacific Northwest. We are surrounded by lush, rocky landscapes, divided by the constant flow of water through our region’s rivers. The site is situated at a significant bend in the Willamette River at the south end of Downtown and offers one of the few opportunities just a couple blocks away for people to actually access the river. Those connections to the landscape were important in the design and concept of this project.

The low, heavily landscaped eco-roof podium of the building seeks to reconnect the plateau of Downtown graciously to the banks of the Willamette River shore. A slender tower rises above the podium to its maximum allowed height of 325’ to offer panoramic views to the regional landscape in a sculpted, faceted form that is reminiscent of the dynamic forms of flowing water in and around Portland.

The grades around the long, narrow site vary dramatically. Grades slope from east to west approximately 10-18 feet and from south to north along the western edge down approximately 10 feet. This grade difference allows for service and support spaces to be tucked away and the more public elements of the project to be at the forefront. The 329 residential unit tower is supported on the lower floors by a grand lobby entrance adjacent to the pedestrian passage bisecting the site. The loading dock of the building is located at the SE corner off South Harbor Place, where it makes the most sense for servicing the building and for alignment with the service zones of the future buildings in Phase 2 of the RiverPlace redevelopment.

The tower massing rests on top of the landscaped podium using a recessed amenity floor on the second level that allows for resident outdoor amenities and some guest suites, as well as access to the western edge of the site at the higher grade. The sculpted upper tower floors rest on that amenity massing and house 329 residential apartment units. The unit mix is a variety of studios, one bedrooms, two bedrooms and three bedroom affordable housing units. There is an elevated resident amenity floor located at level 27 that is programed to have an indoor pool, resident lounge and multiple roof terraces.

The tower form is derived from the idea of connecting to the landscape of the Pacific Northwest and the ever-presence of water in our daily lives. The tower facets in all directions, on all sides, creating the “rippling” effect of water and allowing those angles to reconnect with the many local and regional city and landscape views. Unit balconies are used to create meaningful outdoor space, connection to views and to further create movement, scale, and life to the tower façade. The façade is a window wall system that uses vision glazing, operable awning windows, spandrel glazing and an integrated metal panel to further accentuate the rippling movement to the façade and offer a unique aesthetic to the façade.

The rooftop mechanical is housed behind a corrugated metal panel screenwall and is sculpted to work in concert with the undulating, rippling tower façade.

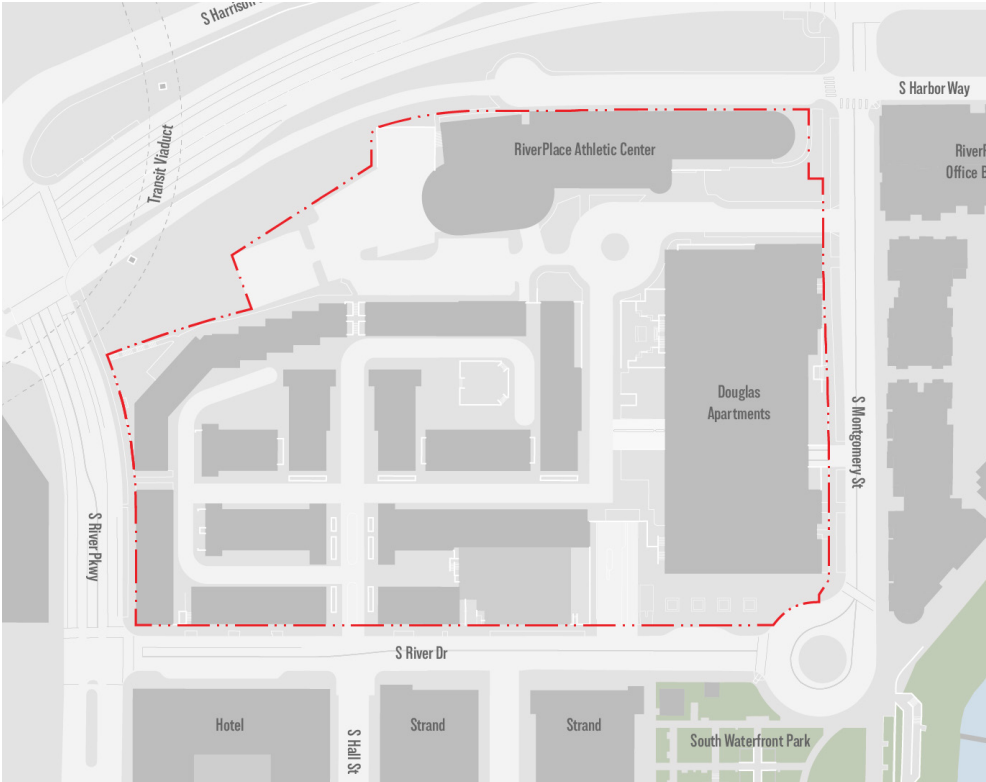
ZONING SUMMARY

The site that encompasses the Riverplace Athletic Club and The Douglas Apartments and Townhomes completed the required CCMP process in 2022 to establish the framework for redevelopment moving forward. This site, located at 150 South Montgomery Street, is bounded by South Harbor Way and South Harbor Drive to the west, South Montgomery Street to the north, and South Harbor Place to the east. The site area defined in the CCMP for Phase 1 is 70,762 square feet. This proposal is seeking to only develop the southern portion at this time, leaving the northern parcel for a future building.

The site is zoned CX (Central Commercial) with both a “d” Design Review overlay and a “g*” River General overlay. The site lies within the Central City Plan District.

The maximum height for the RiverPlace site is 325’ and has a view corridor immediately to the east, but not on this Phase 1 development parcel. The CCMP set forth a Base FAR of 4.5 with a Maximum FAR w/ Bonus of 7.5 (530,715 square feet).

EXISTING



Total Site Area: 349,708 SF or 8.03 acres

PHASE 1



New Open Area: 16,614 SF
Potential Open Area: 15,130 SF
Total Proposed Developable Blocks : 44,590 SF

FINAL PARCEL PLAN

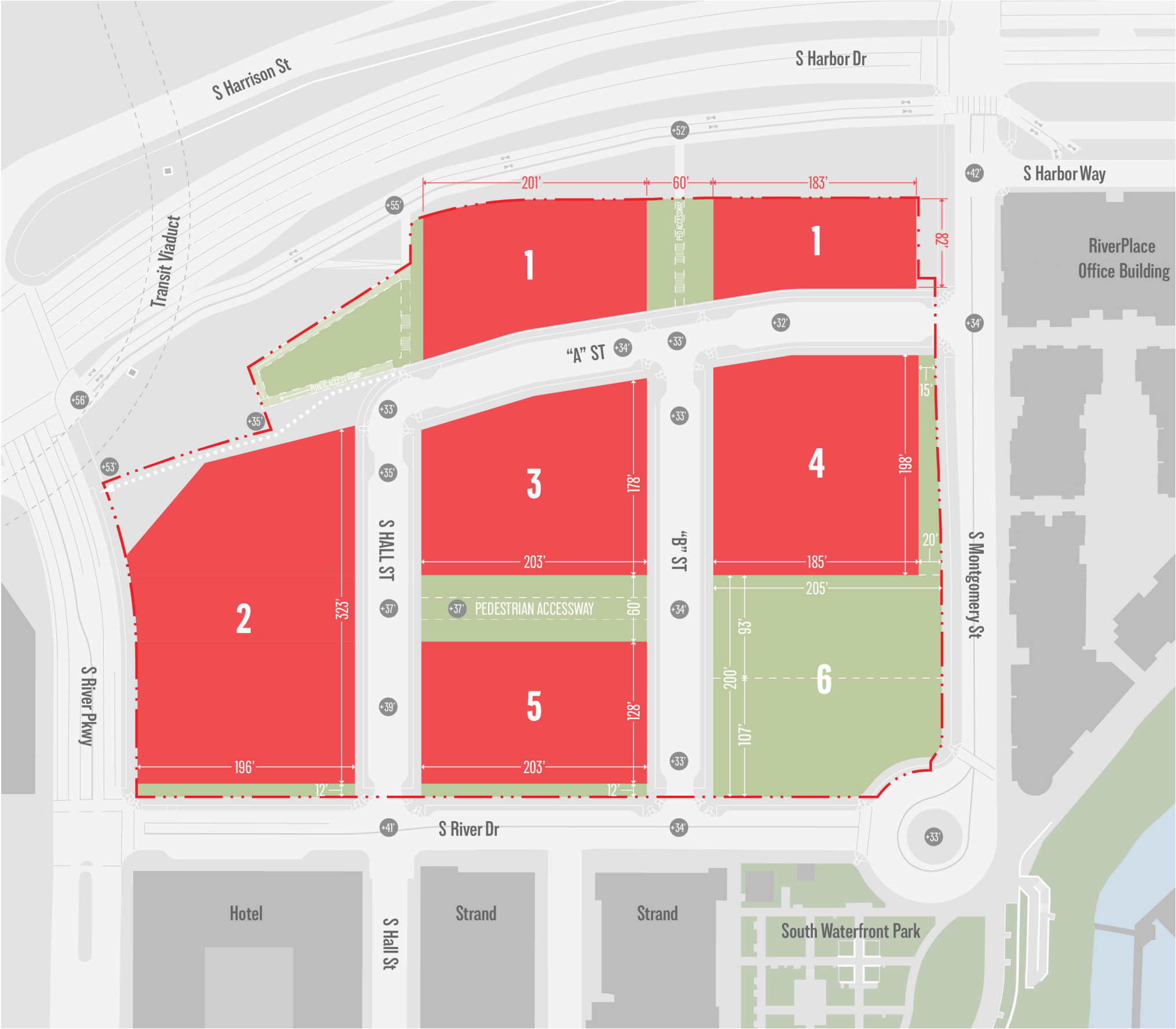


New Open Area: 59,656 SF
New Proposed Developable Blocks: 151,382 SF
Completed Development:
Total Open Area: 76,270 SF
Total Proposed Developable Blocks: 195,972 SF

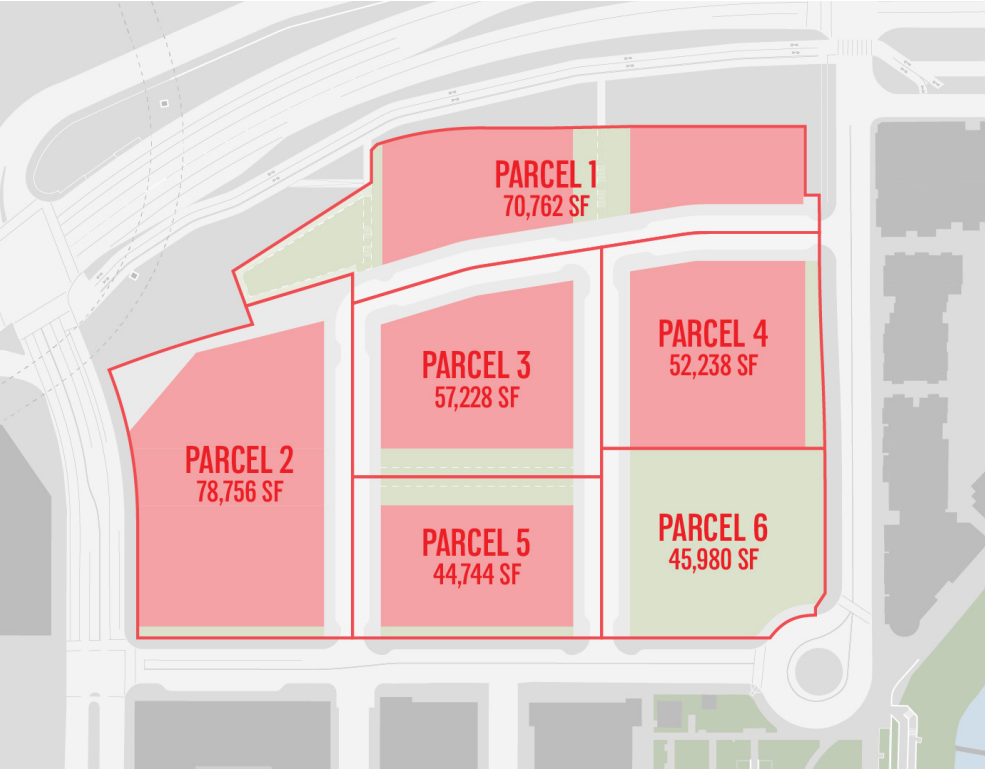
LEGEND

- Existing Building
- New Block
- New Open Area
- Potential Open Area
- Site Boundary





Master Plan - Block Dimensions Diagram



Master Plan - Parcel Diagram

PARCEL	AREA	MIN. FAR	MIN. GSF	BASE FAR	BASE MAX. GSF	MAX. FAR W/ 3:1 BONUS	MAX. GSF W/ 3:1 BONUS
1	70,762 SF	2.25	159,215 GSF	4.5	318,429 GSF	7.5	530,715 GSF
2	78,756 SF	2.25	177,201 GSF	7.0	551,292 GSF	10.0	787,560 GSF
3	57,228 SF	2.25	128,763 GSF	5.0	286,140 GSF	8.0	457,824 GSF
4	52,238 SF	2.25	117,536 GSF	7.0	365,666 GSF	10.0	522,380 GSF
5	44,744 SF	2.25	100,674 GSF	5.0	223,720 GSF	8.0	357,952 GSF
6	45,980 SF	0	0 GSF	0.07	3,293 GSF	0.07	3,293 GSF
TOTAL	349,708 SF		683,388 GSF	5.0	1,748,540 GSF	8.0	2,797,664*

The total site area is 349,708 sf or 8.03 acres.

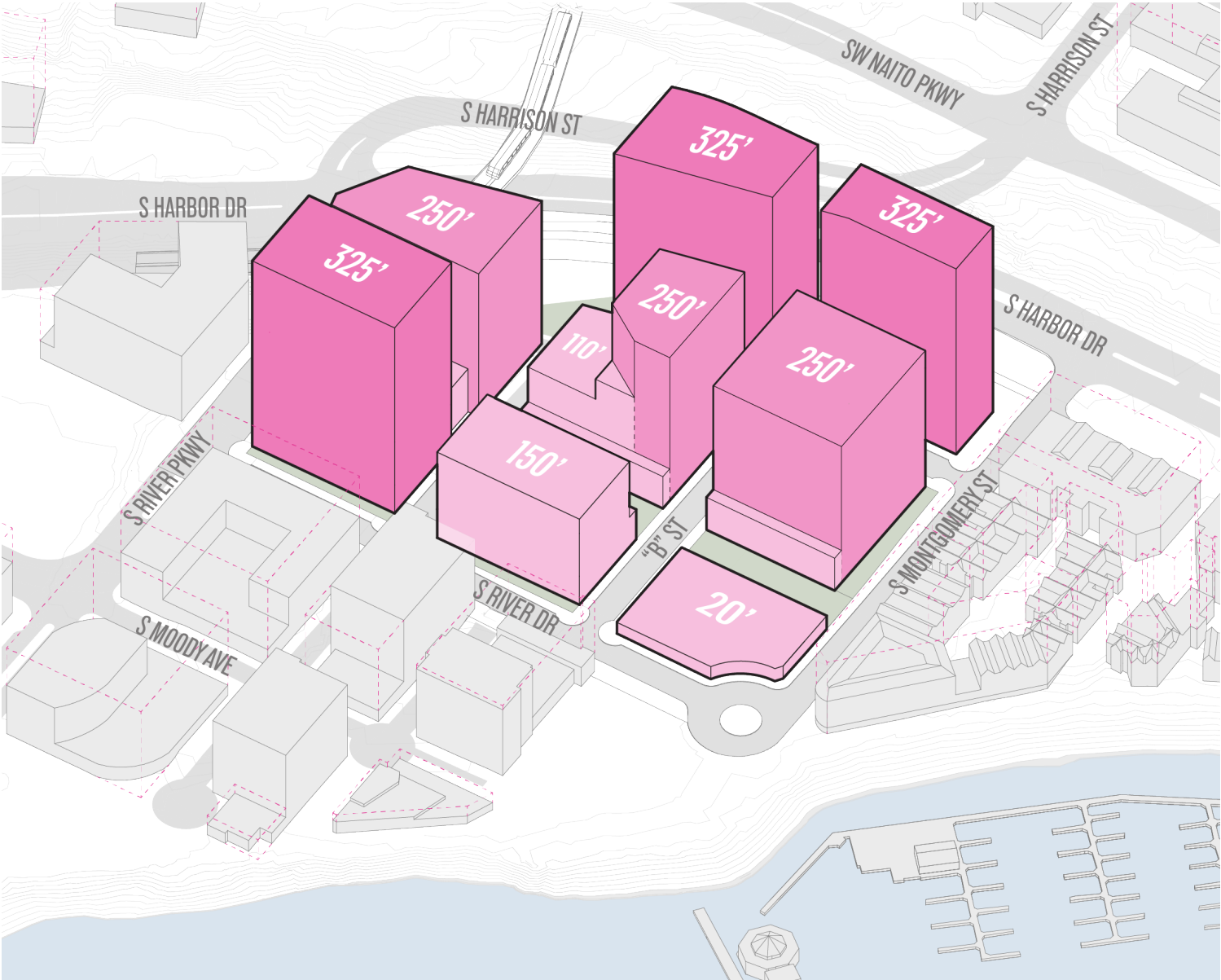
Development areas, minimum and maximum FARs shown in this master plan may be adjusted as final legal parcels are created.

The total site-wide development with 3:1 bonus FAR is not to exceed 2,797,664 gsf.

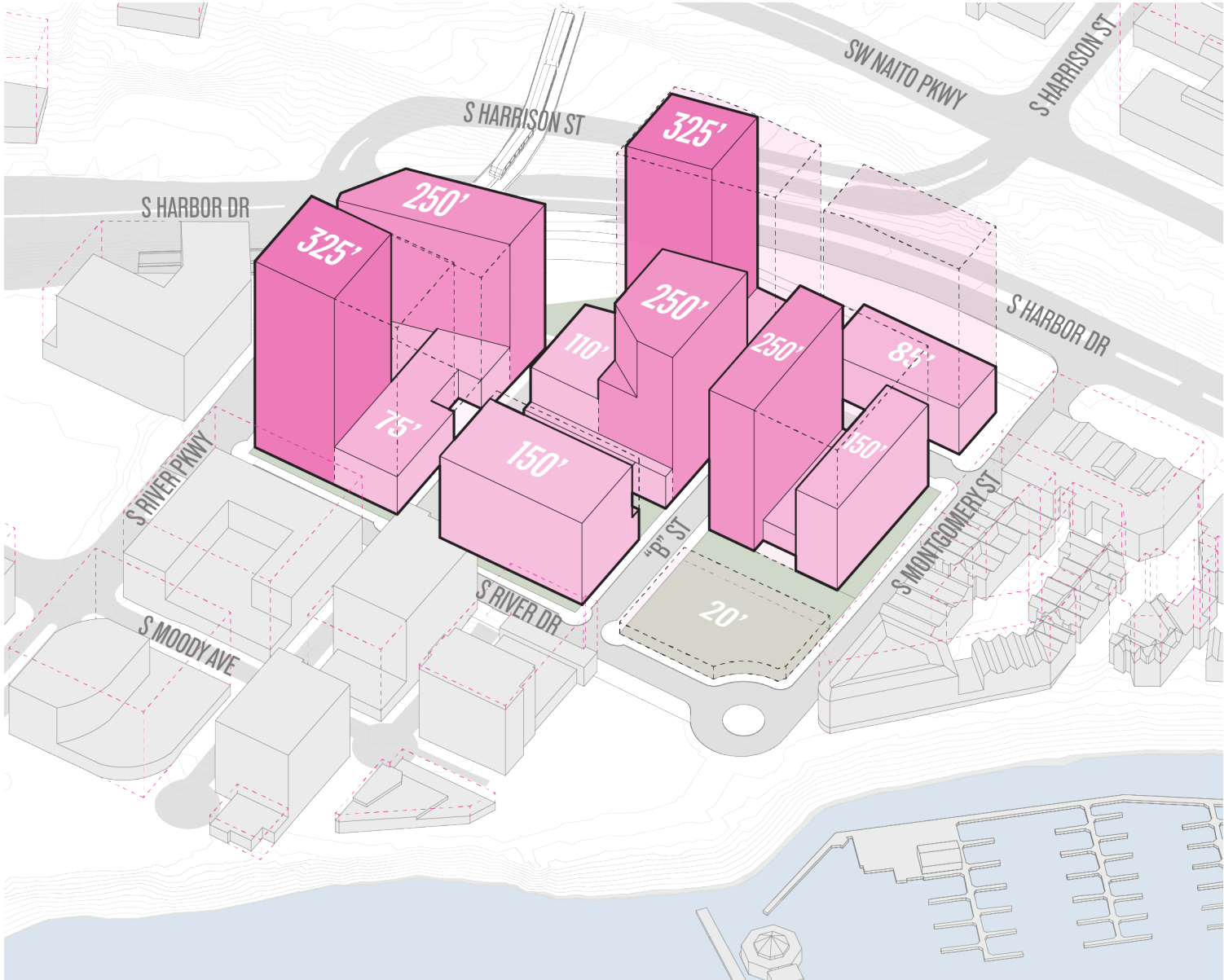
*Maximum GSF with 3:1 bonus sums do not individually total to 8:1 FAR due to restricted Max FAR on Block 6.

RIVERPLACE MASTER PLAN: OVERVIEW

BUILDING ENVELOPES
BLOCK SIZES & MAXIMUM HEIGHTS



MAXIMUM HEIGHT DIAGRAM SHOWING PROPOSED STREET GRID AND SETBACKS



MAXIMUM HEIGHT DIAGRAM WITH CONCEPTUAL BUILDING MASSING

LEGEND

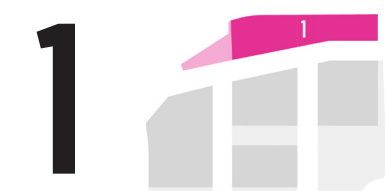
- Pedestrian Accessway
- Open Area
- Context Building

BUILDING ENVELOPES FROM CCMP

The building envelopes shown here reflect the spaces within which future buildings can be built. The envelopes are not buildings themselves, but they have been sculpted to account for solar access to some of the open areas, preserve protected public views, provide urban enclosure along new streets and accommodate a range of potential building programs. These studies will be used, in concert with other exhibits in this document, to help assess changes (up or down by 15%) to an approved envelope.

BUILDING ENVELOPES

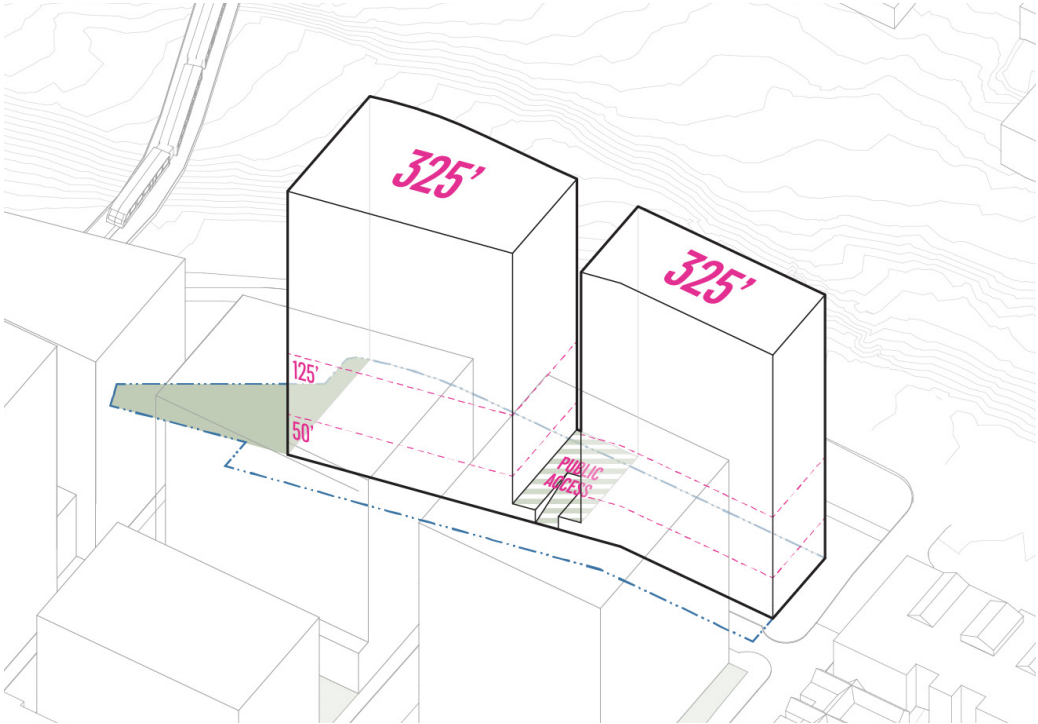
BLOCK 1



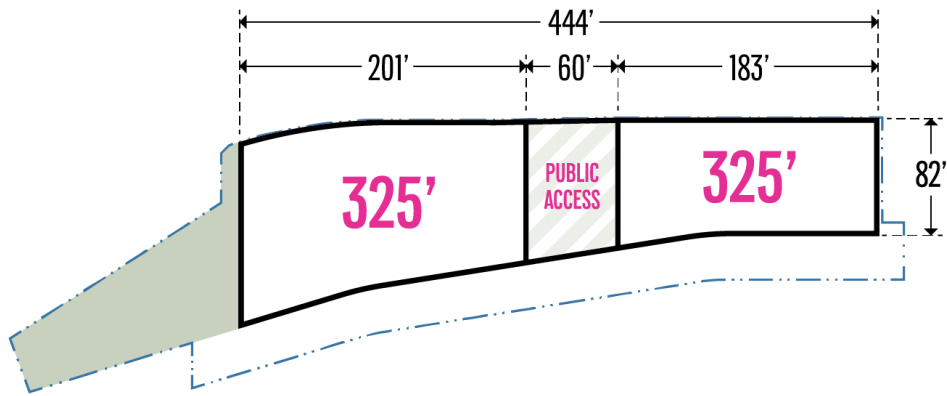
- Minimum height: 50'
- Maximum base height: 125'
- Maximum bonus height: 325'
- Minimum FAR: 2 to 1
- Maximum FAR: 7.25 to 1

The envelope for Block 1 will be sculpted to allow for two buildings up to 325’ tall with a break between them. The break in the massing will be 60 feet wide and will not exceed the grade of the existing S Harbor Way to the west. This allows both visual and physical connections between the Harbor Drive Trail and Street “A.”

Buildings or portions of buildings proposed to achieve the maximum height limit of 325’ will be subject to the tower-sizing regulations of section 33.510.210.D.3.e of the Portland Zoning Code.



Block 1 Building Envelope



Block 1 Building Envelope Plan Diagram

33.510.210 Height

D. Bonus height options. Bonus height can be achieved through the following options:

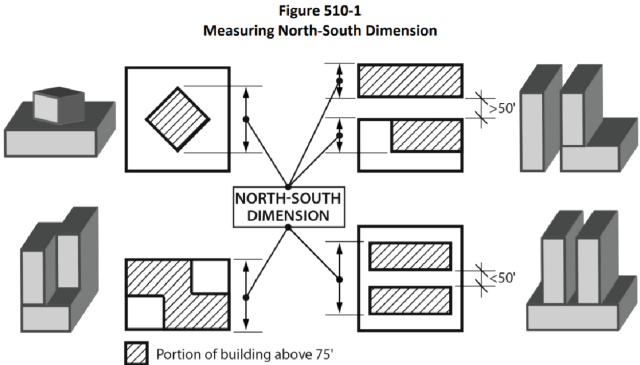
- 3. Bonus height earned through an FAR bonus or transfer. Except for sites in the South Waterfront height opportunity area, the bonus heights shown on Map 510-4, or allowed by Subparagraph D.3.e, are allowed when the following are met. Projections above the height limits shown on Map 510-4, or allowed by Subparagraph D.3.e are prohibited:
 - e. RiverPlace Height Opportunity Area. Up to 325 feet of height is allowed in the RiverPlace height opportunity area shown on Map 510-16 when the following standard is met:
 - (1) Purpose. In the RiverPlace height opportunity areas, additional building heights may be appropriate to meet density goals as well as:
 - Provide diverse housing opportunities;
 - Support high quality design;
 - Create additional opportunities for visual access through the area;
 - Promote the development of slender towers with an east-west orientation;
 - Establish and maintain a pedestrian environment with access to sunlight;
 - Create open space amenities connecting to the riverfront;
 - Contribute to the area’s urban variety, adding visual interest at the pedestrian level and from vantage points outside of the area;
 - Create an urban form that is visually permeable and maintains all protected public views and view corridors.
 - (2) Standard. If the building is taller than 75 feet, the floors of the building above 100 feet must not be more than 10,000 square feet each. Adjustments are prohibited, however modification through design review may be requested if the north-south dimension of the building above 75 feet is 112 feet or less. The north-south dimension is measured as specified in 33.510.251.A.3.e.

33.510.251 Additional Standards in the South Waterfront Subdistrict

Sites in the South Waterfront subdistrict must meet the following standards.

A. Special building height corridors and tower orientation.

- 3. Maximum north-south dimension. The north-south dimension is measured as specified in Subparagraph A.3.e. See Figure 510-1. Adjustments to this paragraph are prohibited; however, modifications to the standards of this paragraph may be requested through design review. In reviewing such a request, the review body will consider the results of the South Waterfront Public Views and Visual Permeability Assessment for the proposal. The north-south dimensions of buildings are limited as follows:
 - a. Less than 75 feet in height. For the portion of a building less than 75 feet in height, there is no limit on the north-south dimension, and no required space between buildings or portions of buildings;
 - b. 75 feet in height and above. The portion of a building that is at least 75 feet in height may have a north-south dimension up to 125 feet in width;
 - c. Where there is more than one building on a site there must be at least 50 feet between the portions of the buildings that are at least 75 feet in height. If there is less than 50 feet between these portions of the buildings, the north-south dimension is the total of the north-south dimension of each building and the north-south dimension of the space between them. The total may be up to 125 feet in width;
 - d. Where a building has more than one element that is at least 75 feet in height, the two elements are measured and regulated as two separate buildings;
 - e. Measurements for this paragraph. The measurements for the regulations of this paragraph are as follows. See Figure 510-1:
 - (1) The north-south dimension of a building is measured as follows:
 - From the northernmost point of the portion of a building that is at least 75 feet in height, a line is drawn running due east-west;
 - From the southernmost point of the portion of a building that is at least 75 feet in height, a line is drawn running due east-west;
 - A line drawn at right angles between the two east-west lines is the north-south dimension;
 - (2) The space between buildings on a site is measured using the east-west lines created under A.3.e.(1). A line drawn at right angles between the northern east-west line of one building and the southern east-west line of the other is the distance between the buildings.



Excerpts from the Portland Zoning Code describing applicable height regulations for buildings up to 325' tall



Phase 1 Massing Diagram

PHASE 1 - CONCEPTUAL MASSING

BUILDINGS & USES

Phase 1 is focused on redeveloping the RAC site at the western edge of RiverPlace. It is currently envisioned as one building with a tower at the southern end of the block and a lower podium extending to the north. The base zoning code building height is 125' with a bonus available up to 325'. The building form would allow physical and visual access from S Harbor Drive toward the Willamette River and Greenway. The majority of the remainder of the site would be retained in its current form.

Height Opportunity Area Requirements

The base height for Block 1 is 125'. Bonus height for this part of the site can be achieved through the "RiverPlace Height Opportunity Area" which allows an additional 200' of height, up to a maximum of 325'. The standard calls for floors to be limited to 10,000 sf or less unless the north-south dimension of the building above 75' is 112' or less. North-south dimensions of towers are measured according to section 33.510.251.A.3.e which specifies tower measurement techniques and distances between towers.

	PHASE 1 AMOUNTS	TOTALS
Residential Units	400-500 units / 400k-500k gsf	690-790 units
Sales and Services	3,000 gsf	15,905 gsf
Parking Stalls	85 stalls	785 stalls
Open Area	16,614 sf	16,614 sf
Potential Open Area	15,130 sf	15,130 sf

LEGEND

Residential

Sales and Services

Proposed / Potential Open Area



Open Areas Diagram

OPEN AREAS

REQUIREMENTS & TYPES AT PHASE 1

This page describes in more detail the planned open area improvements in Phase 1. It does not change the overall approach or nature of the open areas discussed at the second design review hearing.

In Phase 1, the total amount of new open area will be 16,610 sf, a little more than 20% of the parcel area of Block 1. Bike and pedestrian accessways and ramps will total 4,036 sf or 24.2% of the proposed open area in this phase. As such, proposed bike and pedestrian accessways will not exceed the maximum 25% of total open area in this phase of development.

No parks or plazas are proposed as part of the Phase 1 open area. Specific code language at RiverPlace stipulates that parks and plazas are required to be located adjacent to the current open space zoning (OSd) which is present at the northeast corner (on the opposite side) of the site. In addition, and in recognition of the steep grades at the Phase 1 location, it was determined that new connections to the west rather than parks or plazas were more desirable. These new connections will include pedestrian pathways and stairs as well as an accessible and active transportation ramp between the S Harbor Drive Trail and the future street network internal to the site.

It should be noted that the open areas have not been designed yet. What are illustrated here in the master plan are the position of the open areas, the points/areas that the open areas are connecting, and the minimum dimensions for the links themselves. More detailed design work will further develop the character(s) of the spaces and determine the specific dimensions of the facilities and adjacent landscaped areas.

LEGEND

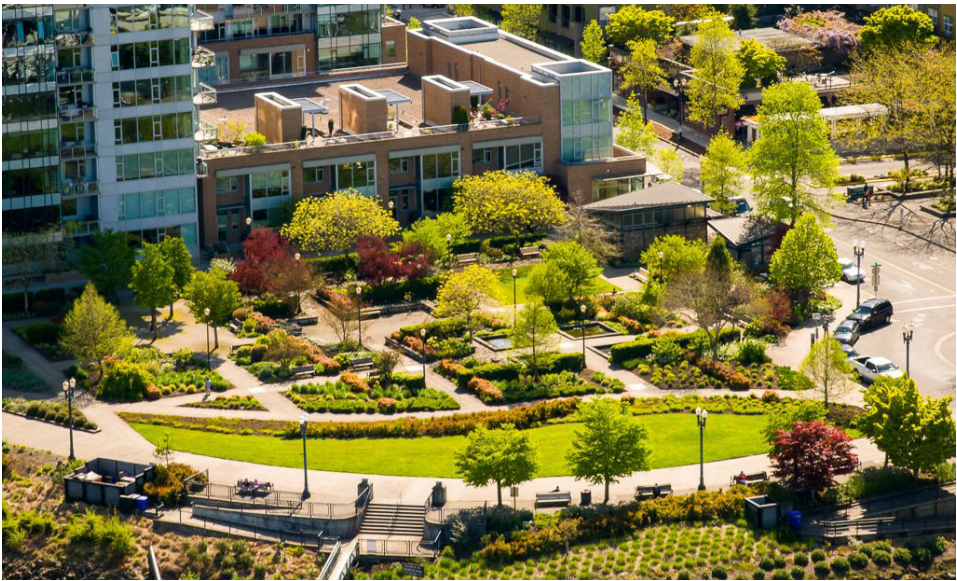
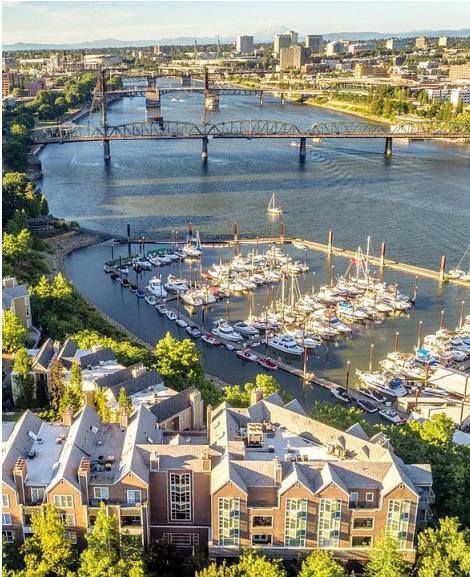
- Sitting, Gathering, Pausing
- Bike / Pedestrian Connection
- Landscaped Edges
- Site Boundary



View looking South



View looking West



NEIGHBORHOOD PHOTOS



View toward neighboring Douglas Apartments



View approaching site from S Montgomery pedestrian accessway



View looking South along Montgomery Green Street



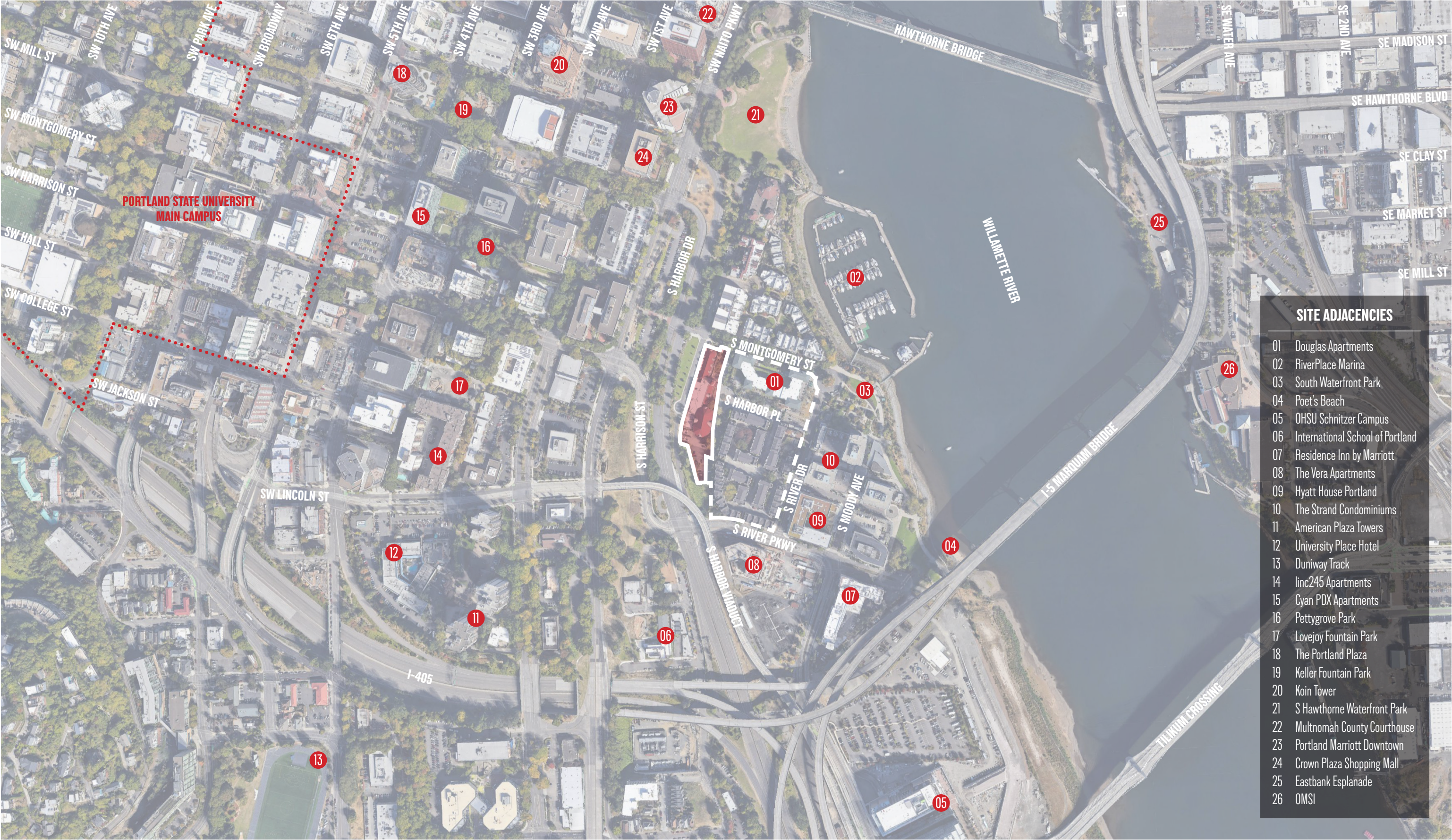
View looking North along Montgomery Green Street



View of existing plaza on S River Drive



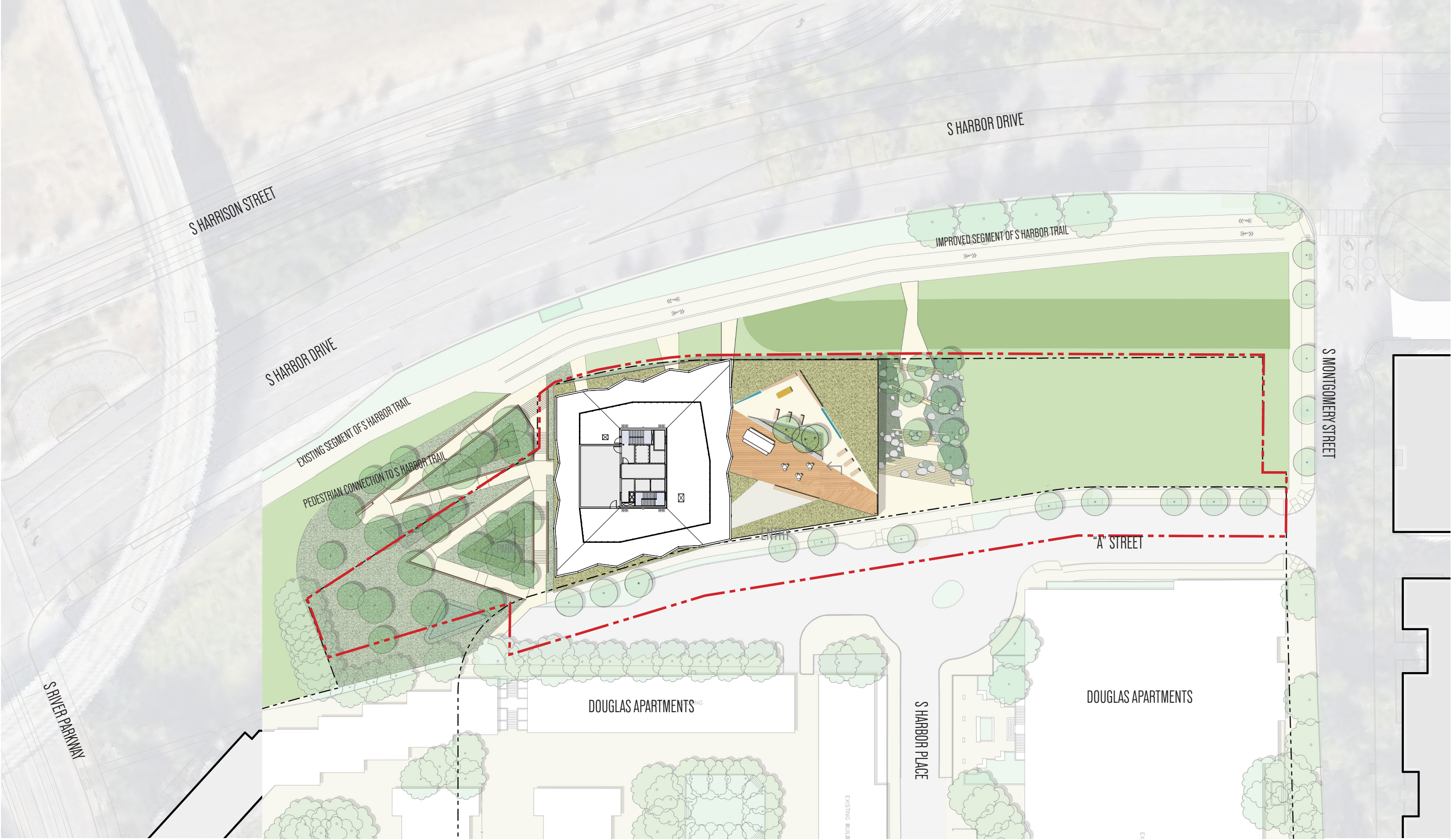
View looking East along S Harbor Trail



SITE ADJACENCIES	
01	Douglas Apartments
02	RiverPlace Marina
03	South Waterfront Park
04	Poet's Beach
05	OHSU Schnitzer Campus
06	International School of Portland
07	Residence Inn by Marriott
08	The Vera Apartments
09	Hyatt House Portland
10	The Strand Condominiums
11	American Plaza Towers
12	University Place Hotel
13	Duniway Track
14	linc245 Apartments
15	Cyan PDX Apartments
16	Pettygrove Park
17	Lovejoy Fountain Park
18	The Portland Plaza
19	Keller Fountain Park
20	Koin Tower
21	S Hawthorne Waterfront Park
22	Multnomah County Courthouse
23	Portland Marriott Downtown
24	Crown Plaza Shopping Mall
25	Eastbank Esplanade
26	OMSI

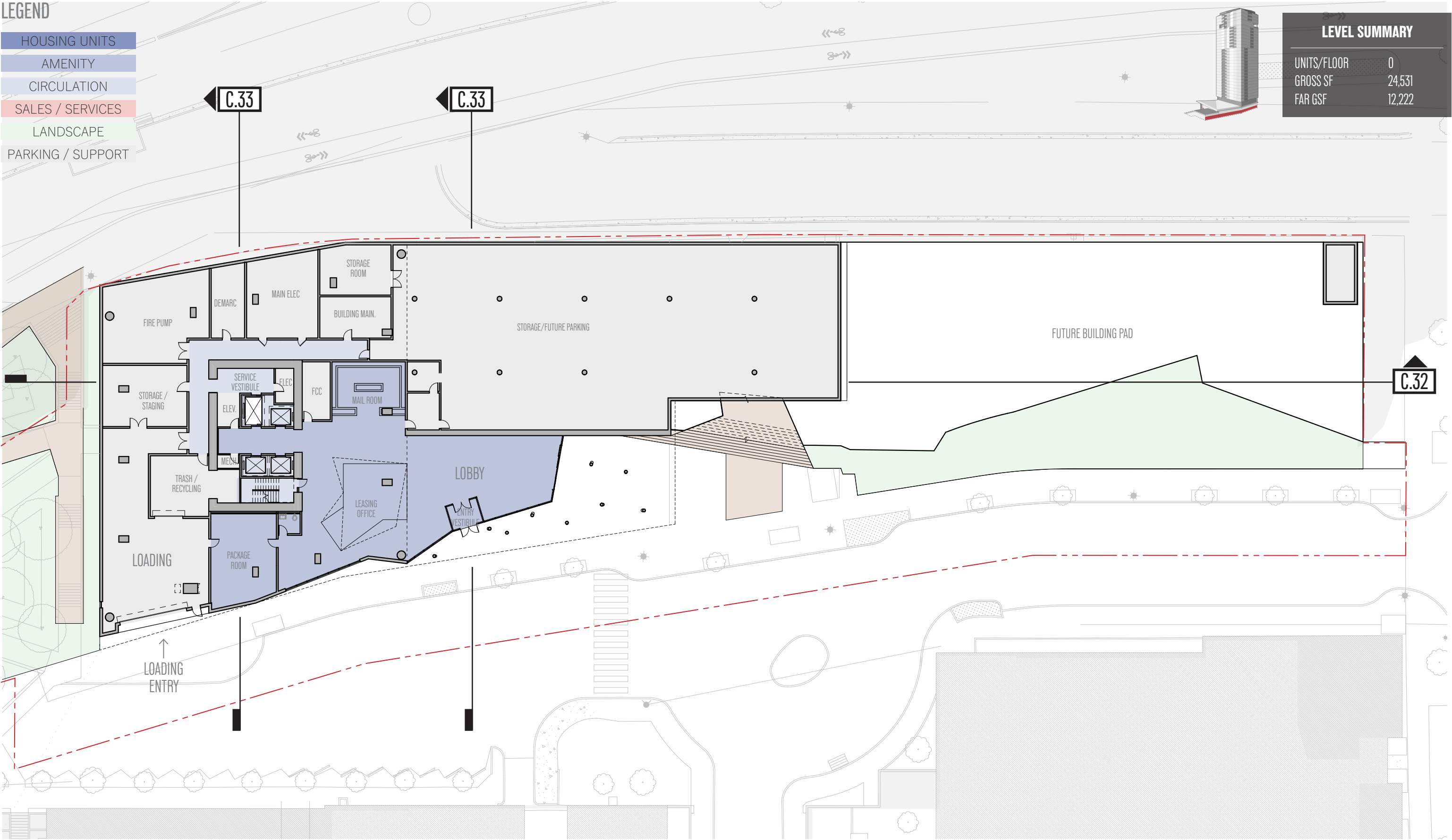






N► SCALE: 1" = 60' - 0"

SITE PLAN



N► SCALE: 1/32" = 1' - 0"

FLOOR PLAN: GROUND FLOOR

LEGEND

-
- HOUSING UNITS
- AMENITY
- CIRCULATION
- SALES / SERVICES
- LANDSCAPE
- PARKING / SUPPORT

LEVEL SUMMARY

UNITS/FLOOR	0
GROSS SF	6,808
FAR GSF	3,404

FUTURE BUILDING PAD

C.32

BIKE PARKING

C.33

C.33

N► SCALE: 1/32" = 1' - 0"

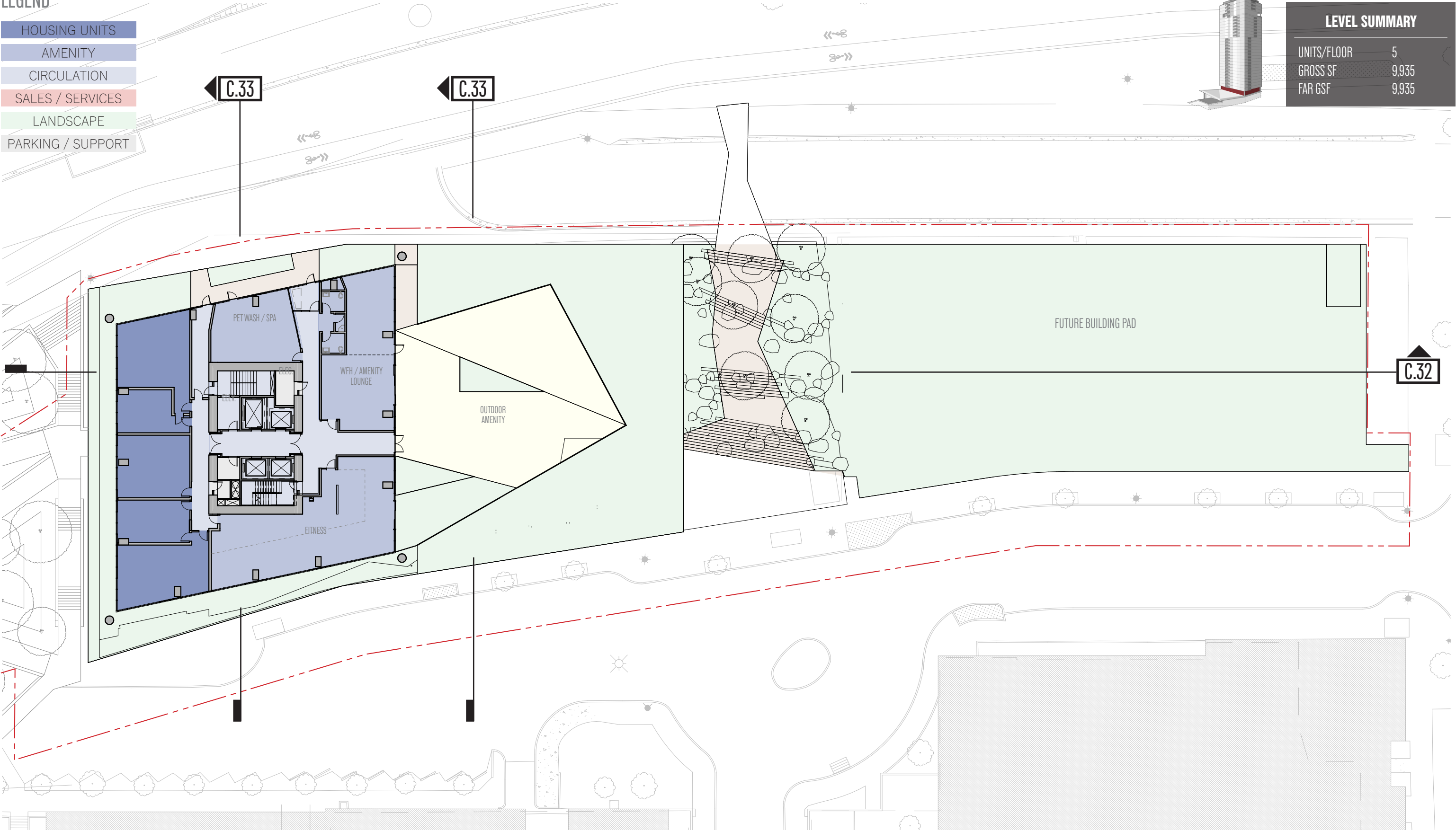
FLOOR PLAN: LEVEL 1.5

LEGEND

- HOUSING UNITS
- AMENITY
- CIRCULATION
- SALES / SERVICES
- LANDSCAPE
- PARKING / SUPPORT

LEVEL SUMMARY

UNITS/FLOOR	5
GROSS SF	9,935
FAR GSF	9,935

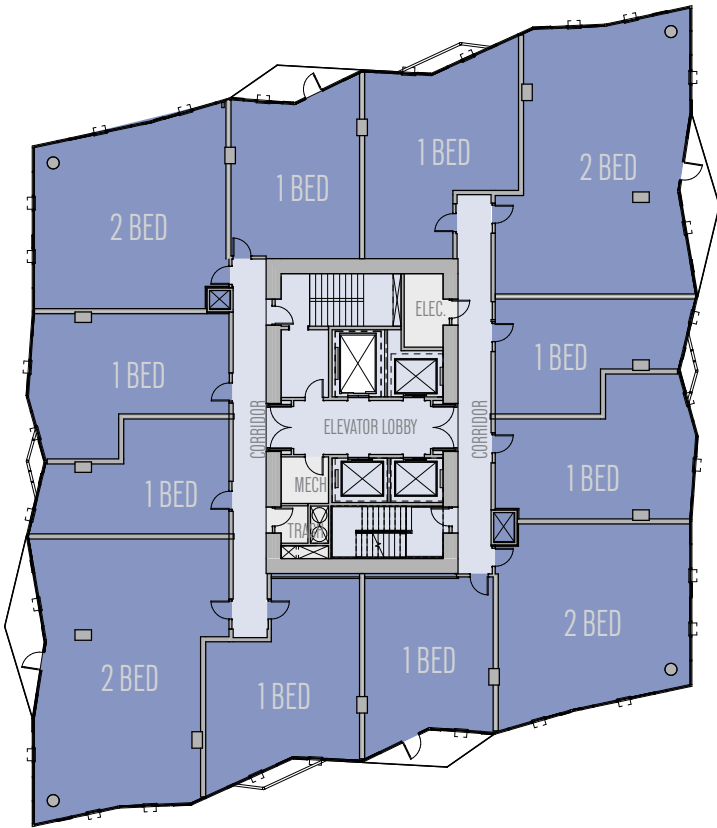
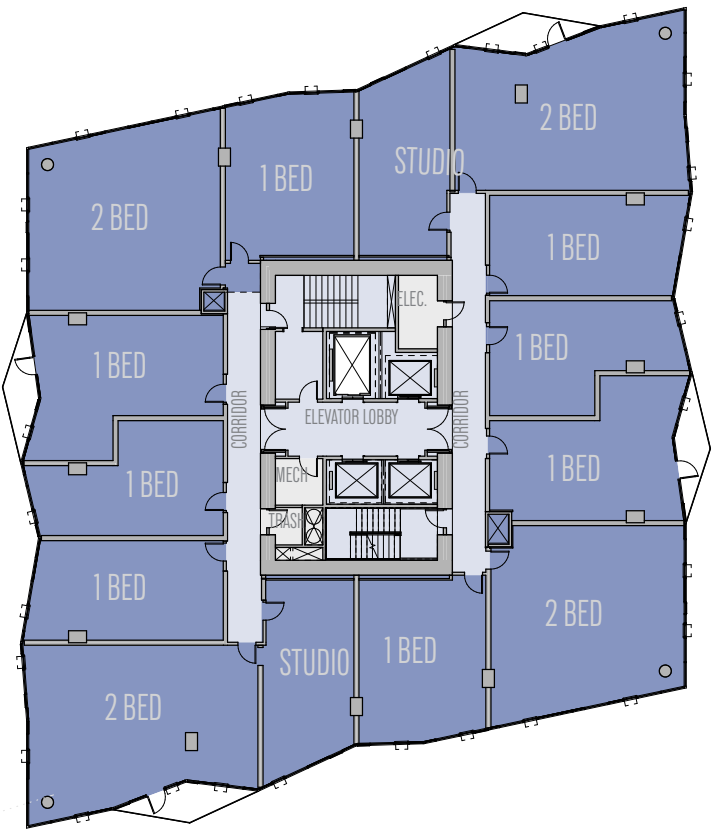
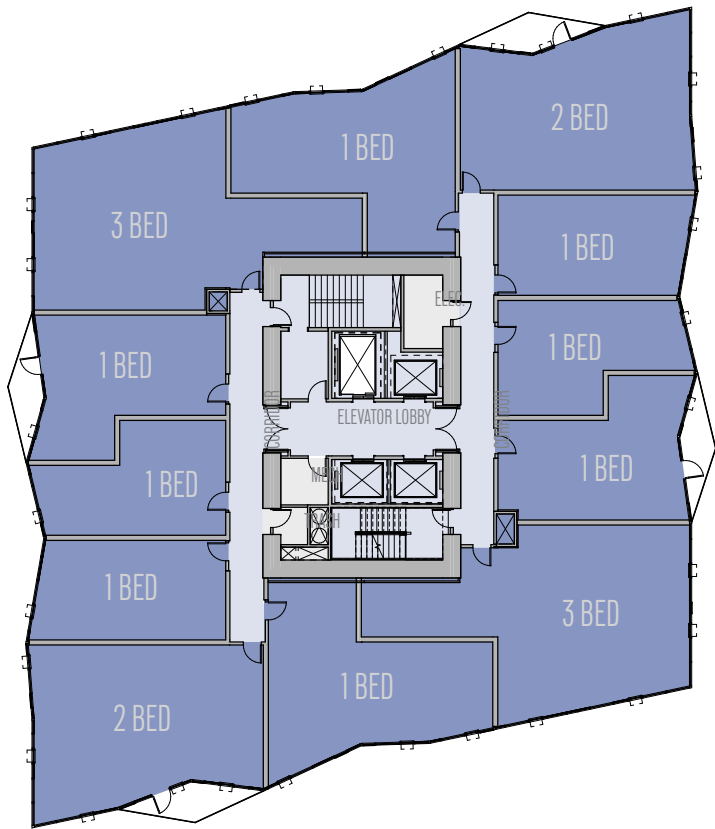


N SCALE: 1/32" = 1' - 0"

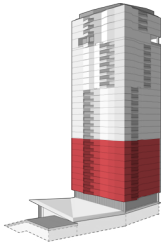
FLOOR PLAN: LEVEL 02

LEGEND

- HOUSING UNITS
- AMENITY
- CIRCULATION
- SALES / SERVICES
- LANDSCAPE
- PARKING / SUPPORT

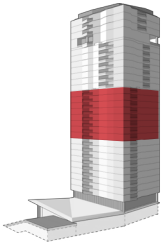


FLOOR PLAN: LEVELS 03-10



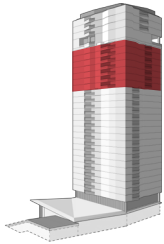
LEVEL SUMMARY	
UNITS/FLOOR	12
GROSS SF	12,313
FAR GSF	12,454

FLOOR PLAN: LEVELS 11-19



LEVEL SUMMARY	
UNITS/FLOOR	14
GROSS SF	12,313
FAR GSF	12,454

FLOOR PLAN: LEVELS 20-26



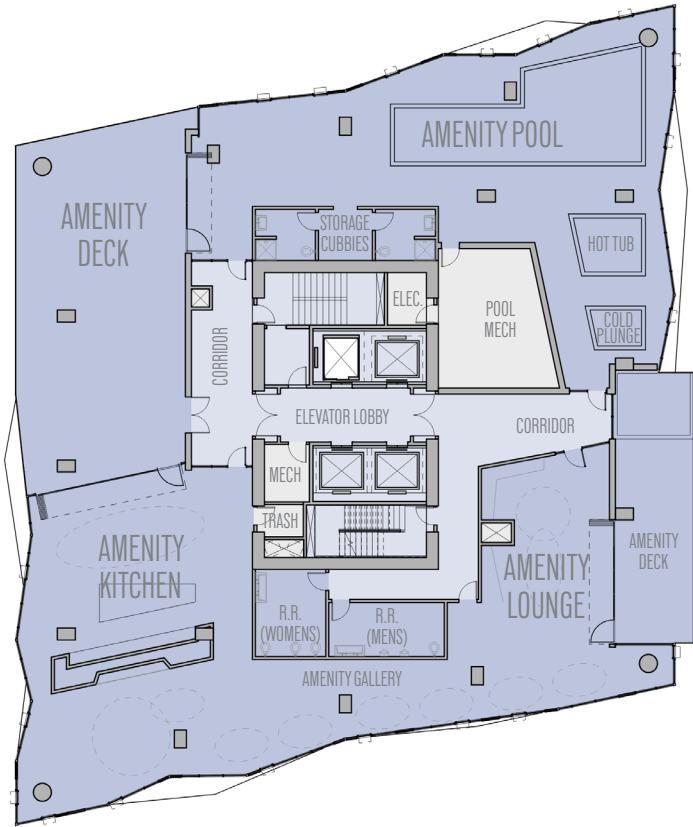
LEVEL SUMMARY	
UNITS/FLOOR	12
GROSS SF	12,245
FAR GSF	12,489

N► SCALE: 1/16" = 1' - 0"

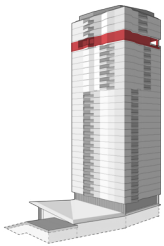
FLOOR PLANS: TOWER LEVELS

LEGEND

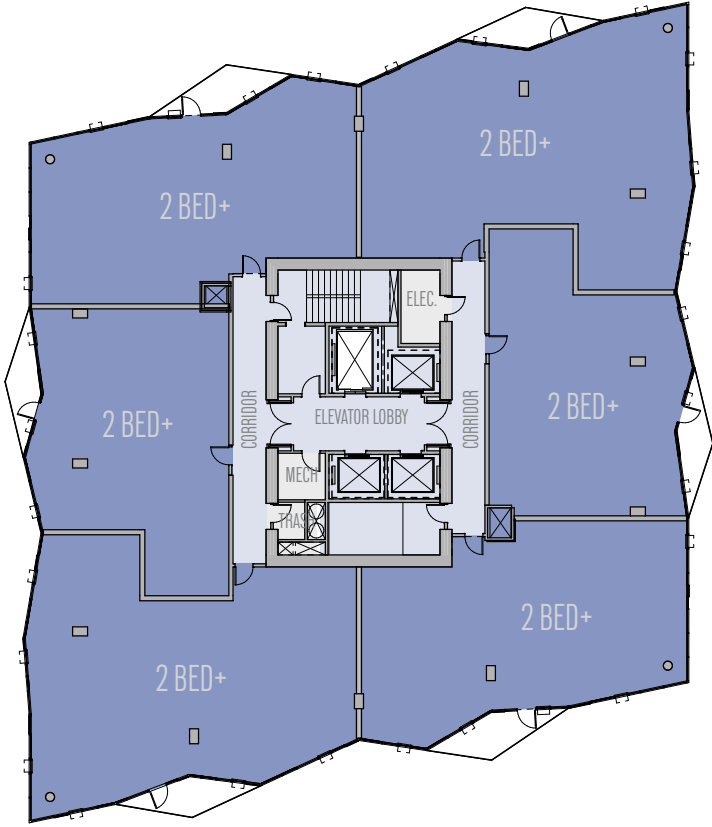
- HOUSING UNITS
- AMENITY
- CIRCULATION
- SALES / SERVICES
- LANDSCAPE
- PARKING / SUPPORT



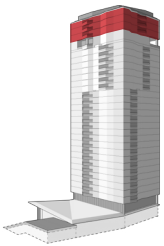
FLOOR PLAN: LEVEL 27



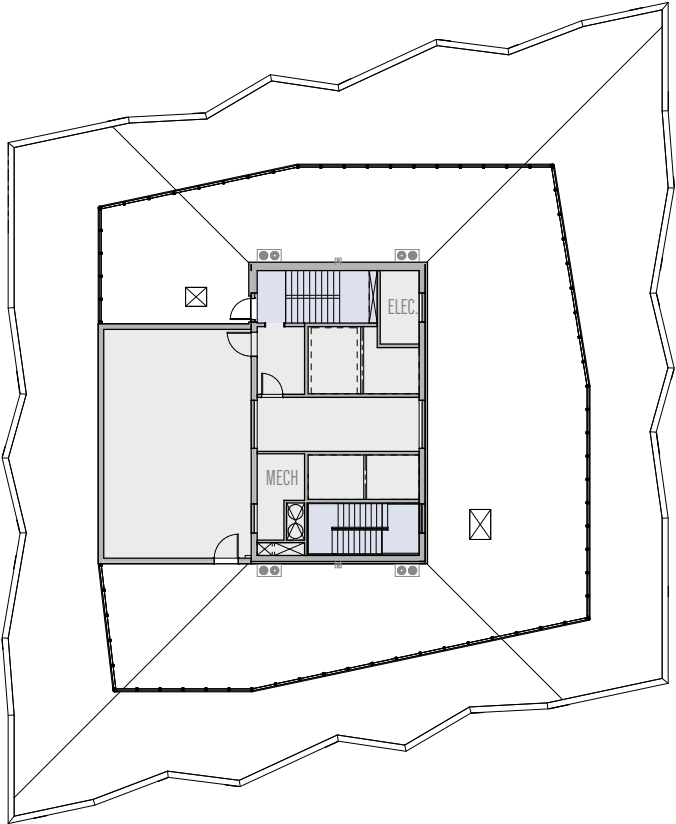
LEVEL SUMMARY	
UNITS/FLOOR	0
GROSS SF	10,362
FAR GSF	12,322



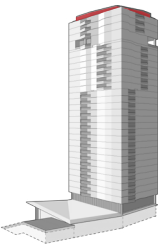
FLOOR PLAN: LEVELS 28-30



LEVEL SUMMARY	
UNITS/FLOOR	7
GROSS SF	12,309
FAR GSF	12,309



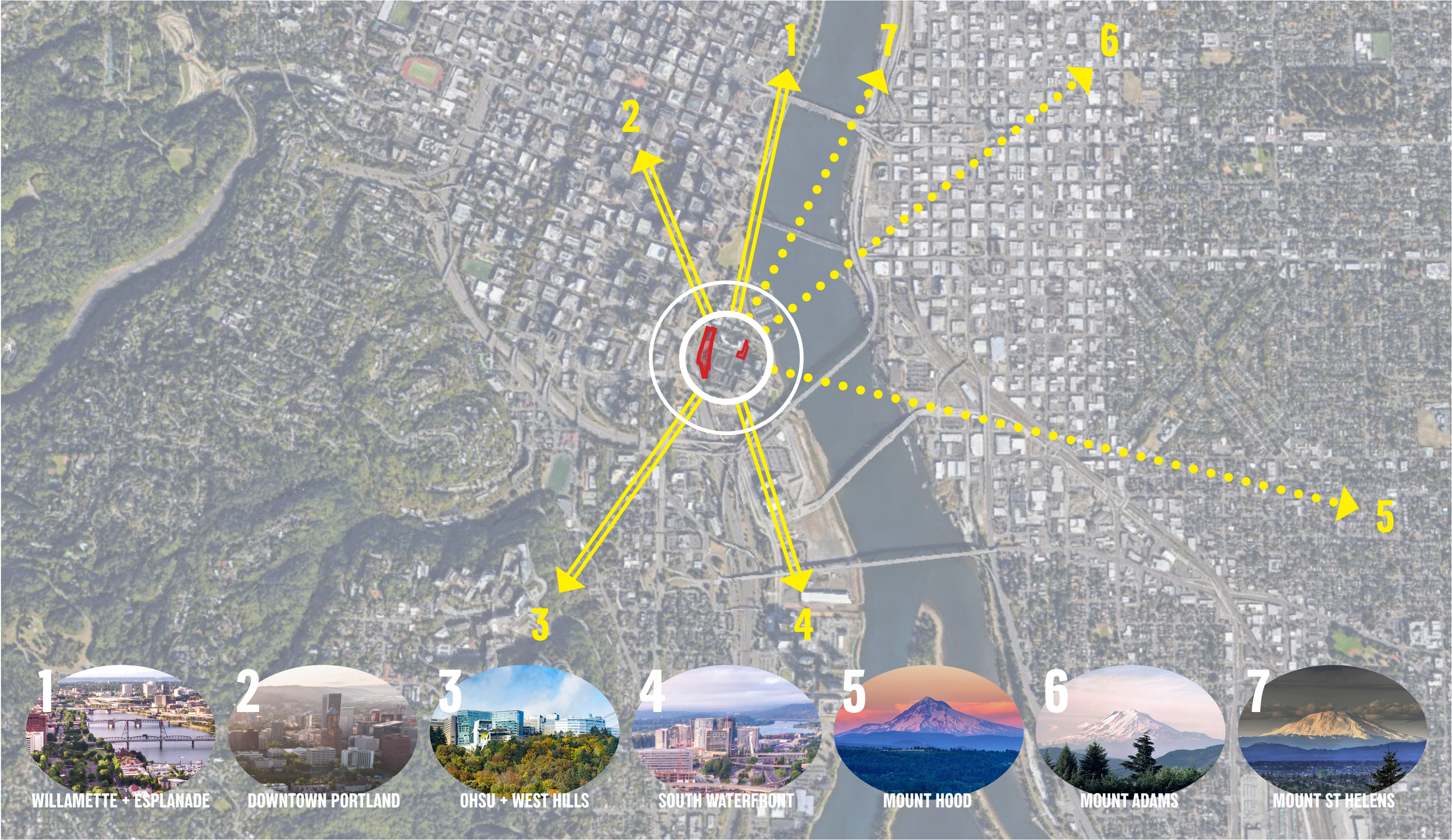
FLOOR PLAN: ROOF LEVEL

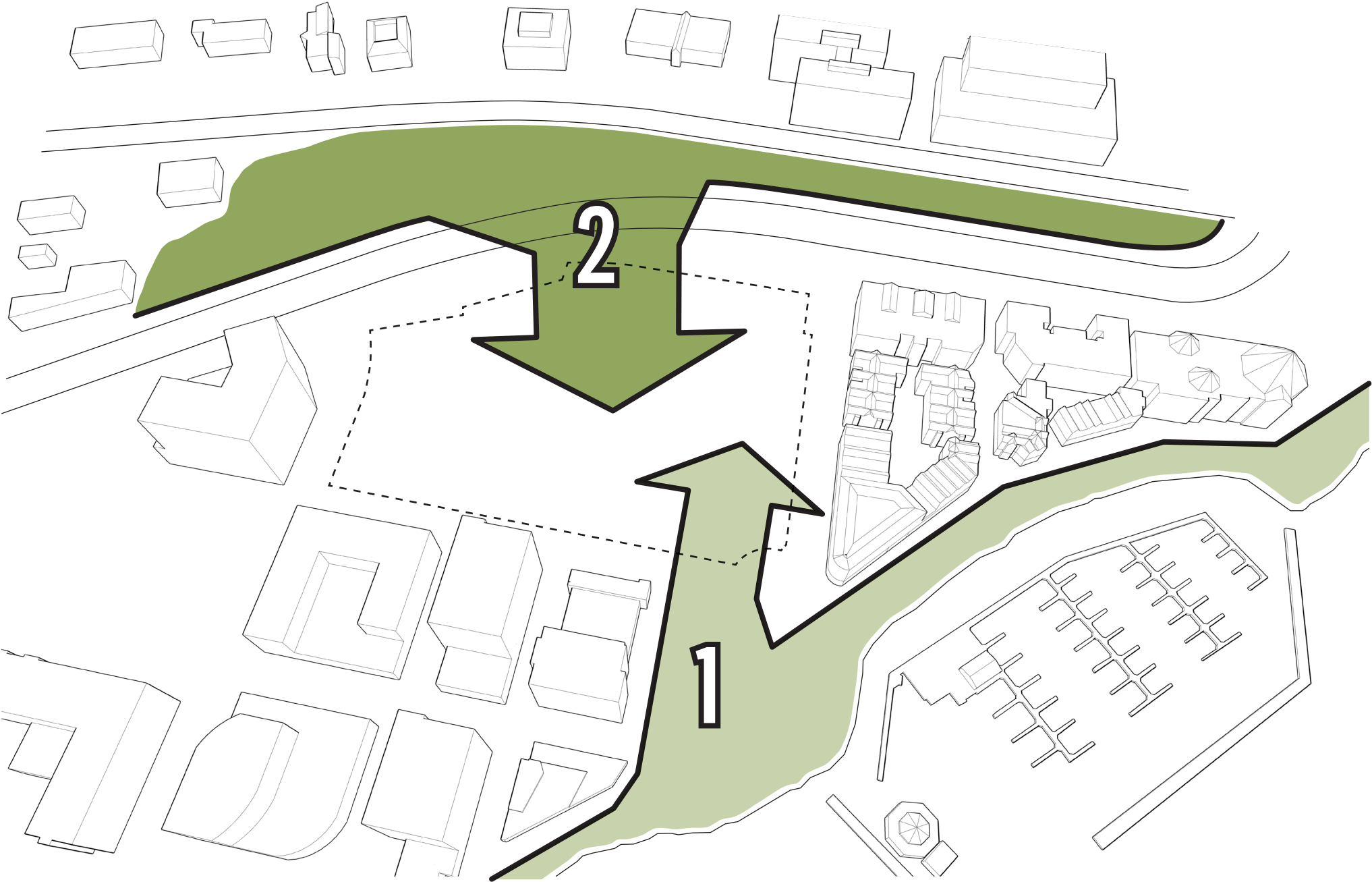


LEVEL SUMMARY	
UNITS/FLOOR	0
GROSS SF	2,504
FAR GSF	0

N► SCALE: 1/16" = 1' - 0"

FLOOR PLANS: TOWER LEVELS





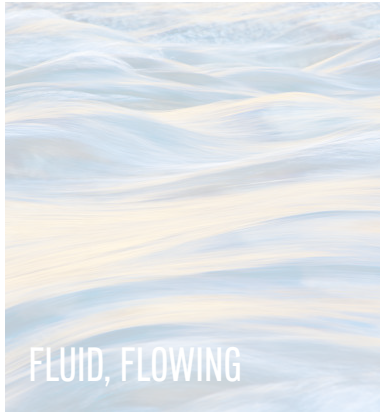
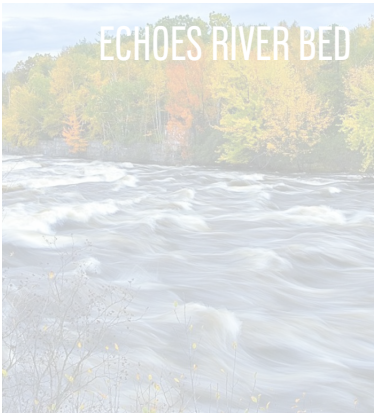
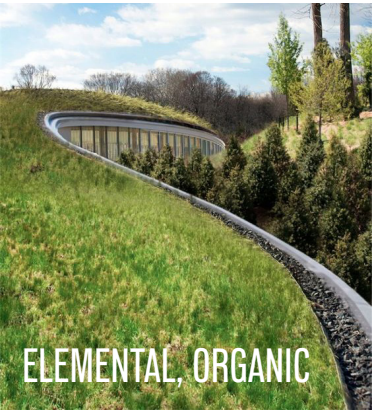
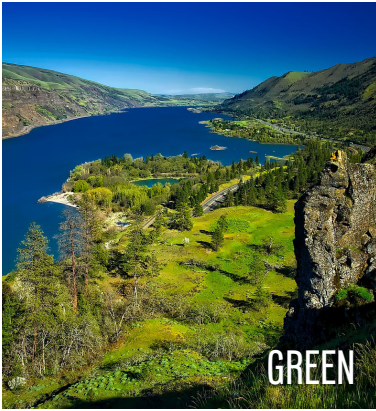
1 Bring the green character of the Willamette River and Greenway deeper into the site.

Currently South Waterfront Park offers a series of smaller, intimate green gathering areas in a heavily landscaped environment. The master plan proposes a roughly ½ acre park that features more expansive open areas for community events, gatherings and celebrations.

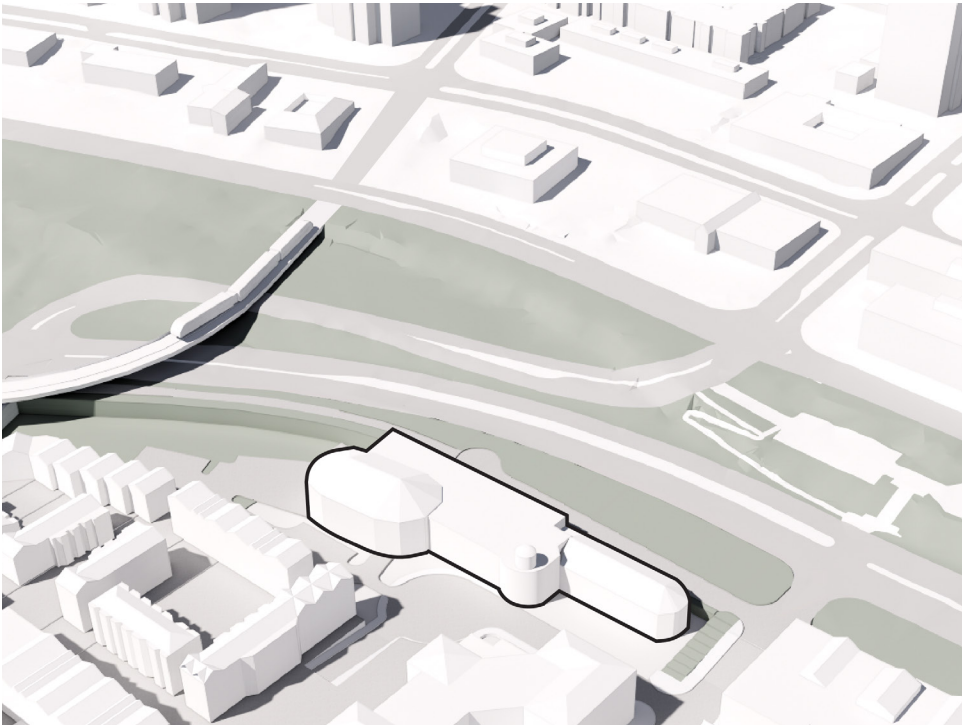
2 Reintroduce the natural, sloped landscape between SW Naito Pkwy and S Harbor Dr to create link to downtown.

The current location of the RiverPlace Athletic Club acts a barrier between downtown and RiverPlace. By extending the natural landscape that once was present back into the site, the visual connection to downtown is reintroduced and the community becomes more directly linked to the surroundings.

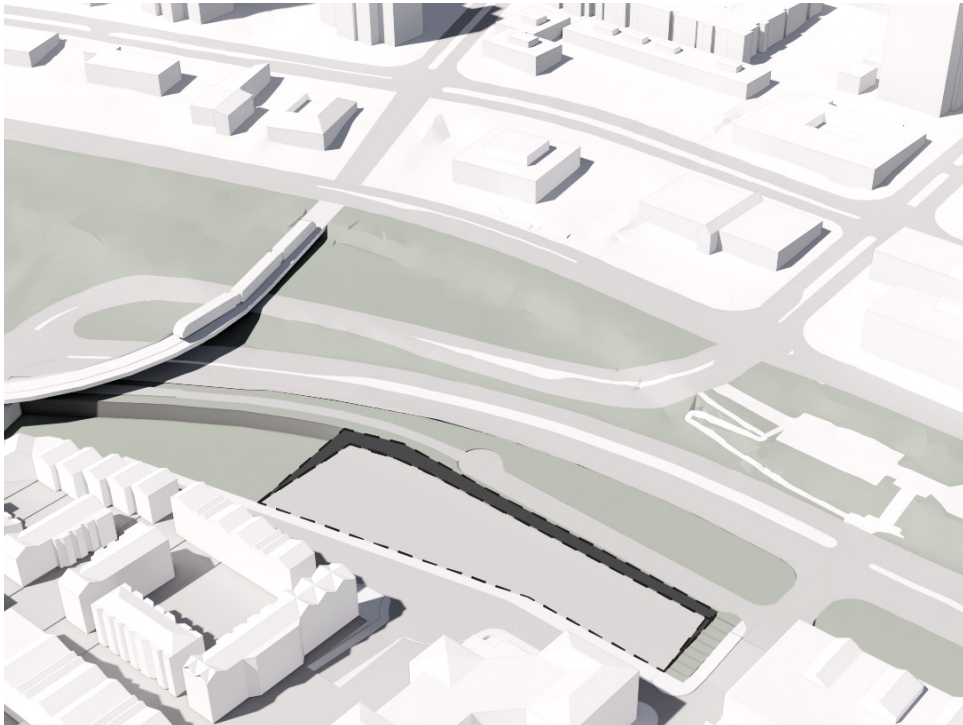
DESIGN CONCEPT: RE-INTRODUCE THE LANDSCAPE



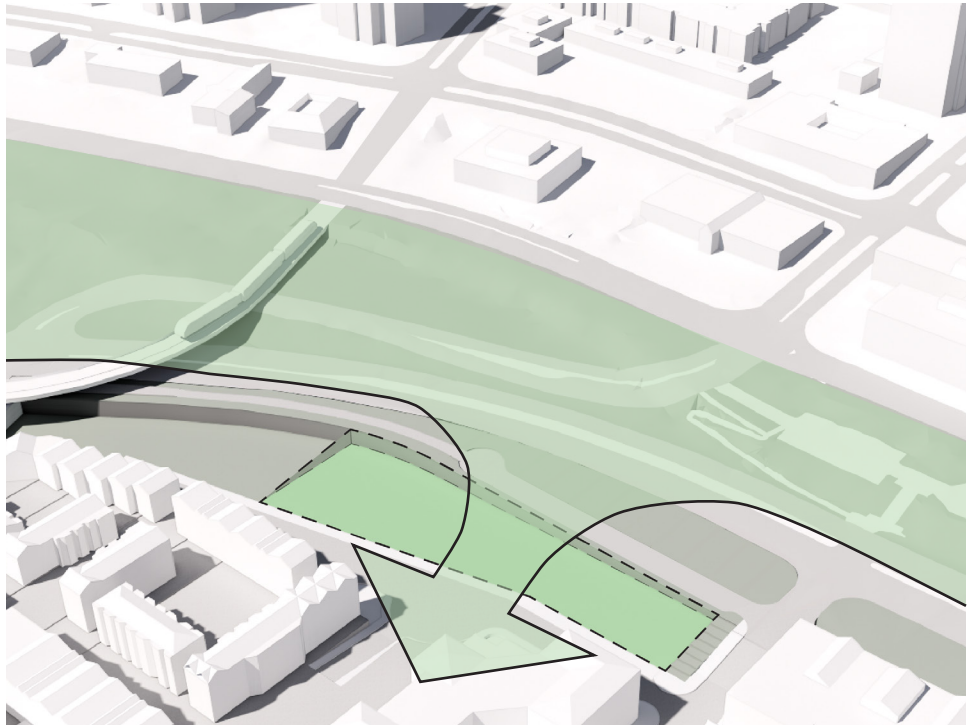
DESIGN CONCEPT: CONNECTION TO THE WILLAMETTE RIVER



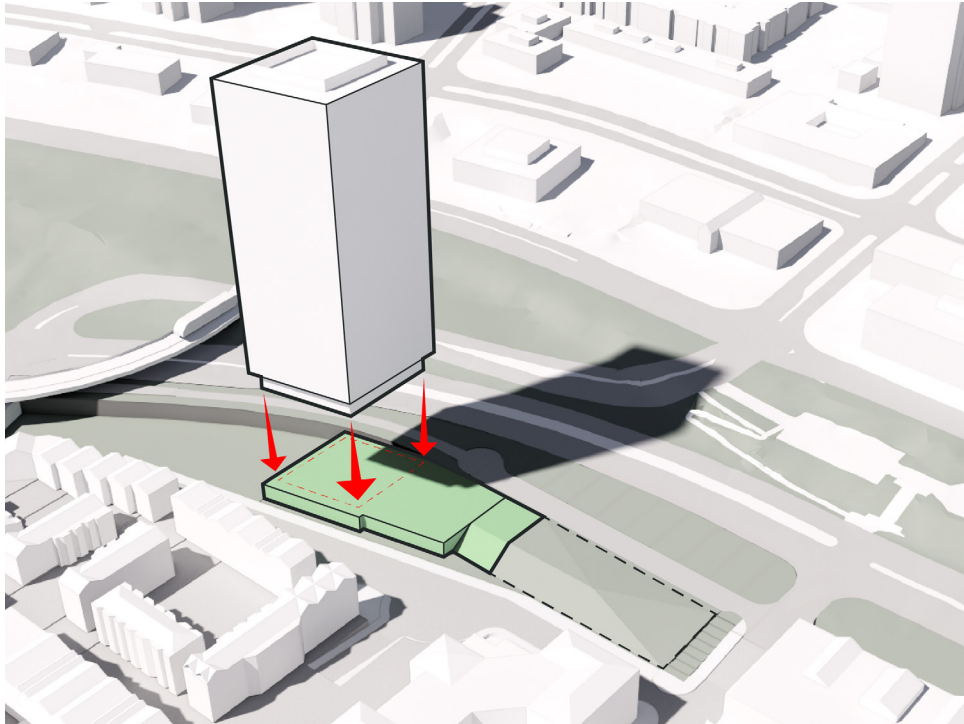
VACANT RIVERPLACE ATHLETIC CLUB



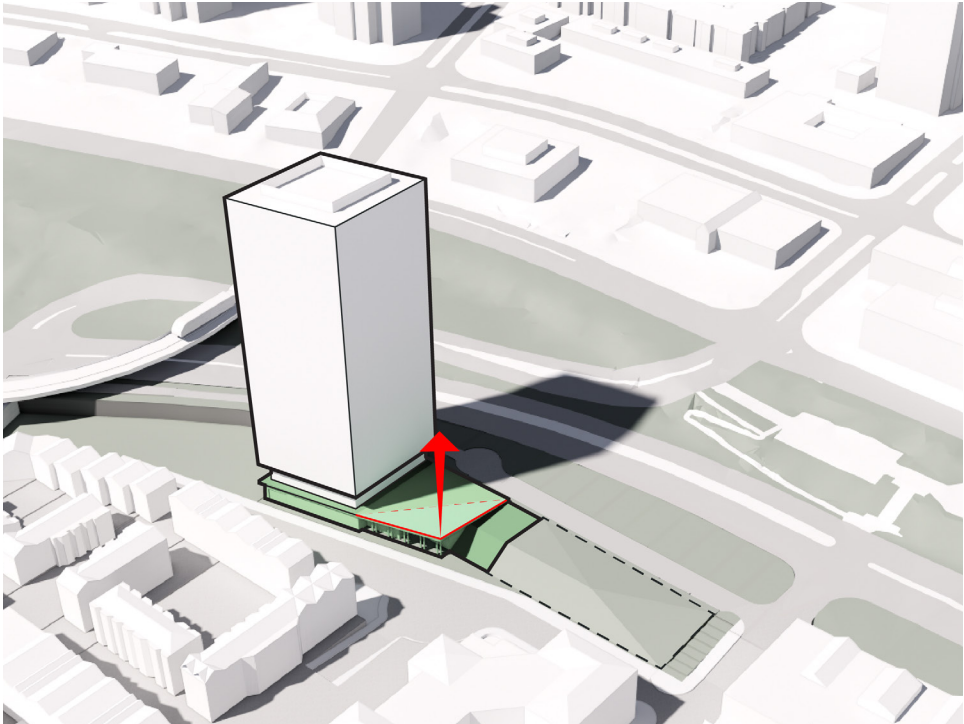
VOID LEFT IN LANDSCAPE



REINTRODUCE LANDSCAPE

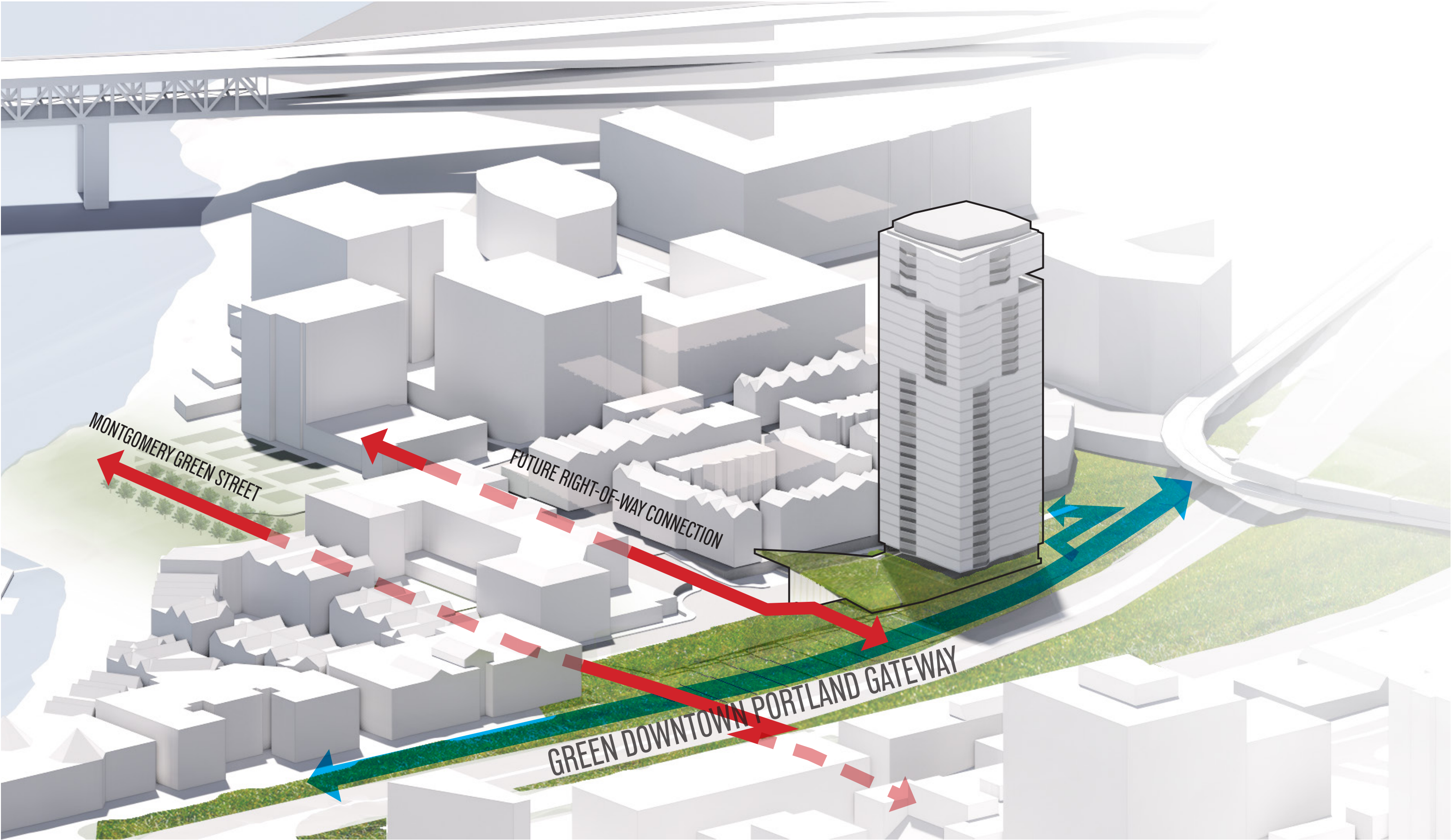


PLACE NARROW TOWER ON TOP OF LANDSCAPE

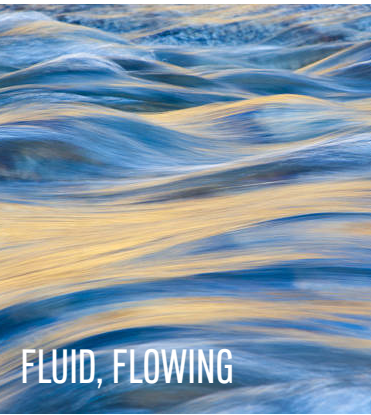
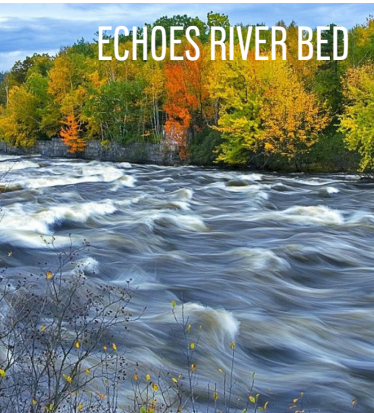
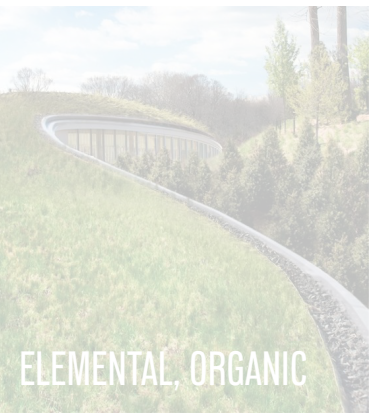


LIFT LANDSCAPE AT KEY POINTS

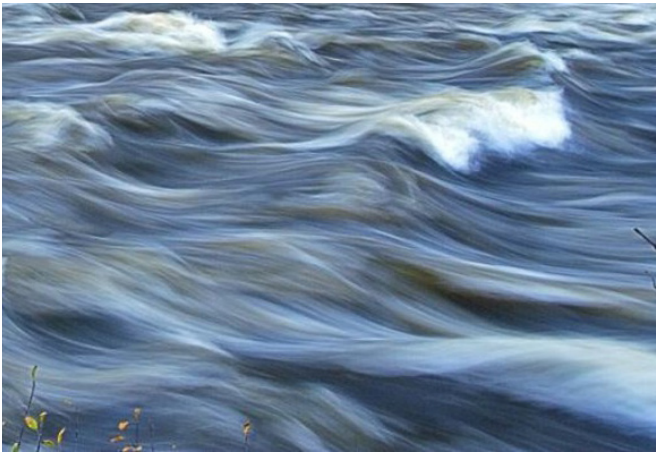
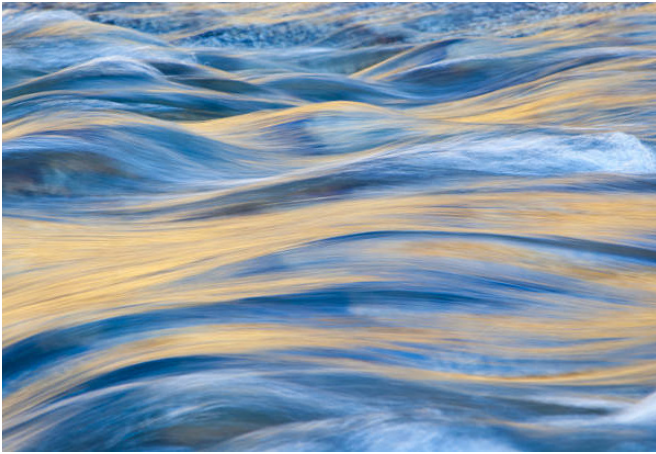
DESIGN CONCEPT: RE-INTRODUCE THE LANDSCAPE



DESIGN CONCEPT: LANDSCAPE GATEWAY

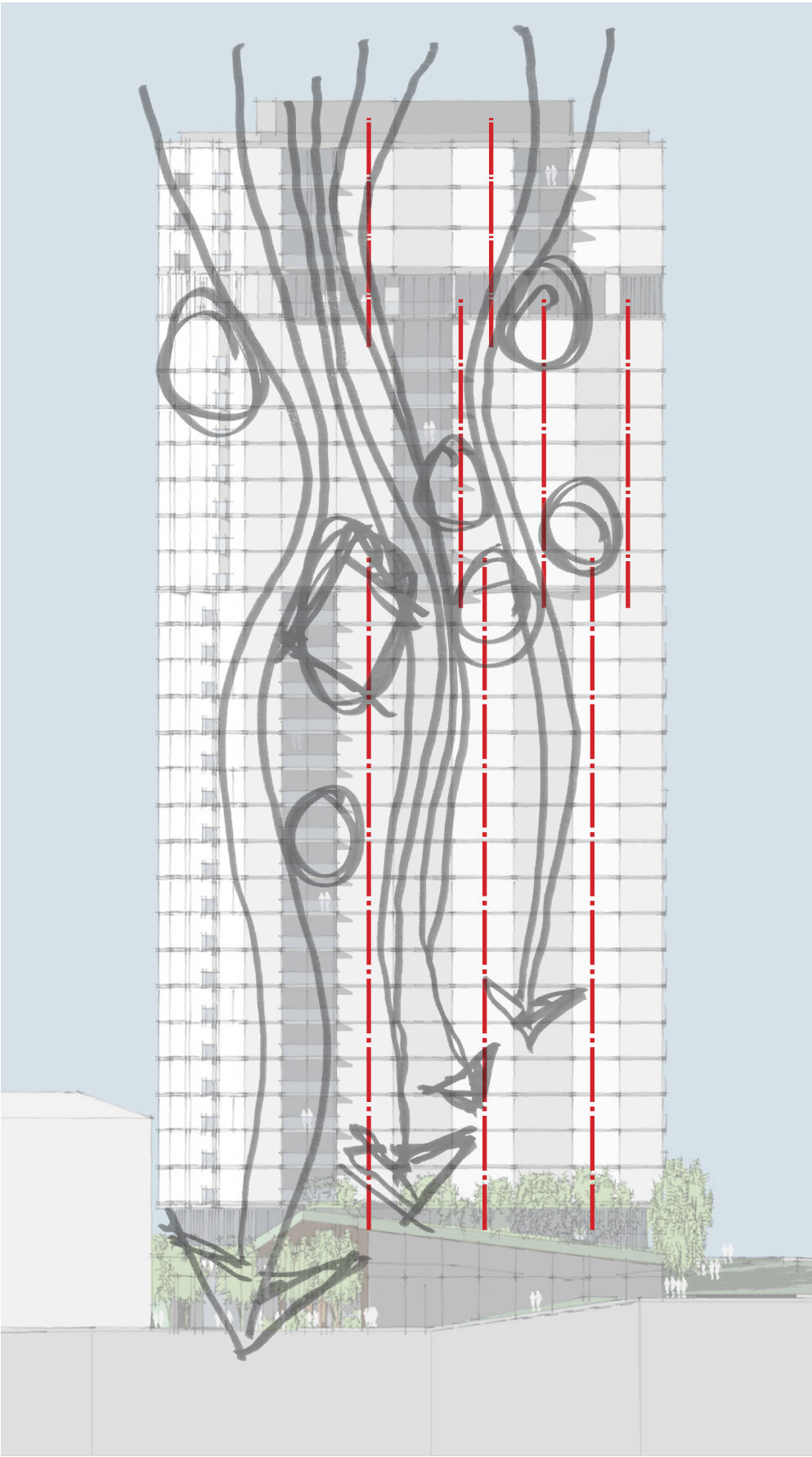


DESIGN CONCEPT: CONNECTION TO THE WILLAMETTE RIVER

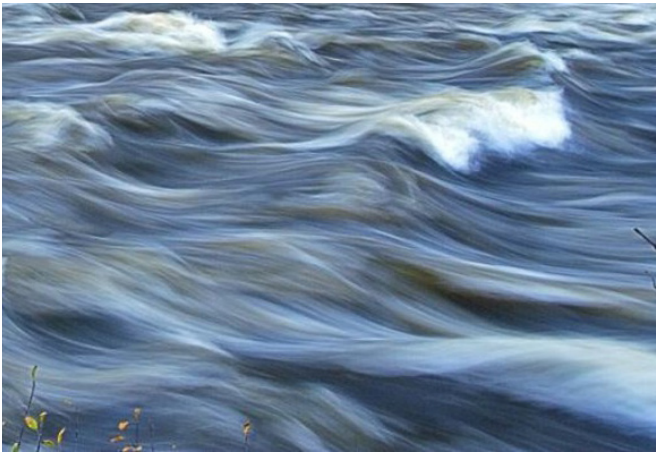
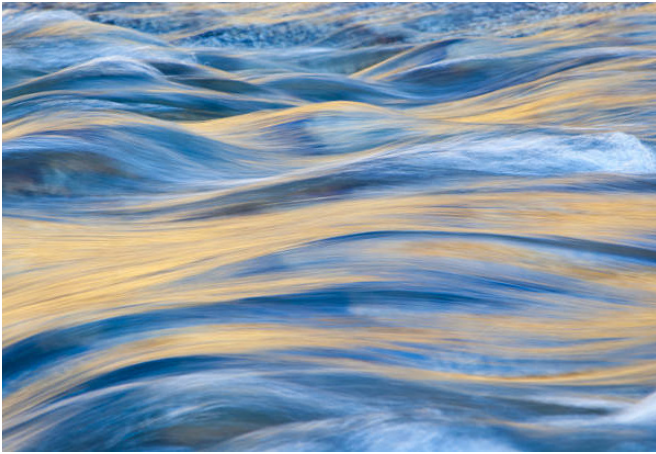


The tower form is reminiscent of the ever-changing motion of the water that the Pacific Northwest is known for.

Canted windows, balconies, and building program elements provide the structure for the flow of the facade.

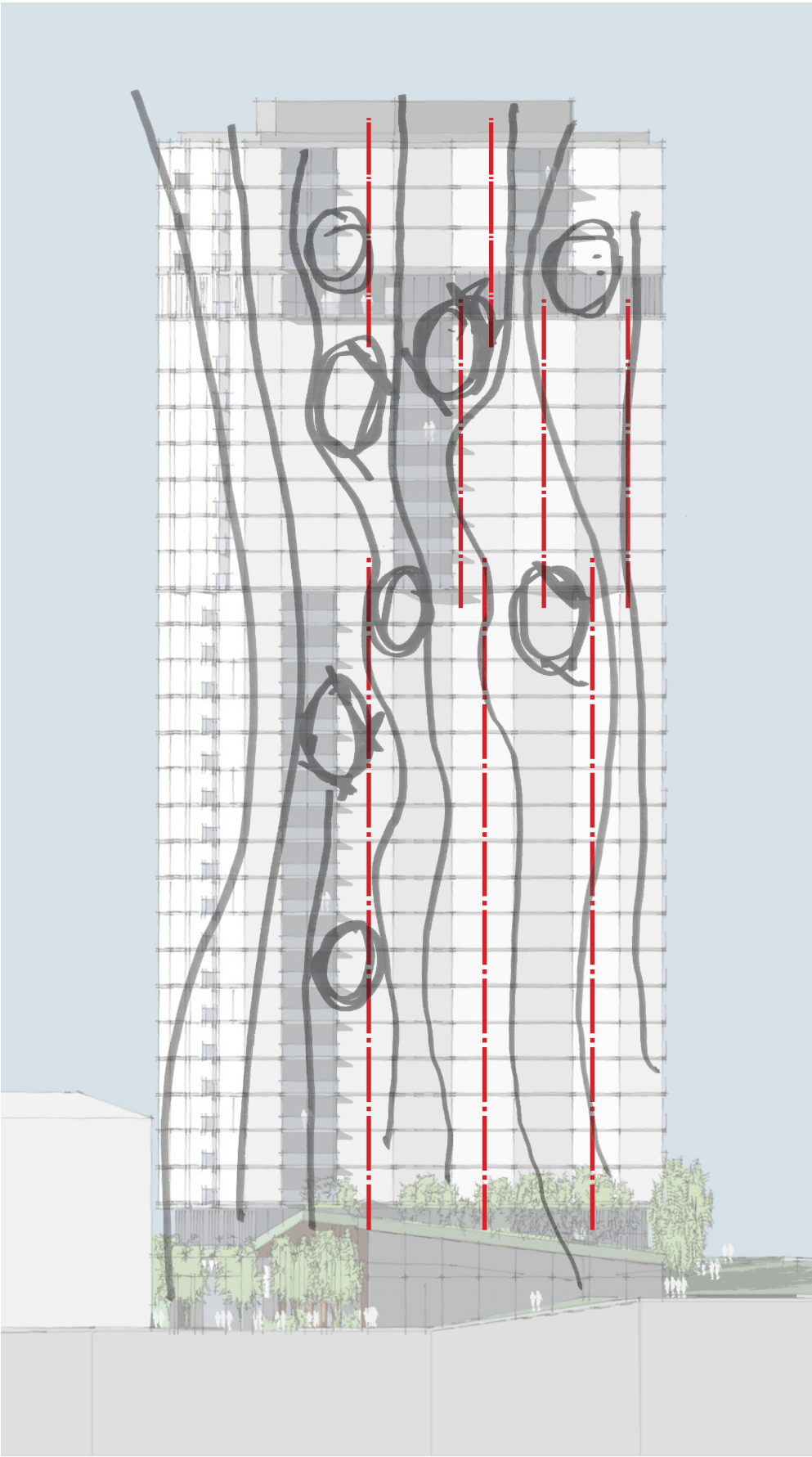


TOWER DESIGN CONCEPT: RIPPLING FACADE

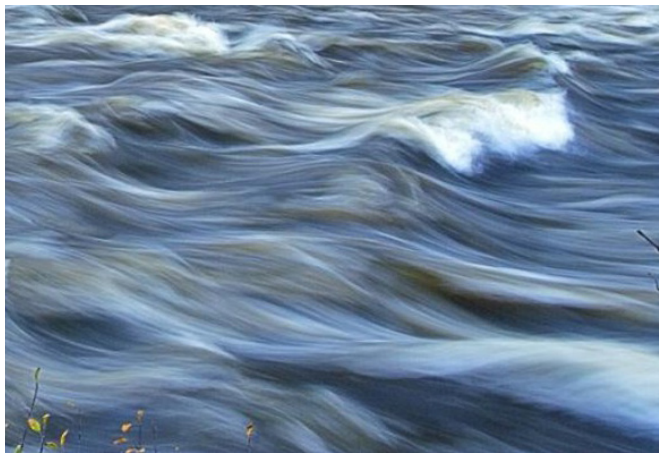
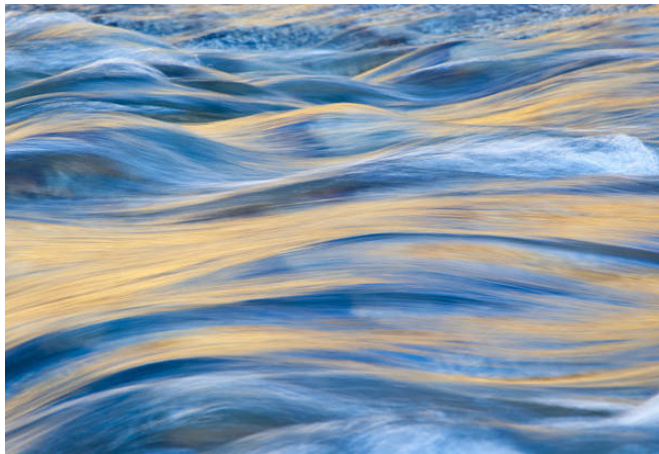


The tower form is reminiscent of the ever-changing motion of the water that the Pacific Northwest is known for.

Canted windows, balconies, and building program elements provide the structure for the flow of the facade.

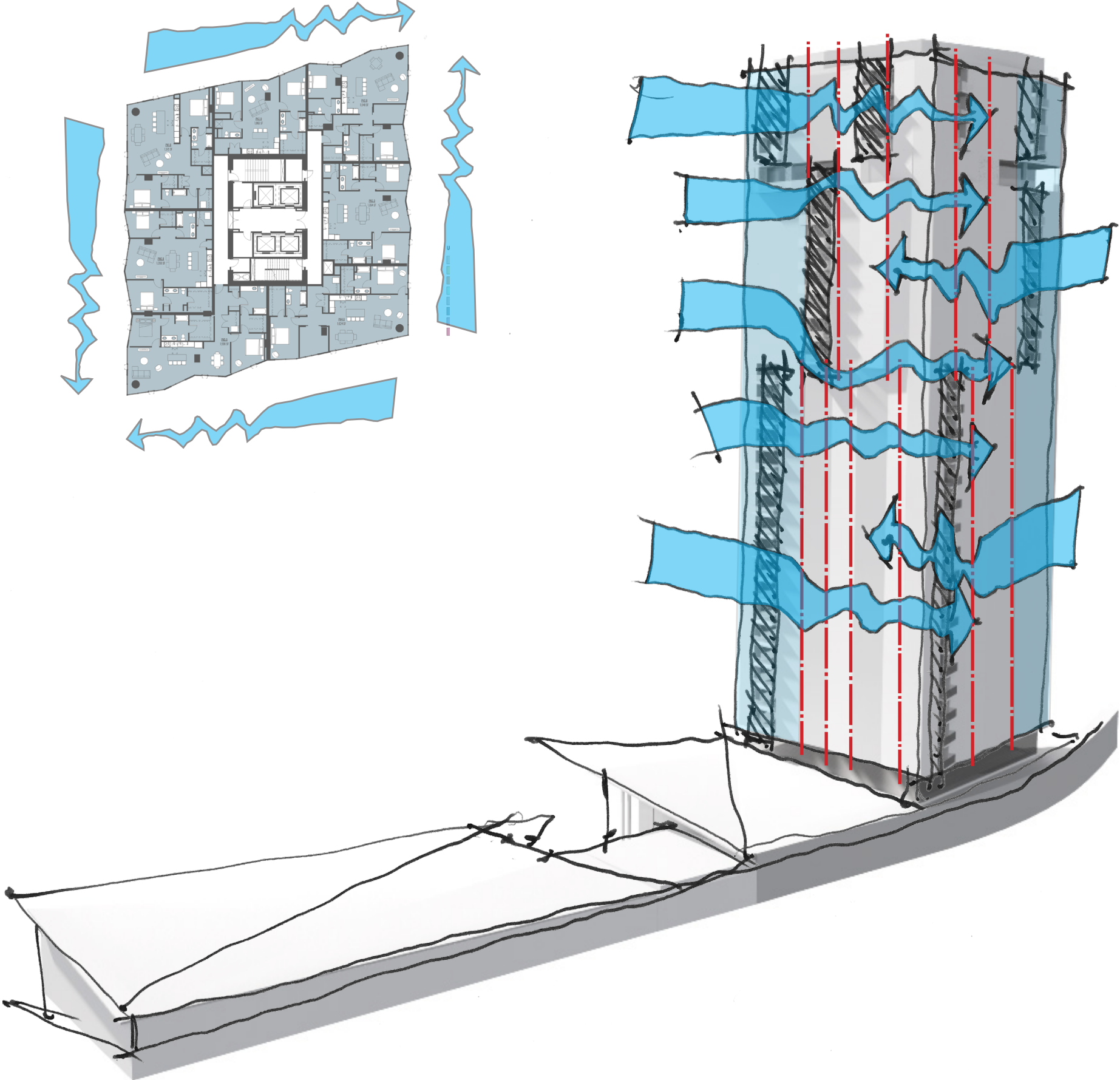


TOWER DESIGN CONCEPT: RIPPLING FACADE



The tower form is reminiscent of the ever-changing motion of the water that the Pacific Northwest is known for.

Canted windows, balconies, and building program elements provide the structure for the flow of the facade.



TOWER DESIGN CONCEPT: RIPPLING FACADE



SCALE: 1" = 40' - 0"

EAST ELEVATION: ALONG "A" STREET



SCALE: 1" = 40' - 0"

WEST ELEVATION: ALONG S HARBOR DRIVE

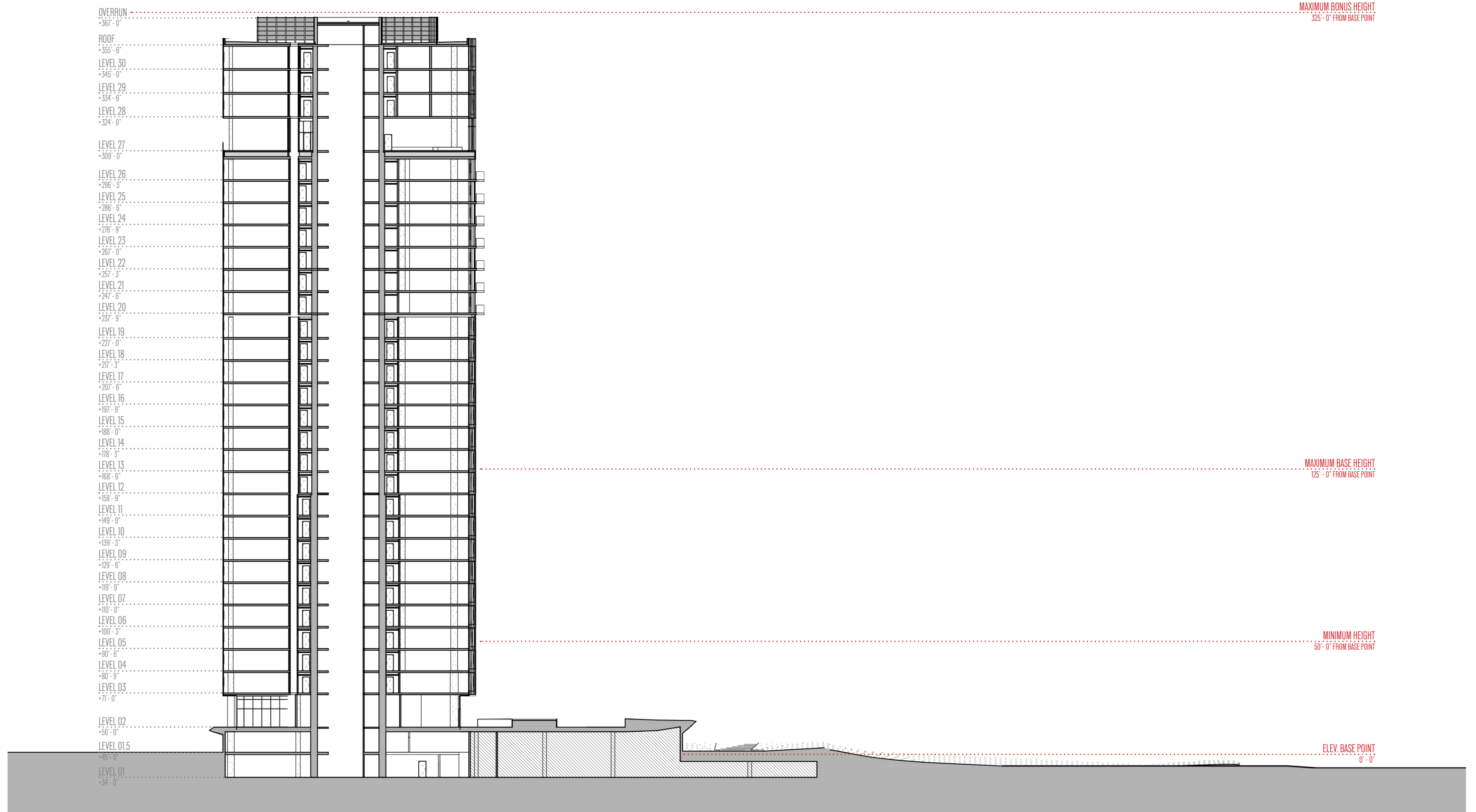


SCALE: 1" = 40' - 0"

SOUTH ELEVATION: ALONG S RIVER PARKWAY



NORTH ELEVATION: ALONG PEDESTRIAN ACCESSWAY

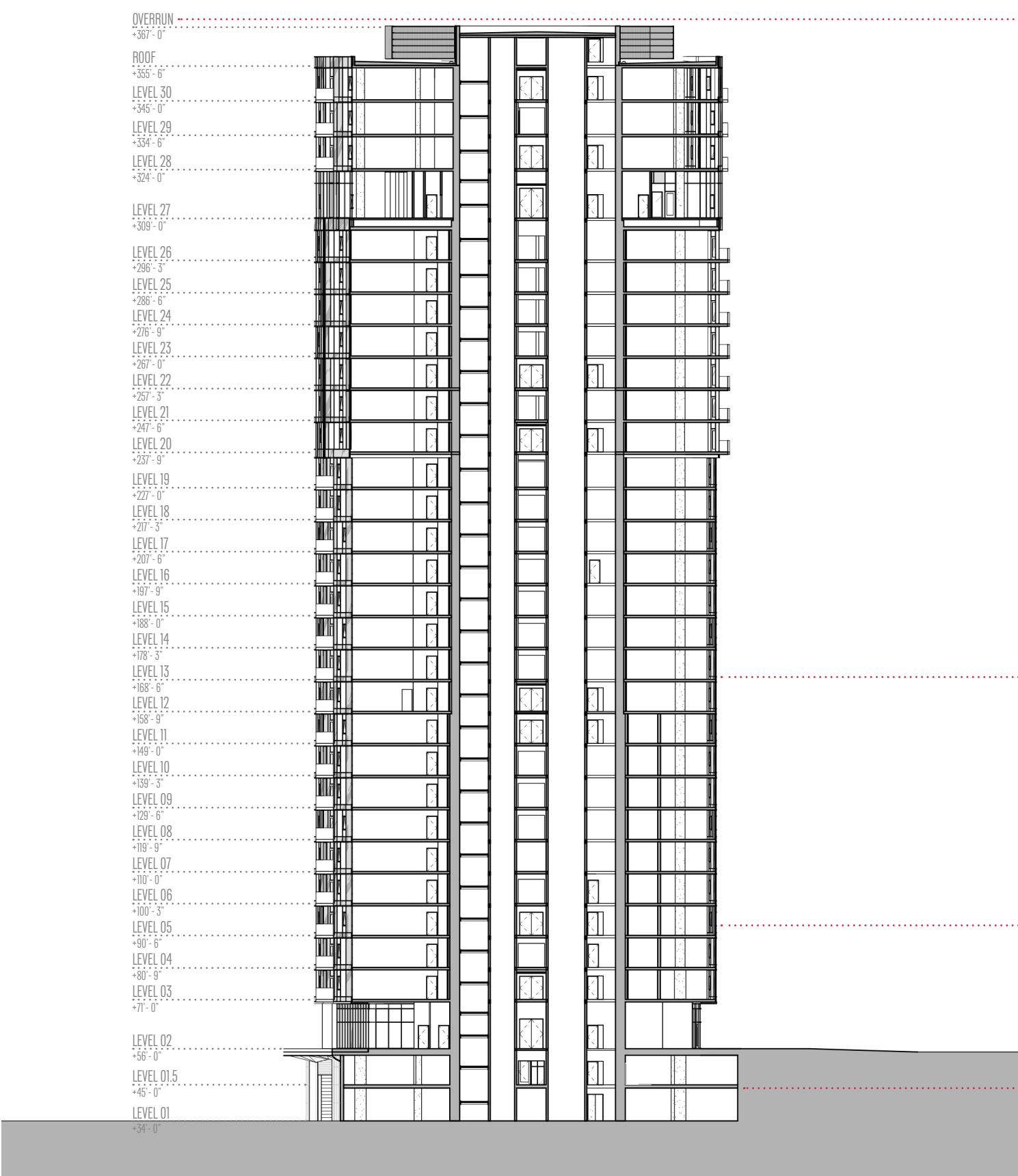


SCALE: 1" = 40' - 0"

GBD Architects

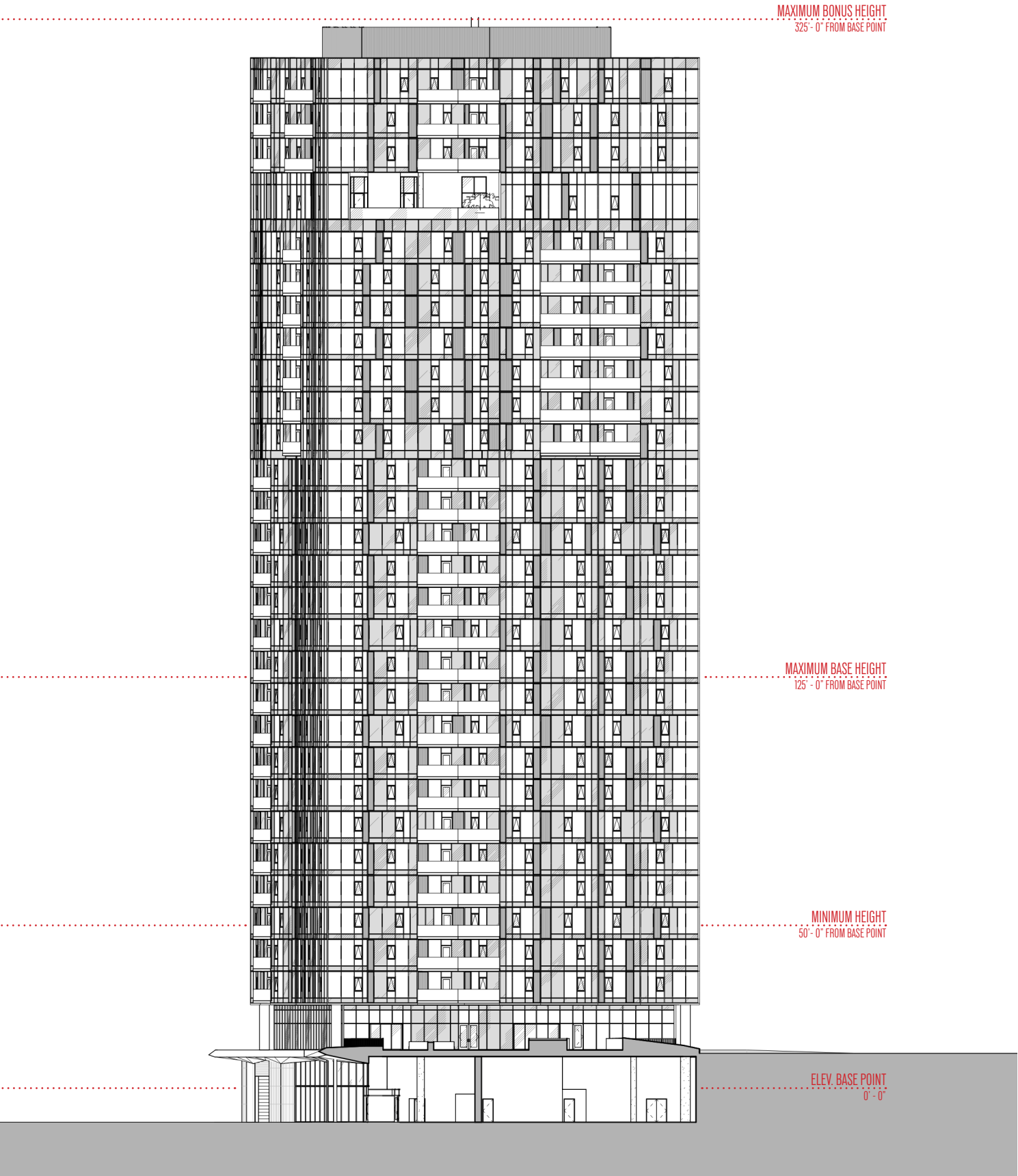
BUILDING SECTION A-A: LOOKING WEST

EA 22-119953 AD, Exhibit A.1 C.32



SCALE: 1" = 40' - 0"

BUILDING SECTION C-C: LOOKING SOUTH AT TOWER



BUILDING SECTION B-B: LOOKING SOUTH AT LOBBY



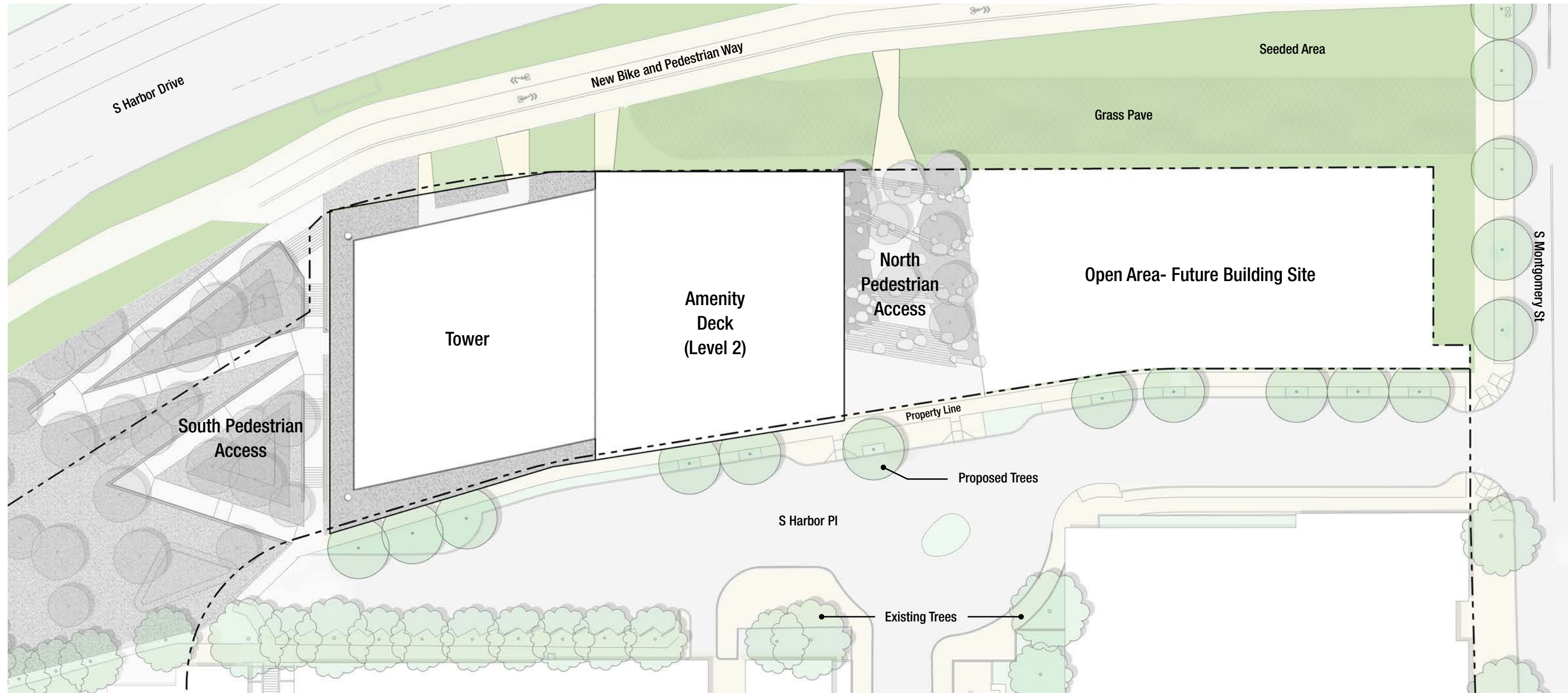
3D VIEW: LOOKING SOUTHWEST FROM MONTGOMERY & HARBOR



3D VIEW: LOOKING SOUTHEAST FROM HARBOR DRIVE

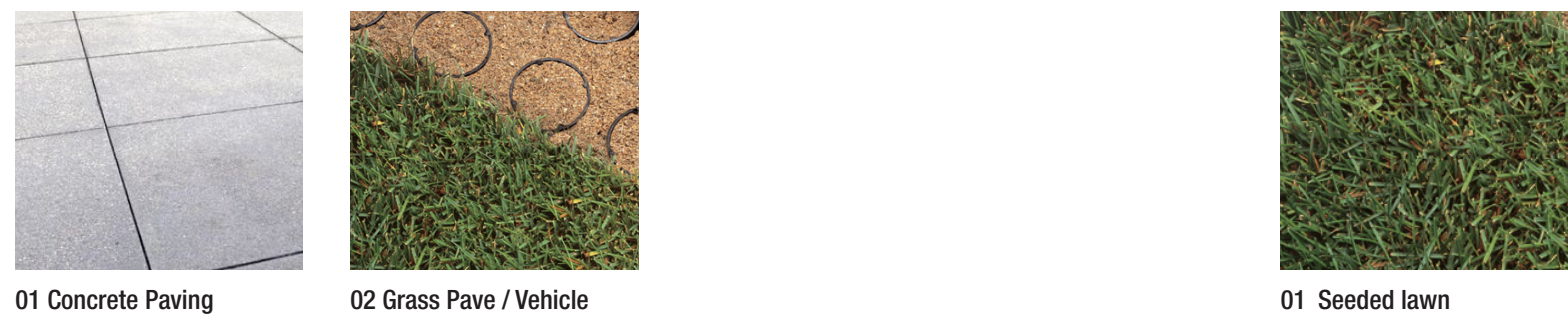


3D VIEW: LOOKING NORTH FROM HARBOR DRIVE



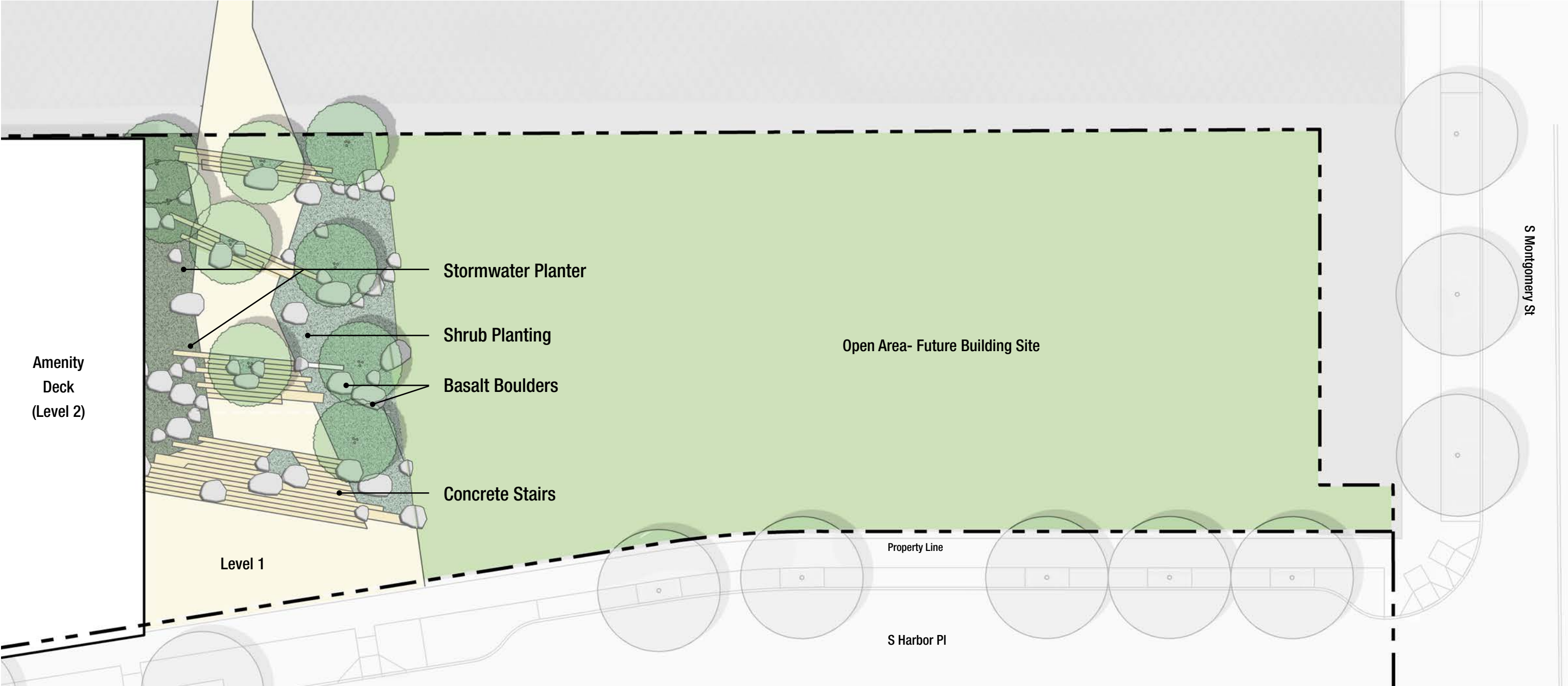
MATERIALS

PLANTING



N► SCALE: 1" = 40'

LANDSCAPE PLAN: GROUND FLOOR



MATERIALS

PLANTING



01 Concrete Paving



02 Concrete Stairs



03 Steel Handrails



04 Basalt Boulder



01 Japanese Pagoda Tree
Sophora japonica



02 Snowmound Spirea
Spiraea japonica



03 White Rock Rose
Cistus x corbariensis



04 Korean Lilac
Syringa meyeri



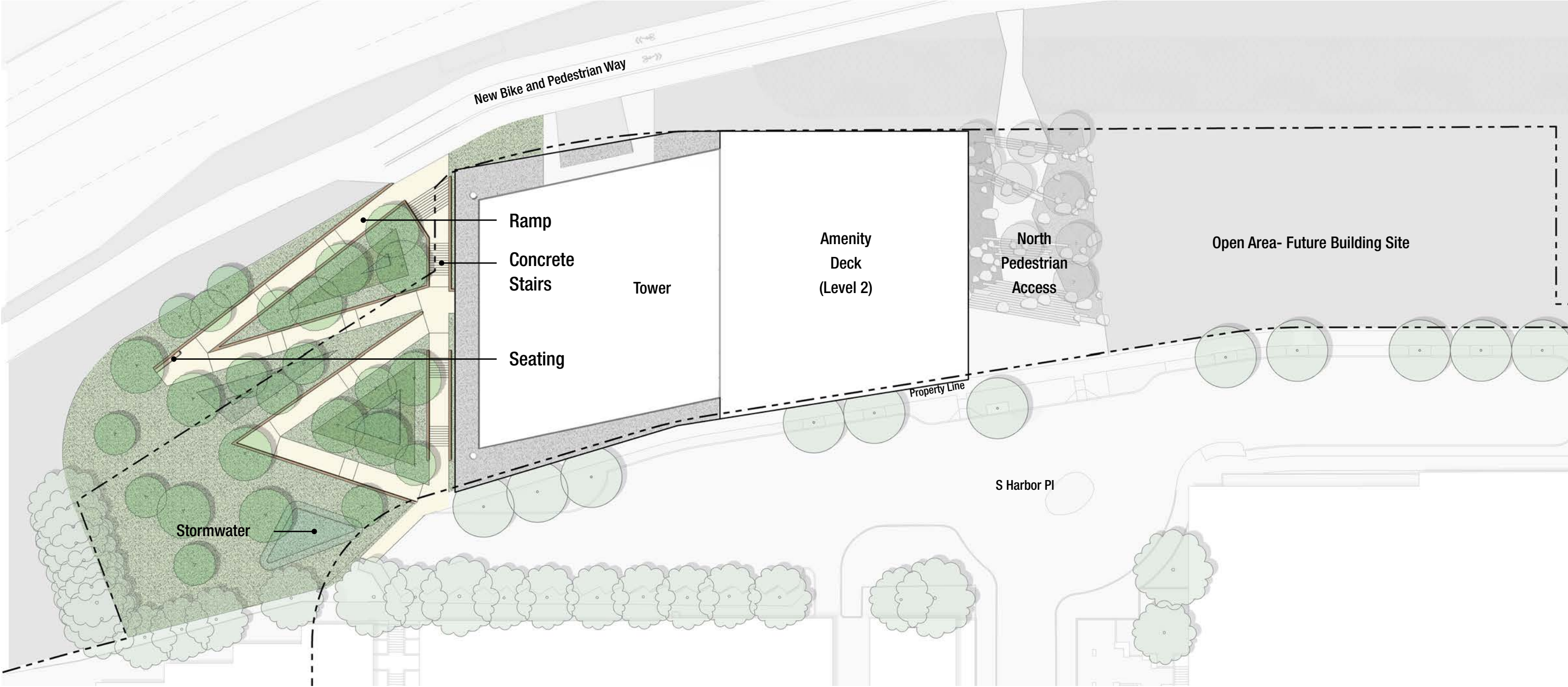
05 Western Sword Fern
Polystichum munitum




06 Point Reyes Ceanothus
Ceanothus gloriosus

N► SCALE: 1" = 20'


ENLARGED LANDSCAPE PLAN:NORTH PEDESTRIAN ACCESS & OPEN AREA




MATERIALS



01 Concrete Paving "A"




02 Concrete Stairs




03 Steel Handrails


PLANTING




01 Ocean Spray
Holodiscus discolor




02 White Rock Rose
Cistus x corbariensis




03 Snowberry
Symphoricarpos albus



04 Evergreen huckleberry
Vaccinium ovatum



05 Birchleaf Spirea
Spirea betulifolia 'Tor'



06 Creeping Ore. Grape
Mahonia repens

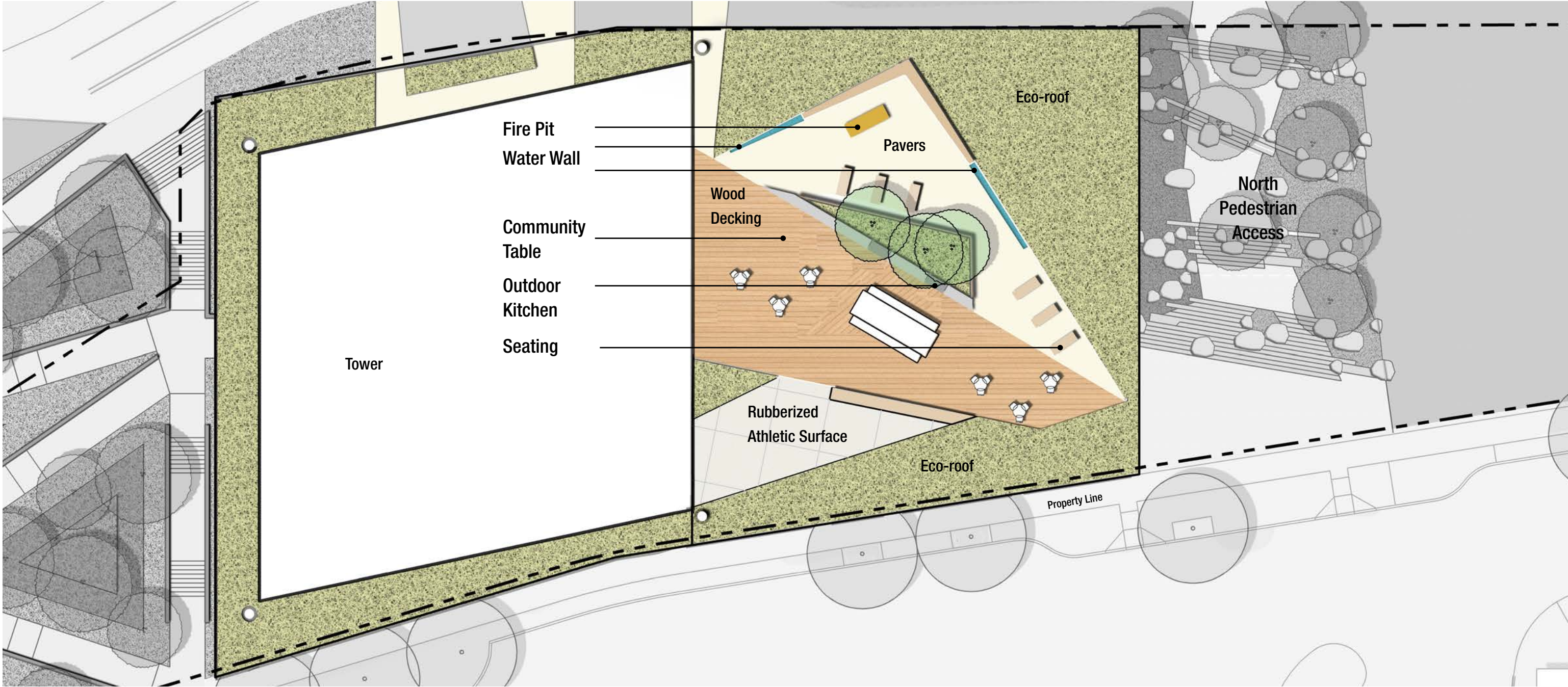
N► SCALE: 1" = 40'

ENLARGED LANDSCAPE PLAN:SOUTH PEDESTRIAN ACCESS & OPEN AREA

GBD Architects

EA 22-119953 AD, Exhibit A.1

C.39

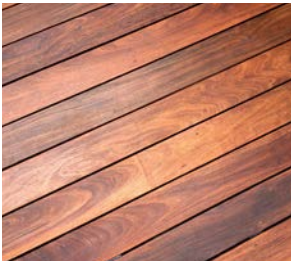


MATERIALS

PLANTING



01 Pavers



02 Wood Decking



03 Rubber Surface



04 Stone water wall



01 Eco Roof



02 Blue Mist Fothergilla
Fothergilla gardenii



03 Autumn Moor Grass
Sesleria autumnalis



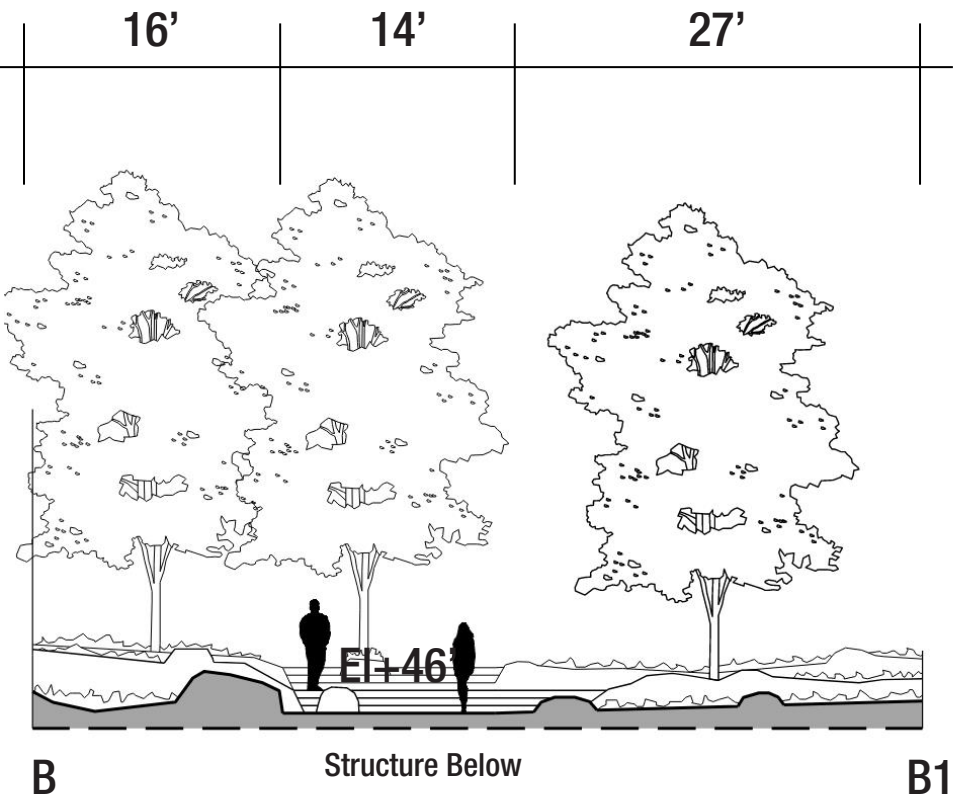
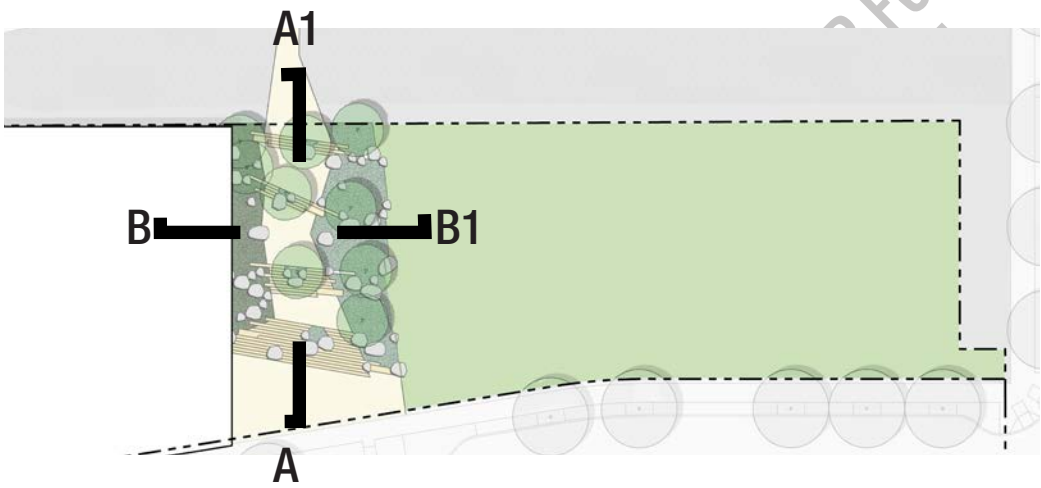
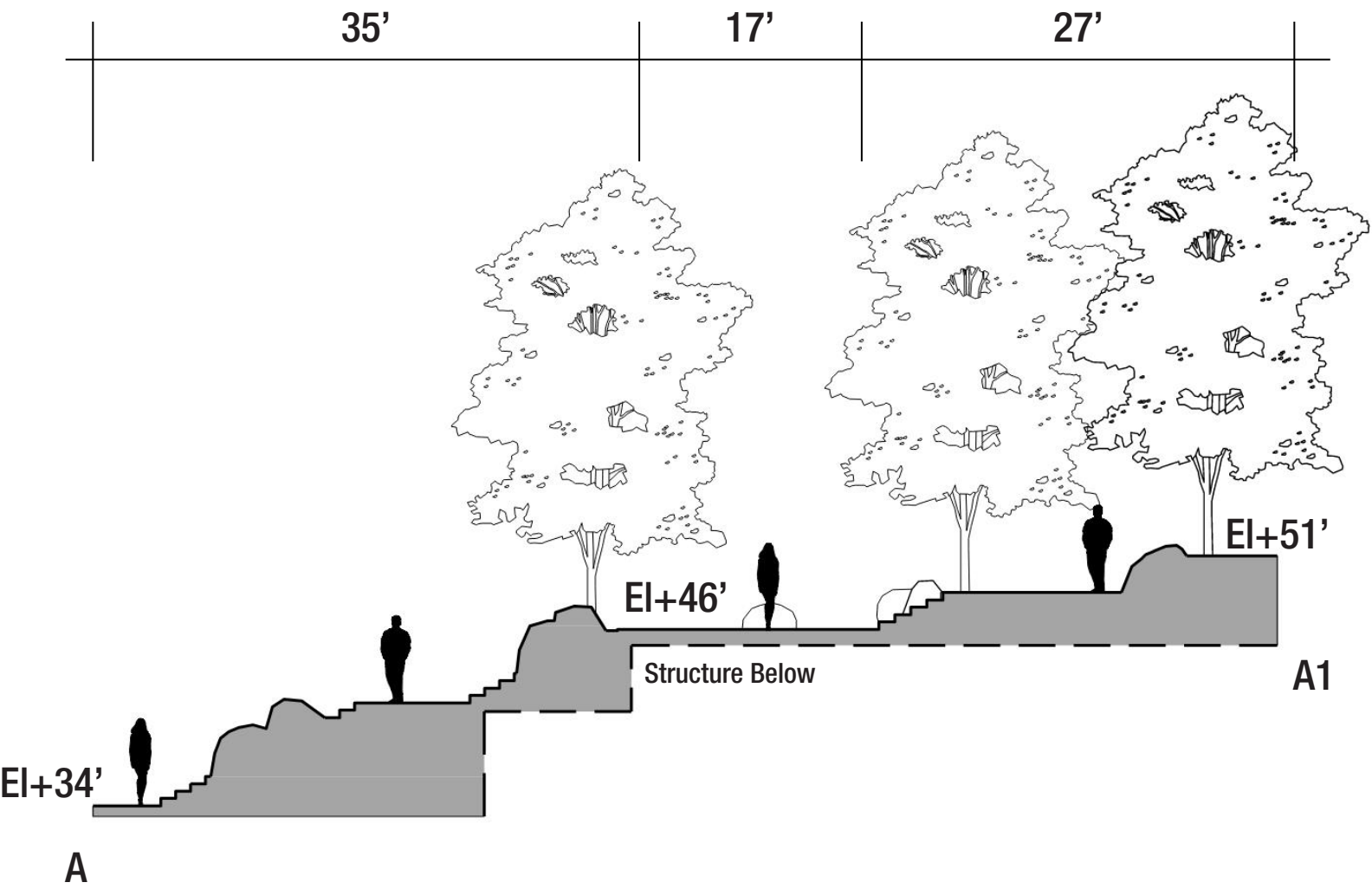
04 Tufted Hair Grass
Deschampsia cespitosa
'northern lights'



05 Kinnikinnick
Arctostaphylos
uva-ursi

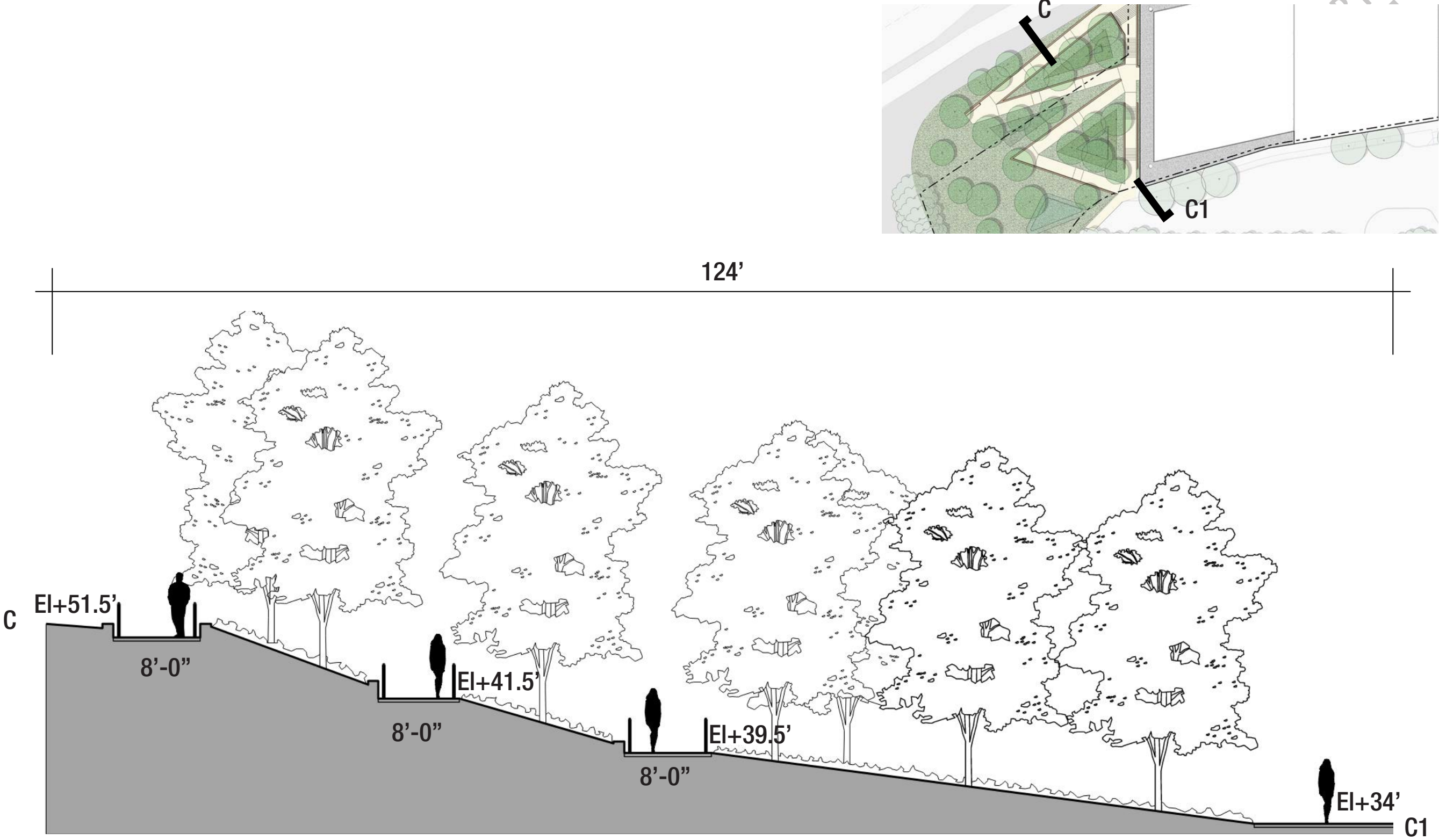
N► SCALE: 1" = 20'

LANDSCAPE PLAN: LEVEL 02



SCALE: 1/8" = 1'-0"

LANDSCAPE SECTION - NORTHPEDESTRIAN ACCESS & OPEN AREA

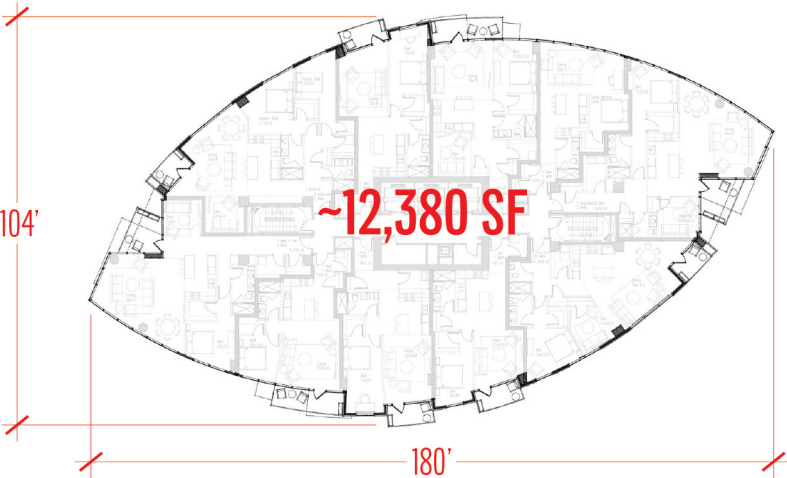


SCALE: 1/8" = 1'-0"

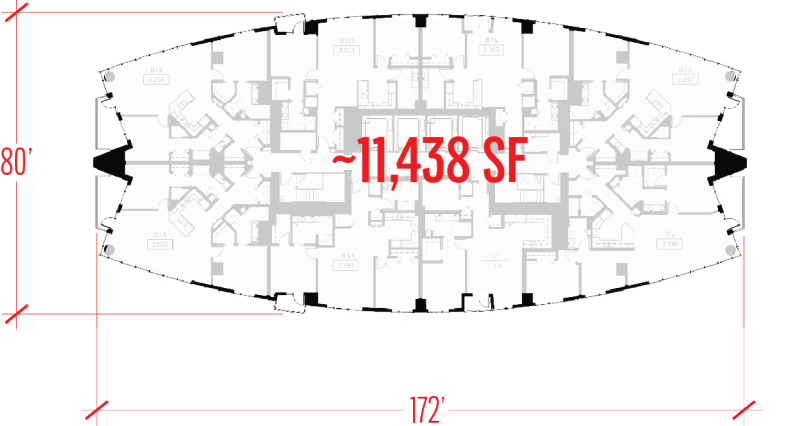
LANDSCAPE SECTION -SOUTH PEDESTRIAN ACCESS & OPEN AREA

QUESTIONS FOR DESIGN ADVICE REQUEST

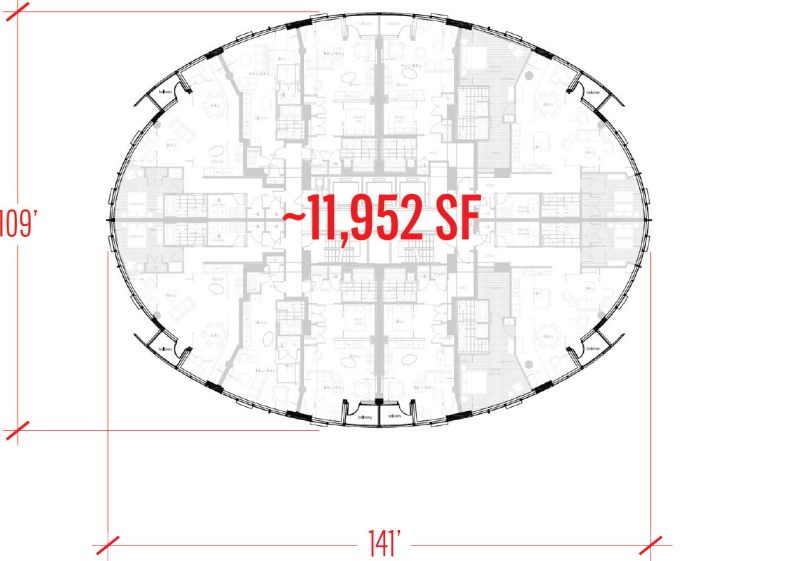
1. TOWER FLOOR PLATE SIZE MODIFICATION
2. TOWER FLOOR DIMENSION MODIFICATION
3. REQUIRED ECO-ROOF MODIFICATION
4. OPEN AREA DESIGN
5. GROUND FLOOR WINDOW MODIFICATION



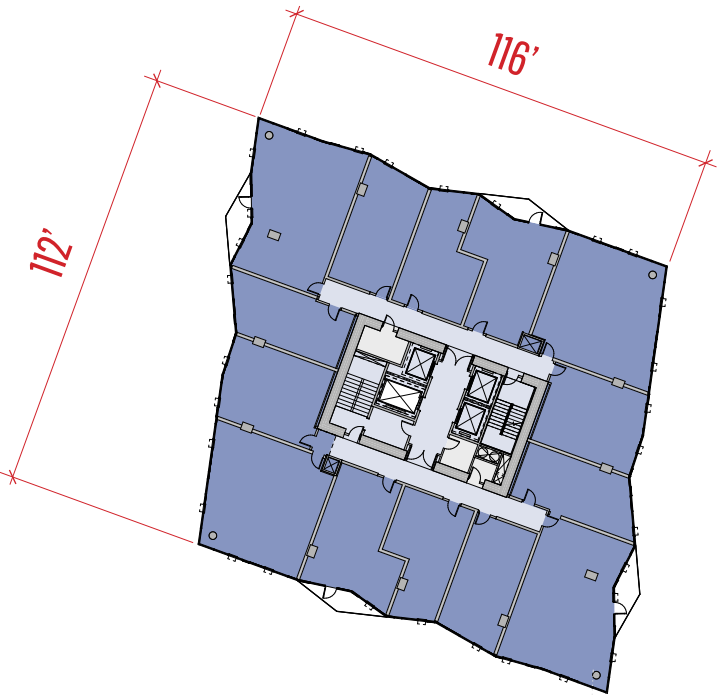
THE ARDEA - 325'
South Waterfront



MIRABELLA - 325'
South Waterfront



THE JOHN ROSS - 325'
South Waterfront



RIVERPLACE - BLOCK 1
325'

1. TOWER FLOOR PLATE SIZE MODIFICATION

REQUIREMENT

33.510.210.D.3.e RiverPlace Height Opportunity Area.

(2) Standard. If the building is taller than 75 feet, the floors of the building above 100 feet must not be more than 10,000 square feet each. Adjustments are prohibited, however modification through design review may be requested if the north-south dimension of the building above 75 feet is 112 feet or less. The north-south dimension is measured as specified in 33.510.251.A.3.e

PROPOSAL

The building is seeking the modification allowed through design review to provide a larger than 10,000 square foot floor plate above 75' in height. Using the South Waterfront Subdistrict as the most relevant example for these types of buildings, the Block 1 tower is seeking a maximum floor plate size up to 12,500 square feet (the same allowance granted for all three buildings constructed in South Waterfront that reach a building height of 325'). Rather than start the 12,500 square foot plates at the 75' height limit, the project proposal is to start that lower in the building at the second level to provide visual permeability from South Harbor Drive towards the Willamette River.

APPROVAL CRITERIA

A. The resulting development will better meet the applicable design guidelines: The proposed development better meets the applicable design guidelines as it provides more visual permeability through the site by starting the 12,500 square foot tower plates lower than 75'.

As a comparison, if this project were not utilizing the Bonus Height opportunity to reach 325' in building height and designed as a relatively slender tower of <12,500 square foot floor plates, the likely alternative would be a visual impereable slab building built to the base zone height of 125' with floor plates in the range of 16,000 square feet to 20,000 square feet that stretched the full length of the southern parcel of 200' in length.

B. On Balance, the proposal is consistent with the purpose of the standard for which a modification is requested.

In the purpose statement for RiverPlace Height Opportunity Area, the goals that are being described are being met with this proposal such as providing diverse housing opportunities, supporting high quality design, and creating additional opportunities for visual access. The intent of the code is being met. With the floor plates being enlarged from 10,000 square feet to the South Waterfront modification standard of 12,500 square feet, even more housing is being delivered than would otherwise be available. As there are 28 residential floors in the tower, the additional 2,500 square feet per floor results in an additional 70,000 square feet more of residential space in the building. At approximately 825 square feet per apartment, that additional square footage conceptually translates into 75-80 more apartments being constructed in Portland's Central City than would otherwise fit within the tower.

2. TOWER FLOOR DIMENSION MODIFICATION

REQUIREMENT

33.510.251.A.3.e Special building height corridors and tower orientation

3. Maximum north-south dimension. The north south dimension is measured as specified in Subparagraph A.3.e See Figure 510-1. Adjustments to this paragraph are prohibited; however, modifications to the standards of this paragraph may be requested through design review. In reviewing such a request, the review body will consider the results of the South Waterfront Public Views and Visual Permeability Assessment for the proposal. The north-south dimensions of buildings are limited as follows:

e. Measurements for this paragraph. The measurements for the regulations of this paragraph are as follows. See Figure 510-1:

(1) The north-south dimension of a building is measured as follows:

- From the northernmost point of the portion of a building that is at least 75' in height, a line is drawn running due east-west;
- From the southernmost point of the portion of a building that is at least 75' in height, a line is drawn running due east-west;
- A line drawn at right angles between the two east-west lines in the north south dimension

PROPOSAL

The building is seeking to modify the standards of what constitutes “north-south”. Rather than consider the cardinal north-south language, the proposal is to change the language from “northernmost point” and “southernmost point” to being 90 degrees perpendicular to the easterly and westerly street grids that exist west of the site, in most of downtown, and were adopted through the CCMS masterplan process.

APPROVAL CRITERIA

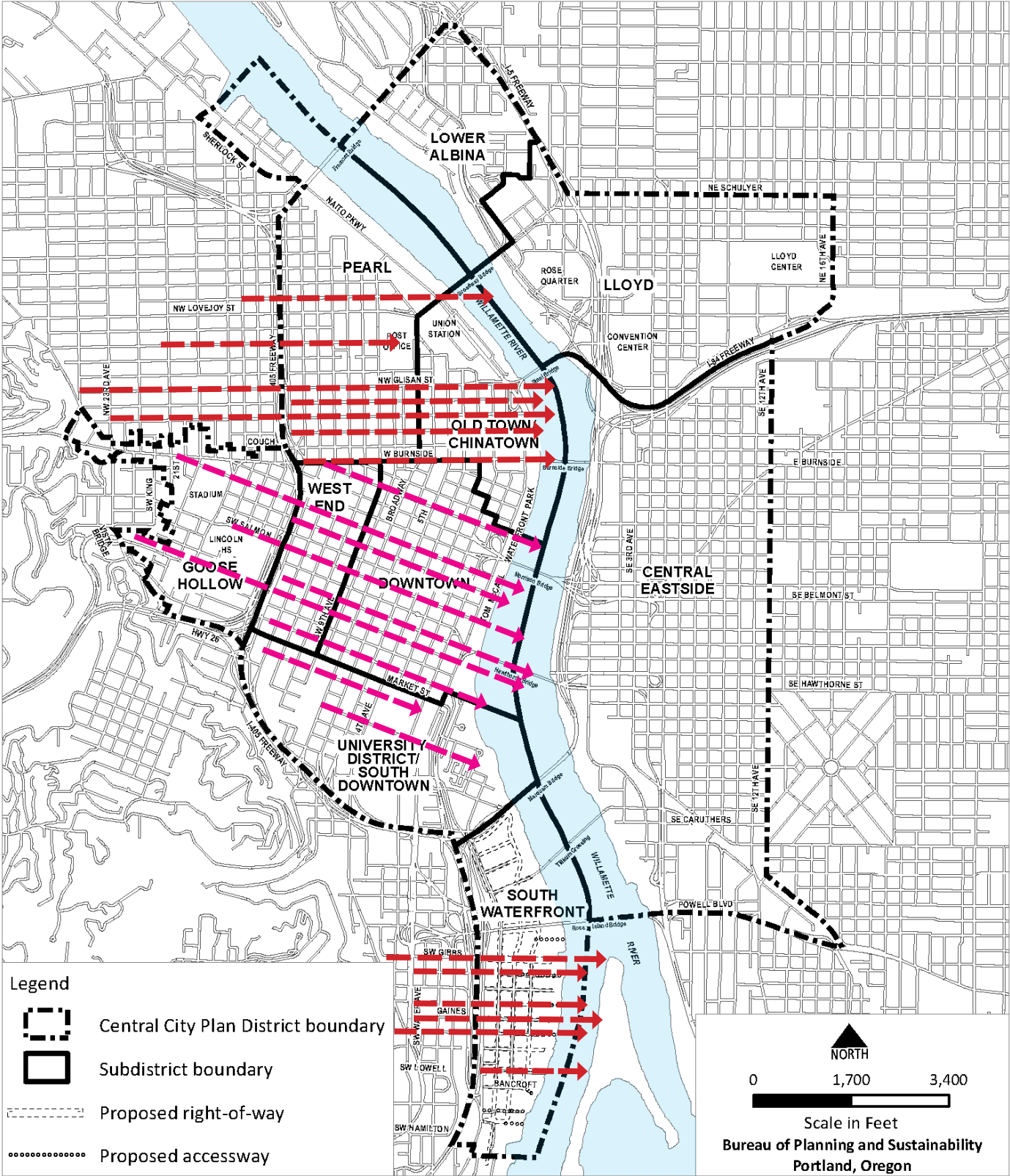
A. The resulting development will better meet the applicable design guidelines:

The proposed development better meets the applicable design guidelines as the code language being sited is particular to the South Waterfront Subdistrict and its street network that is based on the cardinal directions. In the purpose statement of this code section, the language is “Special building heights along designated east-west corridors and tower orientation standards provide visual access to the Greenway from points west of the district, provide visual access to the Tualatin Hills from points east of the district, provide access to sunlight along designated streets, and encourage an urban form that is visually permeable and varied.” The South Waterfront Subdistrict street network and the buildings due west of the subdistrict are organized in a truly north-south and east-west direction. As such, the code language matches the street network in that area.

In RiverPlace, the area due west of RiverPlace and most of the Central City of downtown, the street network is rotated approximately 20 degrees east of north. As such, the modification seeks to revise the code language such that it recognizes the orientation of the street grid in this area and have the building registered to its street grid and the grid due west of the site to meet the same intent as South Waterfront where buildings are registered and oriented along the street network in which the buildings are developed.

B. On Balance, the proposal is consistent with the purpose of the standard for which a modification is requested.

The proposal to revise the code language such that the buildings are arranged on the street network is entirely consistent with the purpose statement of the standard. The standard is about providing views through the site in an easterly and westerly direction along east-west corridors and streets. The revision to this code language recognizes the street network around RiverPlace and its unique characteristic compared to South Waterfront.



CHAPTER 33.510 - MAP 510-1

2. TOWER FLOOR DIMENSION MODIFICATION

REQUIREMENT

33.510.251.A.3.e Special building height corridors and tower orientation

3. Maximum north-south dimension. The north south dimension is measured as specified in Subparagraph A.3.e See Figure 510-1. Adjustments to this paragraph are prohibited; however, modifications to the standards of this paragraph may be requested through design review. In reviewing such a request, the review body will consider the results of the South Waterfront Public Views and Visual Permeability Assessment for the proposal. The north-south dimensions of buildings are limited as follows:

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- From the southernmost point of the portion of a building that is at least 75' in height, a line is drawn running due east-west;
- A line drawn at right angles between the two east-west lines in the north south dimension

PROPOSAL

The building is seeking to modify the standards of what constitutes "north-south". Rather than consider the cardinal north-south language, the proposal is to change the language from "northernmost point" and "southernmost point" to being 90 degrees perpendicular to the easterly and westerly street grids that exist west of the site, in most of downtown, and were adopted through the CCMS masterplan process.

APPROVAL CRITERIA

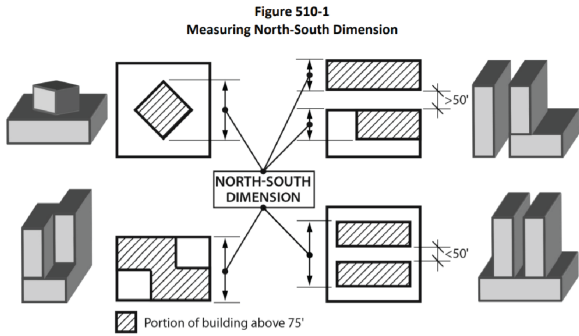
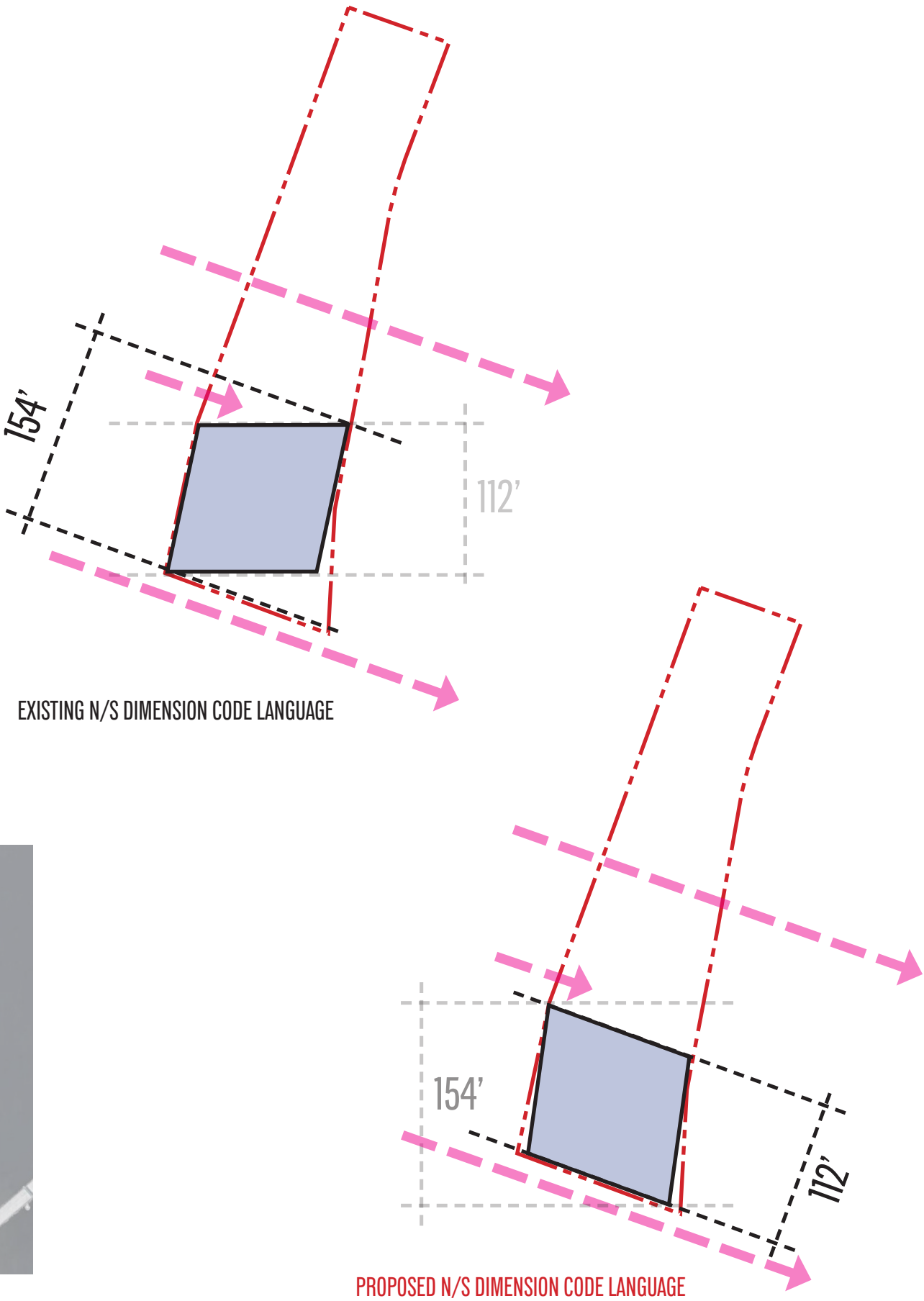
A. The resulting development will better meet the applicable design guidelines:

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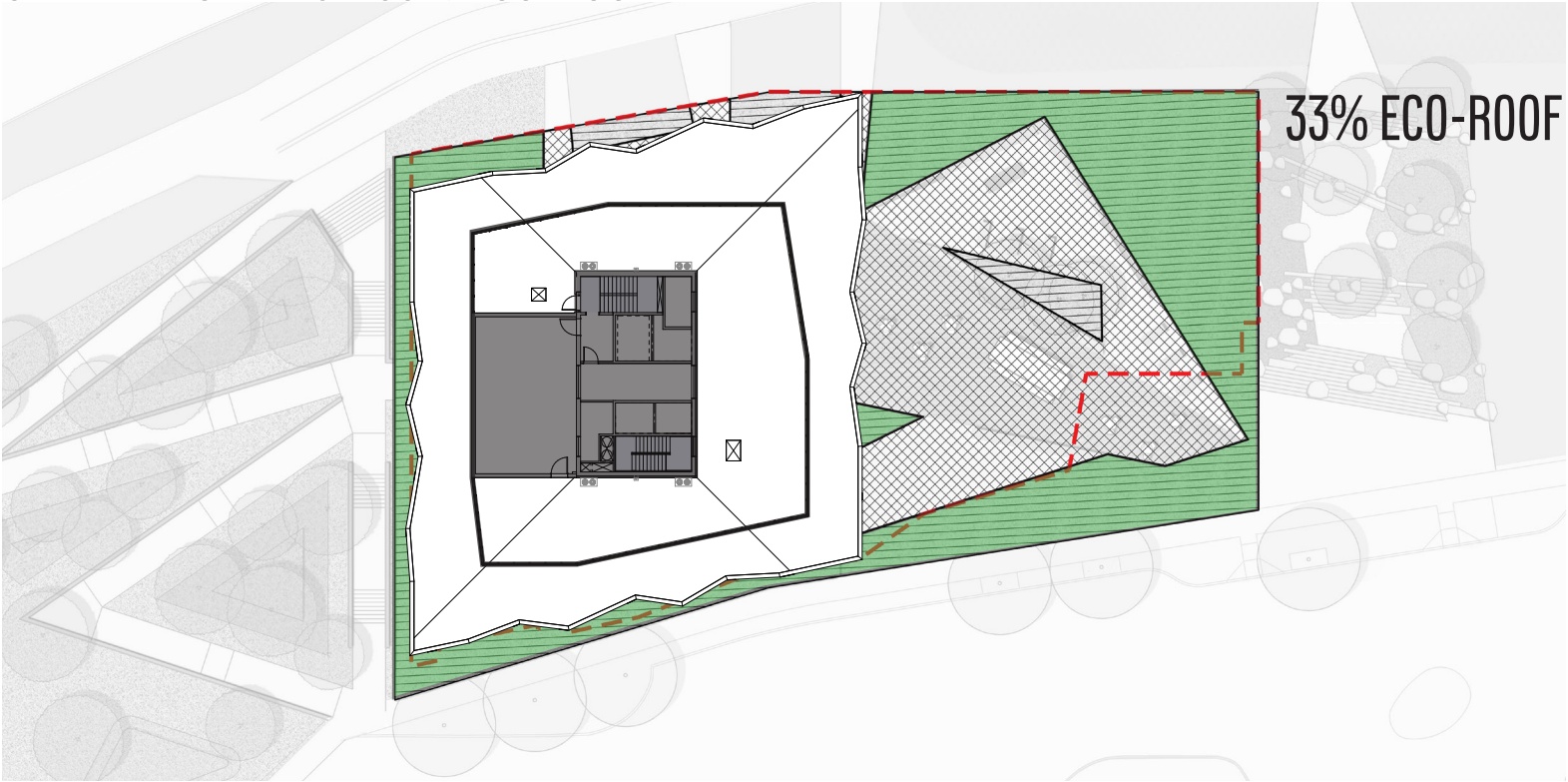
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B. On Balance, the proposal is consistent with the purpose of the standard for which a modification is requested.

The proposal to revise the code language such that the buildings are arranged on the street network is entirely consistent with the purpose statement of the standard. The standard is about providing views through the site in an easterly and westerly direction along east-west corridors and streets. The revision to this code language recognizes the street network around RiverPlace and its unique characteristic compared to South Waterfront.

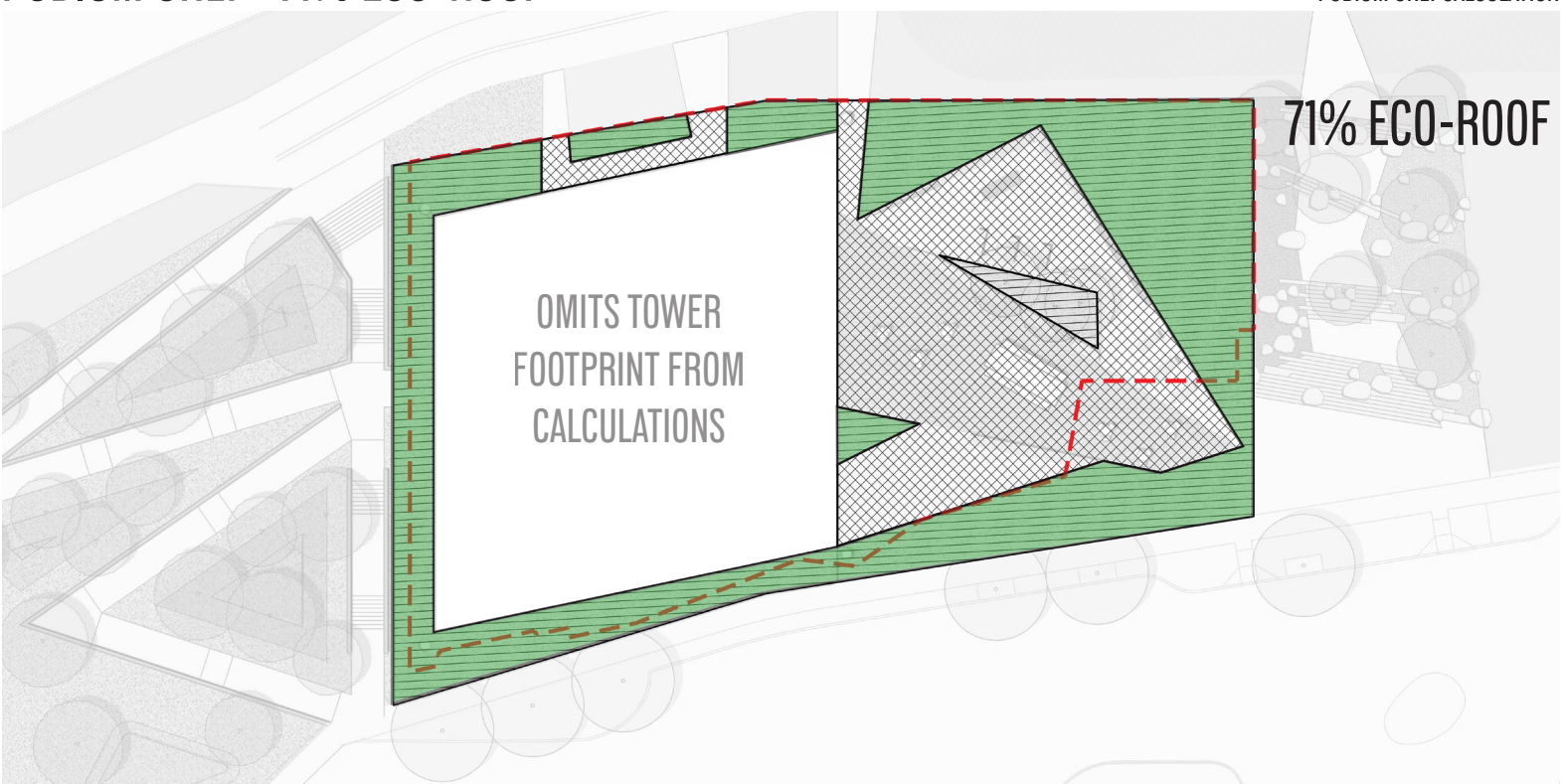


OVERALL BUILDING - 33% ECO-ROOF



ROOF PLAN WITH TOWER

PODIUM ONLY - 71% ECO-ROOF



PODIUM ROOF ONLY

3. REQUIRED ECO-ROOF MODIFICATION

REQUIREMENT

In the CX, EX, RX, and IG1 zones, new buildings with a net building area of 20,000 square feet or more must have an ecoroof that meets the following standards;

1. The ecoroofs, including required firebreaks between ecoroofs areas, must cover 100 percent of the building roof area, except that up to 40 percent of the building roof area can be covered with a combination of the following.

- a. Mechanical equipment, housing for mechanical equipment, and required access to, or clearance from, mechanical equipment;
- b. Areas used for fire evacuation routes;
- c. Stairwell and elevator enclosures;
- d. Skylights;
- e. Solar panels
- f. Wind turbines;
- g. Equipment, such as pipes and pre-filtering equipment, used for capturing or directing rainwater to a rainwater harvesting system; or
- h. Uncovered common outdoor areas. Common outdoor areas must be accessible through a shared entrance.

PROPOSAL

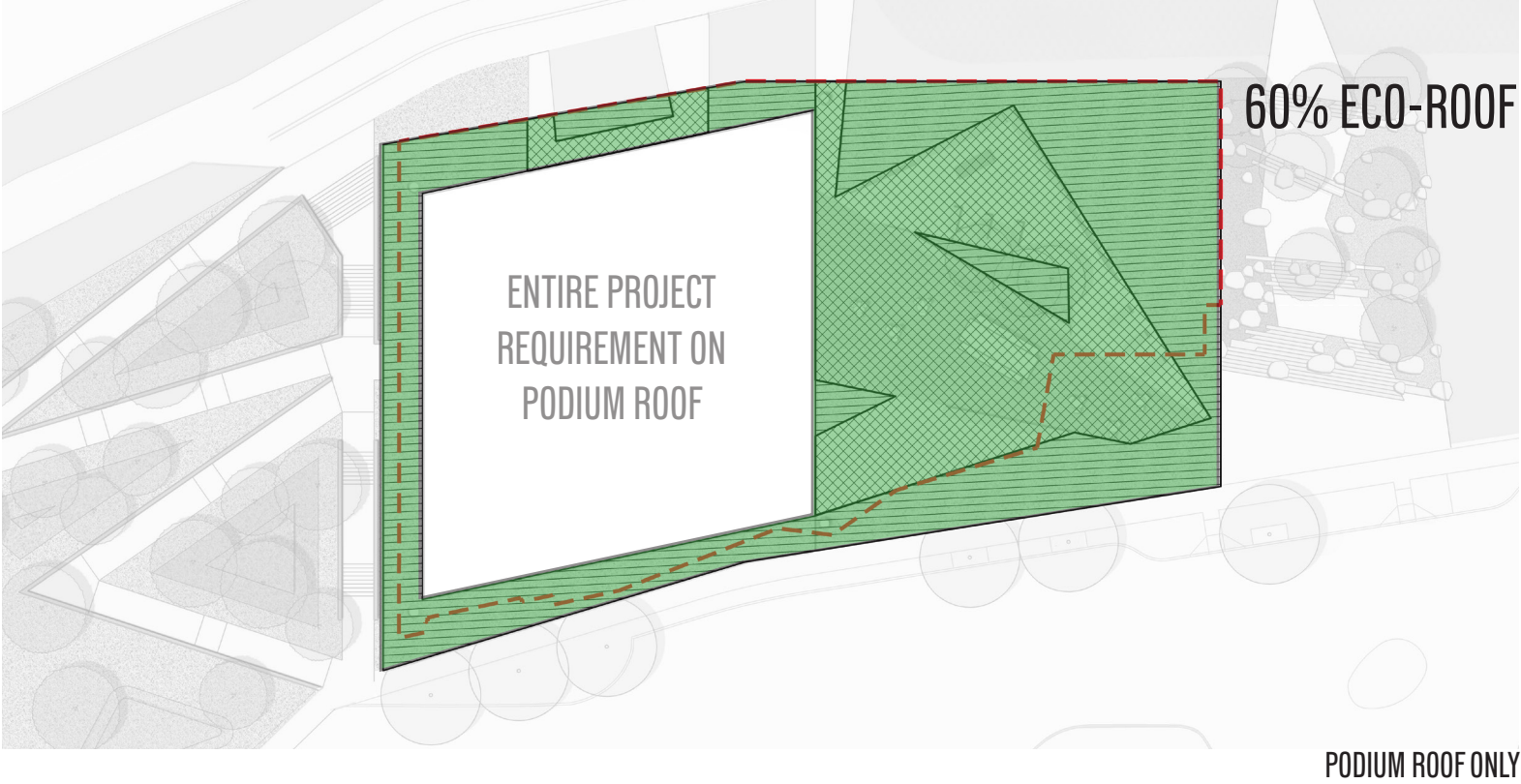
The roof of the tower is at 310 feet high. It is not recommended by experts in the industry to install an eco-roof at this elevation as the eco-roof is unlikely to survive. Additionally, on this roof there will be mechanical for the various uses, pressurization fans for the exit stairs and elevators. There will be a need to service these various pieces of equipment which then require service paths for access for periodic maintenance and repair.

The proposed solution is for the podium roof at level 2 to meet the 60% rooftop coverage and for the rooftop area that would otherwise be required to have eco-roof on the top of the building to have that area's stormwater managed at grade on the west, south, and/or northern frontages.

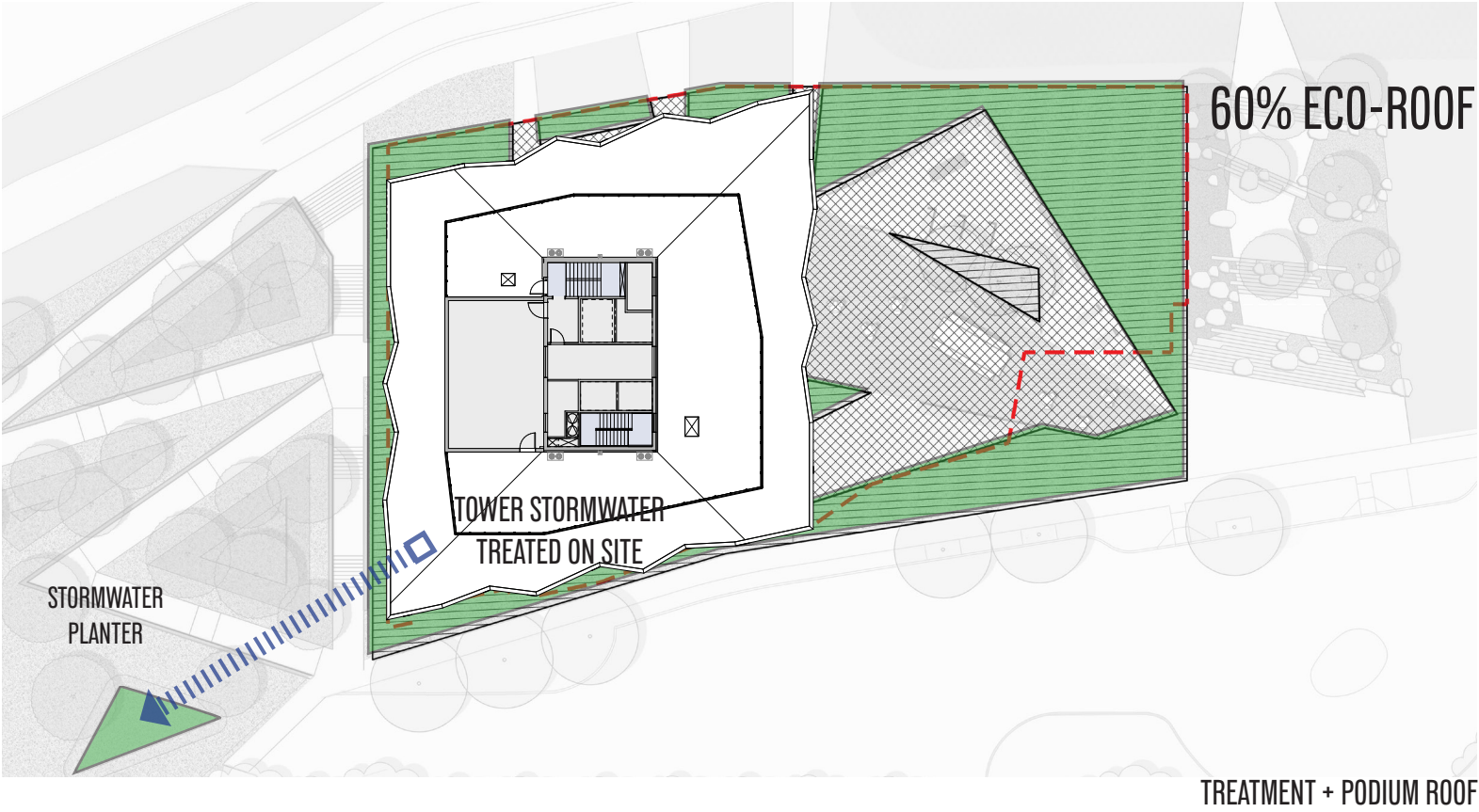
APPROVAL CRITERIA:

- A. The resulting development will better meet the applicable designed guidelines: The intent of the guideline is both aesthetic and function. The priority for stormwater in this area is treatment, and not detention. Treatment can be handled on-site to meet the standards set forth by Bureau of Environmental Services. Aesthetics for this tower are unlikely to be visible by any surrounding buildings as this building will be one of only areas with a 325' height limit in the vicinity.
- B. On Balance, the proposal will be consistent with the purpose for which a modification is requested. Industry experts do not recommend putting a planted roof this high in the building given the strong forces of wind and microclimates generated in urban environments at and around towers. The stormwater can be kept on site and treated through a series of bio-swales visible to pedestrians creating an interesting and active environment.

PODIUM WITHOUT AMENITY TERRACE - 60% ECO-ROOF



PROPOSAL - TOWER TREATED, PODIUM ROOF IS 60% ECO-ROOF



3. REQUIRED ECO-ROOF MODIFICATION

REQUIREMENT

In the CX, EX, RX, and IG1 zones, new buildings with a net building area of 20,000 square feet or more must have an ecoroof that meets the following standards;

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 - a. Mechanical equipment, housing for mechanical equipment, and required access to, or clearance from, mechanical equipment;
 - b. Areas used for fire evacuation routes;
 - c. Stairwell and elevator enclosures;
 - d. Skylights;
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PROPOSAL

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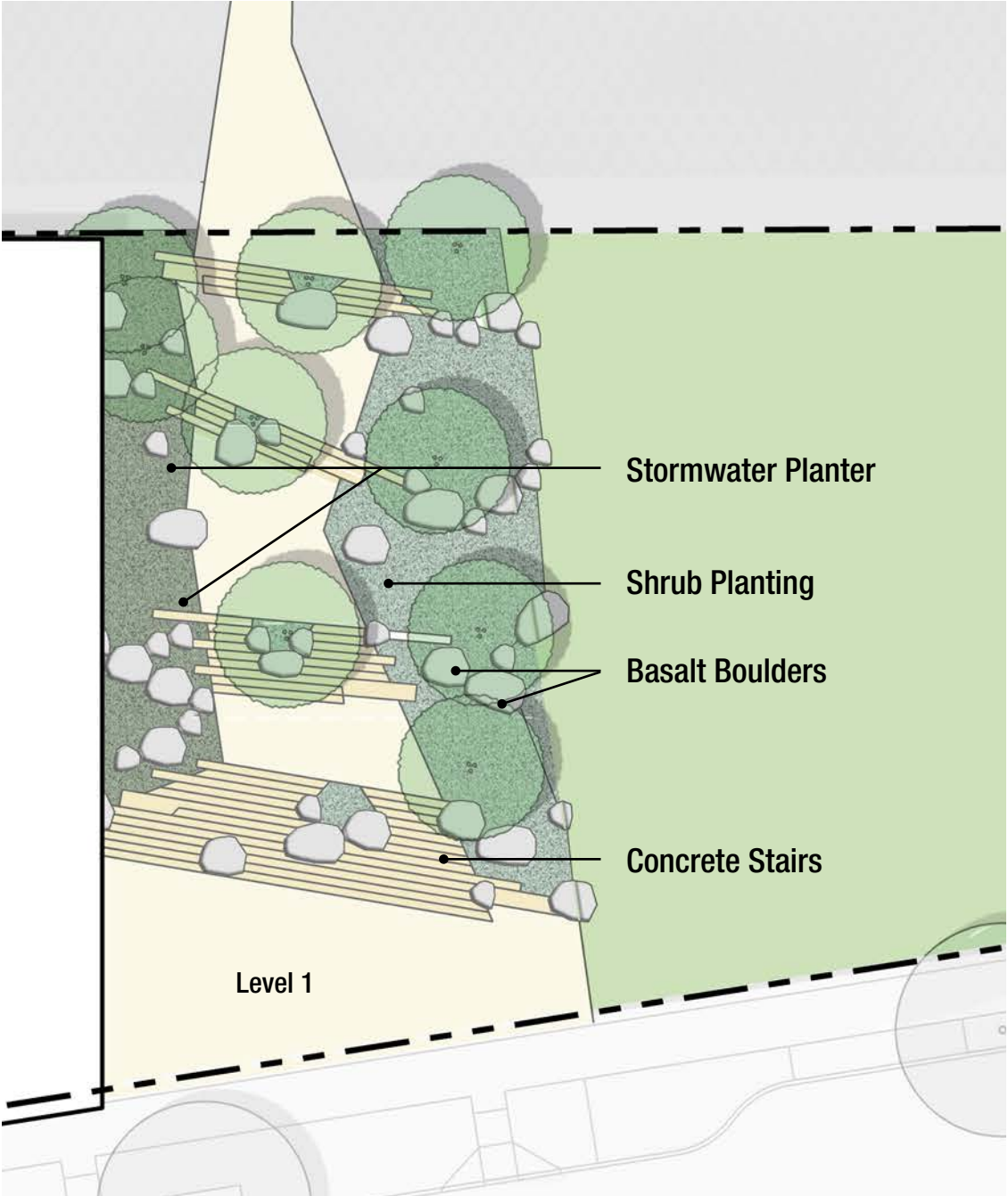
APPROVAL CRITERIA:

- A. The resulting development will better meet the applicable designed guidelines:

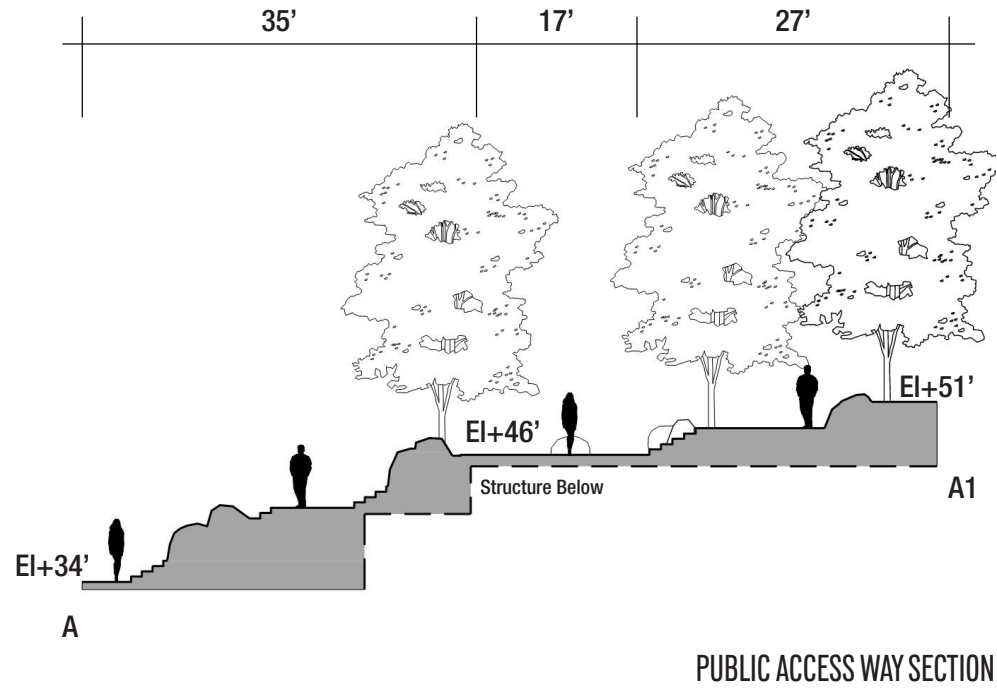
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- B. On Balance, the proposal will be consistent with the purpose for which a modification is requested.

Industry experts do not recommend putting a planted roof this high in the building given the strong forces of wind and microclimates generated in urban environments at and around towers. The stormwater can be kept on site and treated through a series of bio-swales visible to pedestrians creating an interesting and active environment.

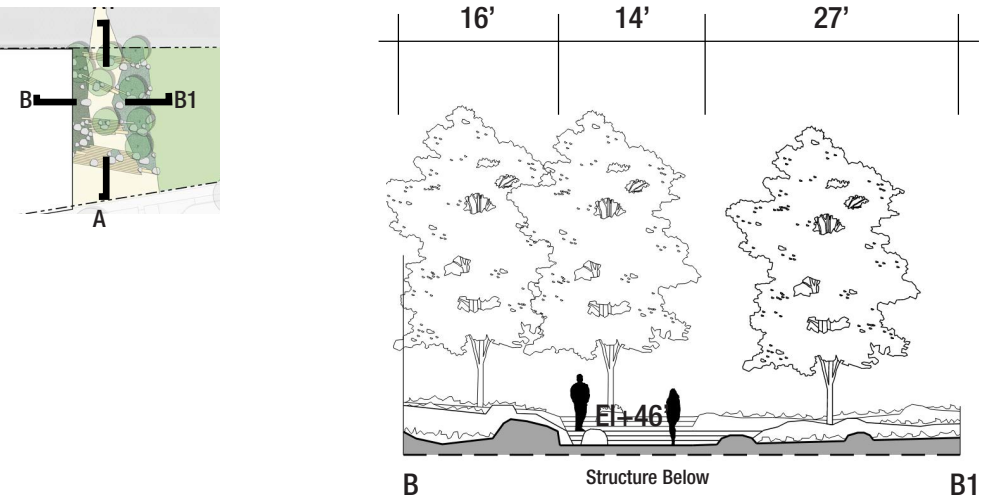
4. OPEN AREA DESIGN



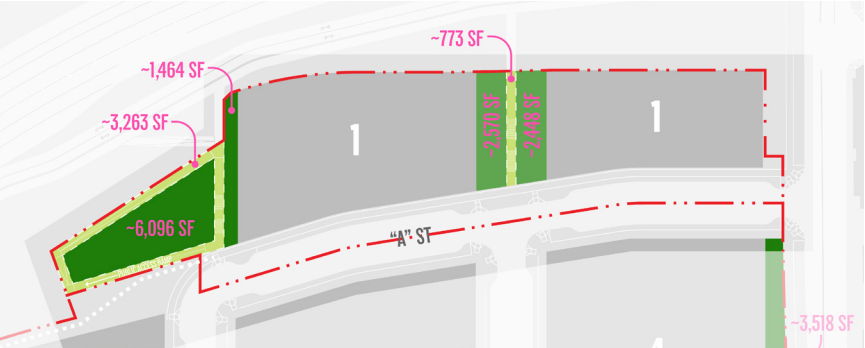
PUBLIC ACCESS WAY SITE PLAN



PUBLIC ACCESS WAY SECTION

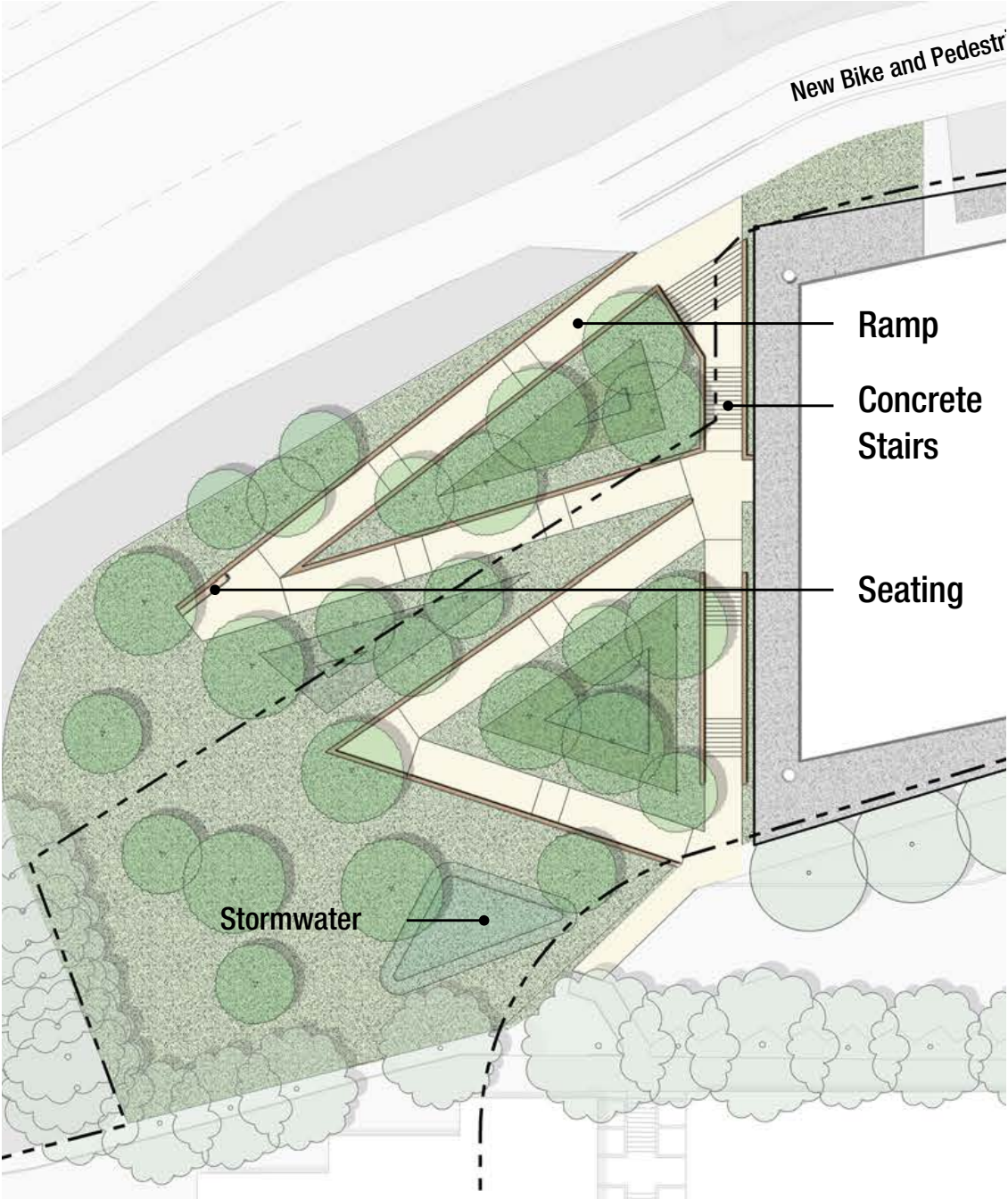


PUBLIC ACCESS WAY SECTION

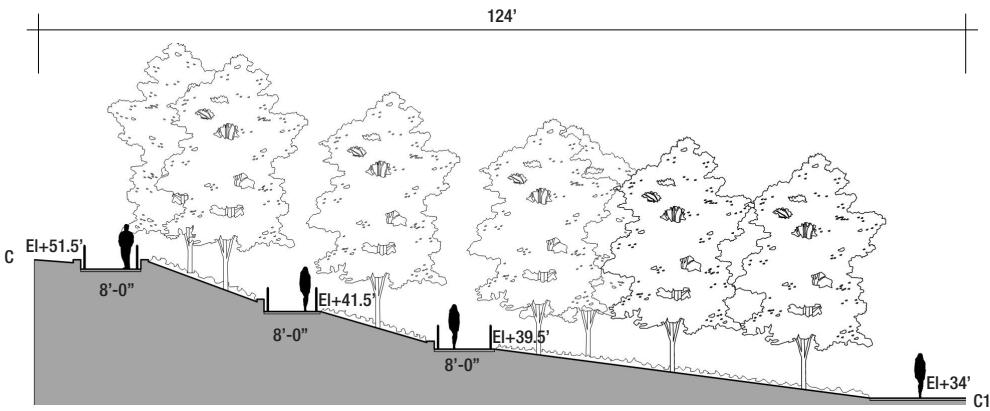
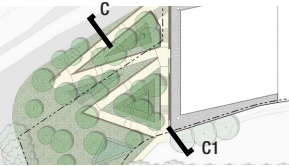
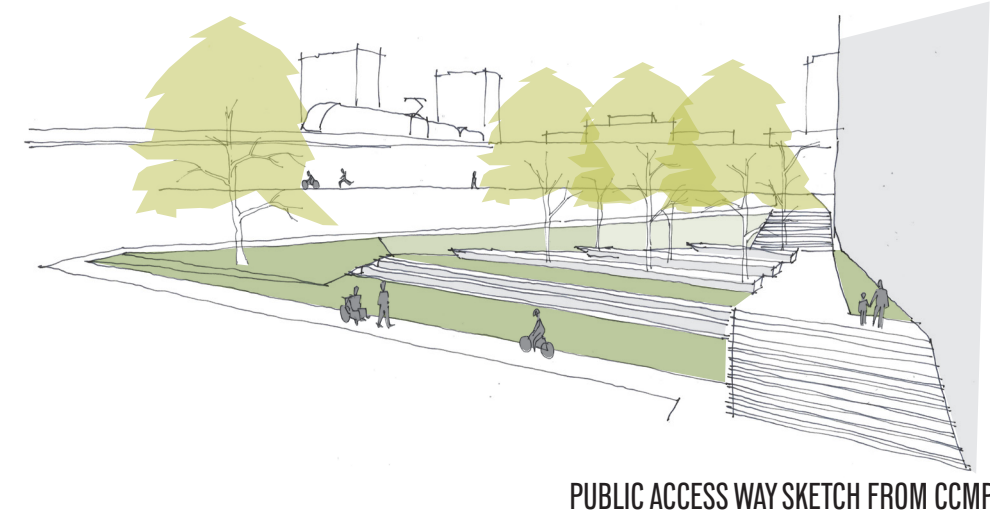


PUBLIC ACCESS WAY CCMP DIAGRAM

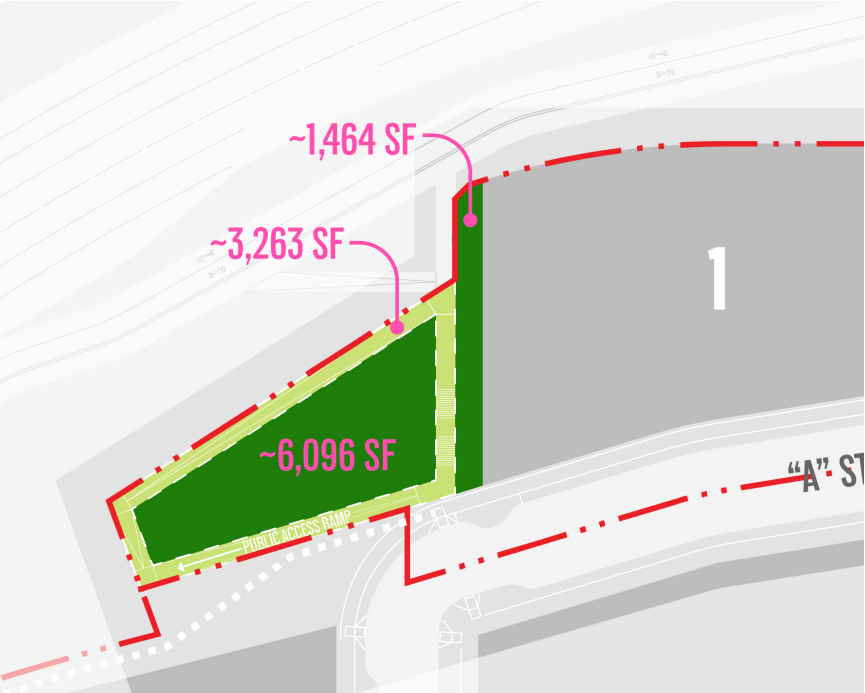
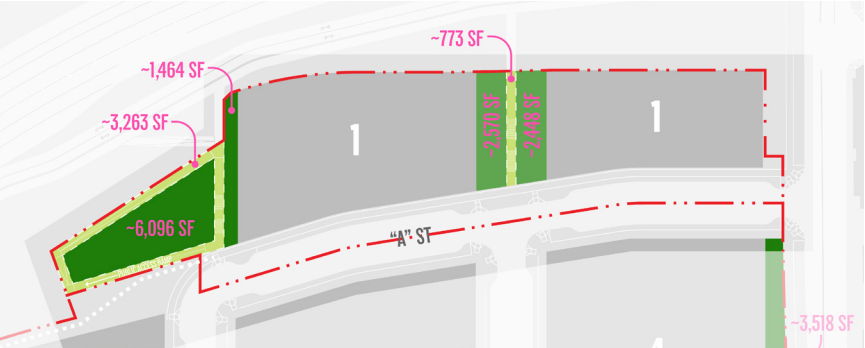
4. OPEN AREA DESIGN



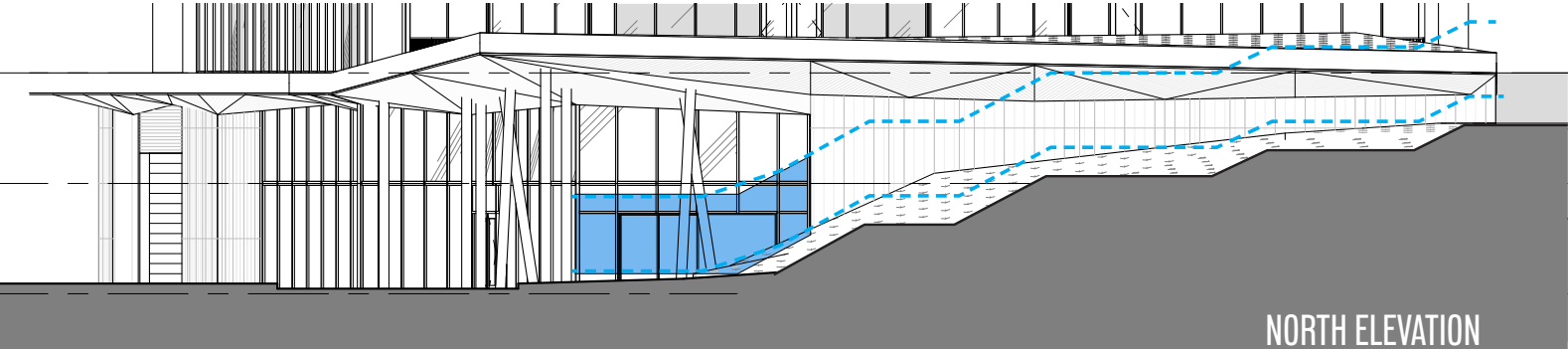
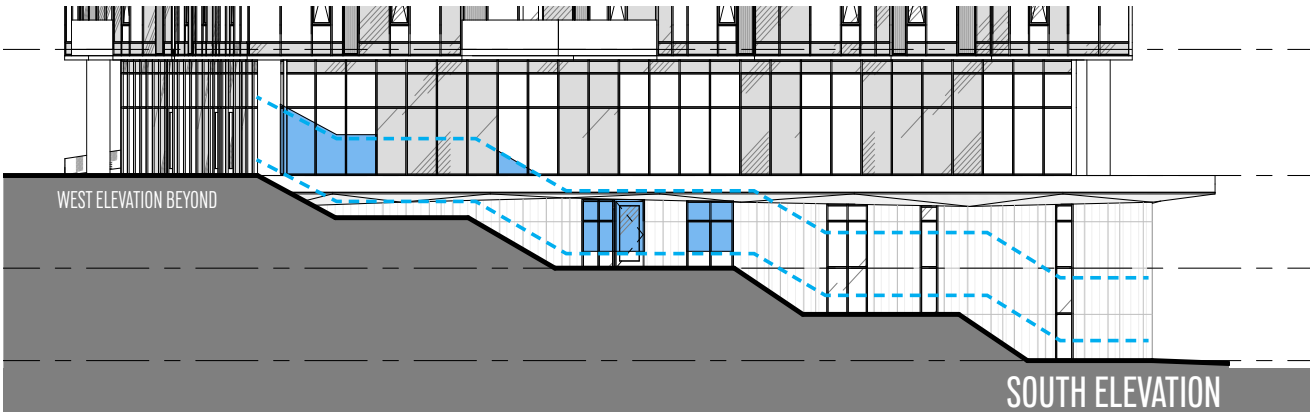
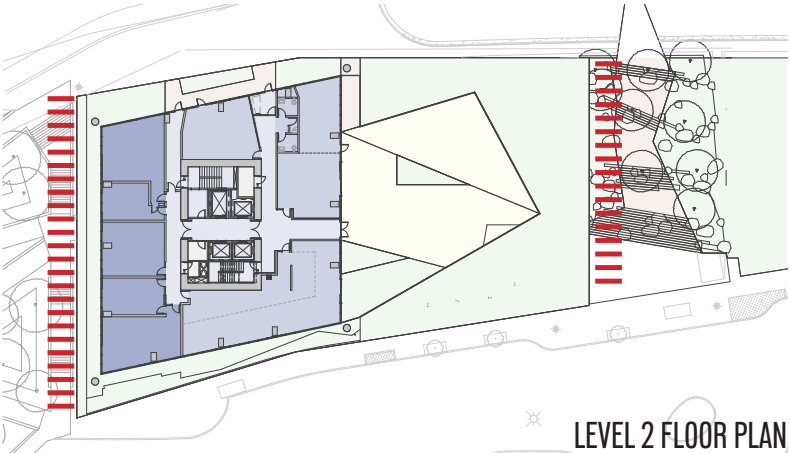
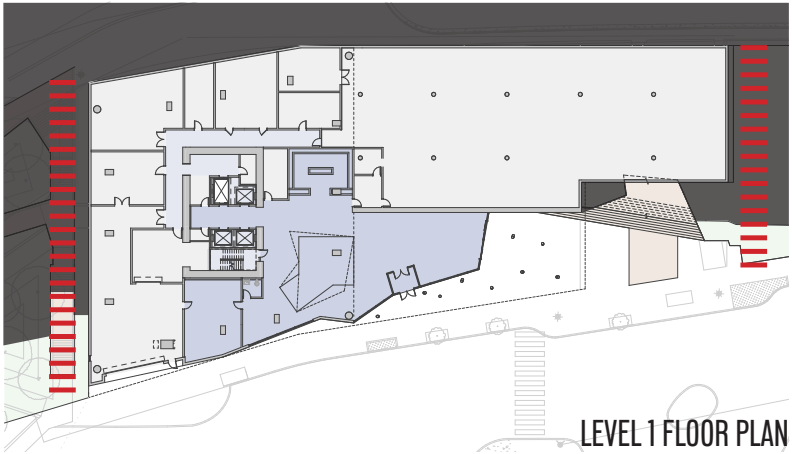
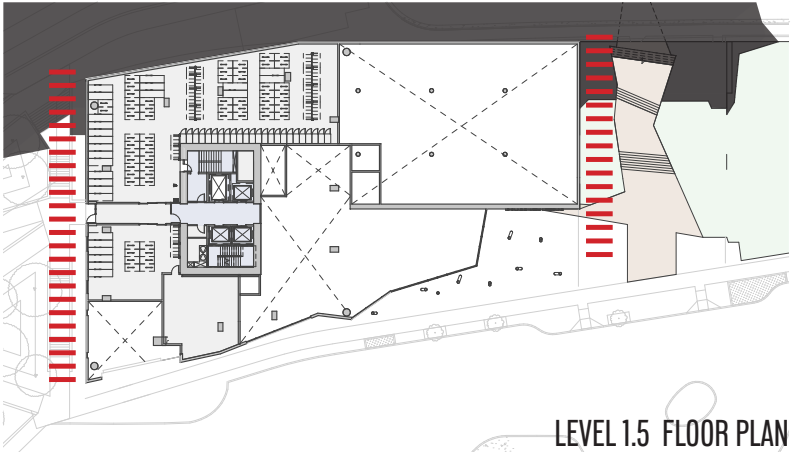
PUBLIC ACCESS WAY SITE PLAN



PUBLIC ACCESS WAY SECTION



PUBLIC ACCESS WAY CCMP DIAGRAM



GLAZING SUMMARY	
TOTAL AREA	921 SF
GLAZING AREA	166 SF
GLAZING %	18%

GLAZING SUMMARY	
TOTAL AREA	730 SF
GLAZING AREA	185 SF
GLAZING %	25%

5. GROUND FLOOR WINDOW MODIFICATION

REQUIREMENT

B. Ground floor windows. The following ground floor window standards apply in the RX, CX and EX zones. The standards of B.1 and B.2 apply to new development and major remodeling projects. B.3 only applies to major remodeling projects. To meet the standards, ground floor windows must be windows that allow views into work areas of lobbies, or be windows in pedestrian entrances. Windows into storage areas, vehicle parking areas, garbage and recycling areas, mechanical and utility areas and display cases attached to outside walls do not qualify. Windows into bicycle parking areas are allowed to qualify for up to 25 percent of the ground floor windows coverage requirement. The bottom of the windows of nonresidential spaces must be no more than 4 feet above the finished grade:

2. All other ground level facades that face a street lot line, sidewalk, plaza or other publicly accessible open area or right-of-way must have windows that cover at least 40 percent of the ground level wall area. For street facing facades of dwelling units the regulations of 33.130.230.B.4 apply. For the purposes of this standard, ground level wall area includes all exterior wall area from 2 feet to 10 feet above the finished grade.

3. Optional Artwork. Projects proposing to use artwork as an alternative to the ground floor window requirements may apply for this through the adjustment procedure. Projects may also apply for a modification through design review if they meet the following qualifications. Buildings having more than 50 percent of their ground level space in storage, parking, or loading areas, or in uses which by their nature are not conducive to windows (such as theaters), may be allowed to use the design review process. Artwork and displays relating to activities occurring within the building are encouraged. In these instances, the artwork will be allowed if it is found to be consistent with the purpose for the ground floor window standard.

PROPOSAL

21 feet of grade separates Block 1 from west to east. Given the grades, many of the functions on the ground level are tucked into the hillside and are back of house spaces such as electrical rooms, fire pump rooms, trash/recycling, loading, storage, and future parking areas. The zoning code permits modification to this standard when more than 50 percent of the ground level space are in uses such as these. At Block 1, approximately 75% of the ground level are in uses not conducive to windows.

The east and west elevations are relatively flat and are fronted with active uses and will meet the ground floor window requirement. The north and south elevations face publicly accessible open areas that are navigating 17’ of grade and 21’ of grade respectively for pedestrian and bike connections. Rather than integrating artworks and displays, the proposal is to naturalize these areas into lushly planted and thoughtfully designed spaces.

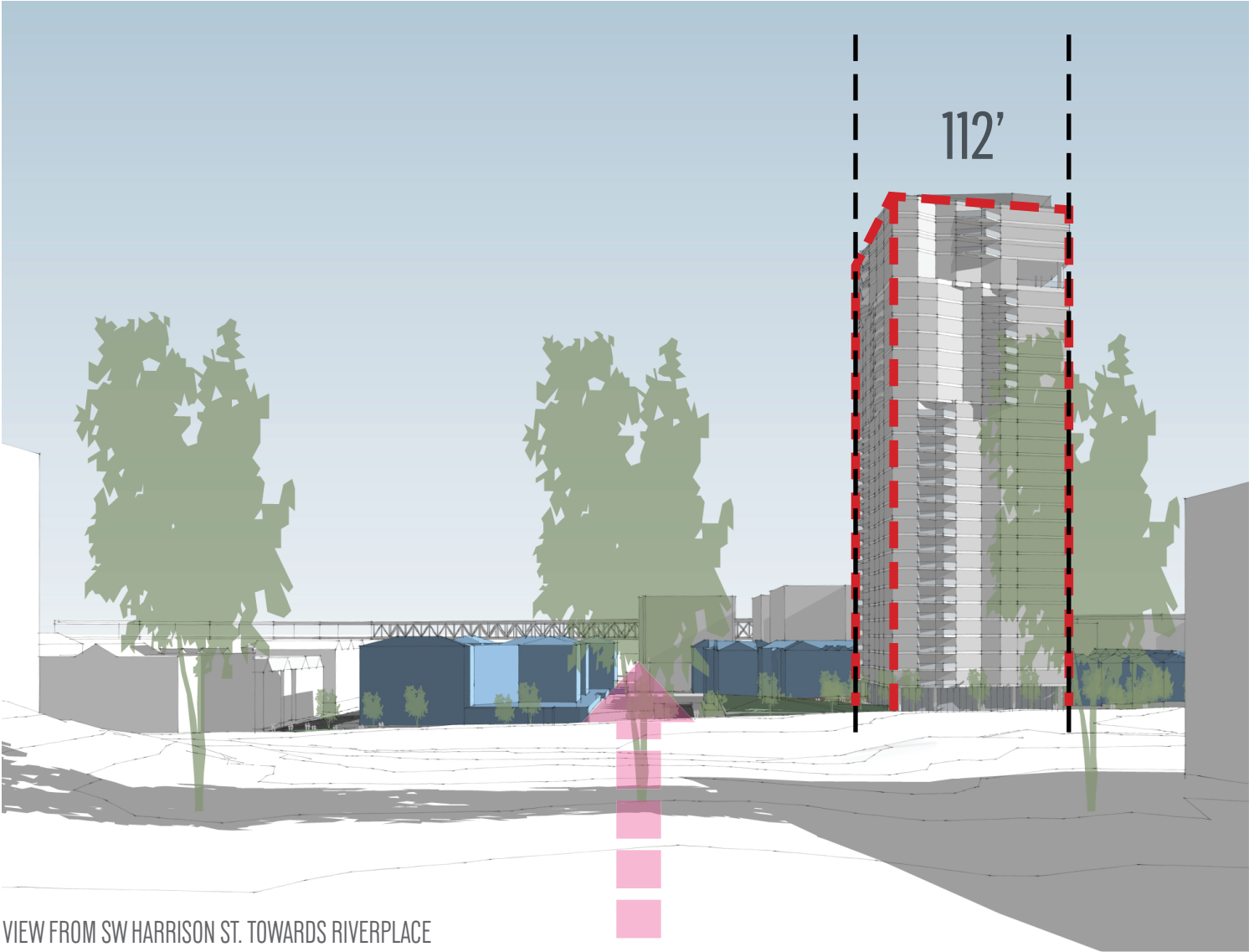
APPROVAL CRITERIA

A. The resulting development will better meet the applicable design guidelines:

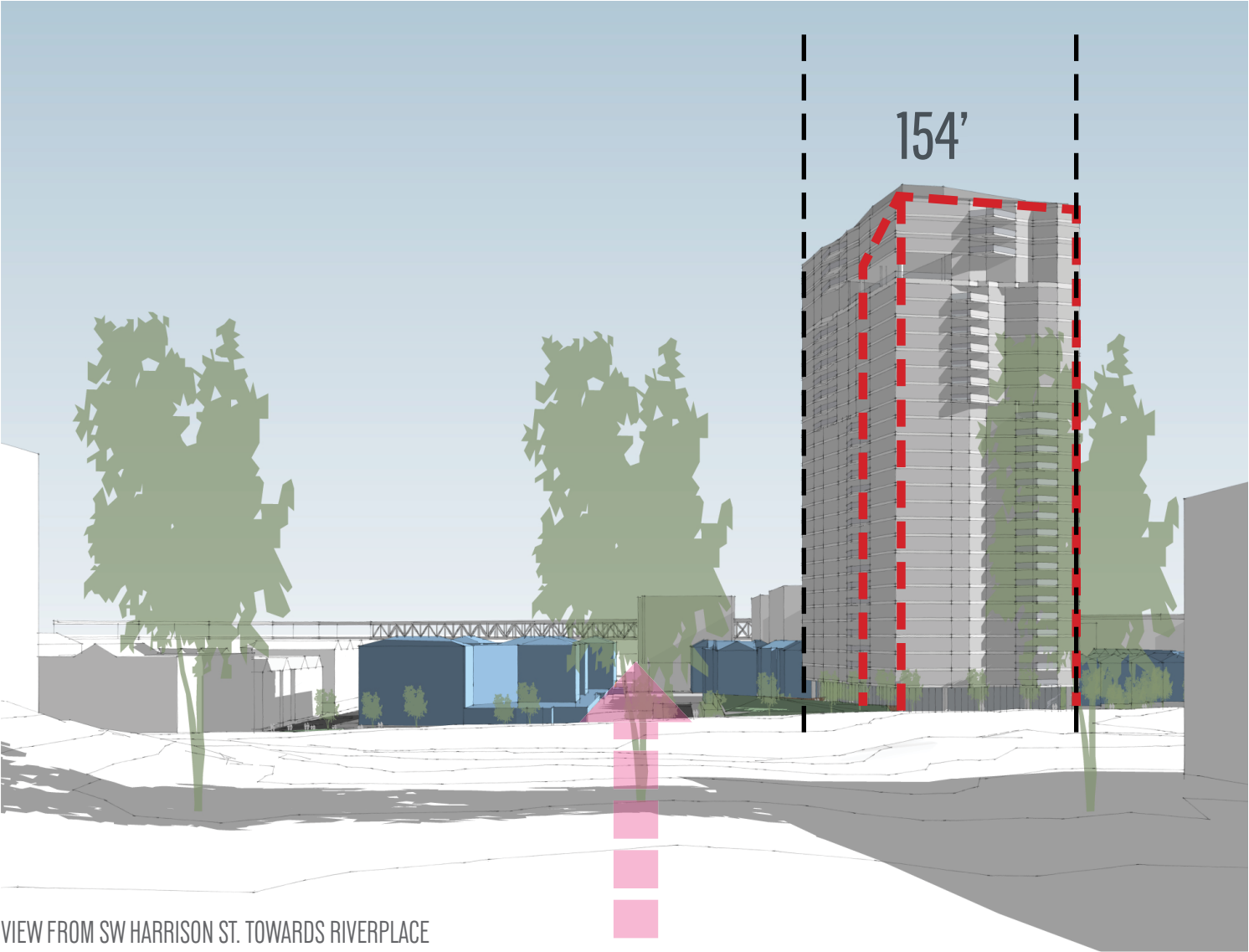
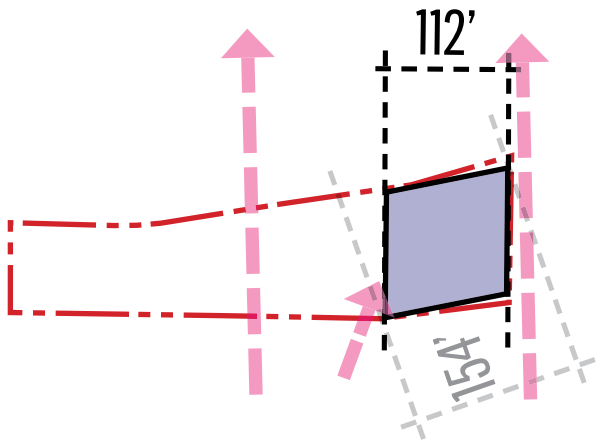
The proposed development better meets the applicable design guidelines as it both provides for needed pedestrian connections along a very steep grade differential (two stories across 100 linear feet) and a pleasant and interesting environment. The proposed solution meets the intent described in the Purpose statement for pedestrians and the zoning code specifically describes modifications being allowed for conditions like this where the ground floor is primarily in storage, parking, or loading areas.

B. On Balance, the proposal is consistent with the purpose of the standard for which a modification is requested.

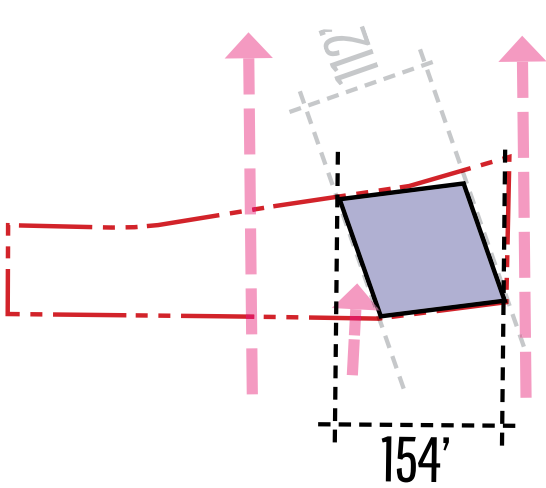
In the purpose statement for Ground Floor Windows blank walls are limited in order to provide a pleasant, rich, and diverse pedestrian experience, encourage surveillance opportunities at street level, and avoid a monotonous pedestrian environment. With the new circulation being provided where there is currently none, the design along the north and south elevations increases eyes and activity in those areas. The design of the space directly adjacent to these walls will be a uniquely natural environment creating an interesting pedestrian experience similar to a park like setting to avoid a monotonous pedestrian environment.



112' WIDE TOWER
WHEN ALIGNED WITH STREET GRIDS



154' WIDE TOWER
WHEN ALIGNED DUE EAST/WEST





RIVERPLACE BLOCK 1

Design Advice Request EA 22-119953 DA

April 21, 2022

GBD

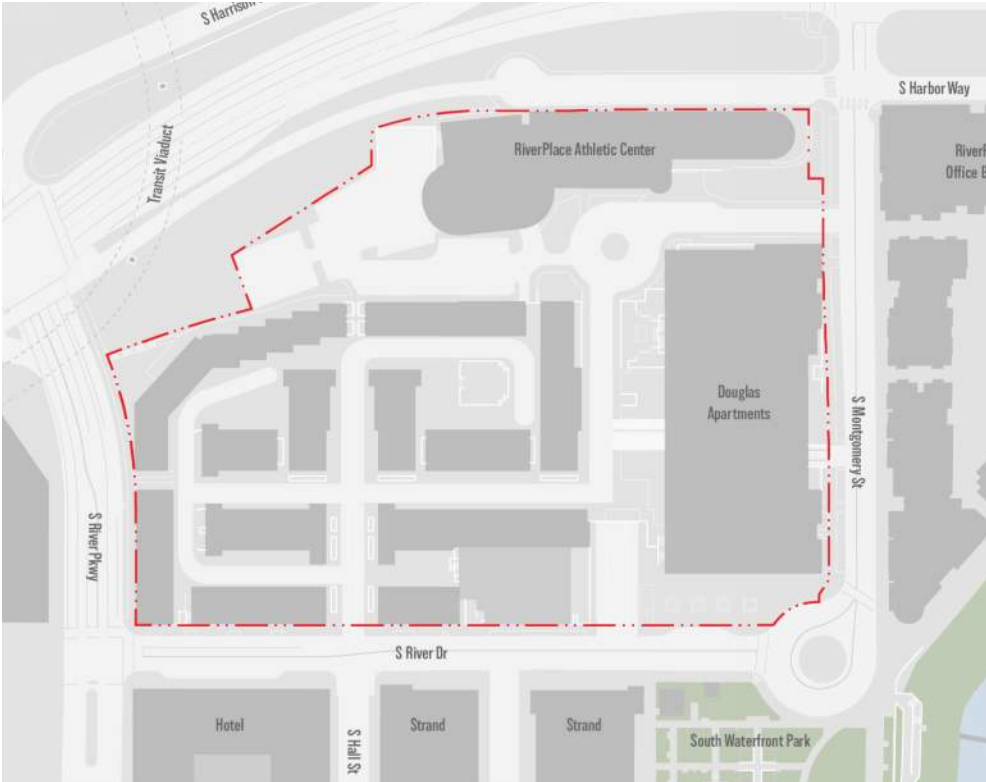
AGENDA

- 1. INTRODUCTION + CONNECTION TO CCMS**
- 2. PROPOSED BUILDING DESIGN**
- 3. OPEN SPACE + PROPOSED MODIFICATIONS**

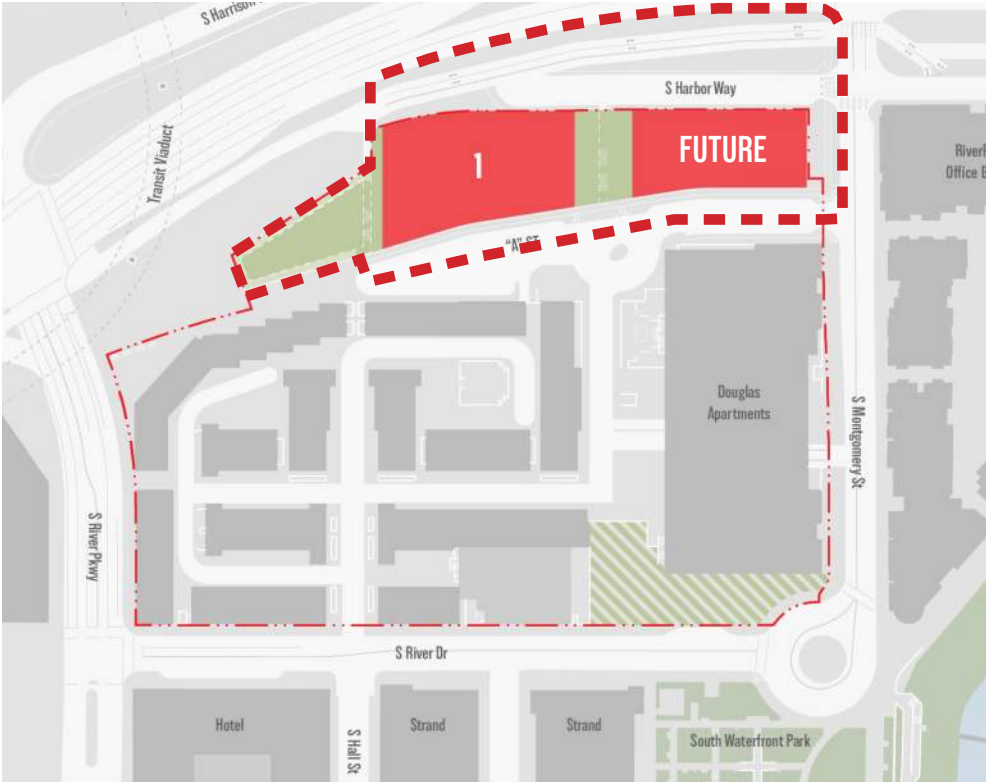
QUESTIONS FOR DESIGN ADVICE REQUEST

- 1. TOWER FLOOR PLATE SIZE MODIFICATION**
- 2. TOWER ORIENTATION MODIFICATION**
- 3. REQUIRED ECO-ROOF MODIFICATION**
- 4. OPEN AREA DESIGN**
- 5. GROUND FLOOR WINDOW MODIFICATION**

EXISTING



PHASE 1



FINAL PARCEL PLAN



LEGEND

Existing Building

New Block

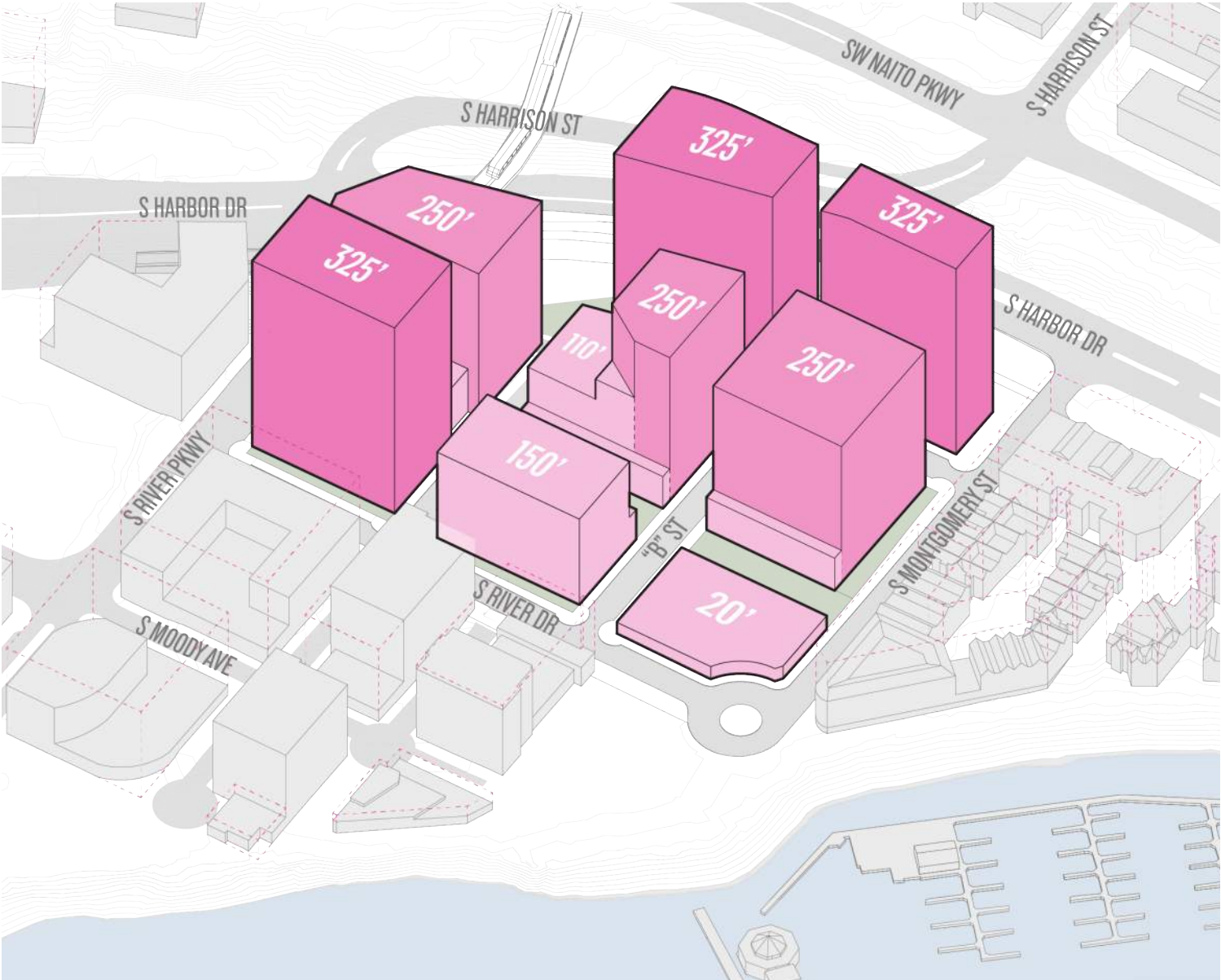
New Open Area

Potential Open Area

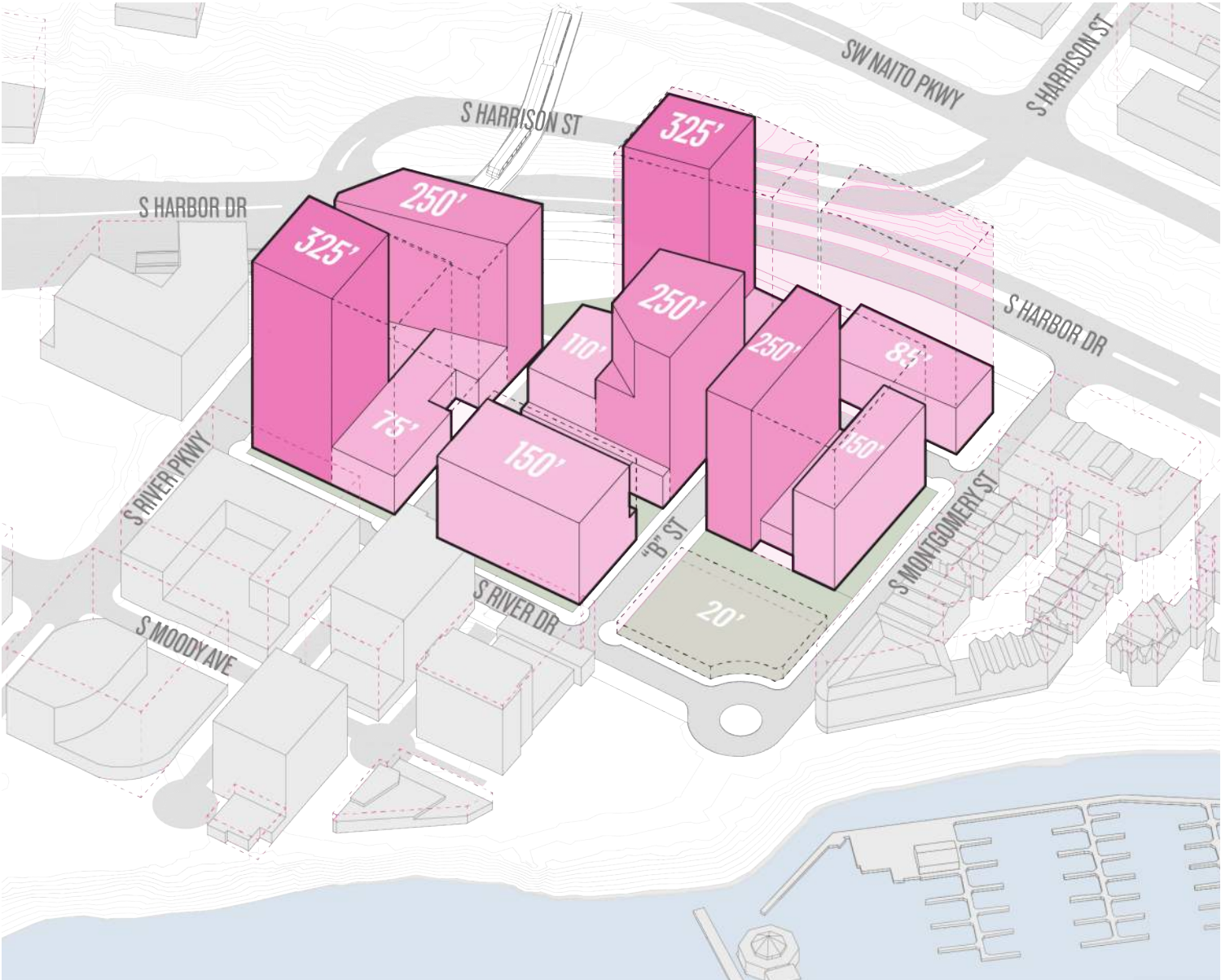
Site Boundary

BUILDING ENVELOPES

BLOCK SIZES & MAXIMUM HEIGHTS



MAXIMUM HEIGHT DIAGRAM SHOWING PROPOSED STREET GRID AND SETBACKS



MAXIMUM HEIGHT DIAGRAM WITH CONCEPTUAL BUILDING MASSING

LEGEND

- Pedestrian Accessway
- Open Area
- Context Building



Phase 1 Massing Diagram

PHASE 1 - CONCEPTUAL MASSING

BUILDINGS & USES

Phase 1 is focused on redeveloping the RAC site at the western edge of RiverPlace. It is currently envisioned as one building with a tower at the southern end of the block and a lower podium extending to the north. The base zoning code building height is 125' with a bonus available up to 325'. The building form would allow physical and visual access from S Harbor Drive toward the Willamette River and Greenway. The majority of the remainder of the site would be retained in its current form.

Height Opportunity Area Requirements

The base height for Block 1 is 125'. Bonus height for this part of the site can be achieved through the "RiverPlace Height Opportunity Area" which allows an additional 200' of height, up to a maximum of 325'. The standard calls for floors to be limited to 10,000 sf or less unless the north-south dimension of the building above 75' is 112' or less. North-south dimensions of towers are measured according to section 33.510.251.A.3.e which specifies tower measurement techniques and distances between towers.

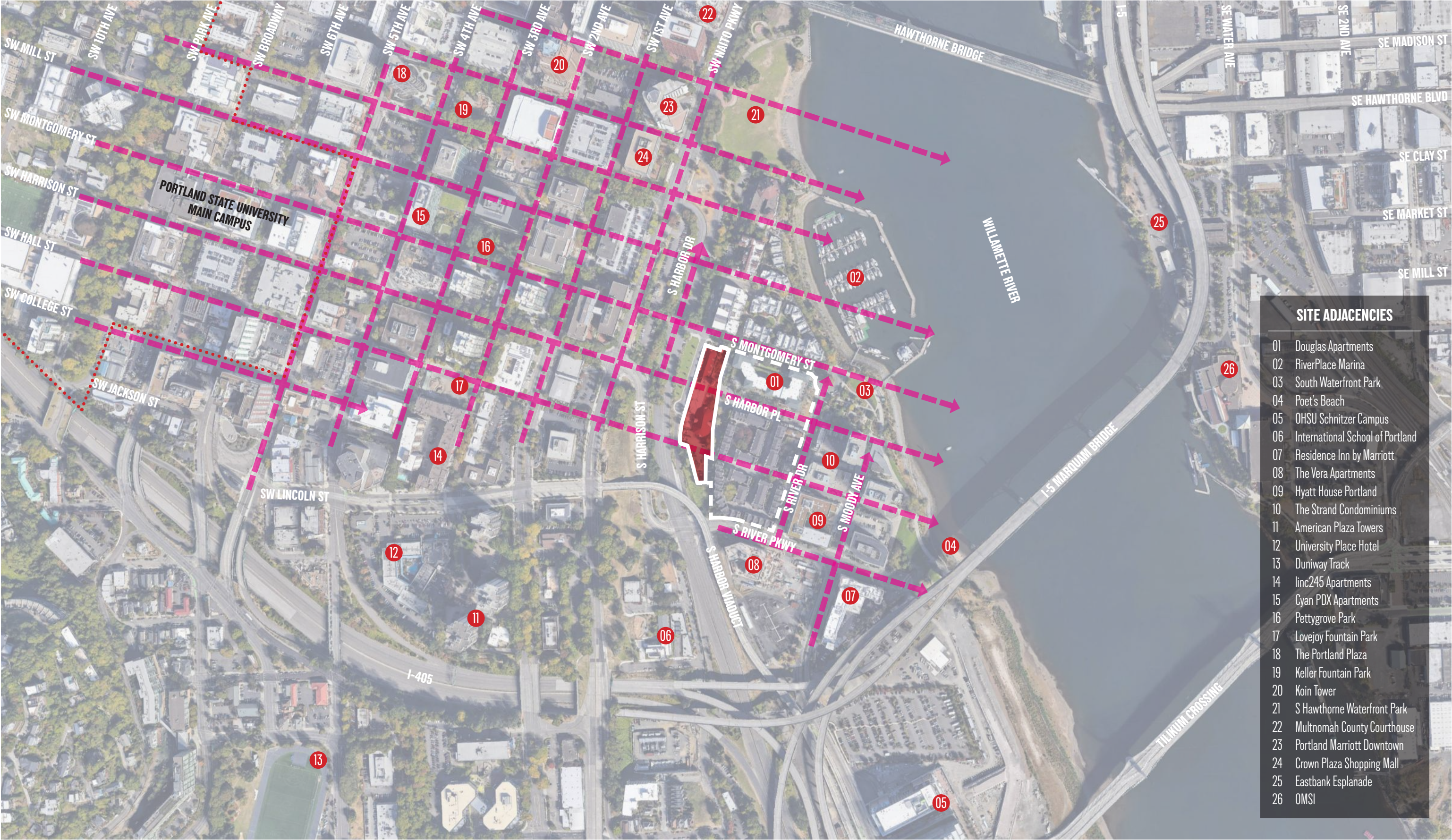
	PHASE 1 AMOUNTS	TOTALS
Residential Units	400-500 units / 400k-500k gsf	690-790 units
Sales and Services	3,000 gsf	15,905 gsf
Parking Stalls	85 stalls	785 stalls
Open Area	16,614 sf	16,614 sf
Potential Open Area	15,130 sf	15,130 sf

LEGEND

Residential

Sales and Services

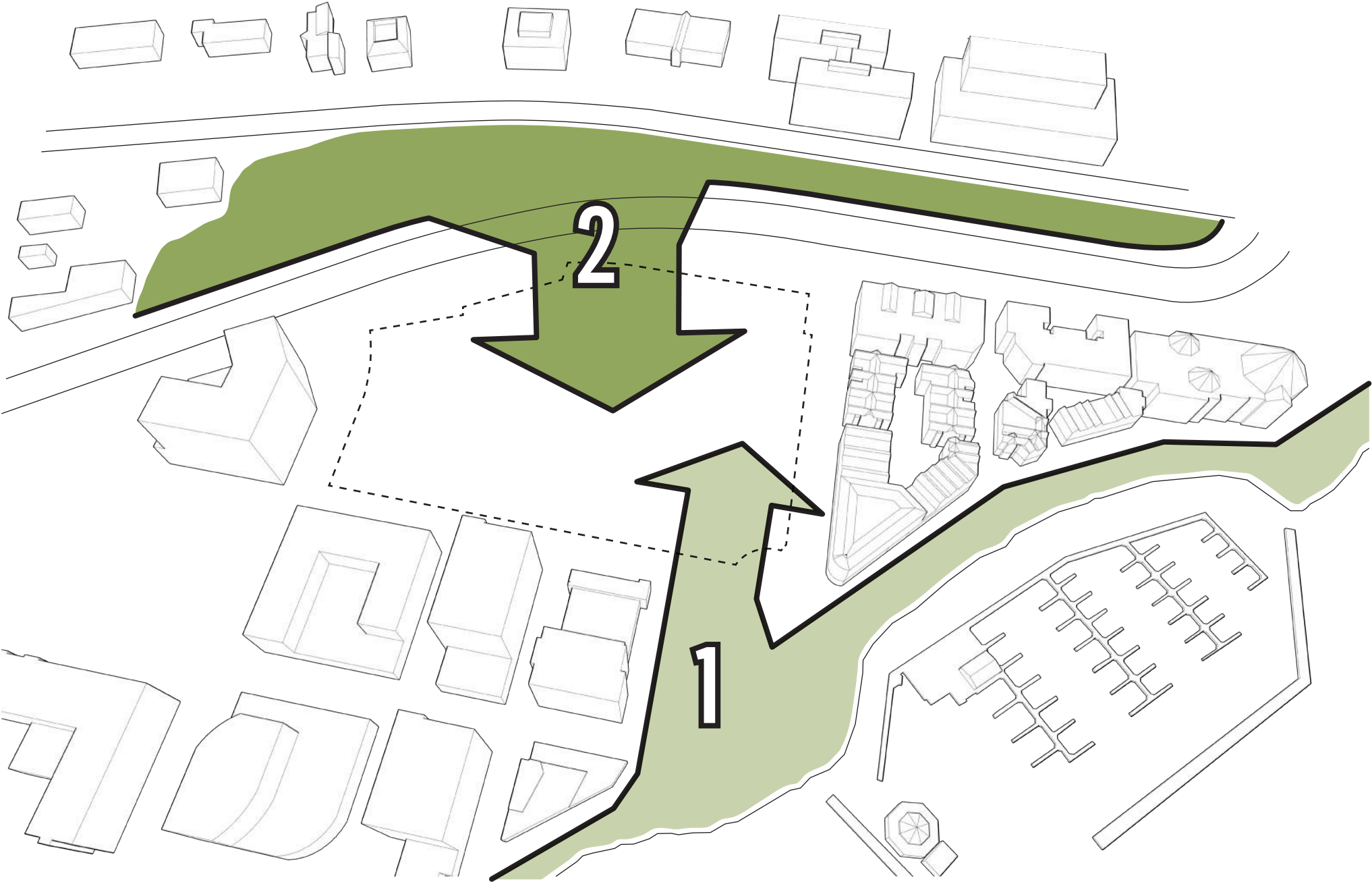
Proposed / Potential Open Area



SITE ADJACENCIES	
01	Douglas Apartments
02	RiverPlace Marina
03	South Waterfront Park
04	Poet's Beach
05	OHSU Schnitzer Campus
06	International School of Portland
07	Residence Inn by Marriott
08	The Vera Apartments
09	Hyatt House Portland
10	The Strand Condominiums
11	American Plaza Towers
12	University Place Hotel
13	Duniway Track
14	linc245 Apartments
15	Cyan PDX Apartments
16	Pettygrove Park
17	Lovejoy Fountain Park
18	The Portland Plaza
19	Keller Fountain Park
20	Koin Tower
21	S Hawthorne Waterfront Park
22	Multnomah County Courthouse
23	Portland Marriott Downtown
24	Crown Plaza Shopping Mall
25	Eastbank Esplanade
26	OMSI



PROPOSED BUILDING DESIGN



- 1

Bring the green character of the Willamette River and Greenway deeper into the site.

Currently South Waterfront Park offers a series of smaller, intimate green gathering areas in a heavily landscaped environment. The master plan proposes a roughly ½ acre park that features more expansive open areas for community events, gatherings and celebrations.
- 2

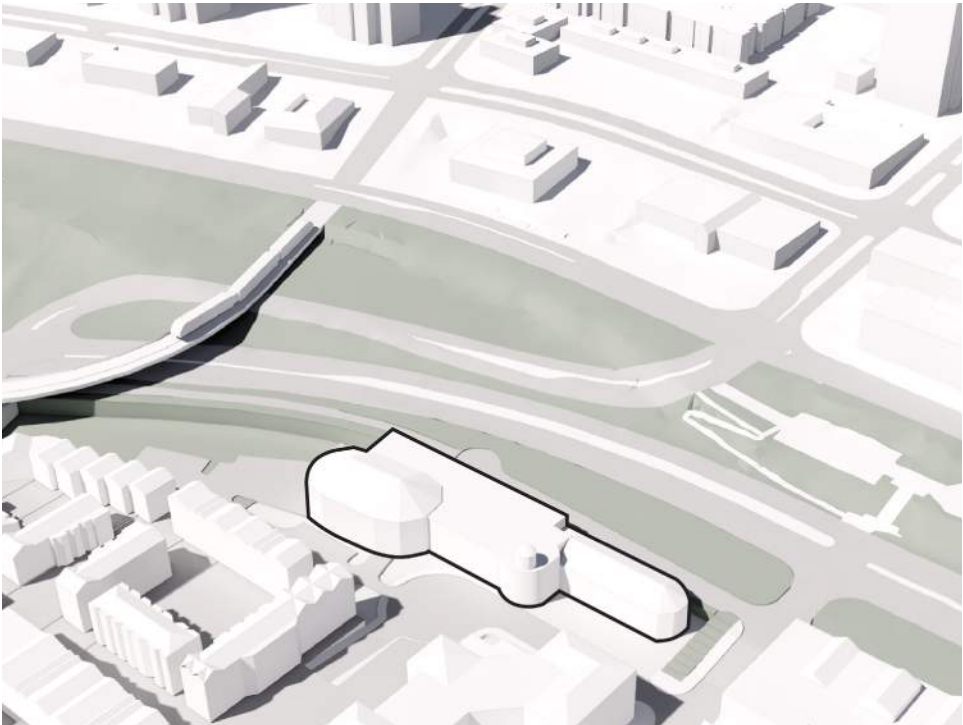
Reintroduce the natural, sloped landscape between SW Naito Pkwy and S Harbor Dr to create link to downtown.

The current location of the RiverPlace Athletic Club acts a barrier between downtown and RiverPlace. By extending the natural landscape that once was present back into the site, the visual connection to downtown is reintroduced and the community becomes more directly linked to the surroundings.

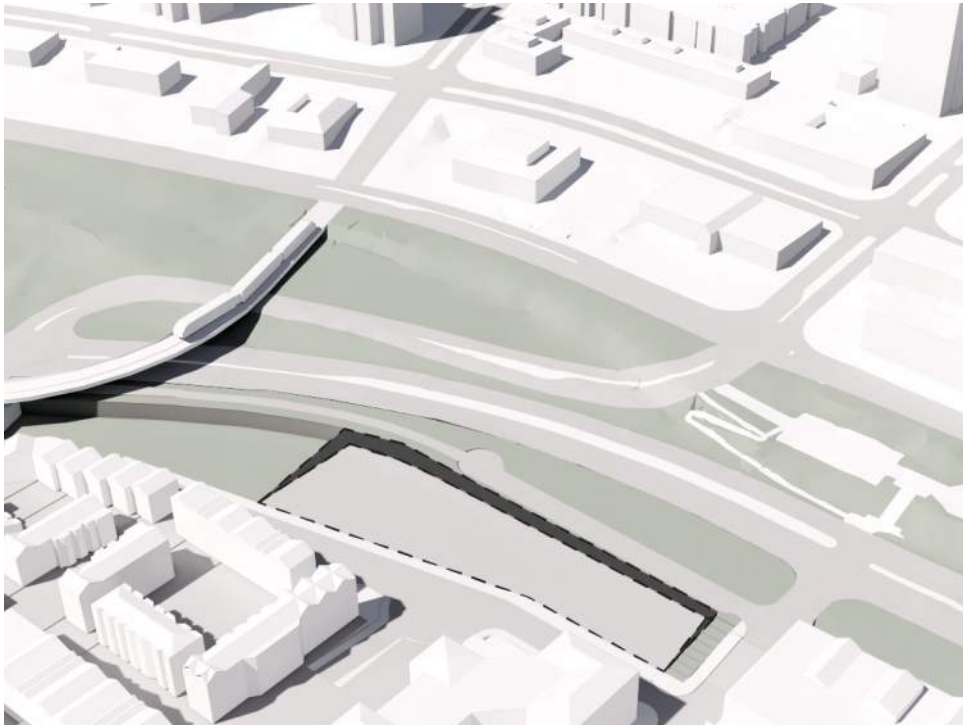
DESIGN CONCEPT: RE-INTRODUCE THE LANDSCAPE



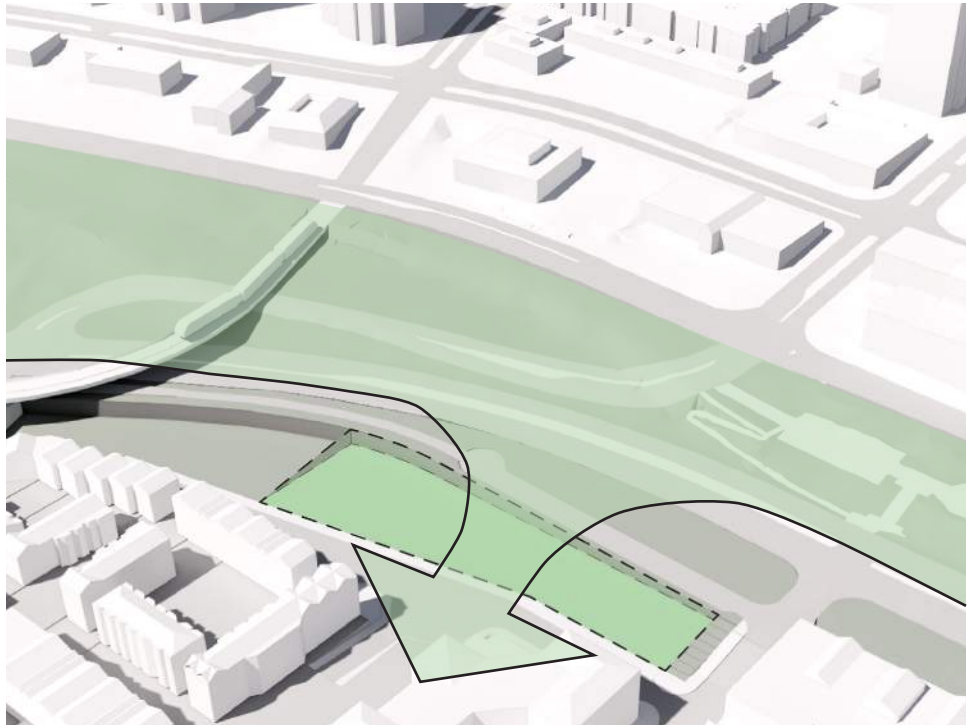
DESIGN CONCEPT: CONNECTION TO PACIFIC NORTHWEST LANDSCAPE



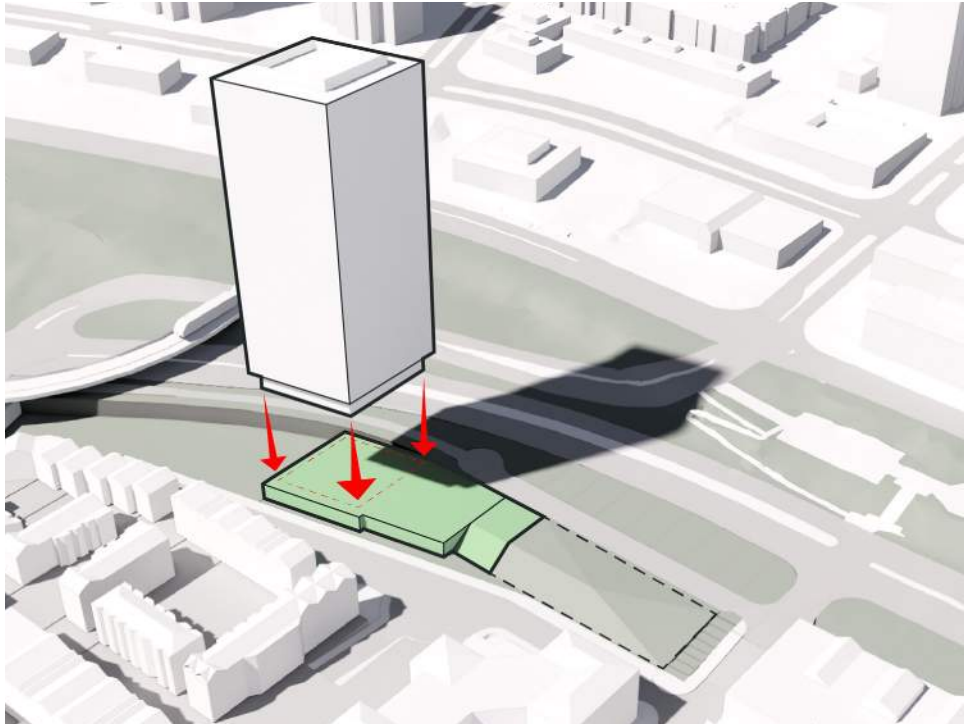
RIVERPLACE ATHLETIC CLUB



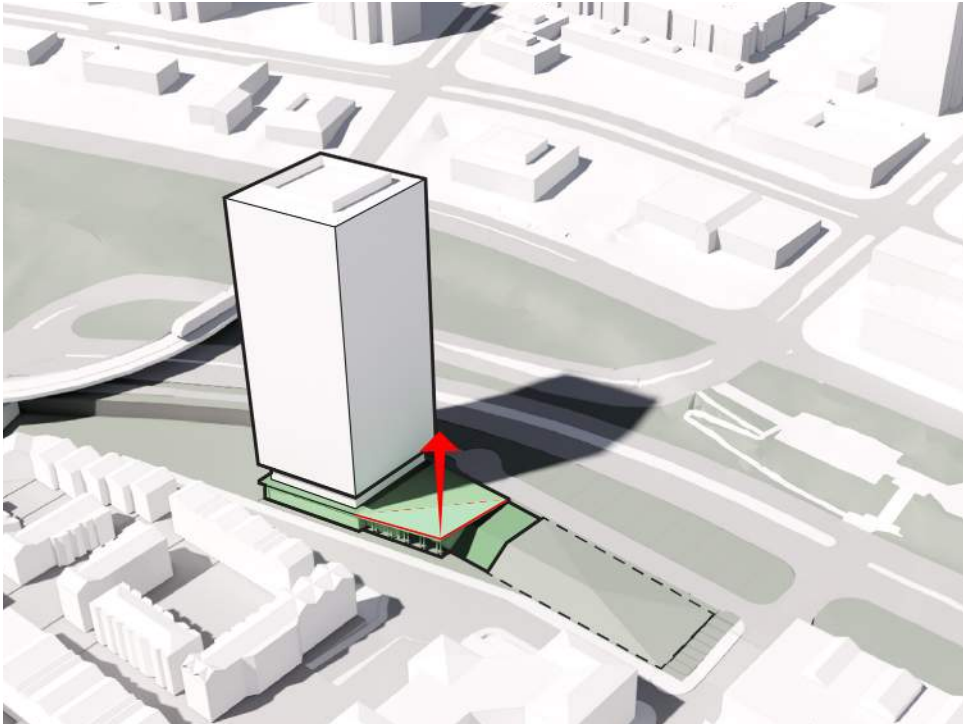
VOID LEFT IN LANDSCAPE



REINTRODUCE LANDSCAPE

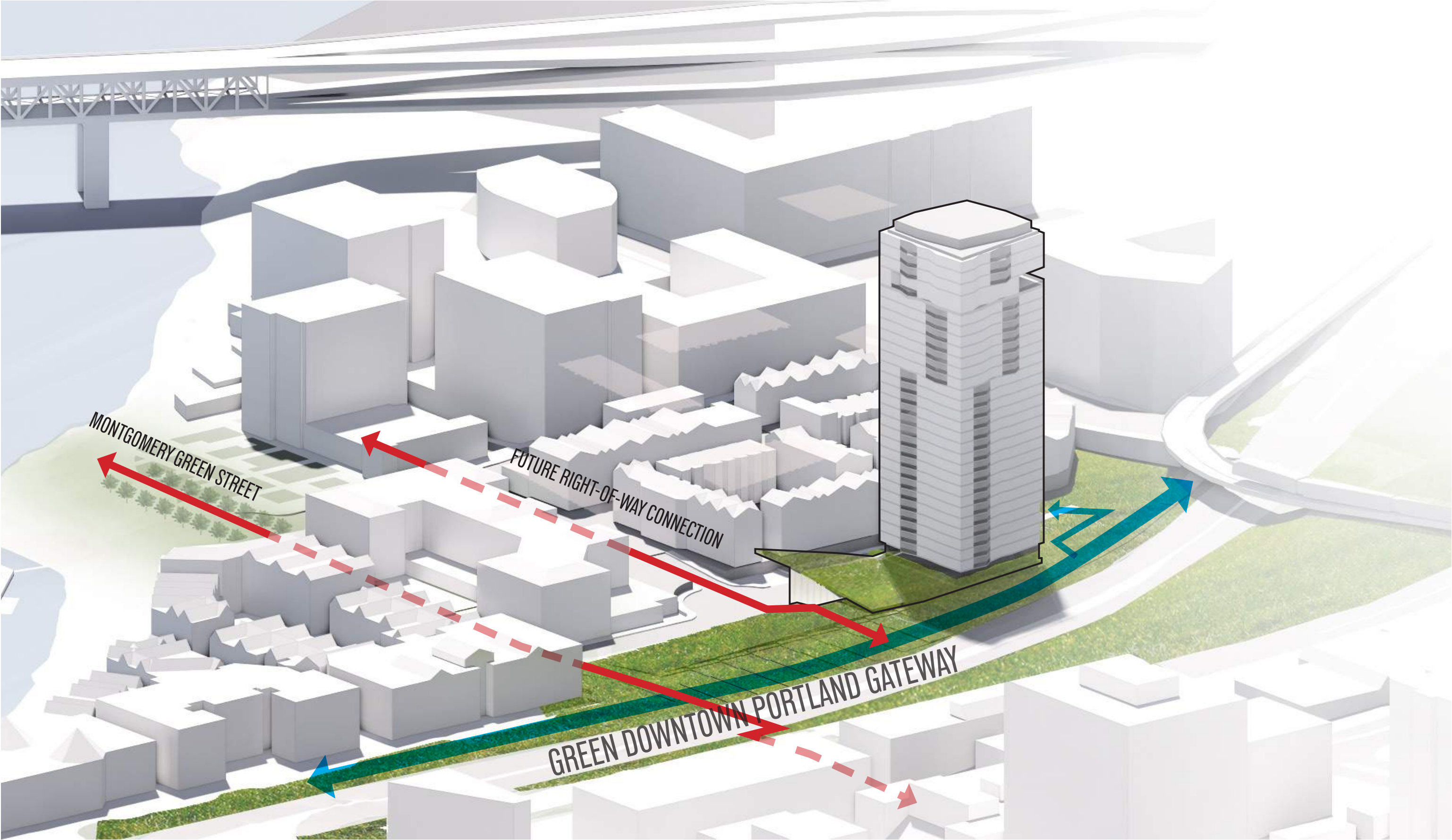


PLACE NARROW TOWER ON TOP OF LANDSCAPE



LIFT LANDSCAPE AT KEY POINTS

DESIGN CONCEPT: RE-INTRODUCE THE LANDSCAPE



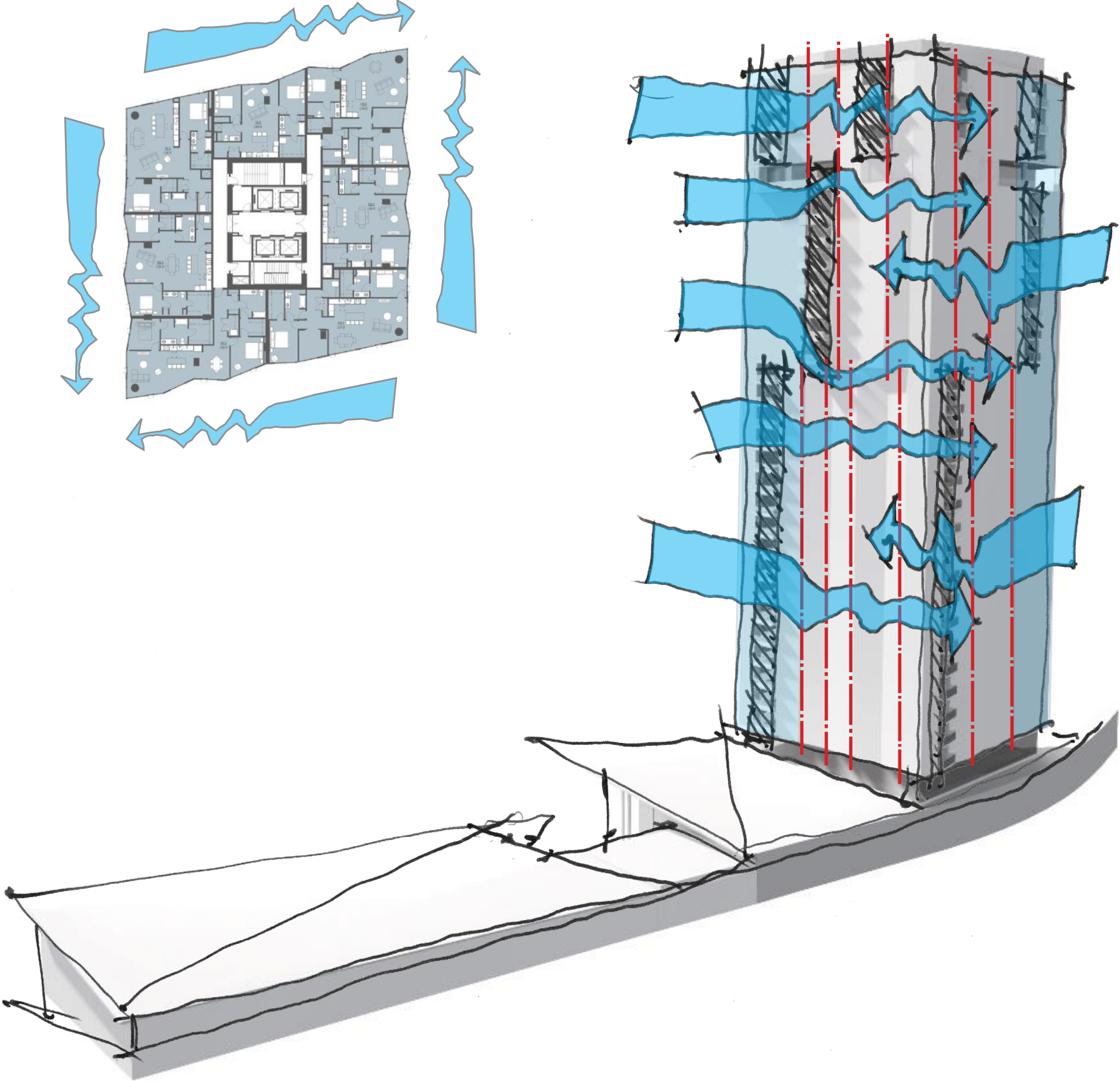


DESIGN CONCEPT: CONNECTION TO THE WILLAMETTE RIVER



The tower form is reminiscent of the ever-changing motion of the water that the Pacific Northwest is known for.

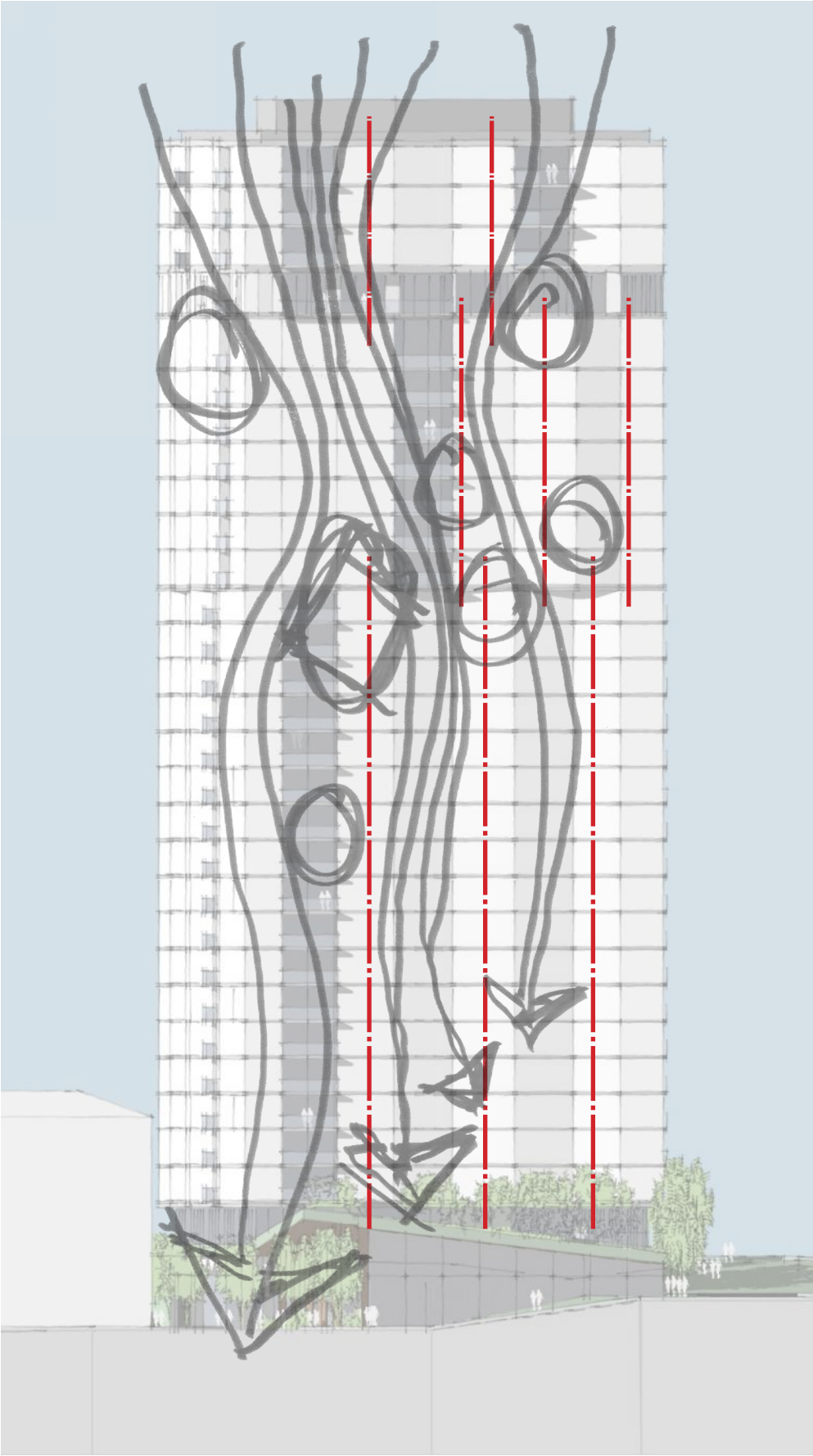
Canted windows, balconies, and building program elements provide the structure for the flow of the facade.





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Canted windows, balconies, and building program elements provide the structure for the flow of the facade.

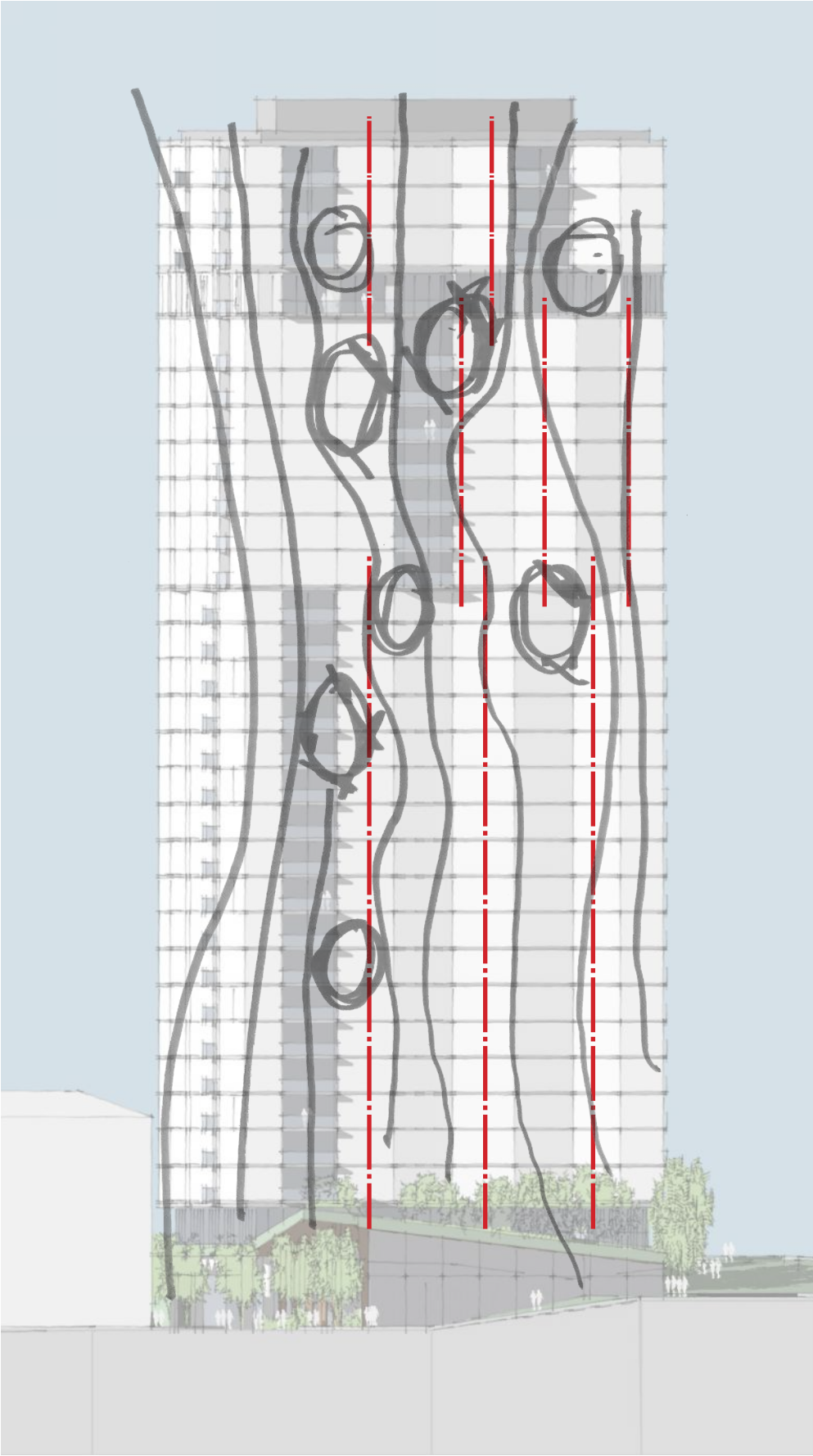


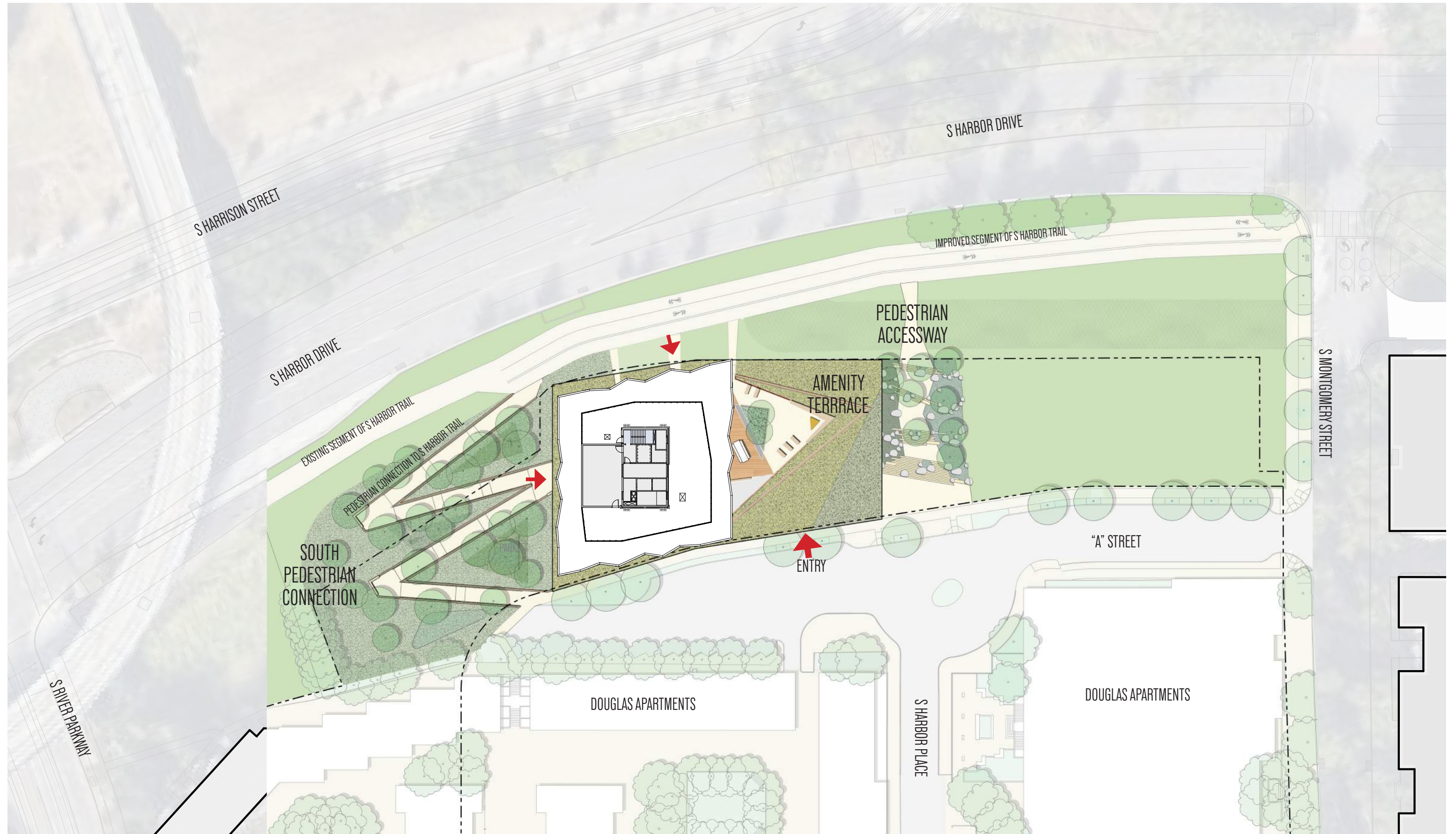
TOWER DESIGN CONCEPT: RIPPLING FACADE



The tower form is reminiscent of the ever-changing motion of the water that the Pacific Northwest is known for.

Canted windows, balconies, and building program elements provide the structure for the flow of the facade.



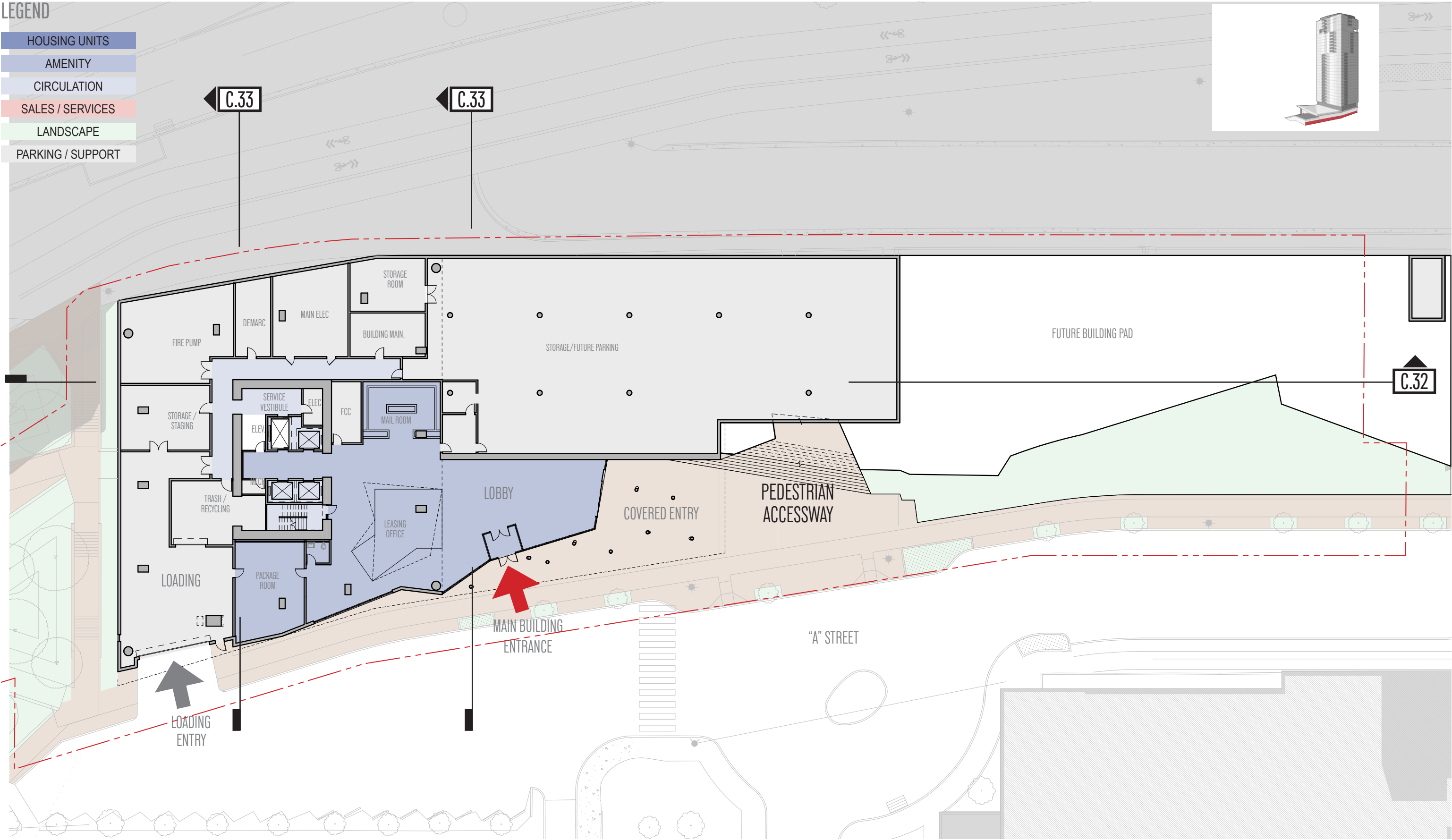


N ▶ SCALE: 1" = 60' - 0"

GBD Architects

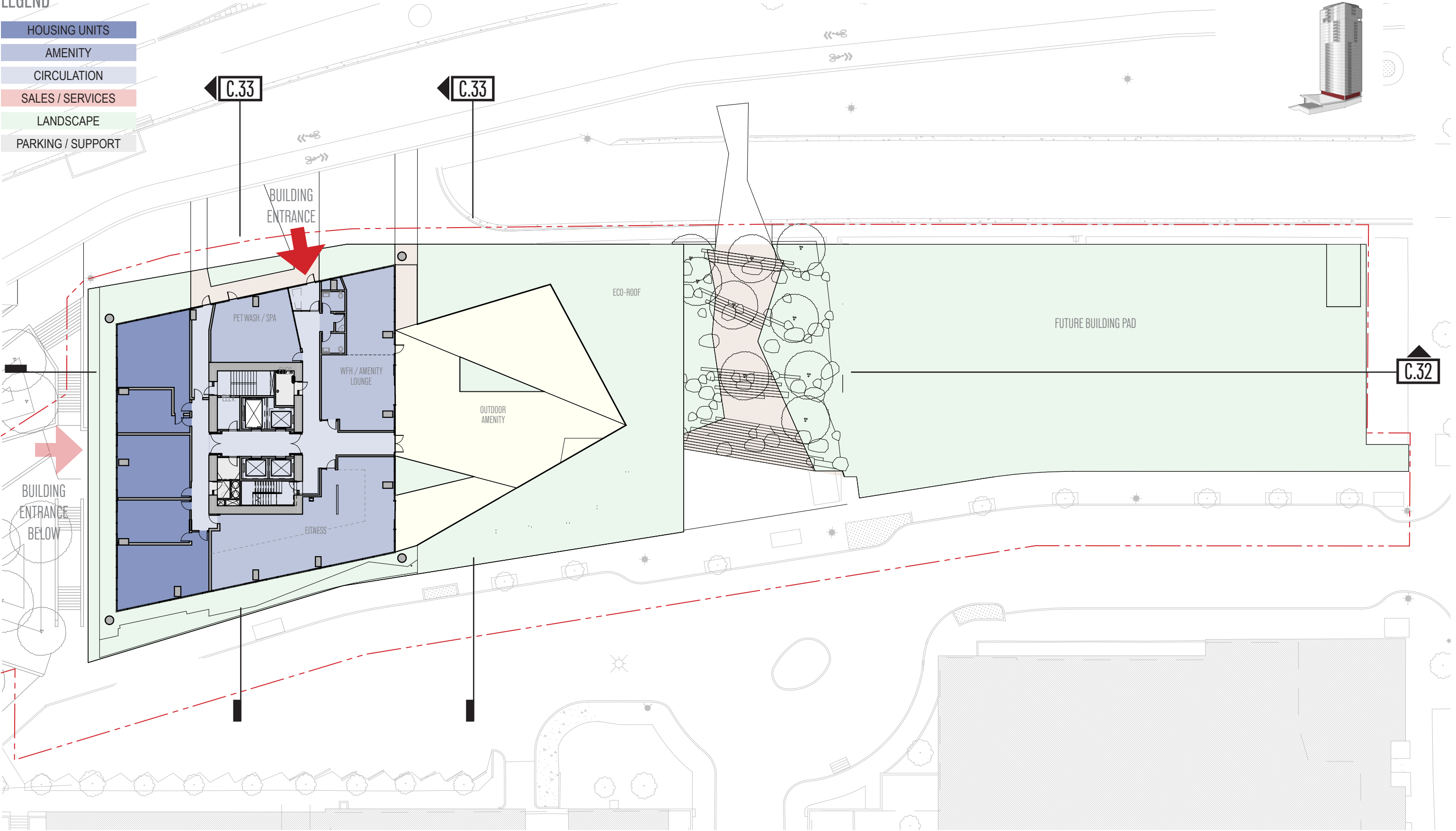
SITE PLAN

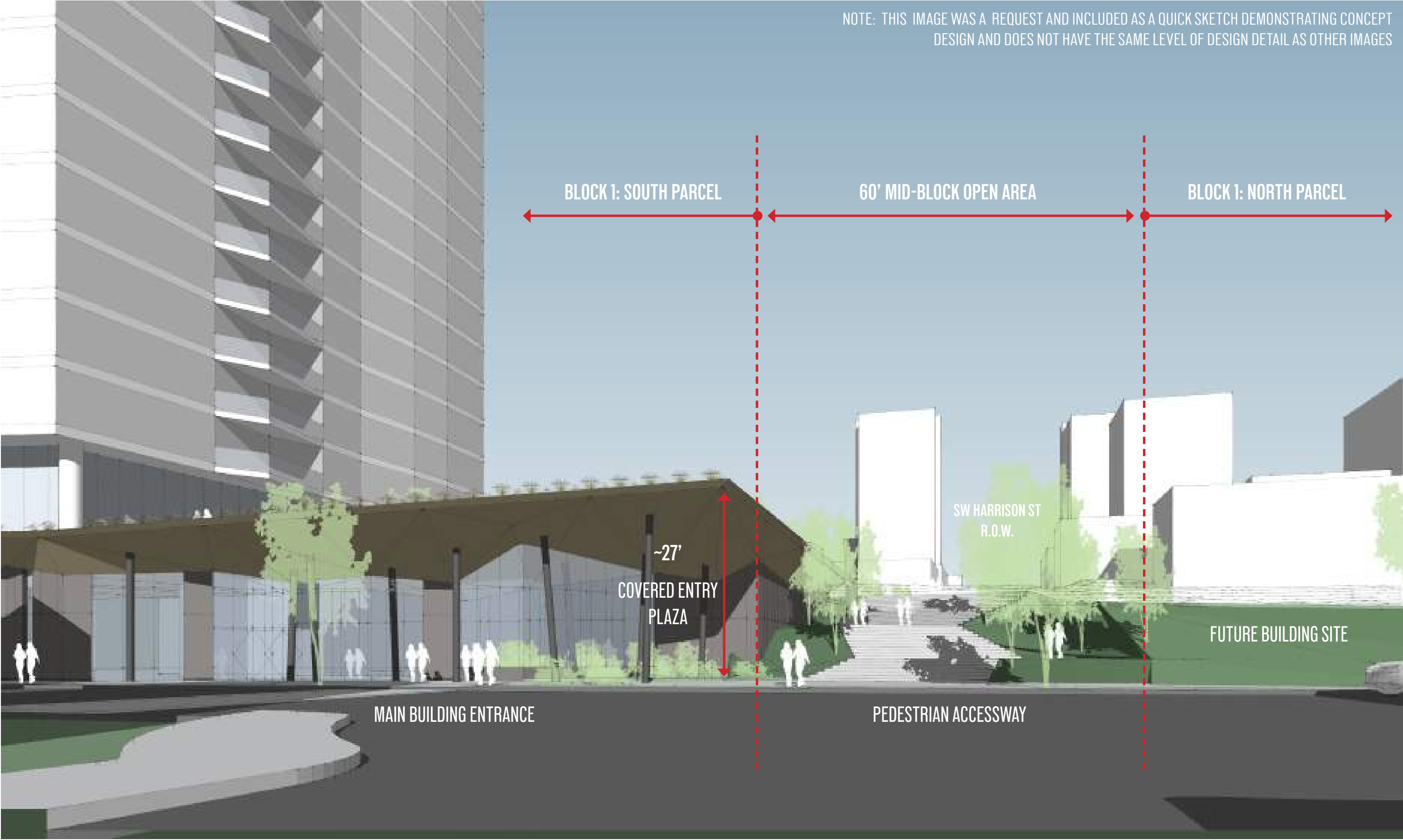
EA 22-119953 AD, Exhibit A.3

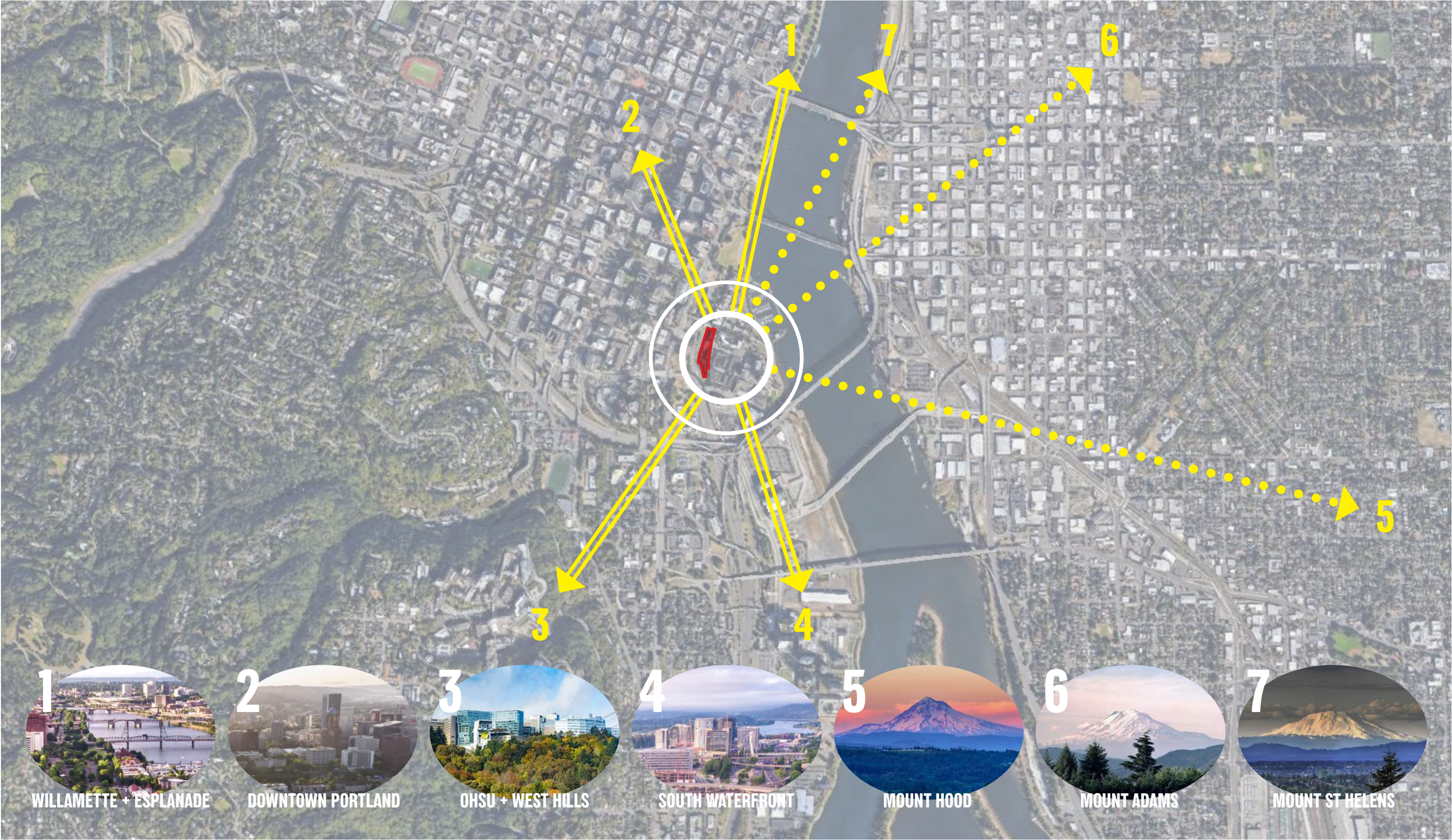


LEGEND

- HOUSING UNITS
- AMENITY
- CIRCULATION
- SALES / SERVICES
- LANDSCAPE
- PARKING / SUPPORT









3D VIEW: LOOKING SOUTHWEST FROM MONTGOMERY & HARBOR



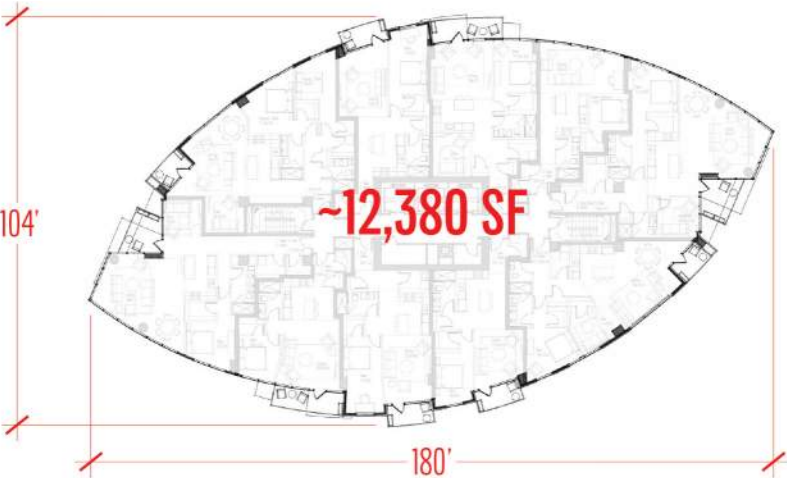
3D VIEW: LOOKING SOUTHEAST FROM HARBOR DRIVE



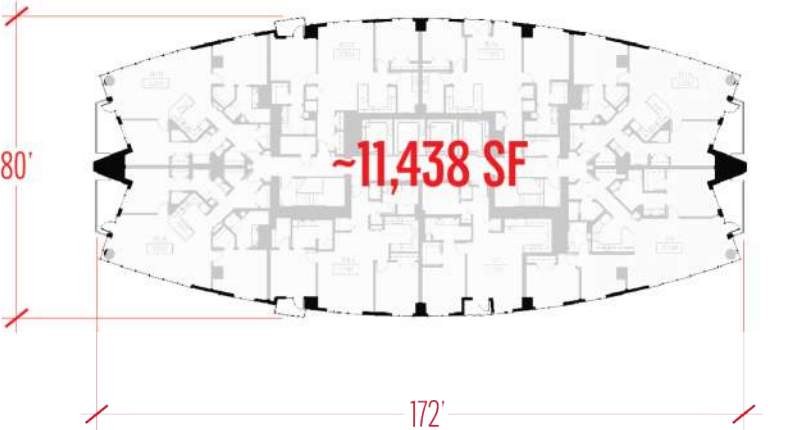
3D VIEW: LOOKING NORTH FROM HARBOR DRIVE

QUESTIONS FOR DESIGN ADVICE REQUEST

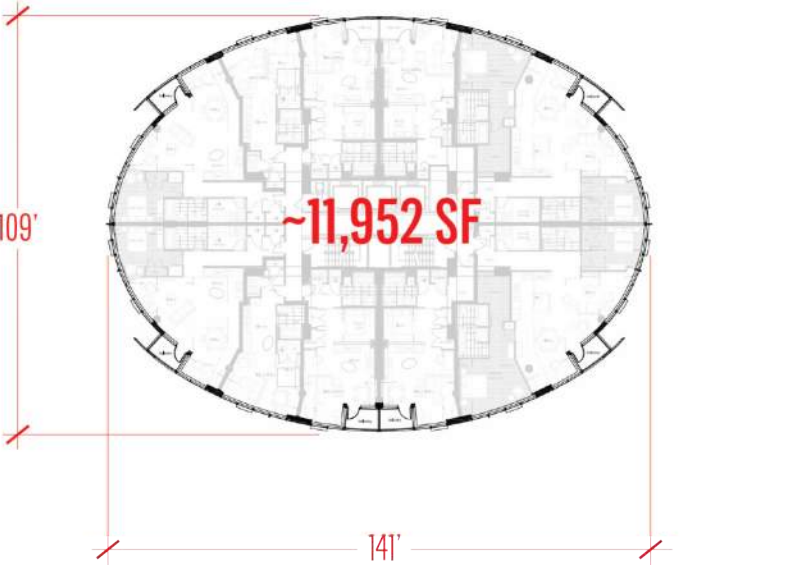
- 1. TOWER FLOOR PLATE SIZE MODIFICATION**
- 2. TOWER ORIENTATION MODIFICATION**
- 3. REQUIRED ECO-ROOF MODIFICATION**
- 4. OPEN AREA DESIGN**
- 5. GROUND FLOOR WINDOW MODIFICATION**



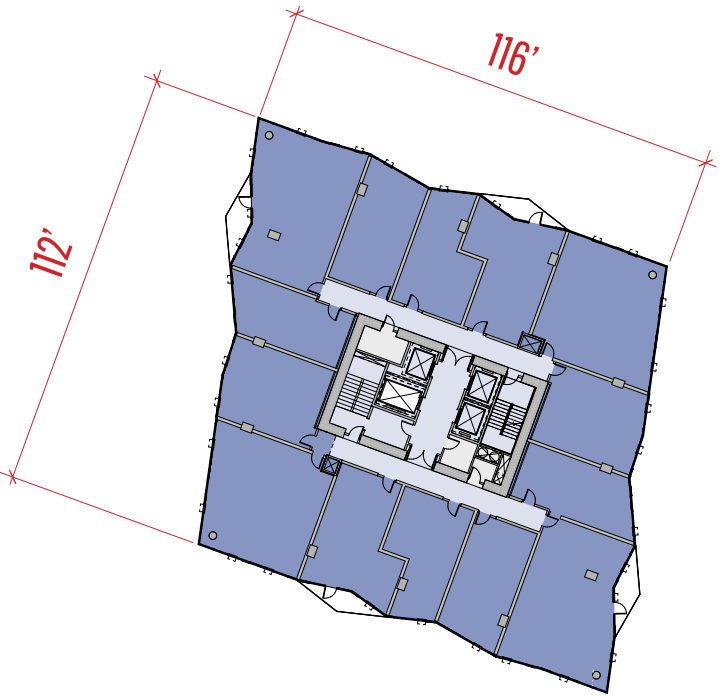
THE ARDEA - 325'
South Waterfront



MIRABELLA - 325'
South Waterfront



THE JOHN ROSS - 325'
South Waterfront



12,454 SF
RIVERPLACE - BLOCK 1
325'

1. TOWER FLOOR PLATE SIZE MODIFICATION

REQUIREMENT

33.510.210.D.3.e RiverPlace Height Opportunity Area.

(2) Standard. If the building is taller than 75 feet, the floors of the building above 100 feet must not be more than 10,000 square feet each. **Adjustments are prohibited, however modification through design review may be requested if the north-south dimension of the building above 75 feet is 112 feet or less.** The north-south dimension is measured as specified in 33.510.251.A.3.e

PROPOSAL

The building is seeking the modification allowed through design review to provide a larger than 10,000 square foot floor plate above 75' in height. Using the South Waterfront Subdistrict as the most relevant example for these types of buildings, the Block 1 tower is seeking a maximum floor plate size up to 12,500 square feet (the same allowance granted for all three buildings constructed in South Waterfront that reach a building height of 325'). Rather than start the 12,500 square foot plates at the 75' height limit, the project proposal is to start that lower in the building at the second level to provide visual permeability from South Harbor Drive towards the Willamette River.

APPROVAL CRITERIA

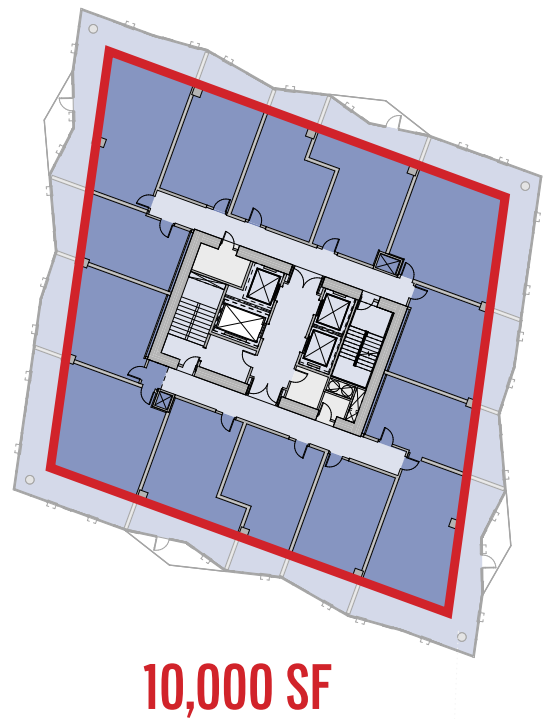
A. The resulting development will better meet the applicable design guidelines:
The proposed development better meets the applicable design guidelines as it provides more visual permeability through the site by starting the 12,500 square feet tower plates lower than 75'.

As a comparison, if this project were not utilizing the Bonus Height opportunity to reach 325' in building height and designed as a relatively slender tower of <12,500 square foot floor plates, the likely alternative would be a visual impereable slab building built to the base zone height of 125' with floor plates in the range of 16,000 square feet to 20,000 square feet that stretched the full length of the southern parcel of 200' in length.

B. On Balance, the proposal is consistent with the purpose of the standard for which a modification is requested.

In the purpose statement for RiverPlace Height Opportunity Area, the goals that are being described are being met with this proposal such as providing diverse housing opportunities, supporting high quality design, and creating additional opportunities for visual access. The intent of the code is being met. With the floor plates being enlarged from 10,000 square feet to the South Waterfront modification standard of 12,500 square feet, even more housing is being delivered than would otherwise be available. As there are 28 residential floors in the tower, the additional 2,500 square feet per floor results in an additional 70,000 square feet more of residential space in the building. At approximately 825 square feet per apartment, that additional square footage conceptually translates into 75-80 more apartments being constructed in Portland's Central City than would otherwise fit within the tower.

PROPOSAL BETTER MEETS GUIDELINES AT 12,500 SF THAN AT 10,000 SF BECAUSE:



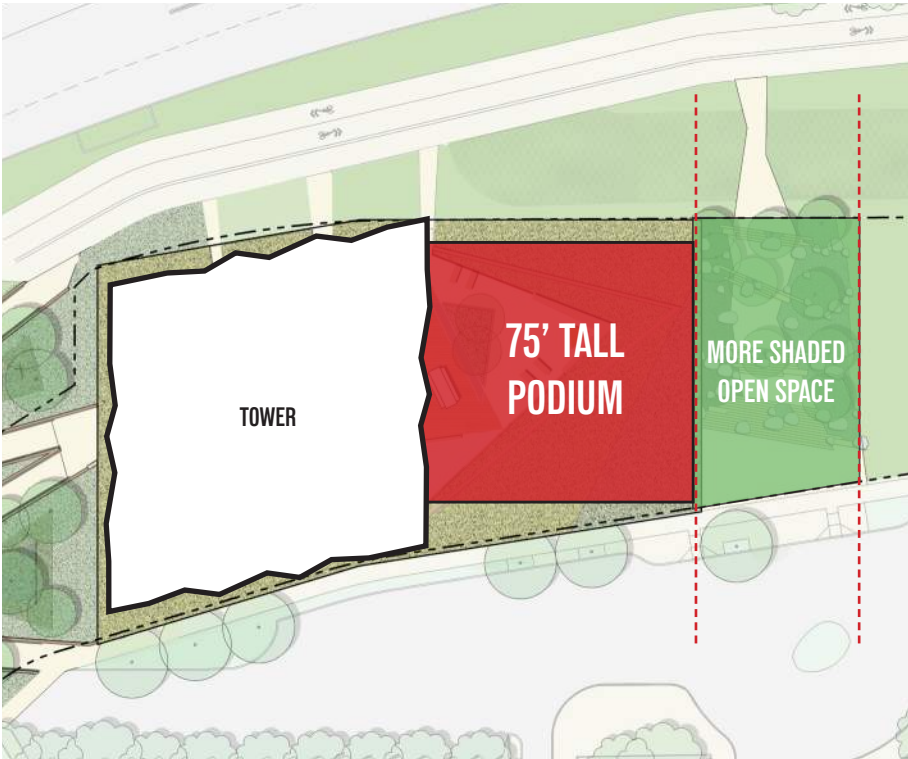
Provided an additional ~5’ depth to the residences; design team was able to meet the program requirement and explore variety of building skin articulations with more movement inspired by the flow of water.

- A1 Integrate the River
- A2 Emphasize Portland Themes



Allowed the building design not to have a 75’ tall podium along SW Harbor. This allowed for significantly more views along the Multi-Use path along Harbor thru the site to the Willamette River.

- A1 Integrate the River
- C1 Enhance View Opportunities



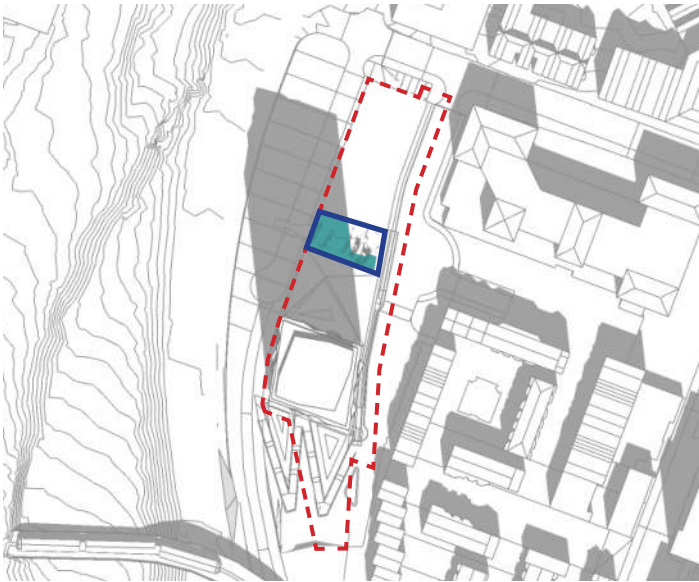
Allowed for less building mass along the northern edge where the mid-block Open Area is and thus more sunlight throughout each day.

- A8 Contribute to a Vibrant Streetscape
- A9 Strengthen Gateways
- B1 Reinforce and Enhance the Pedestrian System
- B4 Provide Stopping and Viewing Places
- B5 Make Plazas, Parks, and Open Space Successful

SOLAR STUDY - 12:00 PM

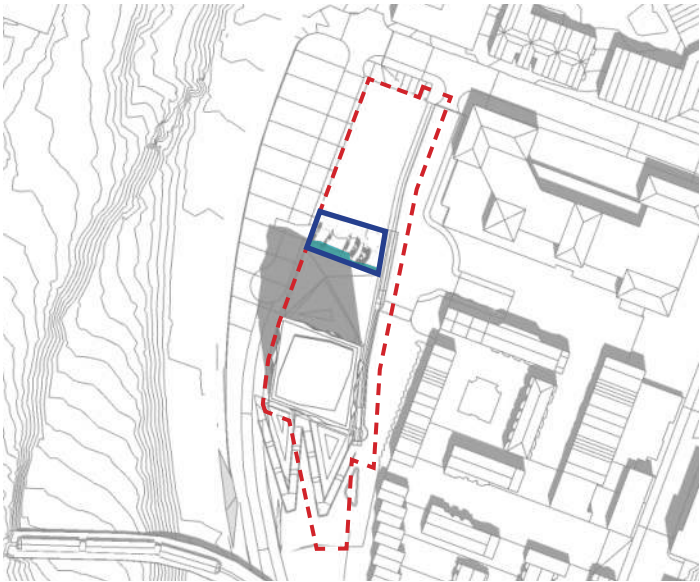
CURRENT MASSING

SPRING EQUINOX (March 21)



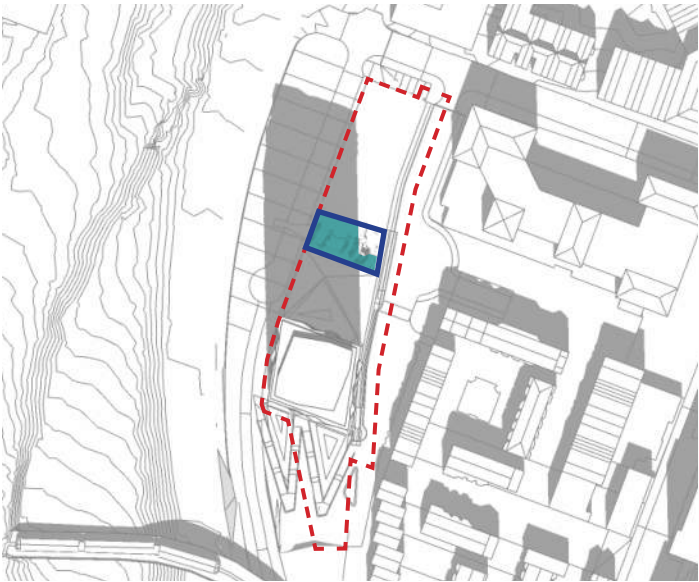
63.7% SHADED

SUMMER SOLSTICE (June 21)



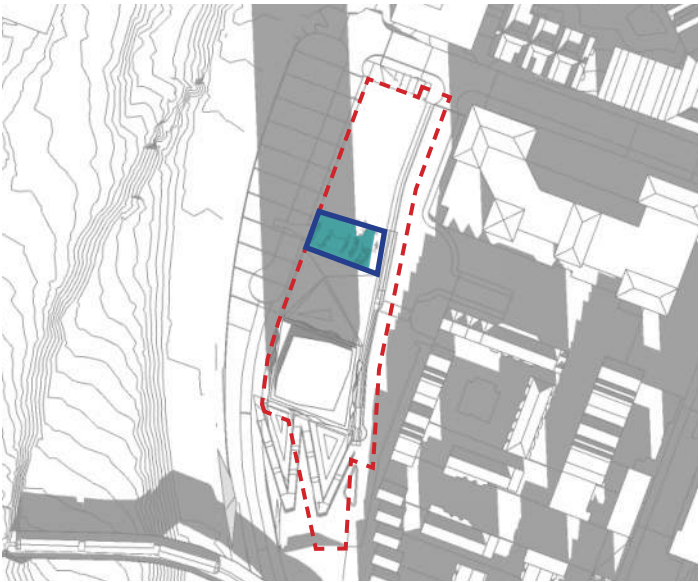
19.9% SHADED

AUTUMN EQUINOX (September 21)



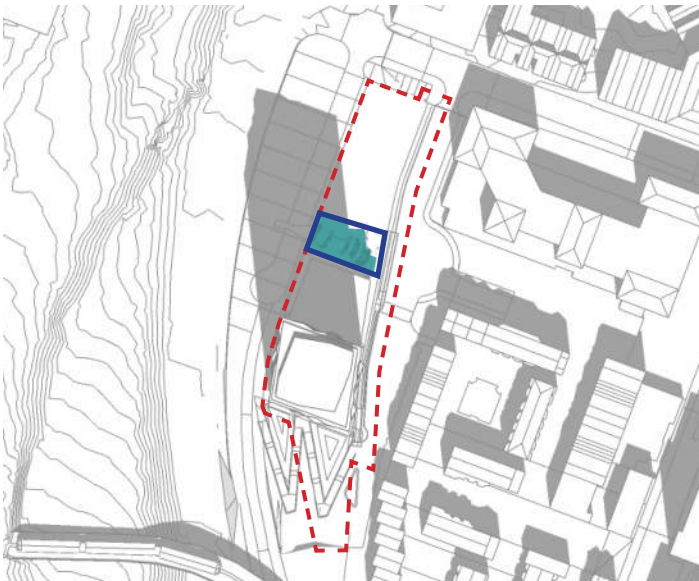
74.4% SHADED

WINTER SOLSTICE (December 21)



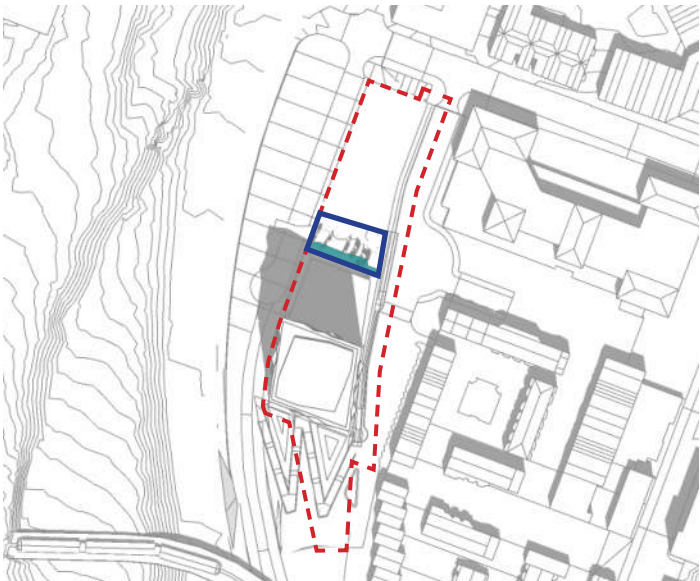
83.8% SHADED

WITH 75' PODIUM



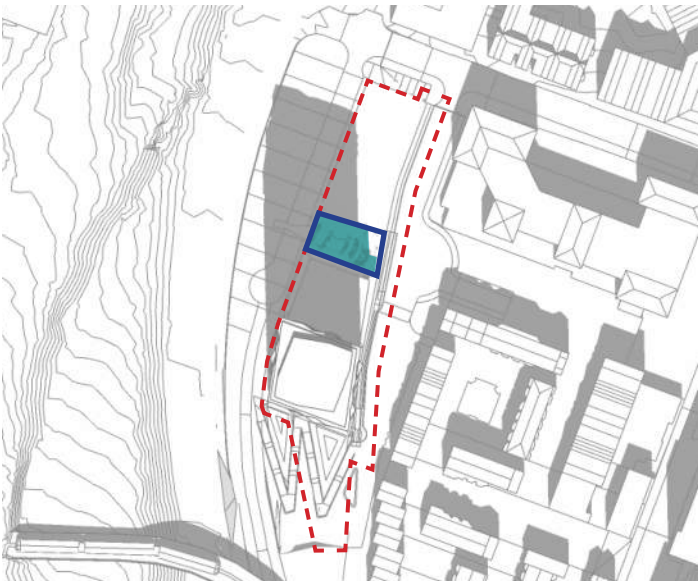
80.1% SHADED

(+16.4%)



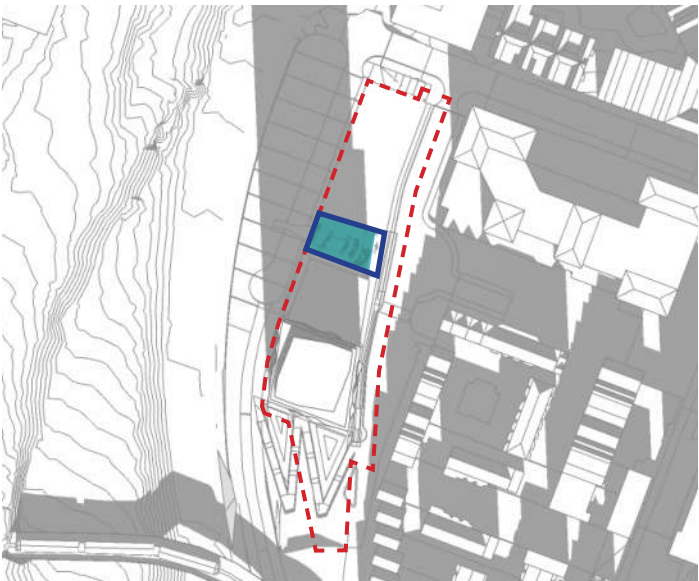
26.0% SHADED

(+6.1%)



86.3% SHADED

(+11.9%)



88.2% SHADED

(+4.4%)

SOLAR STUDY - 3:00 PM

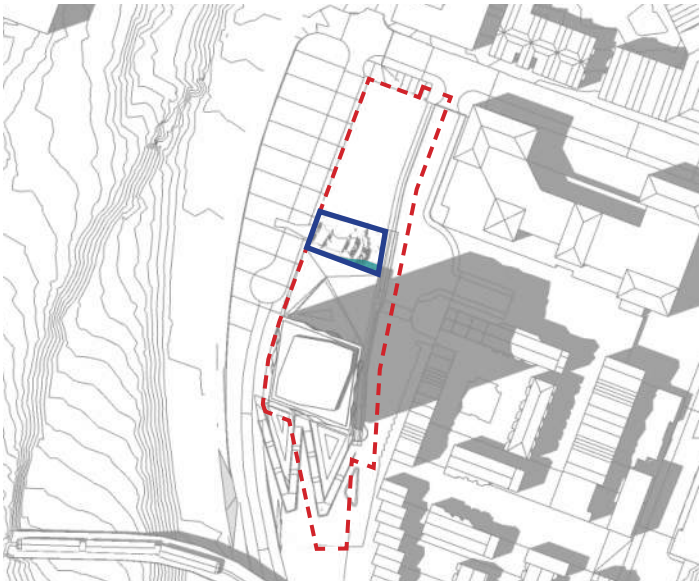
CURRENT MASSING

SPRING EQUINOX (March 21)



40.0% SHADED

SUMMER SOLSTICE (June 21)



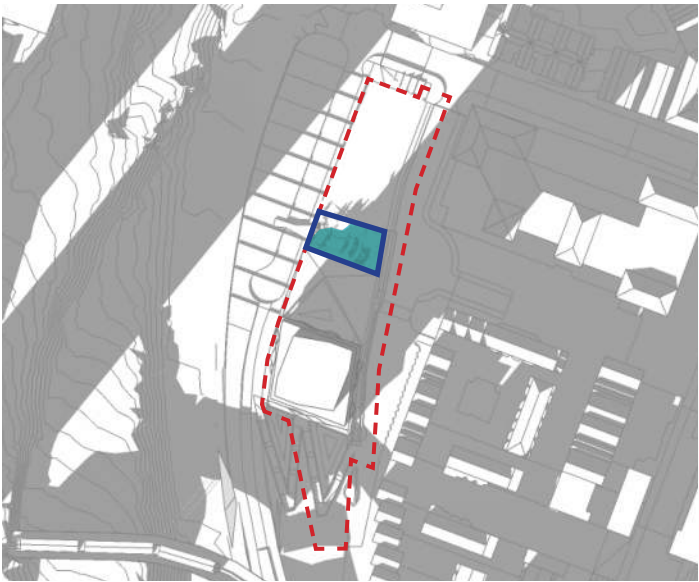
11.2% SHADED

AUTUMN EQUINOX (September 21)



37.0% SHADED

WINTER SOLSTICE (December 21)



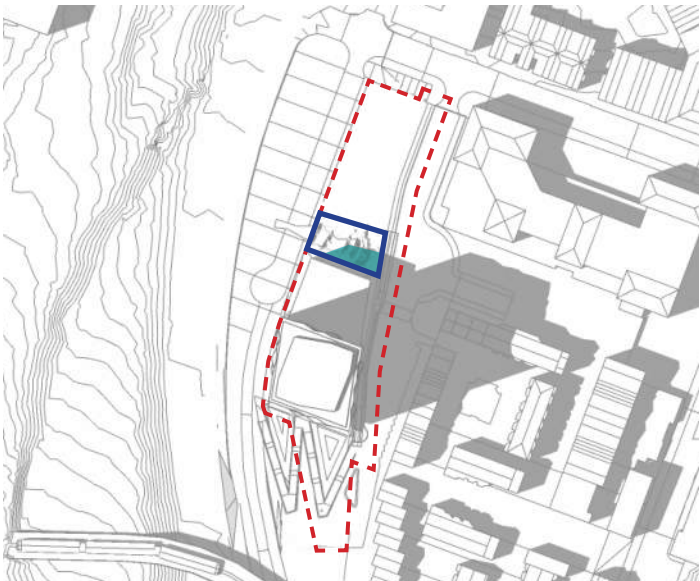
85.0% SHADED

WITH 75' PODIUM



74.3% SHADED

(+34.3%)



35.5% SHADED

(+24.3%)



73.0% SHADED

(+36.0%)



89.9% SHADED

(+4.9%)

2. TOWER ORIENTATION MODIFICATION

REQUIREMENT

33.510.251.A.3.e Special building height corridors and tower orientation

3. Maximum north-south dimension. The north south dimension is measured as specified in Subparagraph A.3.e See Figure 510-1. **Adjustments to this paragraph are prohibited; however, modifications to the standards of this paragraph may be requested through design review.** In reviewing such a request, the review body will consider the results of the South Waterfront Public Views and Visual Permeability Assessment for the proposal. The north-south dimensions of buildings are limited as follows:

e. Measurements for this paragraph. The measurements for the regulations of this paragraph are as follows. See Figure 510-1:

(1) The north-south dimension of a building is measured as follows:

- From the northernmost point of the portion of a building that is at least 75' in height, a line is drawn running due east-west;
- From the southernmost point of the portion of a building that is at least 75' in height, a line is drawn running due east-west;
- A line drawn at right angles between the two east-west lines in the north south dimension

PROPOSAL

The building is seeking to modify the standards of what constitutes “north-south”. Rather than consider the cardinal north-south language, the proposal is to change the language from “northernmost point” and “southernmost point” to being 90 degrees perpendicular to the easterly and westernly street grids that exist west of the site, in most of downtown, and were adopted through the CCMS masterplan process.

APPROVAL CRITERIA

A. The resulting development will better meet the applicable design guidelines:

The proposed development better meets the applicable design guidelines as the code language being sited is particular to the South Waterfront Subdistrict and its street network that is based on the cardinal directions. In the purpose statement of this code section, the language is “Special building heights along designated east-west corridors and tower orientation standards provide visual access to the Greenway from points west of the district, provide visual access to the Tualatin Hills from points east of the district, provide access to sunlight along designated streets, and encourage an urban form that is visually permeable and varied.” The South Waterfront Subdistrict street network and the buildings due west of the subdistrict are organized in a truly north-south and east-west direction. As such, the code language matches the street network in that area.

In RiverPlace, the area due west of RiverPlace and most of the Central City of downtown, the street network is rotated approximately 20 degrees east of north. As such, the modification seeks to revise the code language such that it recognizes the orientation of the street grid in this area and have the building registered to its street grid and the grid due west of the site to meet the same intent as South Waterfront where buildings are registered and oriented along the street network in which the buildings are developed.

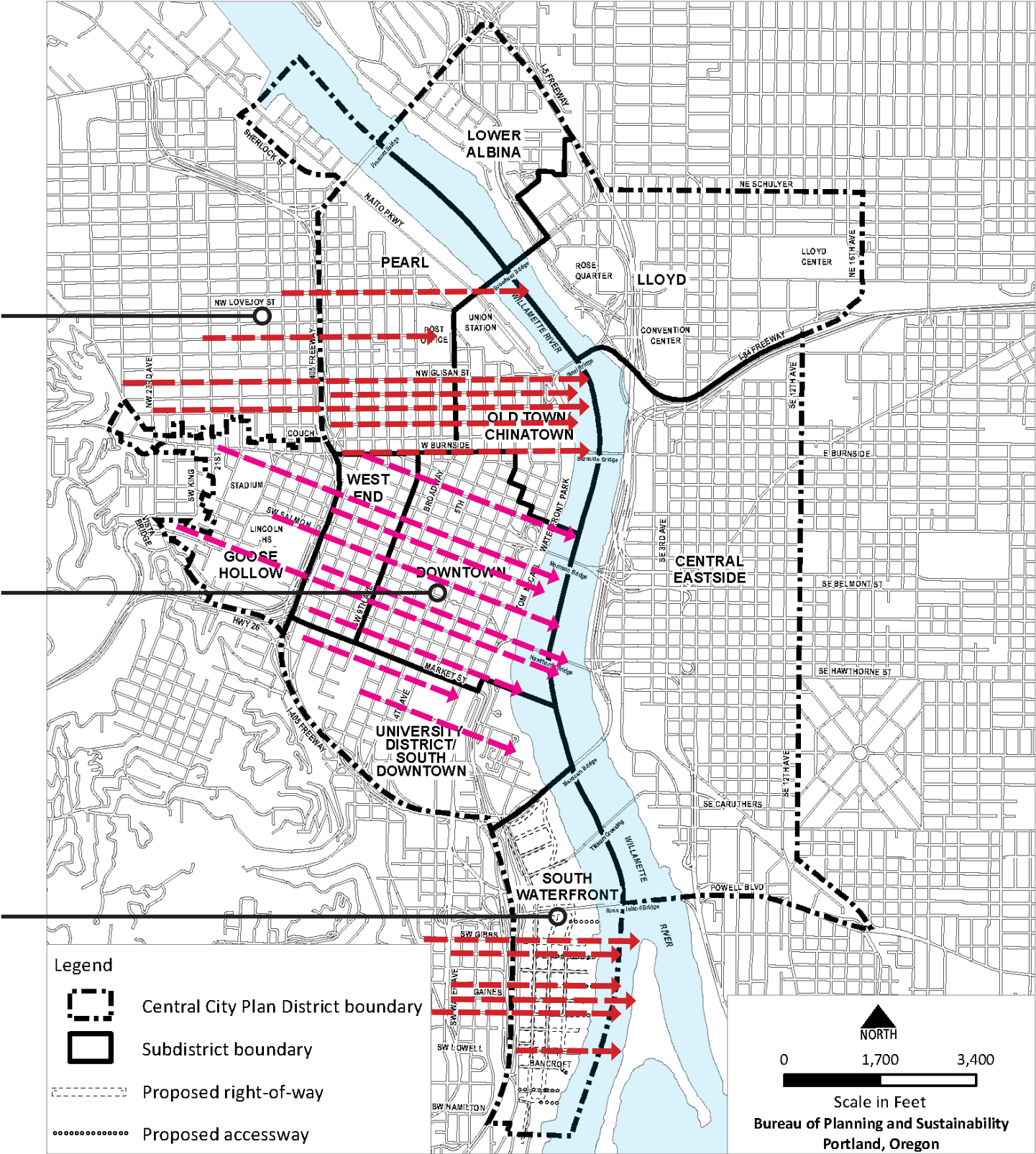
B. On Balance, the proposal is consistent with the purpose of the standard for which a modification is requested.

The proposal to revise the code language such that the buildings are arranged on the street network is entirely consistent with the purpose statement of the standard. The standard is about providing views through the site in an easterly and westerly direction along east-west corridors and streets. The revision to this code language recognizes the street network around RiverPlace and its unique characteristic compared to South Waterfront.

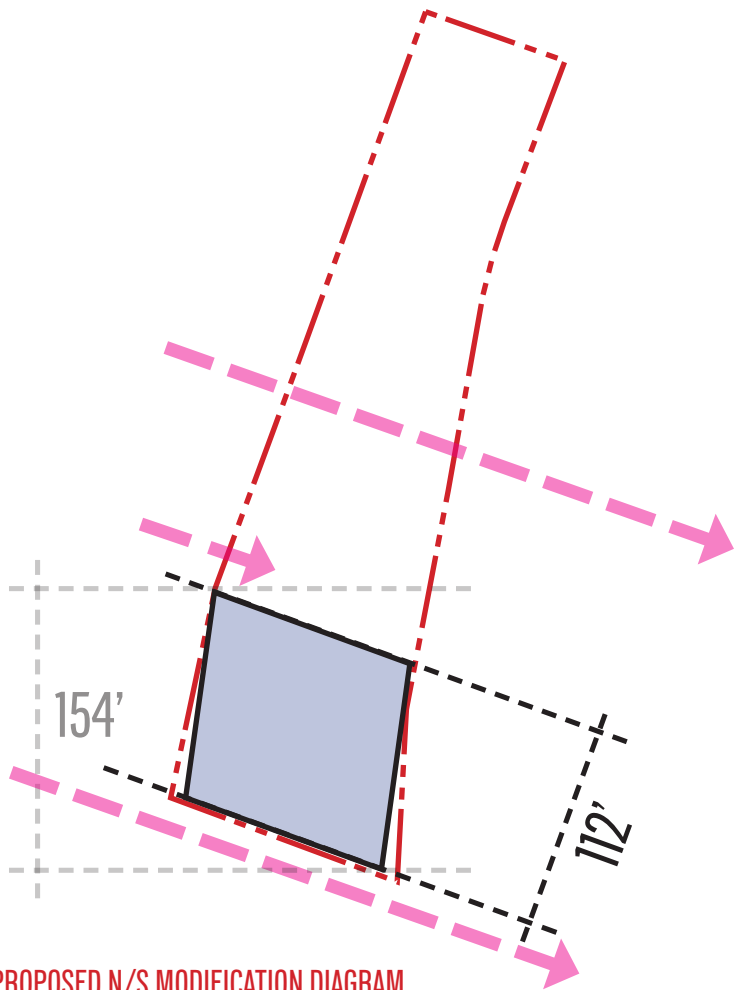
PEARL DISTRICT GRID IS ON
CARDINAL NORTH/SOUTH GRID

DOWNTOWN / SOUTH UNIVERSITY
DISTRICT / SOUTH DOWNTOWN
GRID IS APPROXIMATELY 20
DEGREES FROM CARDINAL NORTH/
SOUTH GRID

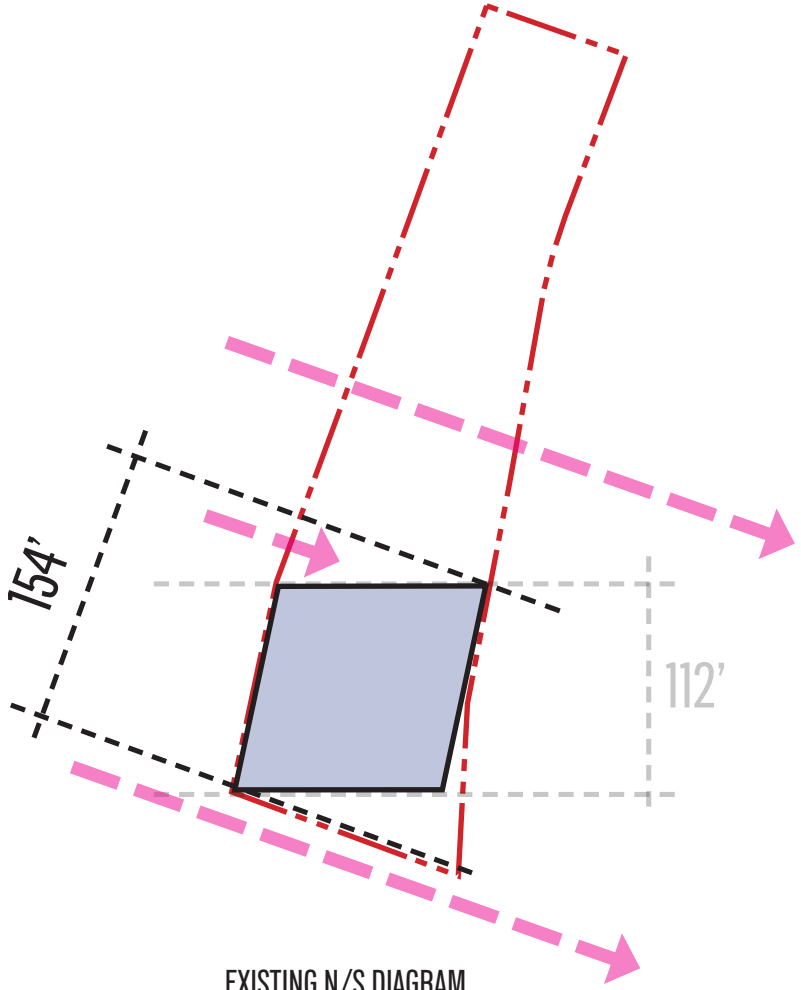
SOUTH WATERFRONT GRID IS ON
CARDINAL NORTH/SOUTH GRID



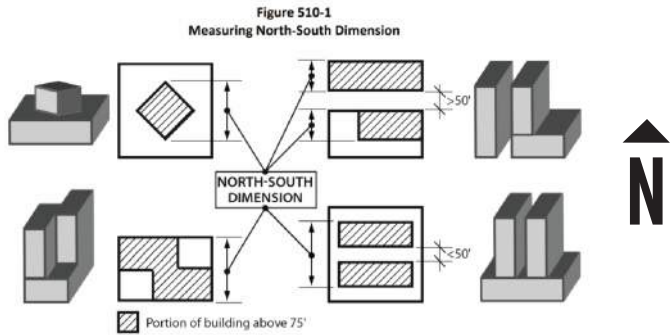
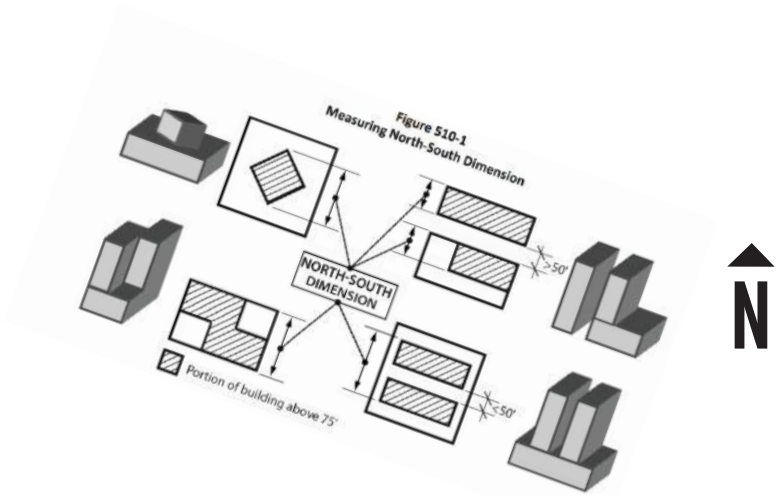
PROPOSAL TO MODIFY THE STANDARD BETTER MEETS THE DESIGN GUIDELINES WHEN TAKING INTO ACCOUNT THE STREET GRID NETWORK AT RIVERPLACE COMPARED TO SOUTH WATERFRONT

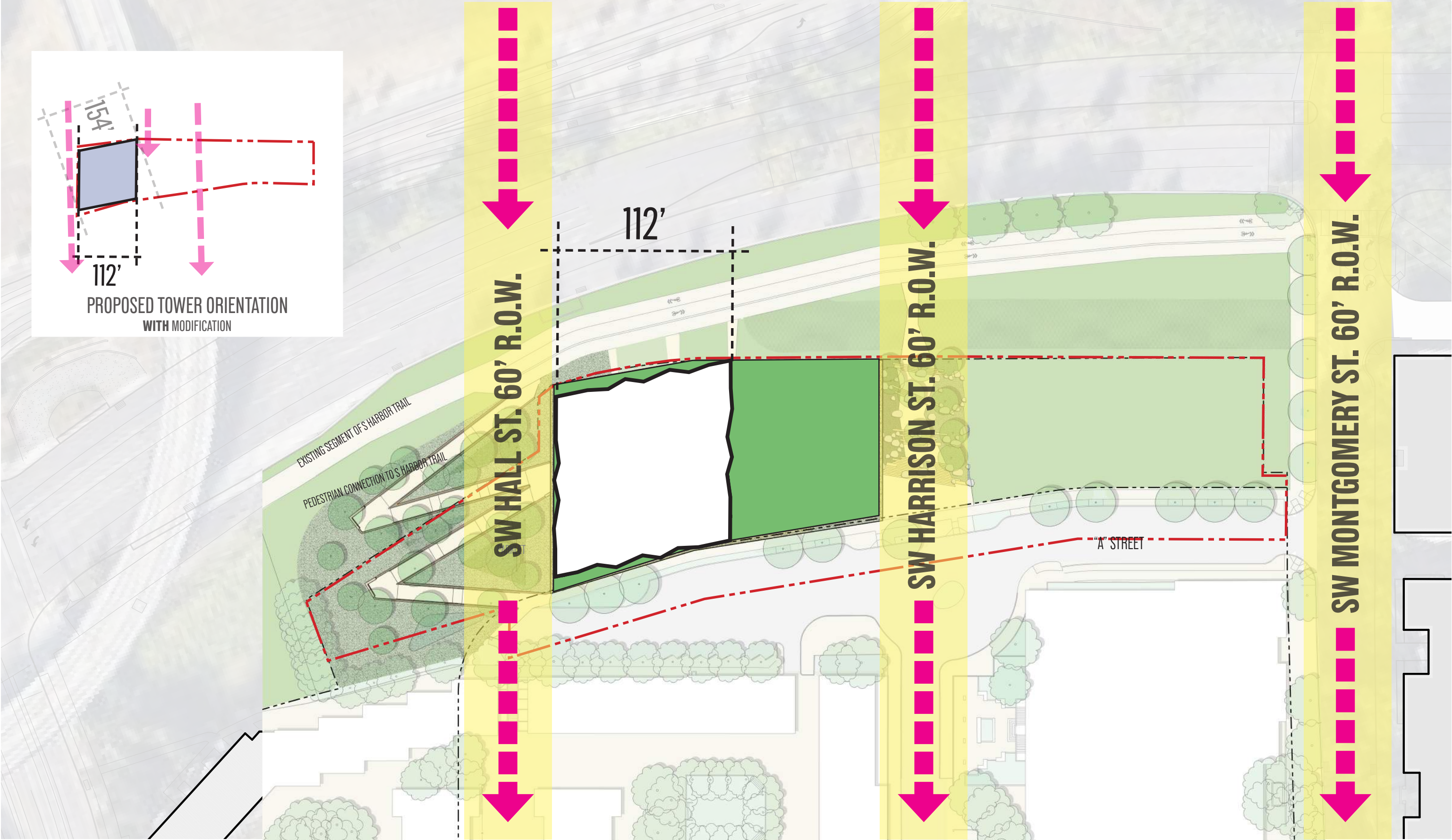


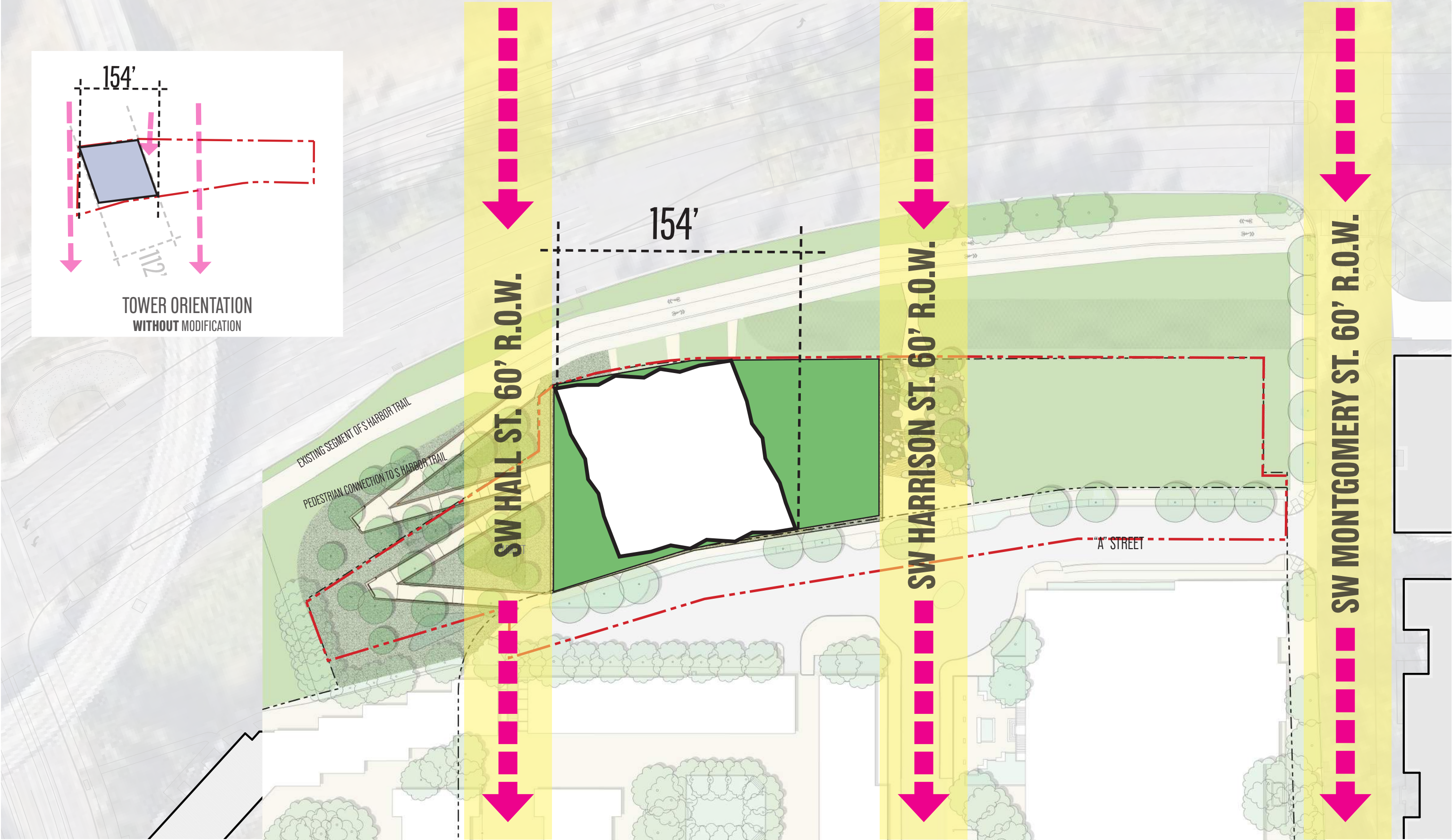
PROPOSED N/S MODIFICATION DIAGRAM



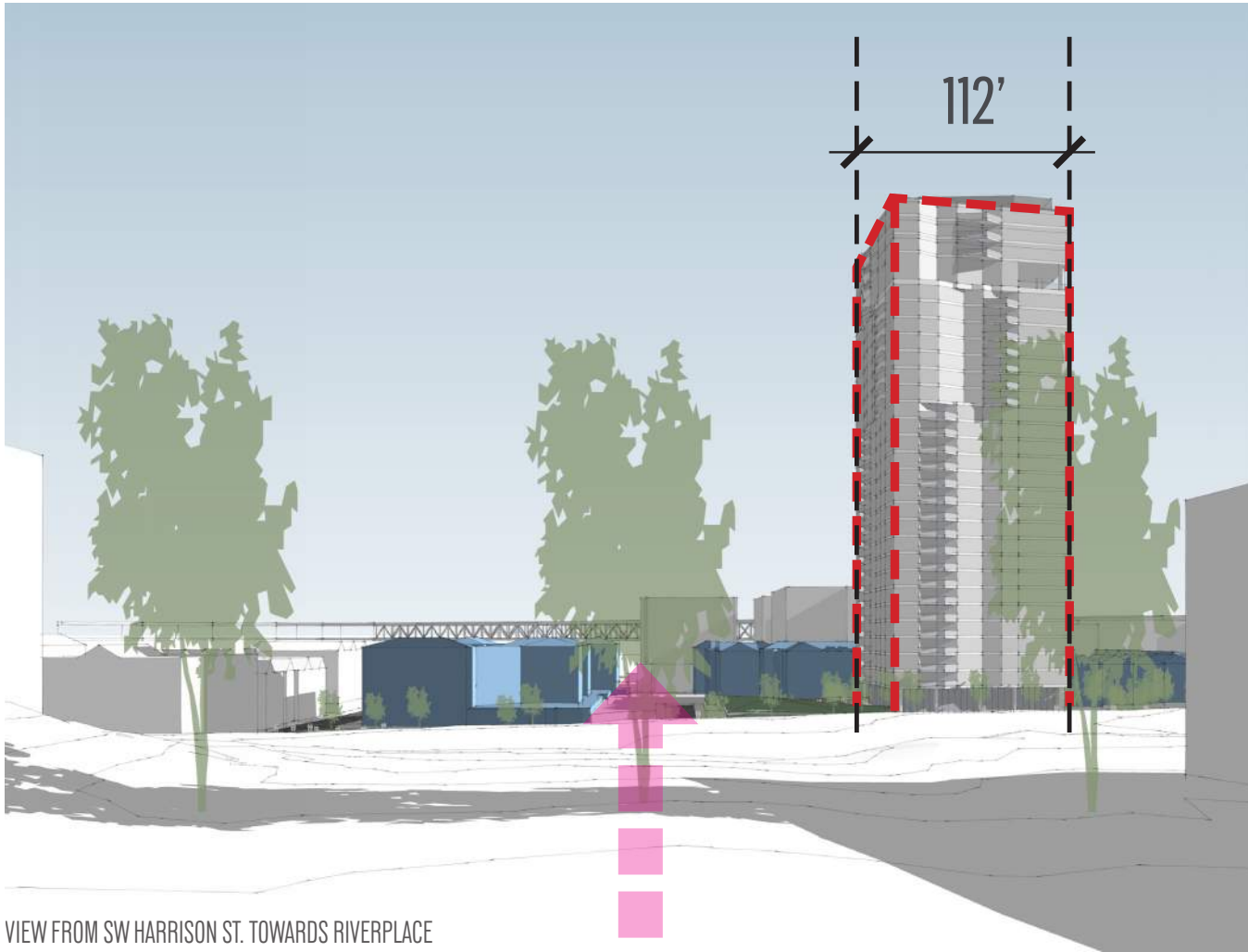
EXISTING N/S DIAGRAM





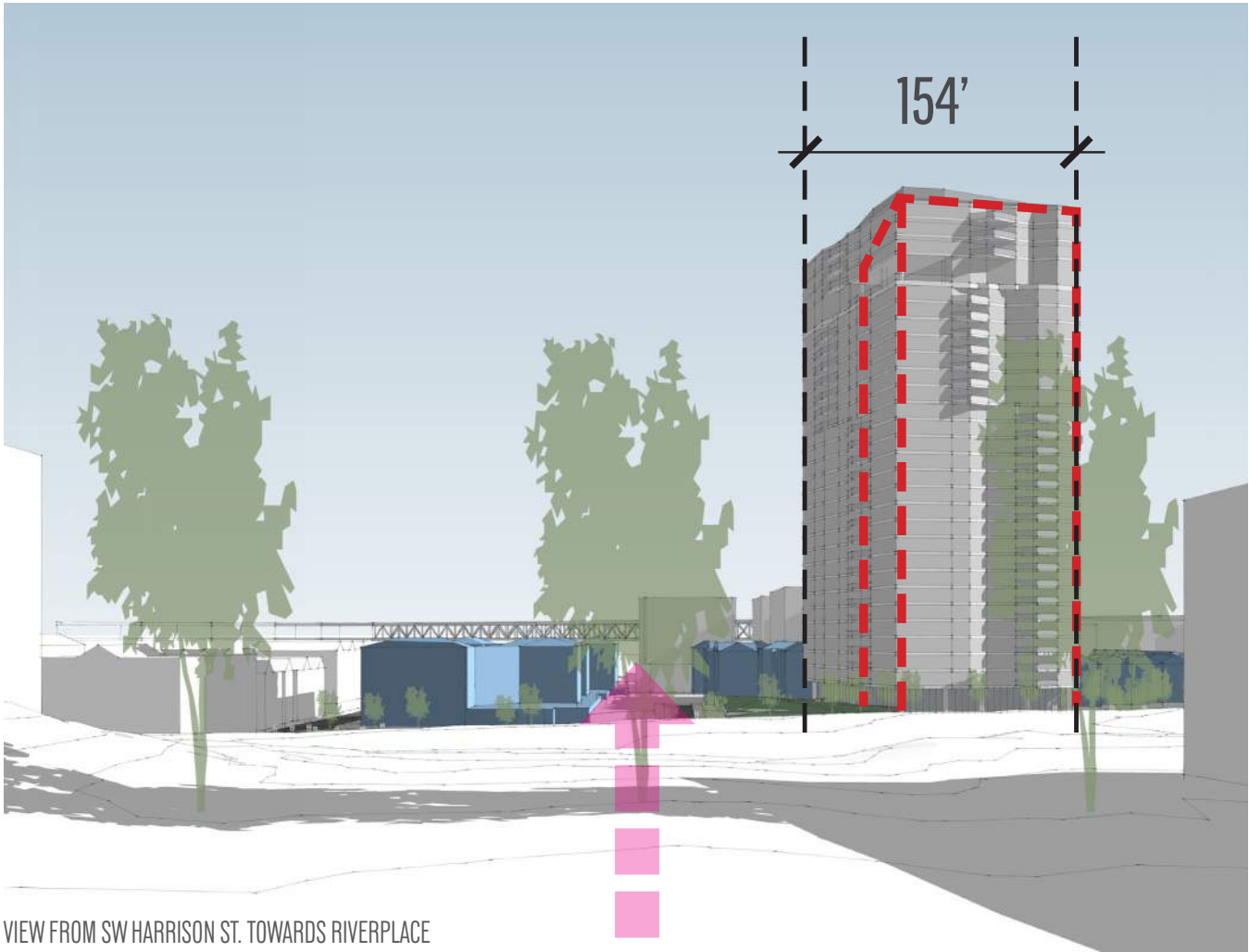
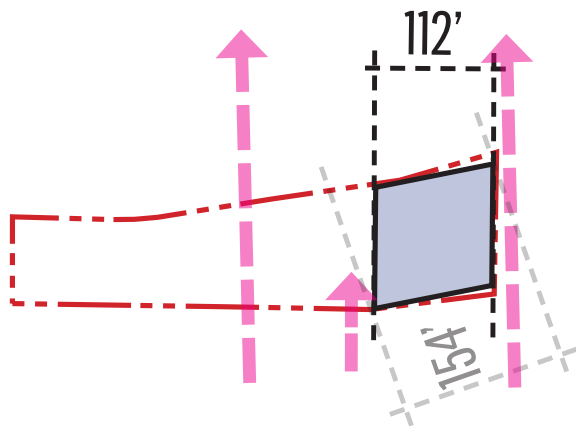


PROPOSAL TO MODIFY THE STANDARD BETTER MEETS THE DESIGN GUIDELINES WHEN TAKING INTO ACCOUNT THE STREET GRID NETWORK AT RIVERPLACE COMPARED TO SOUTH WATERFRONT



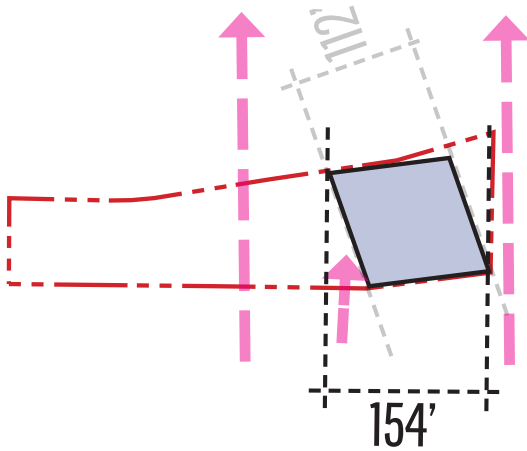
VIEW FROM SW HARRISON ST. TOWARDS RIVERPLACE

PROPOSED TOWER ORIENTATION
WITH MODIFICATION



VIEW FROM SW HARRISON ST. TOWARDS RIVERPLACE

TOWER ORIENTATION
WITHOUT MODIFICATION



THE TOWER FLOOR PLATE SIZE GOING FROM 10,000 SF TO 12,500 SF REFERENCES THIS SECTION OF THE BUILDING CODE AS A PRE-REQUISITE FOR SEEKING MODIFICATION:

33.510.251 ADDITIONAL STANDARDS IN THE SOUTH WATERFRONT SUBDISTRICT

THERE ARE 4 IDENTIFIED POINTS IN THE PURPOSE STATEMENT:

1. PROVIDE VISUAL ACCESS TO THE GREENWAY FROM POINTS WEST OF THE DISTRICT
2. PROVIDE VISUAL ACCESS TO THE TUALATIN HILLS FROM POINTS EAST OF THE DISTRICT
3. PROVIDE ACCESS TO SUNLIGHT ALONG DESIGNATED STREETS
4. ENCOURAGE URBAN FORM THAT IS VISUALLY PERMEABLE AND VARIED

THE CONDITION AT RIVERPLACE IS VERY SIMILAR IN TERMS OF THE PURPOSE STATEMENT. WHAT IS DIFFERENT IS THAT UNLIKE SOWA, RIVERPLACE IS ROTATED 20 DEGREES FROM CARDINAL NORTH.

ALL OF THE PURPOSE STATEMENT STANDARDS ARE BETTER MET WHEN MEASURING ALONG THE STREET NETWORK RATHER THAN THE CARDINAL NORTH SOUTH STANDARD.

THUS, THE REQUEST TO MODIFY THE REFERENCED STANDARD OF 33.510.251 ADDITIONAL STANDARDS IN THE SOUTH WATERFRONT SUBDISTRICT TO BETTER MEET THE PURPOSE STATEMENT AS WELL AS DESIGN GUIDELINE C1 ENHANCE VIEW OPPORTUNITIES:

FROM:

1. THE NORTH-SOUTH DIMENSION OF A BUILDING IS MEASURED AS FOLLOWS:

- FROM THE NORTHERNMOST POINT OF THE PORTION OF A BUILDING THAT IS AT LEAST 75 FEET IN HEIGHT, A LINE IS DRAWN **RUNNING DUE EAST-WEST;**
- FROM THE SOUTHERNMOST POINT OF THE PORTION OF A BUILDING THAT IS AT LEAST 75 FEET IN HEIGHT, A LINE IS DRAWN **RUNNING DUE EAST-WEST;**
- A LINE IS DRAWN AT RIGHT ANGLES BETWEEN THE TWO PARALLEL LINES IS THE NORTH-SOUTH DIMENSION

TO:

1. THE NORTH-SOUTH DIMENSION OF A BUILDING IS MEASURED AS FOLLOWS:

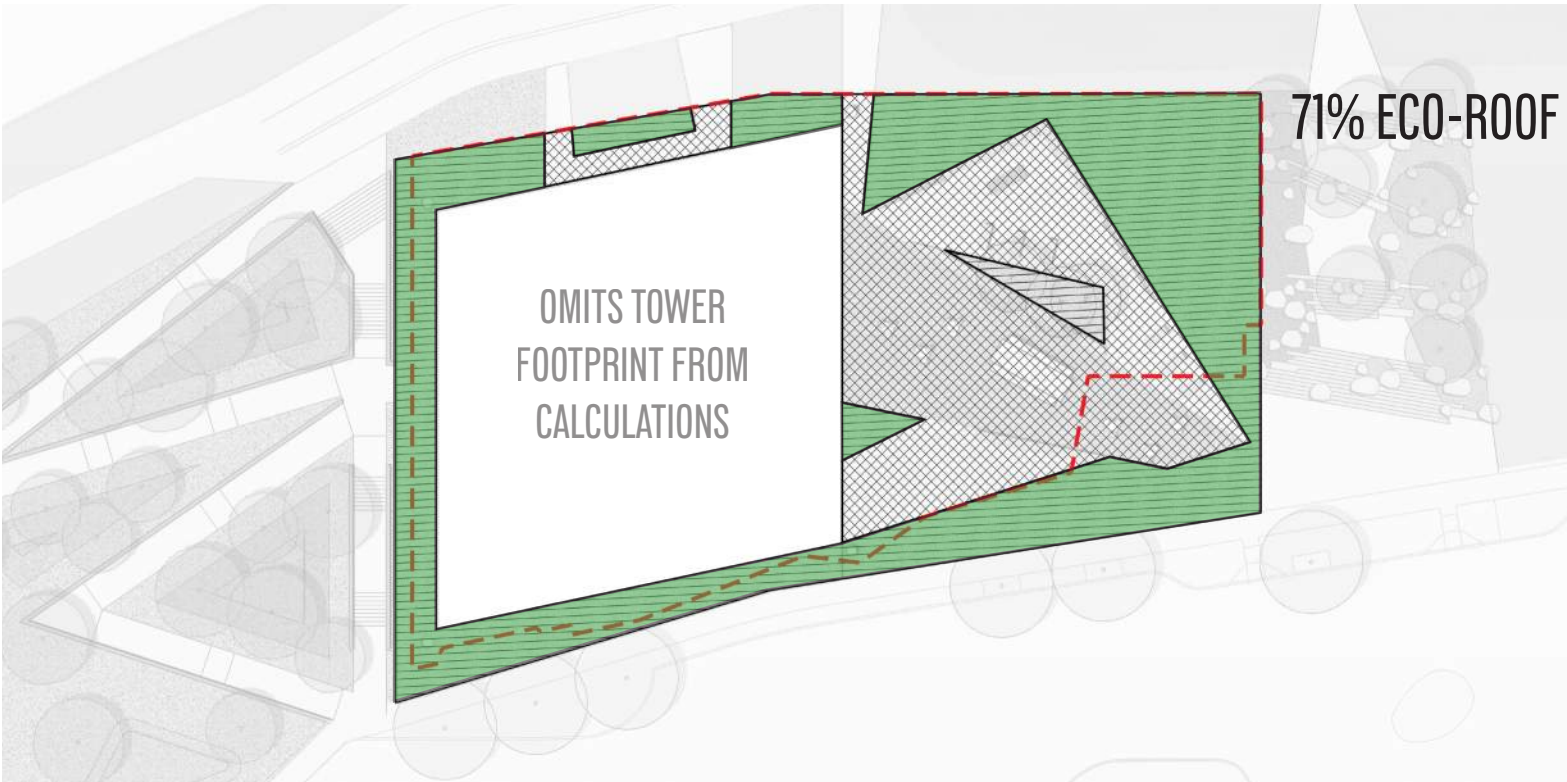
- FROM THE NORTHERNMOST POINT OF THE PORTION OF A BUILDING THAT IS AT LEAST 75 FEET IN HEIGHT, A LINE IS DRAWN **PARALLEL WITH THE PREDOMINANT EAST-WEST PUBLIC RIGHTS-OF-WAY;**
- FROM THE SOUTHERNMOST POINT OF THE PORTION OF A BUILDING THAT IS AT LEAST 75 FEET IN HEIGHT, A LINE IS DRAWN **PARALLEL WITH THE PREDOMINANT EAST-WEST PUBLIC RIGHTS-OF-WAY;**
- A LINE IS DRAWN AT RIGHT ANGLES BETWEEN THE TWO PARALLEL LINES IS THE NORTH-SOUTH DIMENSION

OVERALL BUILDING - 33% ECO-ROOF



ROOF PLAN WITH TOWER

PODIUM ONLY - 71% ECO-ROOF



PODIUM ROOF ONLY

3. REQUIRED ECO-ROOF MODIFICATION

REQUIREMENT

In the CX, EX, RX, and IG1 zones, new buildings with a net building area of 20,000 square feet or more must have an ecoroof that meets the following standards;

1. The ecoroofs, including required firebreaks between ecoroofs areas, must cover 100 percent of the building roof area, except that up to 40 percent of the building roof area can be covered with a combination of the following.

- a. Mechanical equipment, housing for mechanical equipment, and required access to, or clearance from, mechanical equipment;
- b. Areas used for fire evacuation routes;
- c. Stairwell and elevator enclosures;
- d. Skylights;
- e. Solar panels
- f. Wind turbines;
- g. Equipment, such as pipes and pre-filtering equipment, used for capturing or directing rainwater to a rainwater harvesting system;
- or h. Uncovered common outdoor areas. Common outdoor areas must be accessible through a shared entrance.

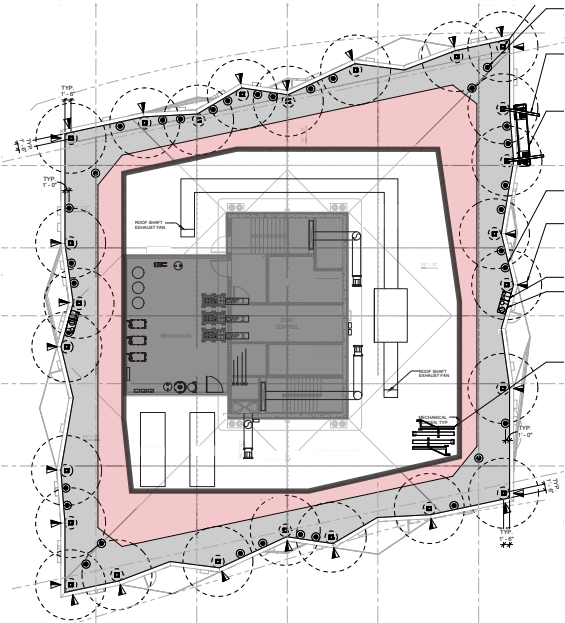
PROPOSAL

The roof of the tower is at 310 feet high. It is not recommended by experts in the industry to install an eco-roof at this elevation as the eco-roof is unlikely to survive. Additionally, on this roof there will be mechanical for the various uses, pressurization fans for the exit stairs and elevators. There will be a need to service these various pieces of equipment which then require service paths for access for periodic maintenance and repair.

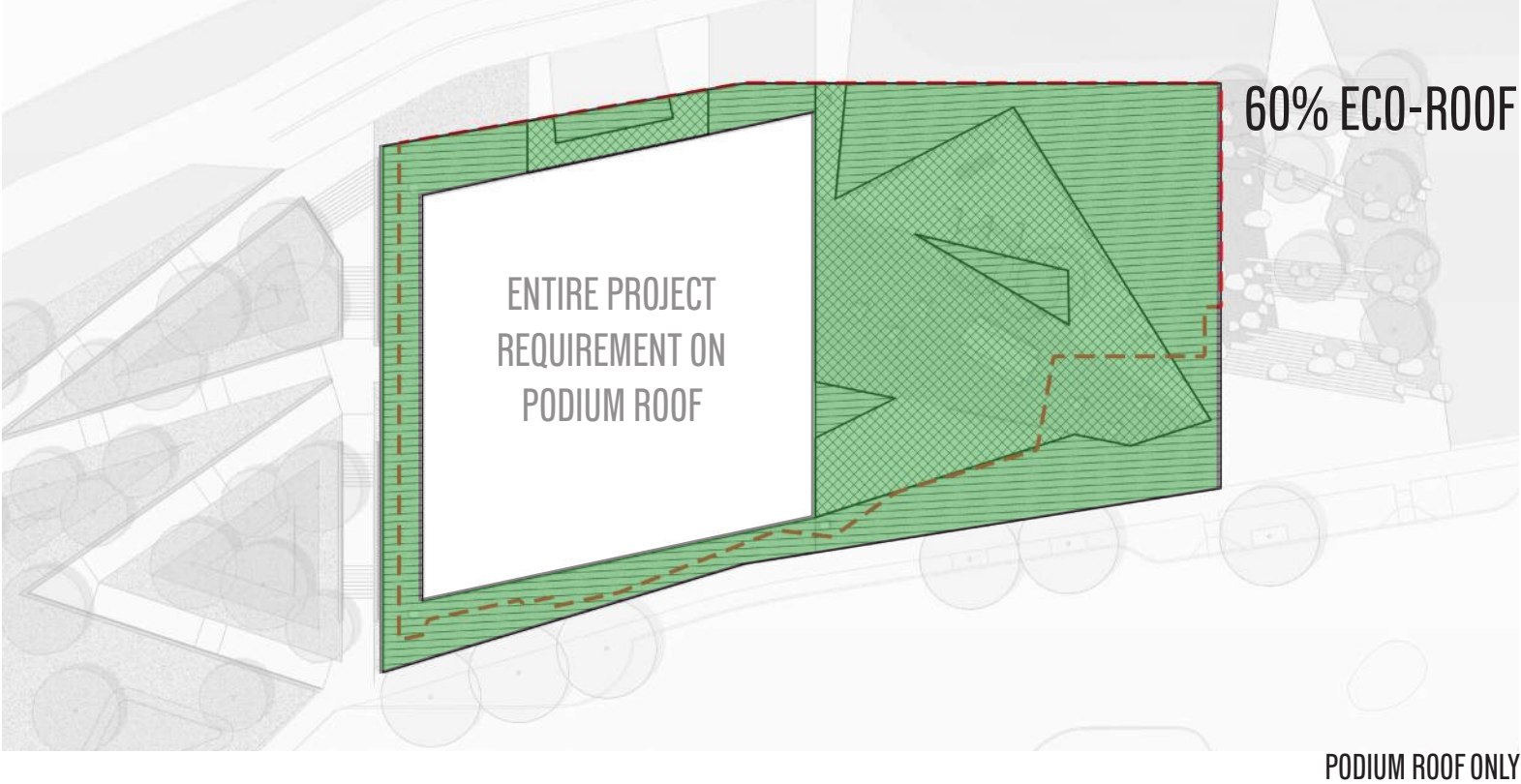
The proposed solution is for the podium roof at level 2 to meet the 60% rooftop coverage and for the rooftop area that would otherwise be required to have eco-roof on the top of the building to have that area's stormwater managed at grade on the west, south, and/or northern frontages.

APPROVAL CRITERIA:

- A. The resulting development will better meet the applicable designed guidelines:
The intent of the guideline is both aesthetic and function. The priority for stormwater in this area is treatment, and not detention. Treatment can be handled on-site to meet the standards set forth by Bureau of Environmental Services. Aesthetics for this tower are unlikely to be visible by any surrounding buildings as this building will be one of only areas with a 325' height limit in the vicinity.
- B. On Balance, the proposal will be consistent with the purpose for which a modification is requested. Industry experts do not recommend putting a planted roof this high in the building given the strong forces of wind and microclimates generated in urban environments at and around towers. The stormwater can be kept on site and treated through a series of bio-swailes visible to pedestrians creating an interesting and active environment.



PODIUM WITHOUT AMENITY TERRACE - 60% ECO-ROOF



PROPOSAL - TOWER TREATED, PODIUM ROOF IS 60% ECO-ROOF



3. REQUIRED ECO-ROOF MODIFICATION

REQUIREMENT

In the CX, EX, RX, and IG1 zones, new buildings with a net building area of 20,000 square feet or more must have an ecoroof that meets the following standards;

1. The ecoroofs, including required firebreaks between ecoroofs areas, must cover 100 percent of the building roof area, except that up to 40 percent of the building roof area can be covered with a combination of the following.

a. Mechanical equipment, housing for mechanical equipment, and required access to, or clearance from, mechanical equipment; b. Areas used for fire evacuation routes; c. Stairwell and elevator enclosures; d. Skylights; e. Solar panels

f. Wind turbines; g. Equipment, such as pipes and pre-filtering equipment, used for capturing or directing rainwater to a rainwater harvesting system; or h. Uncovered common outdoor areas. Common outdoor areas must be accessible through a shared entrance.

PROPOSAL

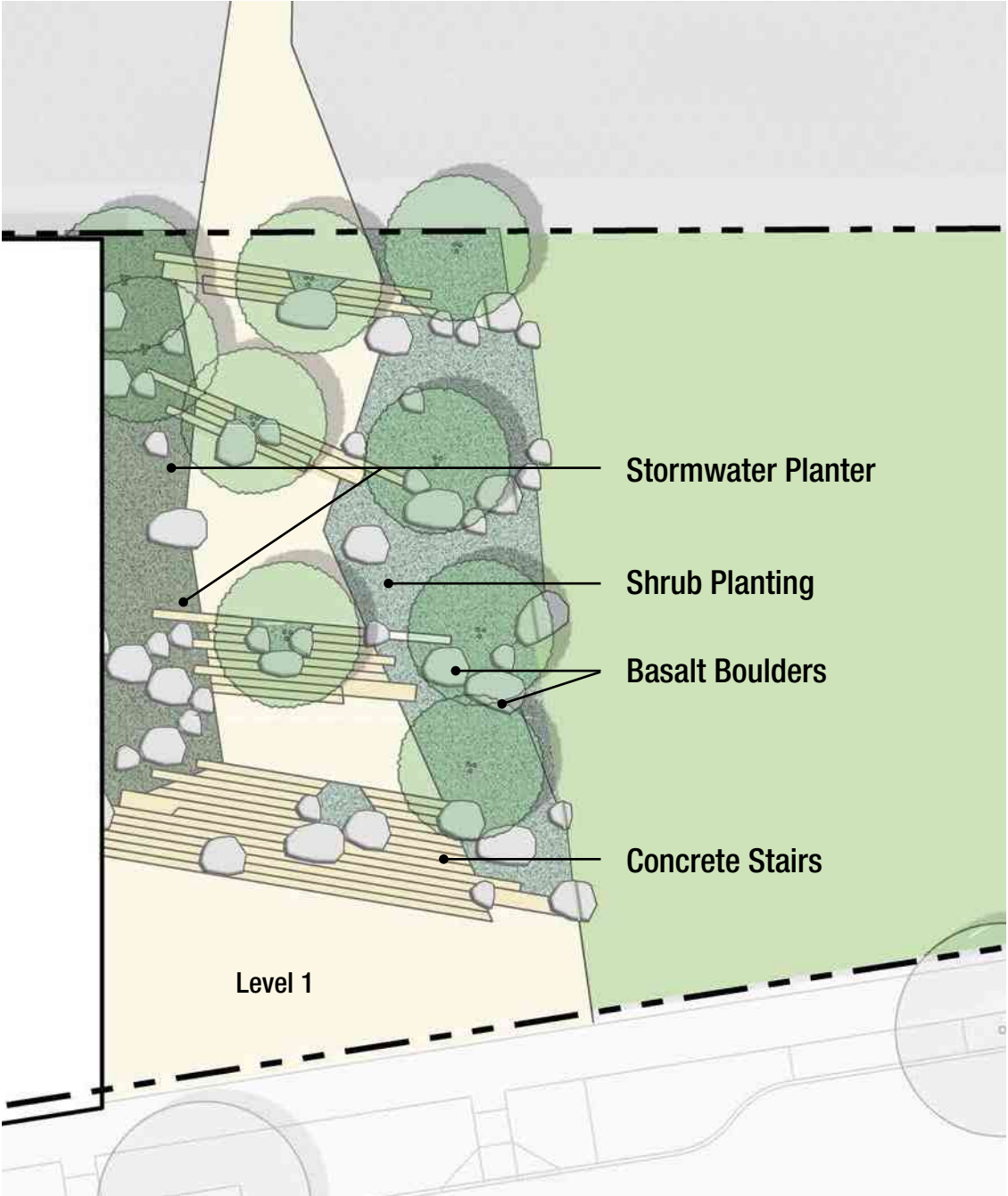
The roof of the tower is at 310 feet high. It is not recommended by experts in the industry to install an eco-roof at this elevation as the eco-roof is unlikely to survive. Additionally, on this roof there will be mechanical for the various uses, pressurization fans for the exit stairs and elevators. There will be a need to service these various pieces of equipment which then require service paths for access for periodic maintenance and repair.

The proposed solution is for the podium roof at level 2 to meet the 60% rooftop coverage and for the rooftop area that would otherwise be required to have eco-roof on the top of the building to have that area's stormwater managed at grade on the west, south, and/or northern frontages.

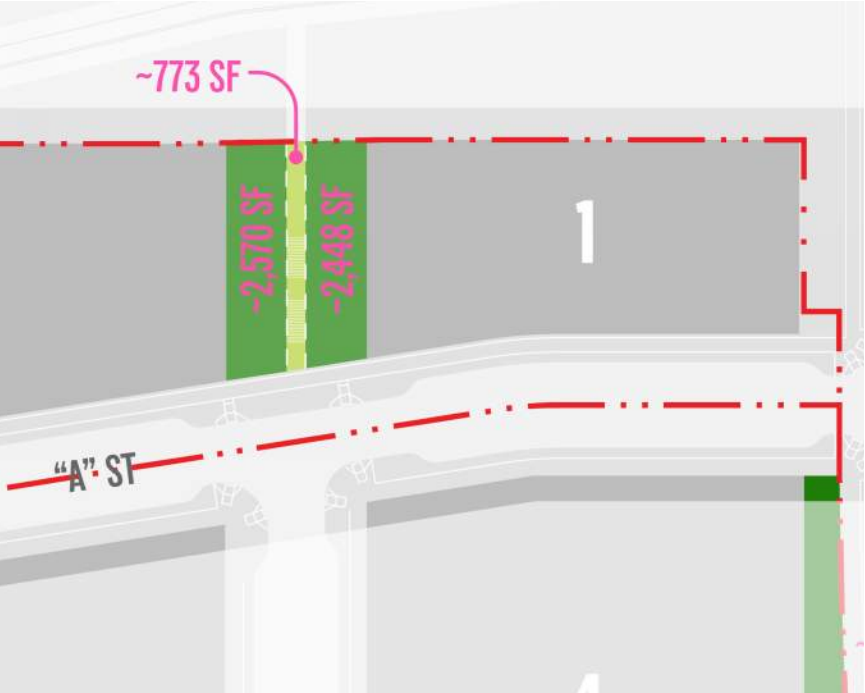
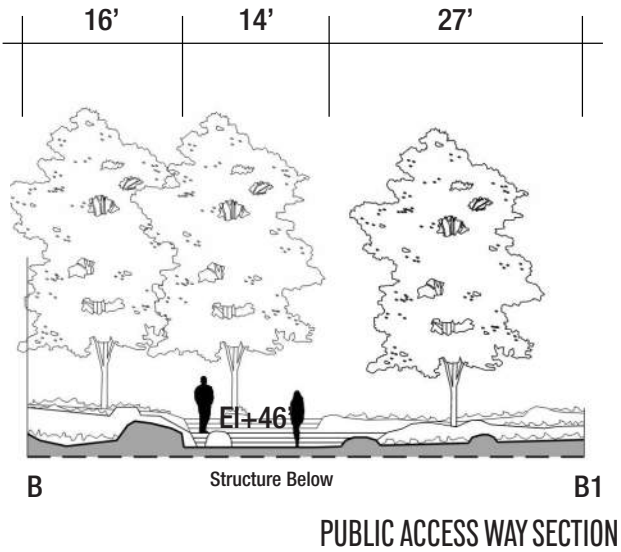
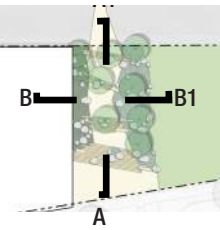
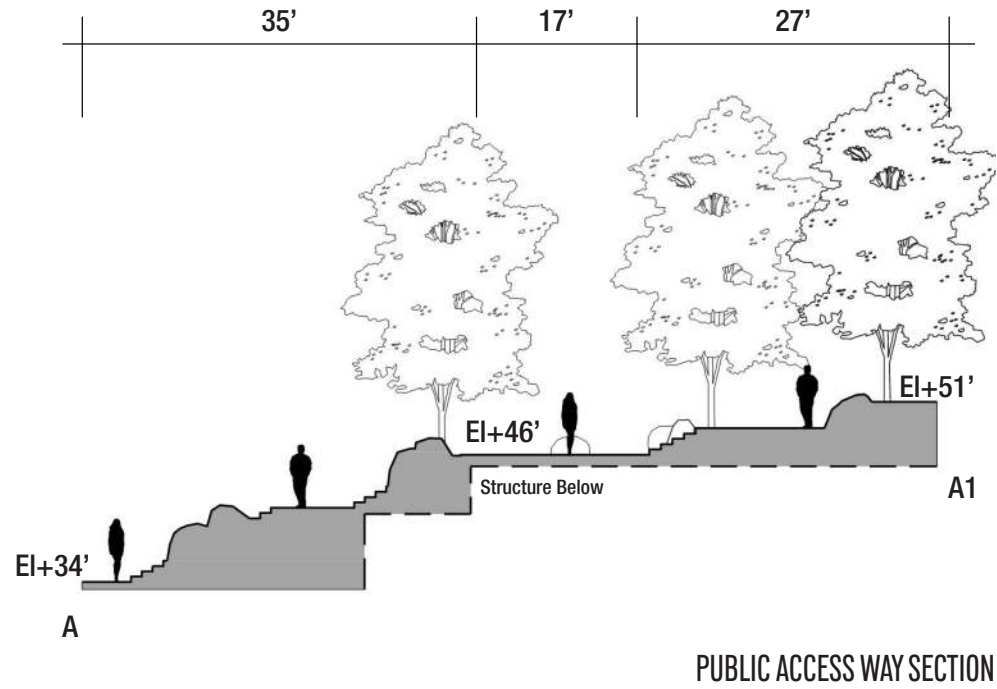
APPROVAL CRITERIA:

- A. The resulting development will better meet the applicable designed guidelines:
- The intent of the guideline is both aesthetic and function. The priority for stormwater in this area is treatment, and not detention. Treatment can be handled on-site to meet the standards set forth by Bureau of Environmental Services. Aesthetics for this tower are unlikely to be visible by any surrounding buildings as this building will be one of only areas with a 325' height limit in the vicinity.
- B. On Balance, the proposal will be consistent with the purpose for which a modification is requested. Industry experts do not recommend putting a planted roof this high in the building given the strong forces of wind and microclimates generated in urban environments at and around towers. The stormwater can be kept on site and treated through a series of bio-swailes visible to pedestrians creating an interesting and active environment.

4. OPEN AREA DESIGN

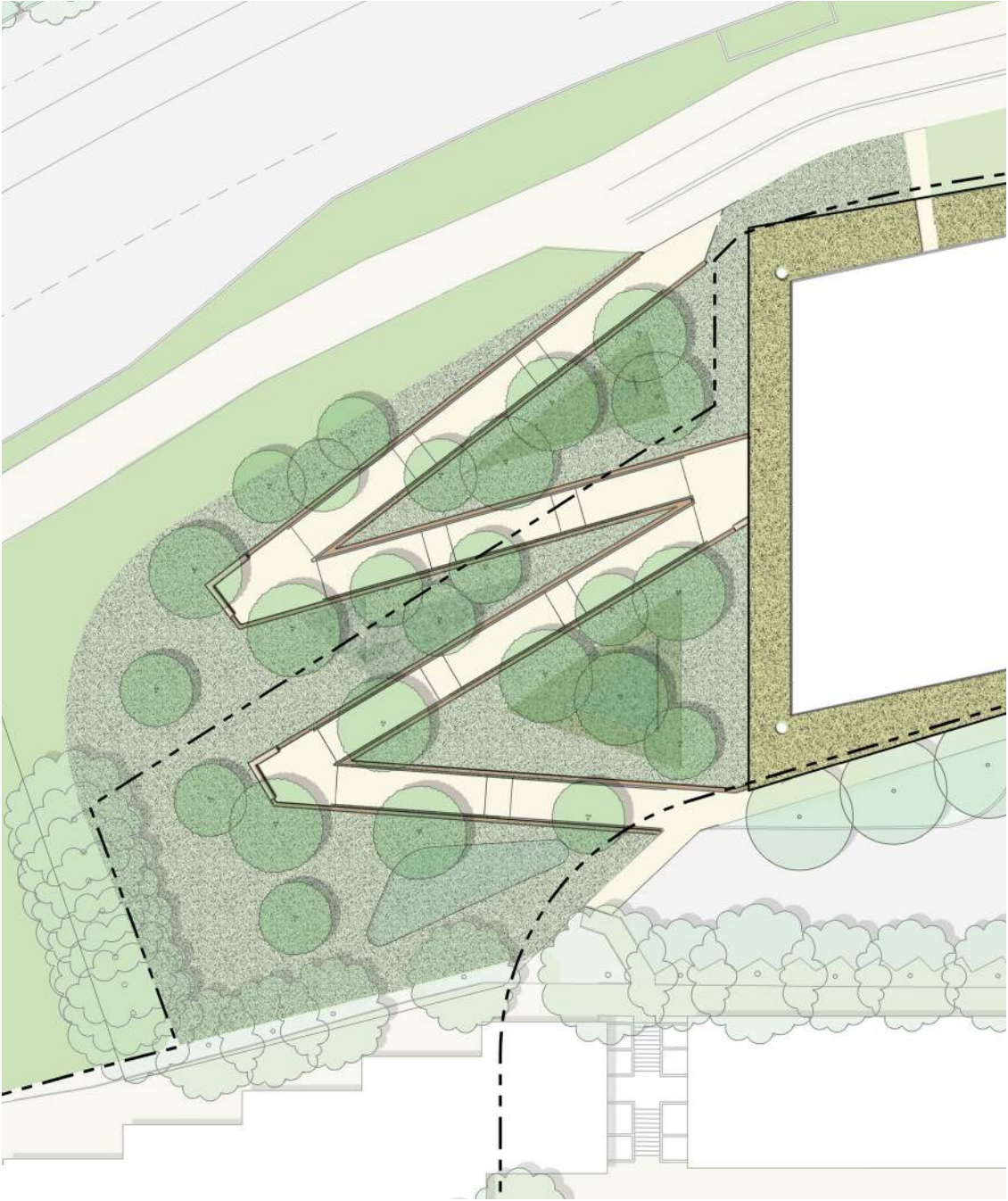


PUBLIC ACCESS WAY SITE PLAN

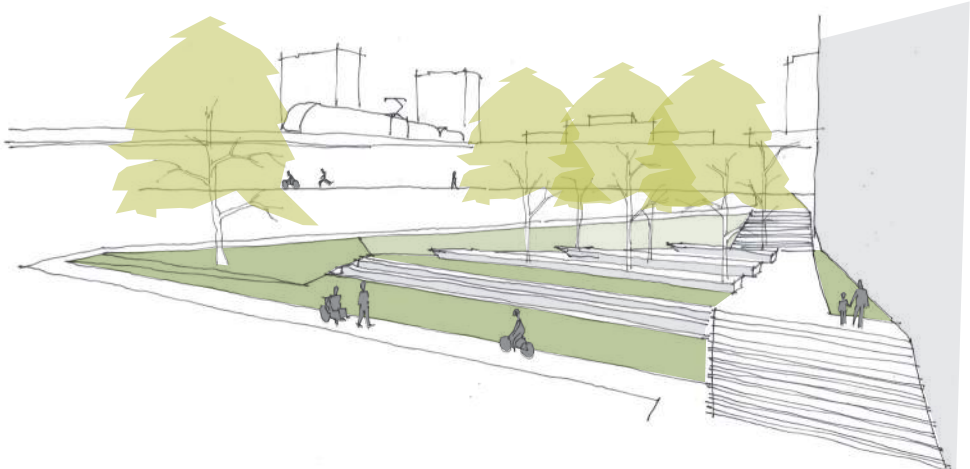


PUBLIC ACCESS WAY CCMP DIAGRAM

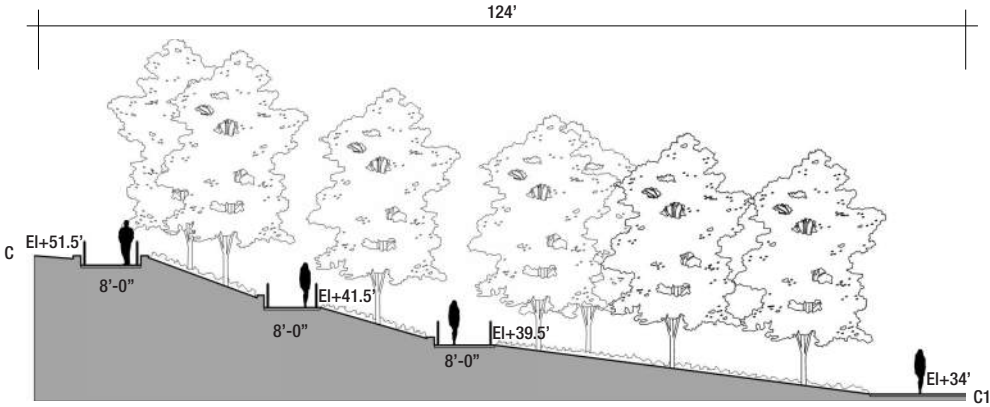
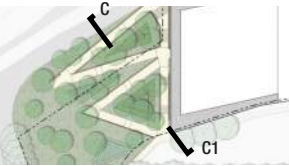
4. OPEN AREA DESIGN



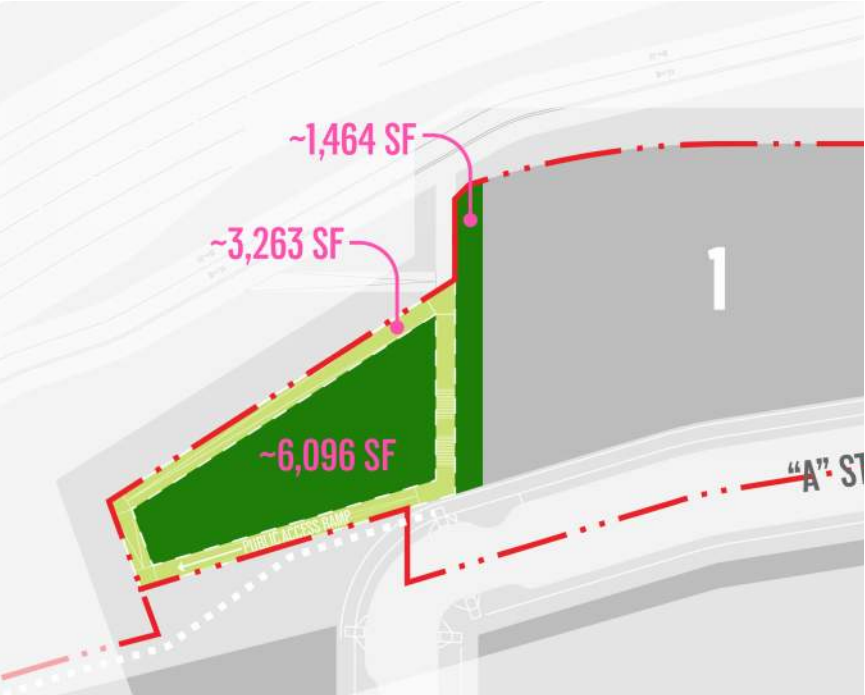
PUBLIC ACCESS WAY SITE PLAN



PUBLIC ACCESS WAY SKETCH FROM CCMP



PUBLIC ACCESS WAY SECTION



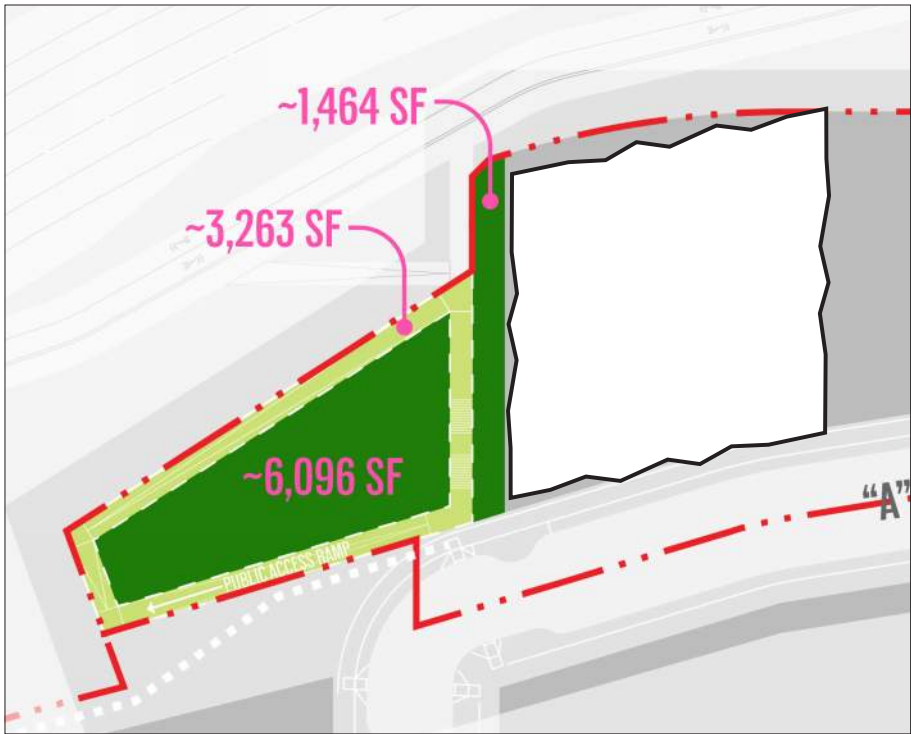
PUBLIC ACCESS WAY CCMP DIAGRAM



OPEN SPACE / CONNECTION DIAGRAM FROM APPROVED CCMS

CCMS

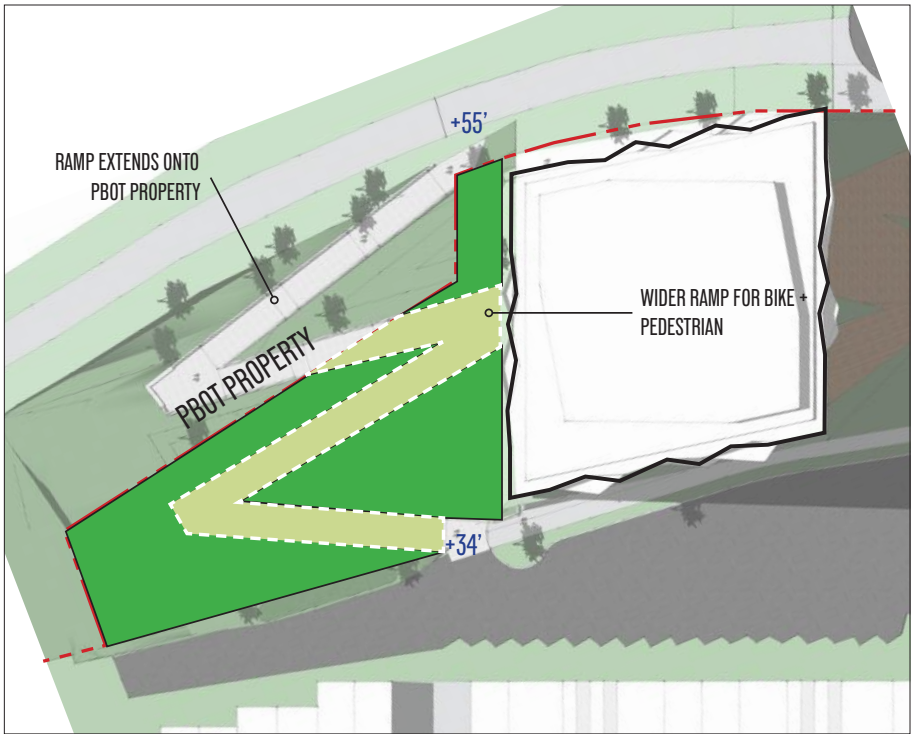
In Phase 1, the total amount of new open area will be 16,610 sf, a little more than 20% of the parcel area of Block 1. Bike and pedestrian accessways and ramps will total 4,036 sf or 24.2% of the proposed open area in this phase.



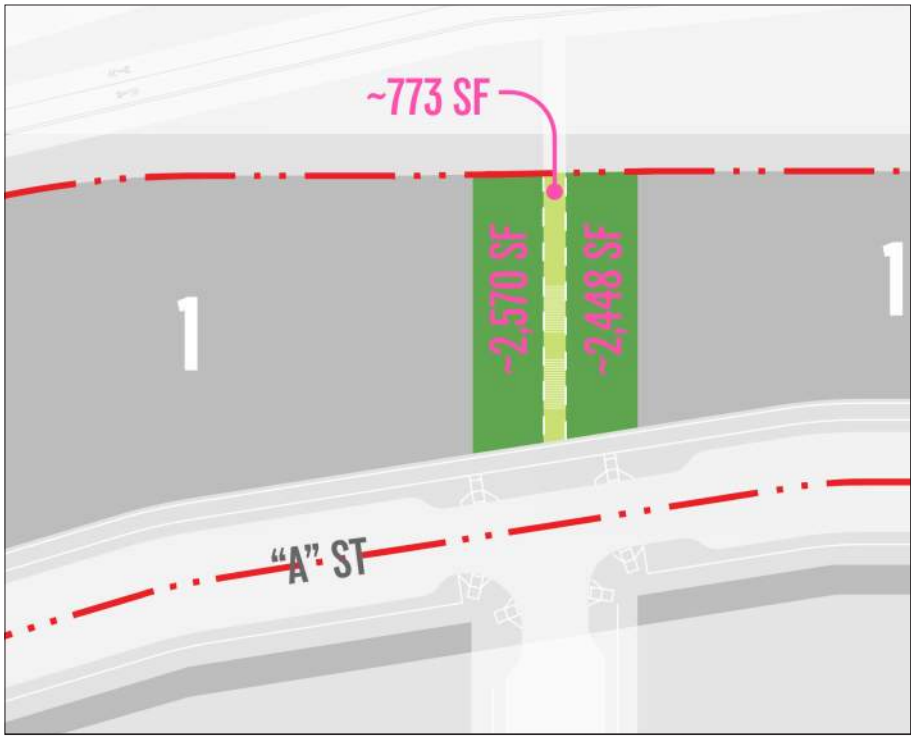
CCMS DIAGRAM



PROPOSED DESIGN



PROPOSED DESIGN DIAGRAM



CCMS DIAGRAM



PROPOSED DESIGN



PROPOSED DESIGN DIAGRAM

5. GROUND FLOOR WINDOW MODIFICATION

REQUIREMENT

B. Ground floor windows. The following ground floor window standards apply in the RX, CX and EX zones. The standards of B.1 and B.2 apply to new development and major remodeling projects. B.3 only applies to major remodeling projects. To meet the standards, ground floor windows must be windows that allow views into work areas of lobbies, or be windows in pedestrian entrances. Windows into storage areas, vehicle parking areas, garbage and recycling areas, mechanical and utility areas and display cases attached to outside walls do not qualify. Windows into bicycle parking areas are allowed to qualify for up to 25 percent of the ground floor windows coverage requirement. The bottom of the windows of nonresidential spaces must be no more than 4 feet above the finished grade:

2. All other ground level facades that face a street lot line, sidewalk, plaza or other publicly accessible open area or right-of-way must have windows that cover at least 40 percent of the ground level wall area. For street facing facades of dwelling units the regulations of 33.130.230.B.4 apply. For the purposes of this standard, ground level wall area includes all exterior wall area from 2 feet to 10 feet above the finished grade.

3. Optional Artwork. Projects proposing to use artwork as an alternative to the ground floor window requirements may apply for this through the adjustment procedure. Projects may also apply for a modification through design review if they meet the following qualifications. Buildings having more than 50 percent of their ground level space in storage, parking, or loading areas, or in uses which by their nature are not conducive to windows (such as theaters), may be allowed to use the design review process. Artwork and displays relating to activities occurring within the building are encouraged. In these instances, the artwork will be allowed if it is found to be consistent with the purpose for the ground floor window standard.

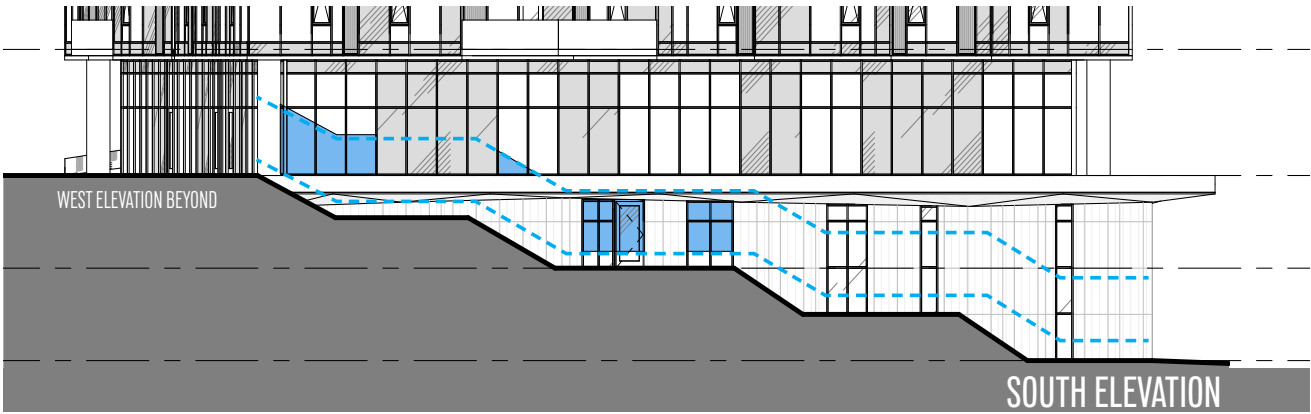
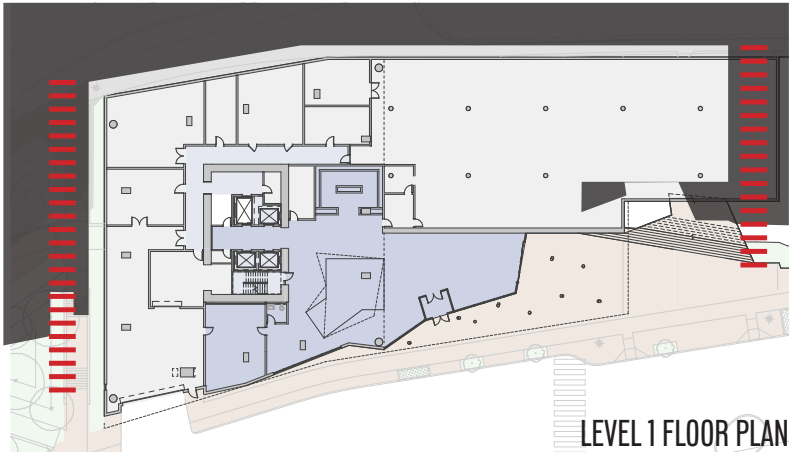
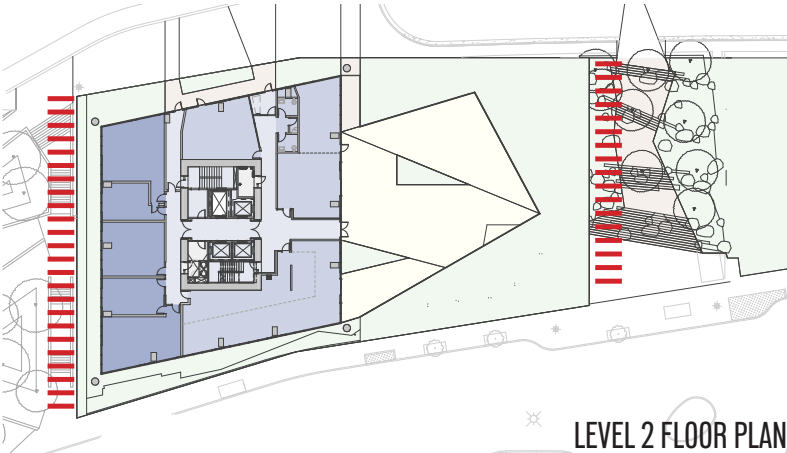
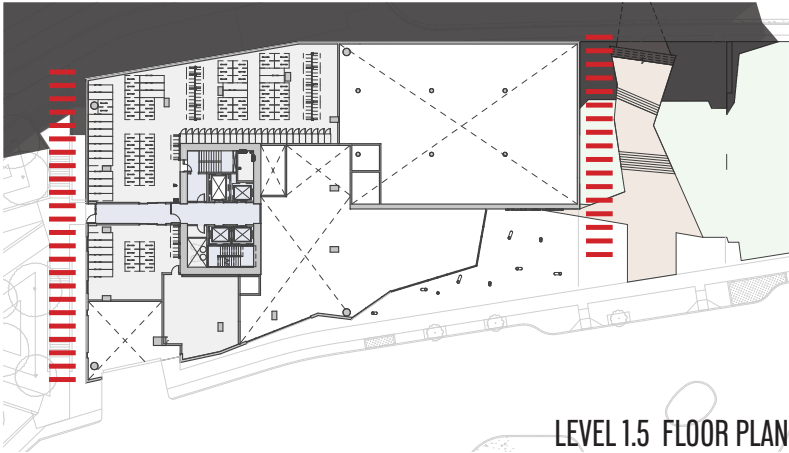
PROPOSAL

21 feet of grade separates Block 1 from west to east. Given the grades, many of the functions on the ground level are tucked into the hillside and are back of house spaces such as electrical rooms, fire pump rooms, trash/recycling, loading, storage, and future parking areas. The zoning code permits modification to this standard when more than 50 percent of the ground level space are in uses such as these. At Block 1, approximately 75% of the ground level are in uses not conducive to windows.

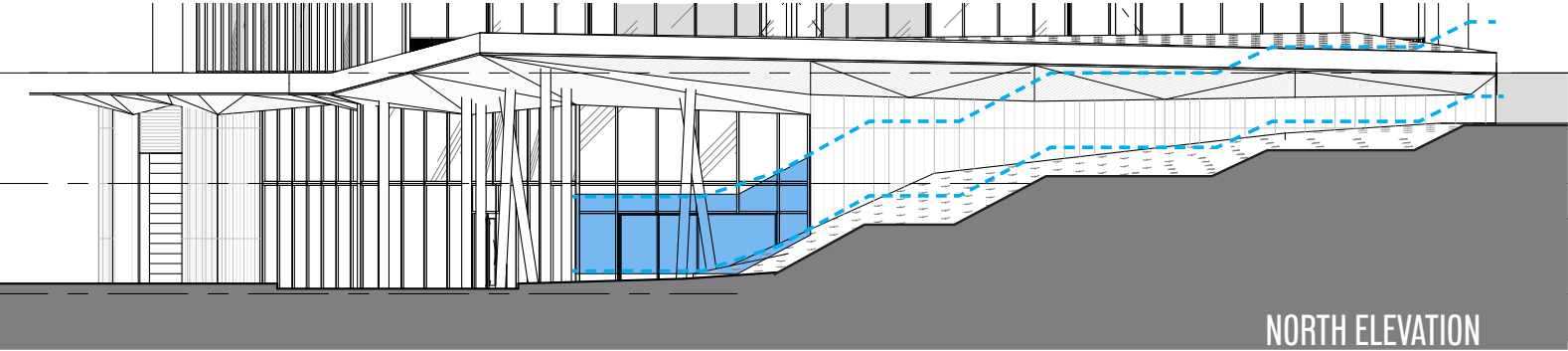
The east and west elevations are relatively flat and are fronted with active uses and will meet the ground floor window requirement. The north and south elevations face publicly accessible open areas that are navigating 17' of grade and 21' of grade respectively for pedestrian and bike connections. Rather than integrating artworks and displays, the proposal is to naturalize these areas into lushly planted and thoughtfully designed spaces.

APPROVAL CRITERIA

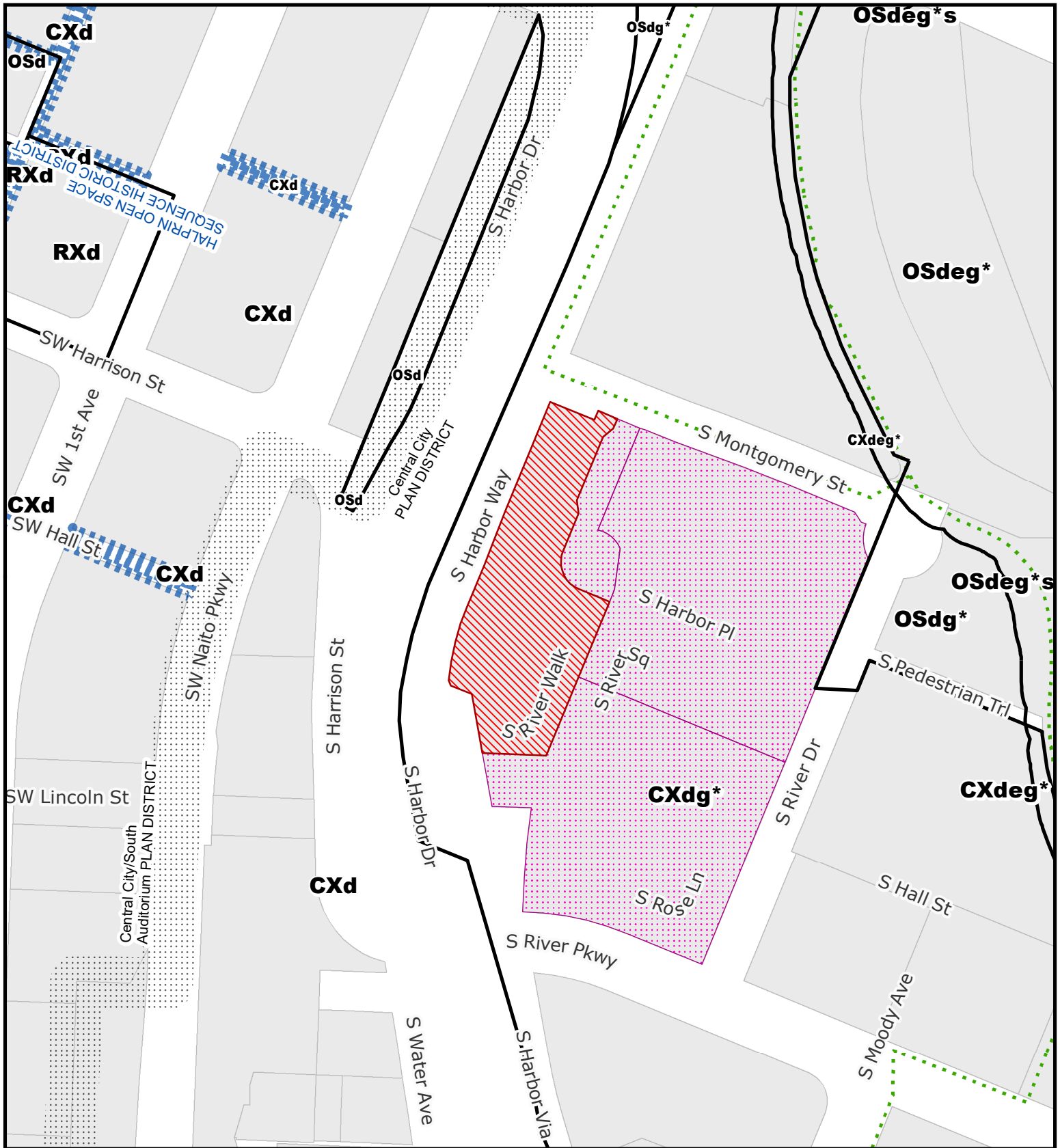
- A. The resulting development will better meet the applicable design guidelines:
- The proposed development better meets the applicable design guidelines as it both provides for needed pedestrian connections along a very steep grade differential (two stories across 100 linear feet) and a pleasant and interesting environment. The proposed solution meets the intent described in the Purpose statement for pedestrians and the zoning code specifically describes modifications being allowed for conditions like this where the ground floor is primarily in storage, parking, or loading areas.
- B. On Balance, the proposal is consistent with the purpose of the standard for which a modification is requested.
- In the purpose statement for Ground Floor Windows blank walls are limited in order to provide a pleasant, rich, and diverse pedestrian experience, encourage surveillance opportunities at street level, and avoid a monotonous pedestrian environment. With the new circulation being provided where there is currently none, the design along the north and south elevations increases eyes and activity in those areas. The design of the space directly adjacent to these walls will be a uniquely natural environment creating an interesting pedestrian experience similar to a park like setting to avoid a monotous pedestrian environment.



GLAZING SUMMARY	
TOTAL AREA	921 SF
GLAZING AREA	166 SF
GLAZING %	18%



GLAZING SUMMARY	
TOTAL AREA	730 SF
GLAZING AREA	185 SF
GLAZING %	25%



ZONING



For Zoning Code in effect Post August 1, 2021

CENTRAL CITY PLAN DISTRICT
UNIVERSITY DISTRICT/SOUTH
DOWNTOWN SUB DISTRICT



Site



Also Owned Parcels



Recreational Trails

File No.	EA 22 - 119953 DA
1/4 Section	3229
Scale	1 inch = 200 feet
State ID	1S1E03CA 1000
Exhibit	B Mar 14, 2022



RIVERPLACE BLOCK 1

Design Advice Request *EA 21-103597*

March 4, 2022

GBD

QUESTIONS FOR DESIGN ADVICE REQUEST

1. TOWER FLOOR PLATE SIZE MODIFICATION
2. TOWER FLOOR DIMENSION MODIFICATION
3. REQUIRED ECO-ROOF MODIFICATION
4. OPEN AREA DESIGN
5. GROUND FLOOR WINDOW MODIFICATION

PROJECT OVERVIEW

The first phase of redevelopment in the Riverplace neighborhood is a new 30-story multi-family residential tower on the site of the former Riverplace Athletic Club (RAC), located at 150 South Montgomery Street. The site that encompasses the RAC and The Douglas Apartments and Townhomes is within the 8 acres of the RiverPlace Central City Masterplan CCMP that established the framework for redevelopment. The site is referred to as Block 1.

The Block 1 redevelopment will take a phased approach to the development site. Through the Central City Master Plan, the Block 1 parcel resulted in two building sites bisected by the Pedestrian Accessway. The first development will be the southern parcel of Block 1. The northern parcel of Block 1 will be a future mixed-use retail and multi-family building. It is anticipated the northern parcel development will begin design immediately after the southern parcel is submitted for building permit.

Phase 1 anticipates 329 new residential units to broaden the existing housing mix within the 8 acres of RiverPlace. Parking for the building will be provided by utilizing unused existing spaces in the adjacent Douglas Apartments garage, which contains 385 stalls. Phase 1 preserves all of the existing housing in the Douglas Apartments and townhouse portions of the site.

Phase 1 will add 16,610 square feet of new public open area on the site in two areas. In the middle of Block 1, a new connection is provided linking the Harbor Drive Trail on the west of the property to the new Street “A”. The open area is approximately 6,600 square foot and is located within a 60’ wide space that separates the northern and southern parcels of Block 1.

At the southern end of the block, a roughly 10,000 square foot open area will be provided that includes an accessible ramp and pedestrian path to link the Harbor Drive Trail to the southern end of Street “A.”

DESIGN SUMMARY

The development of the first phase of the RiverPlace Master Plan seeks to make connections to the unique landscape of the Pacific Northwest. We are surrounded by lush, rocky landscapes, divided by the constant flow of water through our region’s rivers. The site is situated at a significant bend in the Willamette River at the south end of Downtown and offers one of the few opportunities just a couple blocks away for people to actually access the river. Those connections to the landscape were important in the design and concept of this project.

The low, heavily landscaped eco-roof podium of the building seeks to reconnect the plateau of Downtown graciously to the banks of the Willamette River shore. A slender tower rises above the podium to its maximum allowed height of 325’ to offer panoramic views to the regional landscape in a sculpted, faceted form that is reminiscent of the dynamic forms of flowing water in and around Portland.

The grades around the long, narrow site vary dramatically. Grades slope from east to west approximately 10-18 feet and from south to north along the western edge down approximately 10 feet. This grade difference allows for service and support spaces to be tucked away and the more public elements of the project to be at the forefront. The 329 residential unit tower is supported on the lower floors by a grand lobby entrance adjacent to the pedestrian passage bisecting the site. The loading dock of the building is located at the SE corner off South Harbor Place, where it makes the most sense for servicing the building and for alignment with the service zones of the future buildings in Phase 2 of the RiverPlace redevelopment.

The tower massing rests on top of the landscaped podium using a recessed amenity floor on the second level that allows for resident outdoor amenities and some guest suites, as well as access to the western edge of the site at the higher grade. The sculpted upper tower floors rest on that amenity massing and house 329 residential apartment units. The unit mix is a variety of studios, one bedrooms, two bedrooms and three bedroom affordable housing units. There is an elevated resident amenity floor located at level 27 that is programed to have an indoor pool, resident lounge and multiple roof terraces.

The tower form is derived from the idea of connecting to the landscape of the Pacific Northwest and the ever-presence of water in our daily lives. The tower facets in all directions, on all sides, creating the “rippling” effect of water and allowing those angles to reconnect with the many local and regional city and landscape views. Unit balconies are used to create meaningful outdoor space, connection to views and to further create movement, scale, and life to the tower façade. The façade is a window wall system that uses vision glazing, operable awning windows, spandrel glazing and an integrated metal panel to further accentuate the rippling movement to the façade and offer a unique aesthetic to the façade.

The rooftop mechanical is housed behind a corrugated metal panel screenwall and is sculpted to work in concert with the undulating, rippling tower façade.

ZONING SUMMARY

The site that encompasses the Riverplace Athletic Club and The Douglas Apartments and Townhomes completed the required CCMP process in 2022 to establish the framework for redevelopment moving forward. This site, located at 150 South Montgomery Street, is bounded by South Harbor Way and South Harbor Drive to the west, South Montgomery Street to the north, and South Harbor Place to the east. The site area defined in the CCMP for Phase 1 is 70,762 square feet. This proposal is seeking to only develop the southern portion at this time, leaving the northern parcel for a future building.

The site is zoned CX (Central Commercial) with both a “d” Design Review overlay and a “g*” River General overlay. The site lies within the Central City Plan District.

The maximum height for the RiverPlace site is 325’ and has a view corridor immediately to the east, but not on this Phase 1 development parcel. The CCMP set forth a Base FAR of 4.5 with a Maximum FAR w/ Bonus of 7.5 (530,715 square feet).

EXISTING



Total Site Area: 349,708 SF or 8.03 acres

PHASE 1



New Open Area: 16,614 SF
Potential Open Area: 15,130 SF
Total Proposed Developable Blocks : 44,590 SF

FINAL PARCEL PLAN

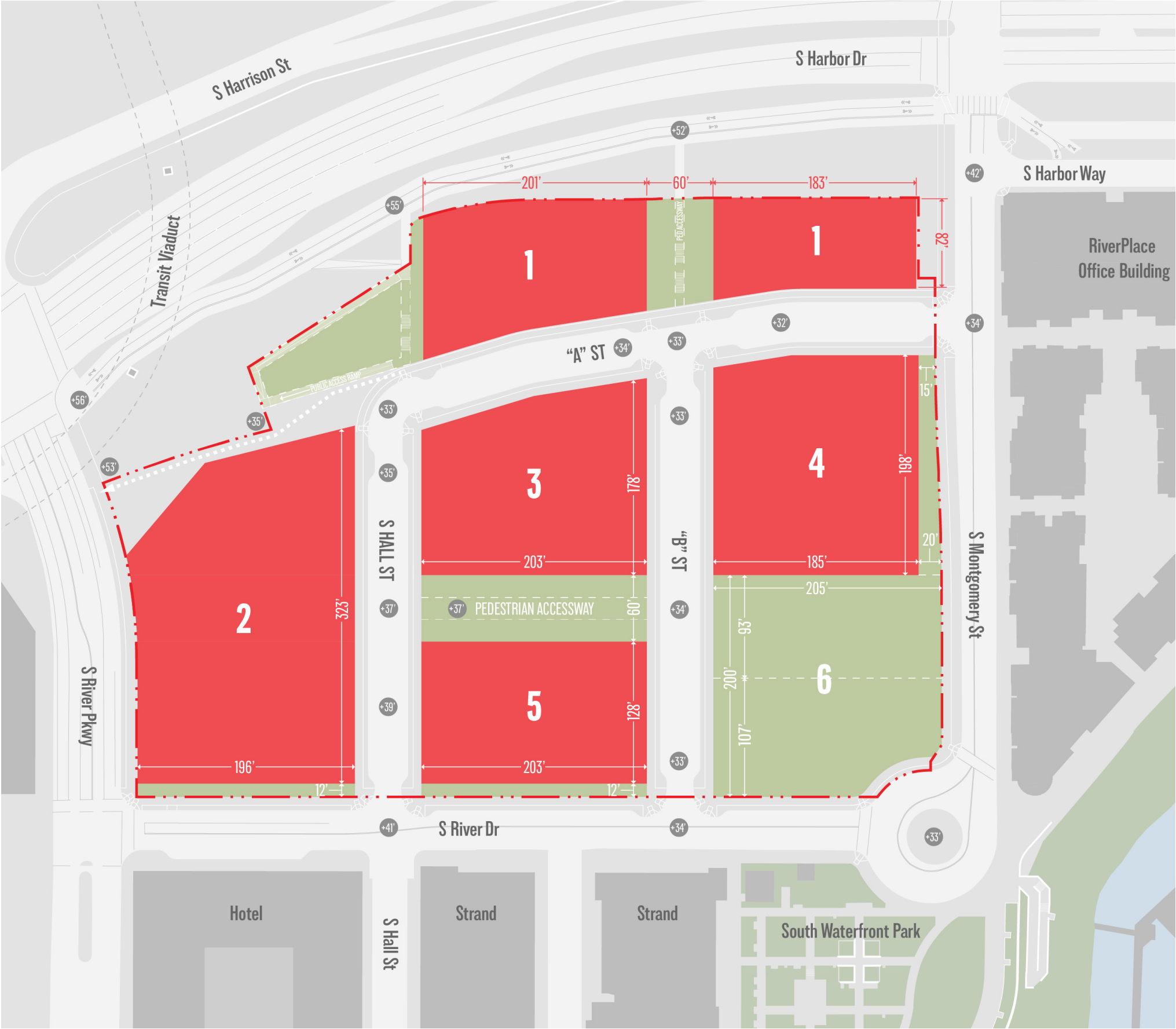


New Open Area: 59,656 SF
New Proposed Developable Blocks: 151,382 SF
Completed Development:
Total Open Area: 76,270 SF
Total Proposed Developable Blocks: 195,972 SF

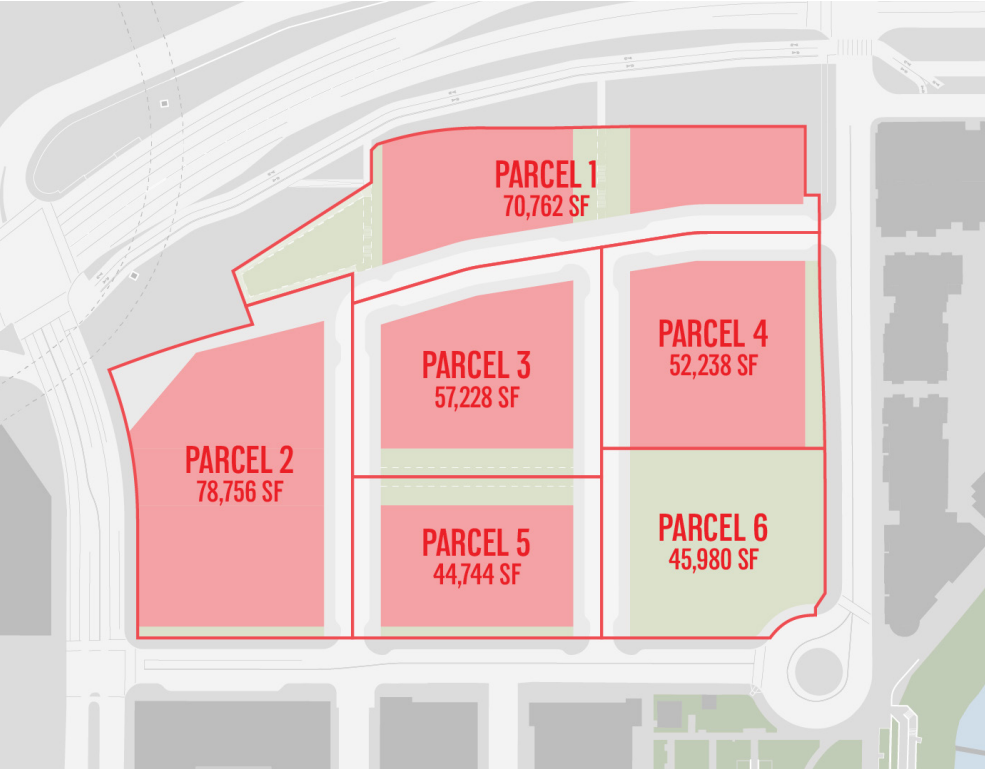
LEGEND

- Existing Building
- New Block
- New Open Area
- Potential Open Area
- Site Boundary





Master Plan - Block Dimensions Diagram



Master Plan - Parcel Diagram

PARCEL	AREA	MIN. FAR	MIN. GSF	BASE FAR	BASE MAX. GSF	MAX. FAR W/ 3:1 BONUS	MAX. GSF W/ 3:1 BONUS
1	70,762 SF	2.25	159,215 GSF	4.5	318,429 GSF	7.5	530,715 GSF
2	78,756 SF	2.25	177,201 GSF	7.0	551,292 GSF	10.0	787,560 GSF
3	57,228 SF	2.25	128,763 GSF	5.0	286,140 GSF	8.0	457,824 GSF
4	52,238 SF	2.25	117,536 GSF	7.0	365,666 GSF	10.0	522,380 GSF
5	44,744 SF	2.25	100,674 GSF	5.0	223,720 GSF	8.0	357,952 GSF
6	45,980 SF	0	0 GSF	0.07	3,293 GSF	0.07	3,293 GSF
TOTAL	349,708 SF		683,388 GSF	5.0	1,748,540 GSF	8.0	2,797,664*

The total site area is 349,708 sf or 8.03 acres.

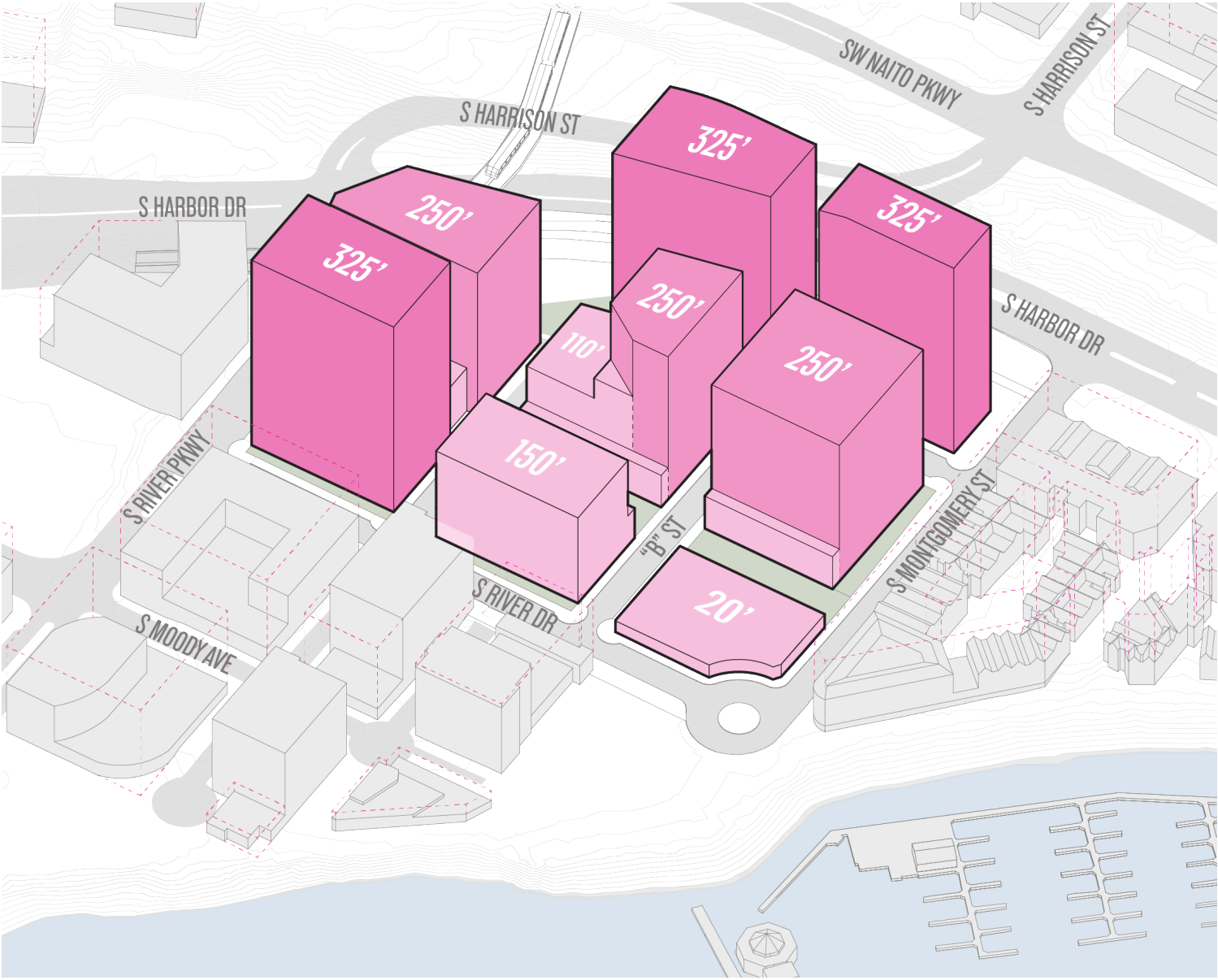
Development areas, minimum and maximum FARs shown in this master plan may be adjusted as final legal parcels are created.

The total site-wide development with 3:1 bonus FAR is not to exceed 2,797,664 gsf.

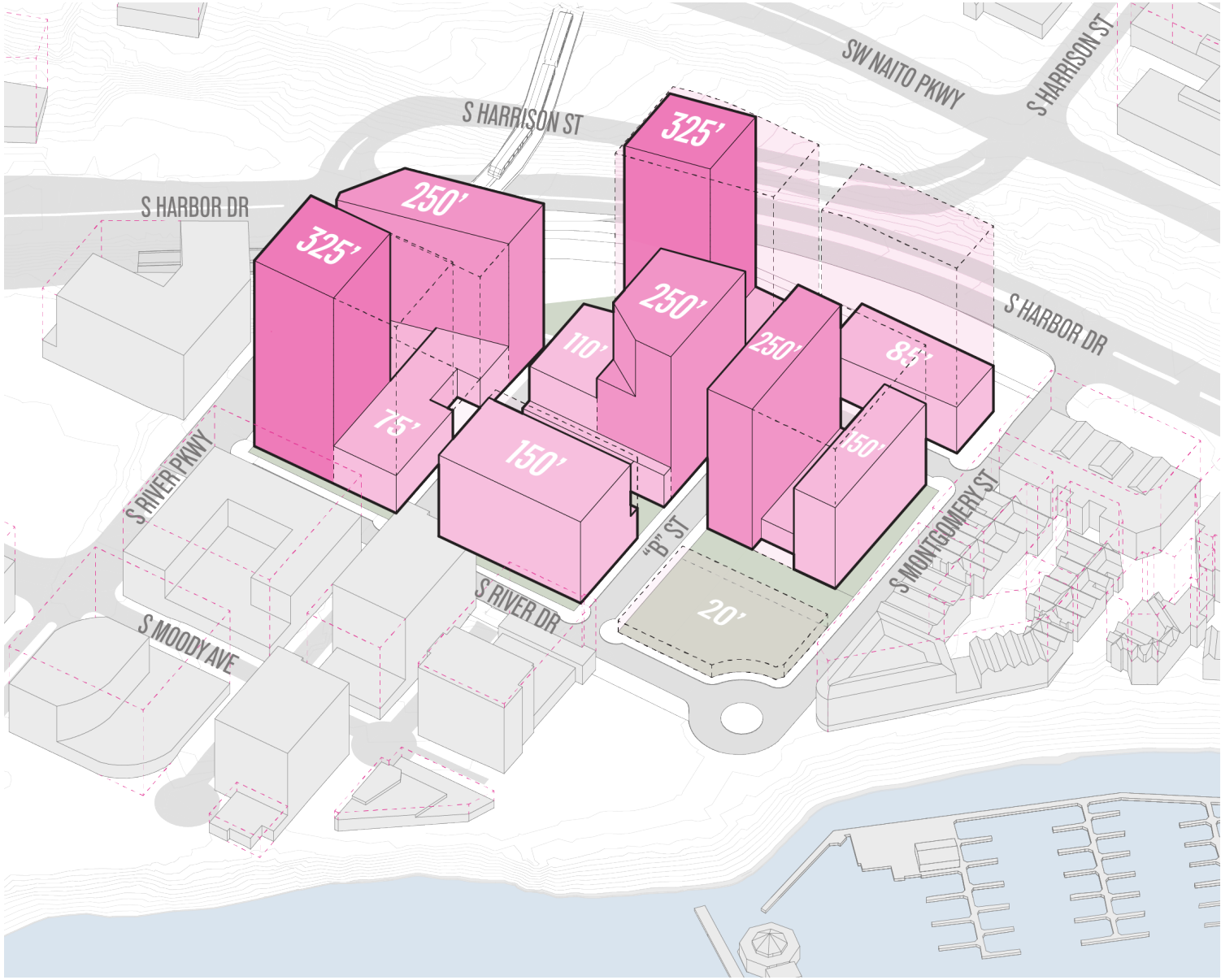
*Maximum GSF with 3:1 bonus sums do not individually total to 8:1 FAR due to restricted Max FAR on Block 6.

RIVERPLACE MASTER PLAN: OVERVIEW

BUILDING ENVELOPES
BLOCK SIZES & MAXIMUM HEIGHTS




MAXIMUM HEIGHT DIAGRAM SHOWING PROPOSED STREET GRID AND SETBACKS



MAXIMUM HEIGHT DIAGRAM WITH CONCEPTUAL BUILDING MASSING

LEGEND

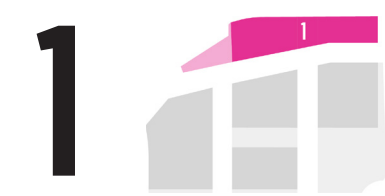
-  Pedestrian Accessway
-  Open Area
-  Context Building

BUILDING ENVELOPES FROM CCMP

The building envelopes shown here reflect the spaces within which future buildings can be built. The envelopes are not buildings themselves, but they have been sculpted to account for solar access to some of the open areas, preserve protected public views, provide urban enclosure along new streets and accommodate a range of potential building programs. These studies will be used, in concert with other exhibits in this document, to help assess changes (up or down by 15%) to an approved envelope.

BUILDING ENVELOPES

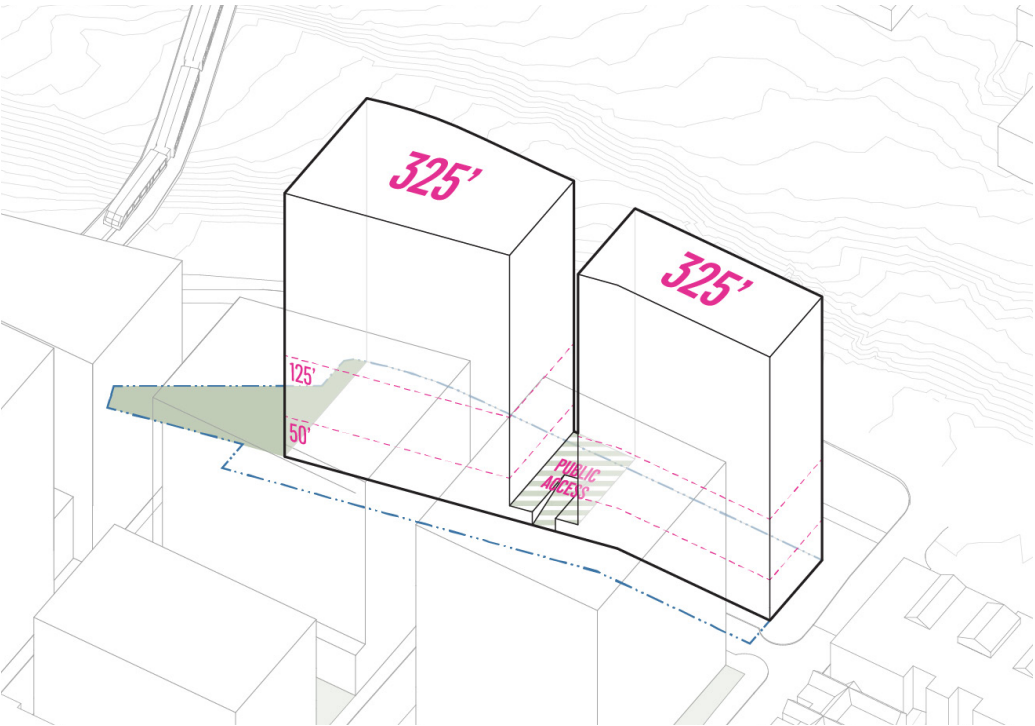
BLOCK 1



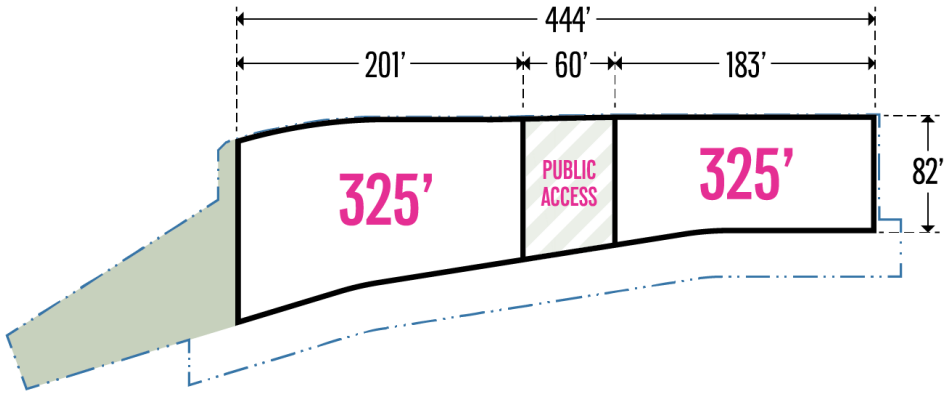
- Minimum height: 50'
- Maximum base height: 125'
- Maximum bonus height: 325'
- Minimum FAR: 2 to 1
- Maximum FAR: 7.25 to 1

The envelope for Block 1 will be sculpted to allow for two buildings up to 325’ tall with a break between them. The break in the massing will be 60 feet wide and will not exceed the grade of the existing S Harbor Way to the west. This allows both visual and physical connections between the Harbor Drive Trail and Street “A.”

Buildings or portions of buildings proposed to achieve the maximum height limit of 325’ will be subject to the tower-sizing regulations of section 33.510.210.D.3.e of the Portland Zoning Code.



Block 1 Building Envelope



Block 1 Building Envelope Plan Diagram

33.510.210 Height

D. Bonus height options. Bonus height can be achieved through the following options:

- Bonus height earned through an FAR bonus or transfer. Except for sites in the South Waterfront height opportunity area, the bonus heights shown on Map 510-4, or allowed by Subparagraph D.3.e, are allowed when the following are met. Projections above the height limits shown on Map 510-4, or allowed by Subparagraph D.3.e are prohibited:
 - RiverPlace Height Opportunity Area. Up to 325 feet of height is allowed in the RiverPlace height opportunity area shown on Map 510-16 when the following standard is met:
 - Purpose. In the RiverPlace height opportunity areas, additional building heights may be appropriate to meet density goals as well as:
 - Provide diverse housing opportunities;
 - Support high quality design;
 - Create additional opportunities for visual access through the area;
 - Promote the development of slender towers with an east-west orientation;
 - Establish and maintain a pedestrian environment with access to sunlight;
 - Create open space amenities connecting to the riverfront;
 - Contribute to the area’s urban variety, adding visual interest at the pedestrian level and from vantage points outside of the area;
 - Create an urban form that is visually permeable and maintains all protected public views and view corridors.
 - Standard. If the building is taller than 75 feet, the floors of the building above 100 feet must not be more than 10,000 square feet each. Adjustments are prohibited, however modification through design review may be requested if the north-south dimension of the building above 75 feet is 112 feet or less. The north-south dimension is measured as specified in 33.510.251.A.3.e.

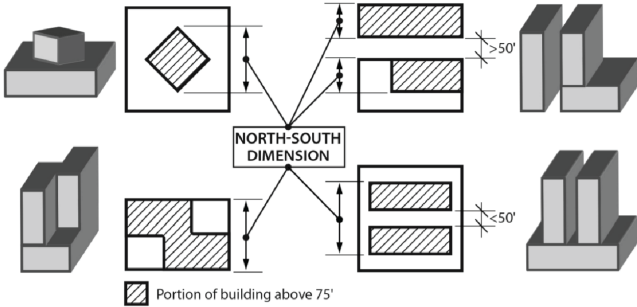
33.510.251 Additional Standards in the South Waterfront Subdistrict

Sites in the South Waterfront subdistrict must meet the following standards.

A. Special building height corridors and tower orientation.

- Maximum north-south dimension. The north-south dimension is measured as specified in Subparagraph A.3.e. See Figure 510-1. Adjustments to this paragraph are prohibited; however, modifications to the standards of this paragraph may be requested through design review. In reviewing such a request, the review body will consider the results of the South Waterfront Public Views and Visual Permeability Assessment for the proposal. The north-south dimensions of buildings are limited as follows:
 - Less than 75 feet in height. For the portion of a building less than 75 feet in height, there is no limit on the north-south dimension, and no required space between buildings or portions of buildings;
 - 75 feet in height and above. The portion of a building that is at least 75 feet in height may have a north-south dimension up to 125 feet in width;
 - Where there is more than one building on a site there must be at least 50 feet between the portions of the buildings that are at least 75 feet in height. If there is less than 50 feet between these portions of the buildings, the north-south dimension is the total of the north-south dimension of each building and the north-south dimension of the space between them. The total may be up to 125 feet in width;
 - Where a building has more than one element that is at least 75 feet in height, the two elements are measured and regulated as two separate buildings;
 - Measurements for this paragraph. The measurements for the regulations of this paragraph are as follows. See Figure 510-1:
 - The north-south dimension of a building is measured as follows:
 - From the northernmost point of the portion of a building that is at least 75 feet in height, a line is drawn running due east-west;
 - From the southernmost point of the portion of a building that is at least 75 feet in height, a line is drawn running due east-west;
 - A line drawn at right angles between the two east-west lines is the north-south dimension;
 - The space between buildings on a site is measured using the east-west lines created under A.3.e.(1). A line drawn at right angles between the northern east-west line of one building and the southern east-west line of the other is the distance between the buildings.

Figure 510-1
Measuring North-South Dimension



Excerpts from the Portland Zoning Code describing applicable height regulations for buildings up to 325' tall



Phase 1 Massing Diagram

PHASE 1 - CONCEPTUAL MASSING

BUILDINGS & USES

Phase 1 is focused on redeveloping the RAC site at the western edge of RiverPlace. It is currently envisioned as one building with a tower at the southern end of the block and a lower podium extending to the north. The base zoning code building height is 125' with a bonus available up to 325'. The building form would allow physical and visual access from S Harbor Drive toward the Willamette River and Greenway. The majority of the remainder of the site would be retained in its current form.

Height Opportunity Area Requirements

The base height for Block 1 is 125'. Bonus height for this part of the site can be achieved through the "RiverPlace Height Opportunity Area" which allows an additional 200' of height, up to a maximum of 325'. The standard calls for floors to be limited to 10,000 sf or less unless the north-south dimension of the building above 75' is 112' or less. North-south dimensions of towers are measured according to section 33.510.251.A.3.e which specifies tower measurement techniques and distances between towers.

	PHASE 1 AMOUNTS	TOTALS
Residential Units	400-500 units / 400k-500k gsf	690-790 units
Sales and Services	3,000 gsf	15,905 gsf
Parking Stalls	85 stalls	785 stalls
Open Area	16,614 sf	16,614 sf
Potential Open Area	15,130 sf	15,130 sf

LEGEND

Residential

Sales and Services

Proposed / Potential Open Area



Open Areas Diagram

OPEN AREAS

REQUIREMENTS & TYPES AT PHASE 1

This page describes in more detail the planned open area improvements in Phase 1. It does not change the overall approach or nature of the open areas discussed at the second design review hearing.

In Phase 1, the total amount of new open area will be 16,610 sf, a little more than 20% of the parcel area of Block 1. Bike and pedestrian accessways and ramps will total 4,036 sf or 24.2% of the proposed open area in this phase. As such, proposed bike and pedestrian accessways will not exceed the maximum 25% of total open area in this phase of development.

No parks or plazas are proposed as part of the Phase 1 open area. Specific code language at RiverPlace stipulates that parks and plazas are required to be located adjacent to the current open space zoning (OSd) which is present at the northeast corner (on the opposite side) of the site. In addition, and in recognition of the steep grades at the Phase 1 location, it was determined that new connections to the west rather than parks or plazas were more desirable. These new connections will include pedestrian pathways and stairs as well as an accessible and active transportation ramp between the S Harbor Drive Trail and the future street network internal to the site.

It should be noted that the open areas have not been designed yet. What are illustrated here in the master plan are the position of the open areas, the points/areas that the open areas are connecting, and the minimum dimensions for the links themselves. More detailed design work will further develop the character(s) of the spaces and determine the specific dimensions of the facilities and adjacent landscaped areas.

LEGEND

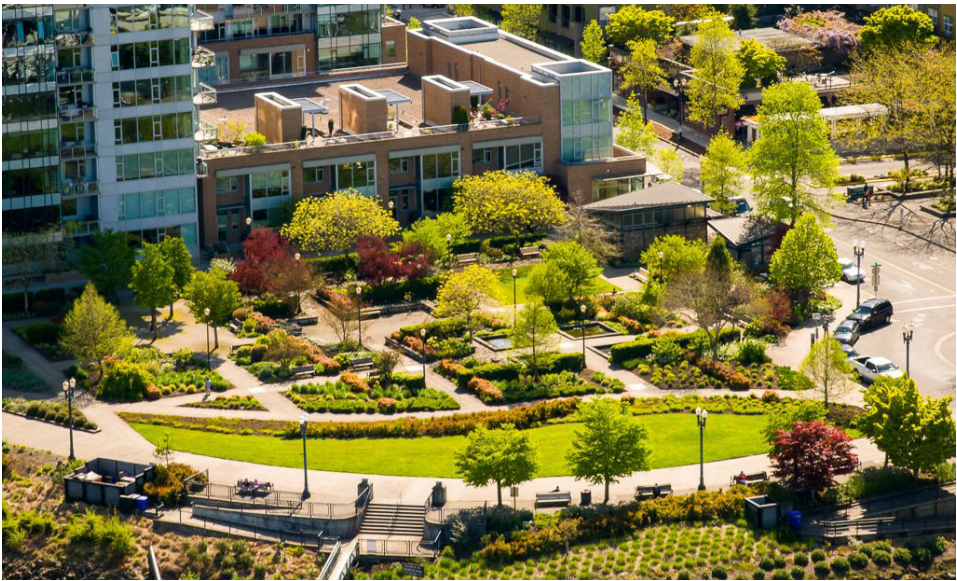
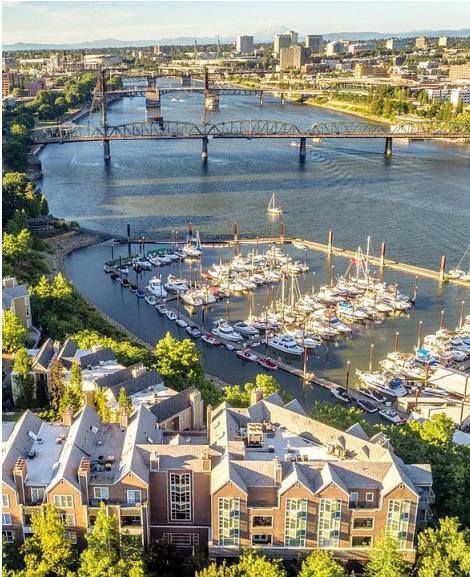
- Sitting, Gathering, Pausing
- Bike / Pedestrian Connection
- Landscaped Edges
- Site Boundary



View looking South



View looking West



NEIGHBORHOOD PHOTOS



View toward neighboring Douglas Apartments



View approaching site from S Montgomery pedestrian accessway



View looking South along Montgomery Green Street



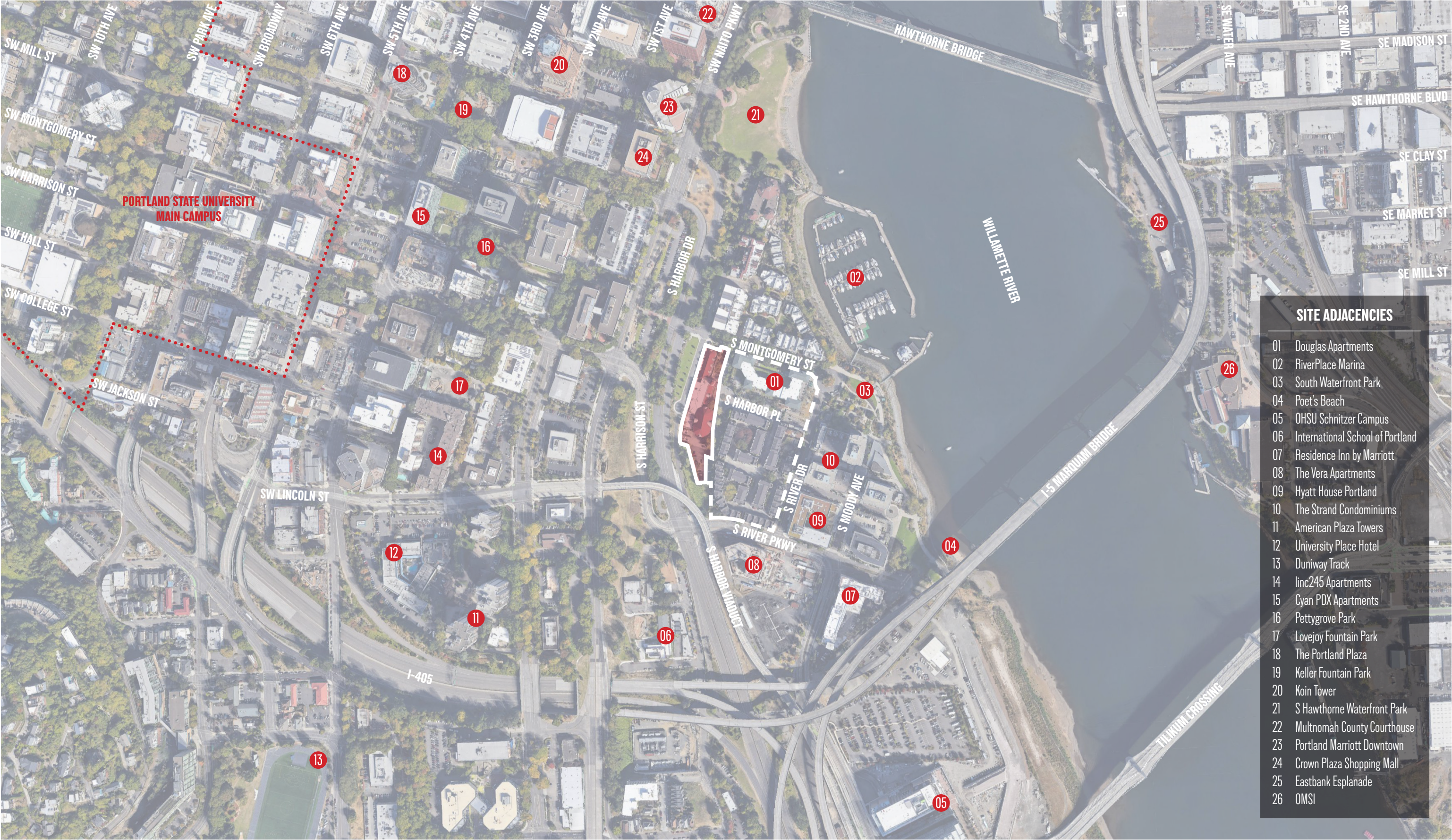
View looking North along Montgomery Green Street



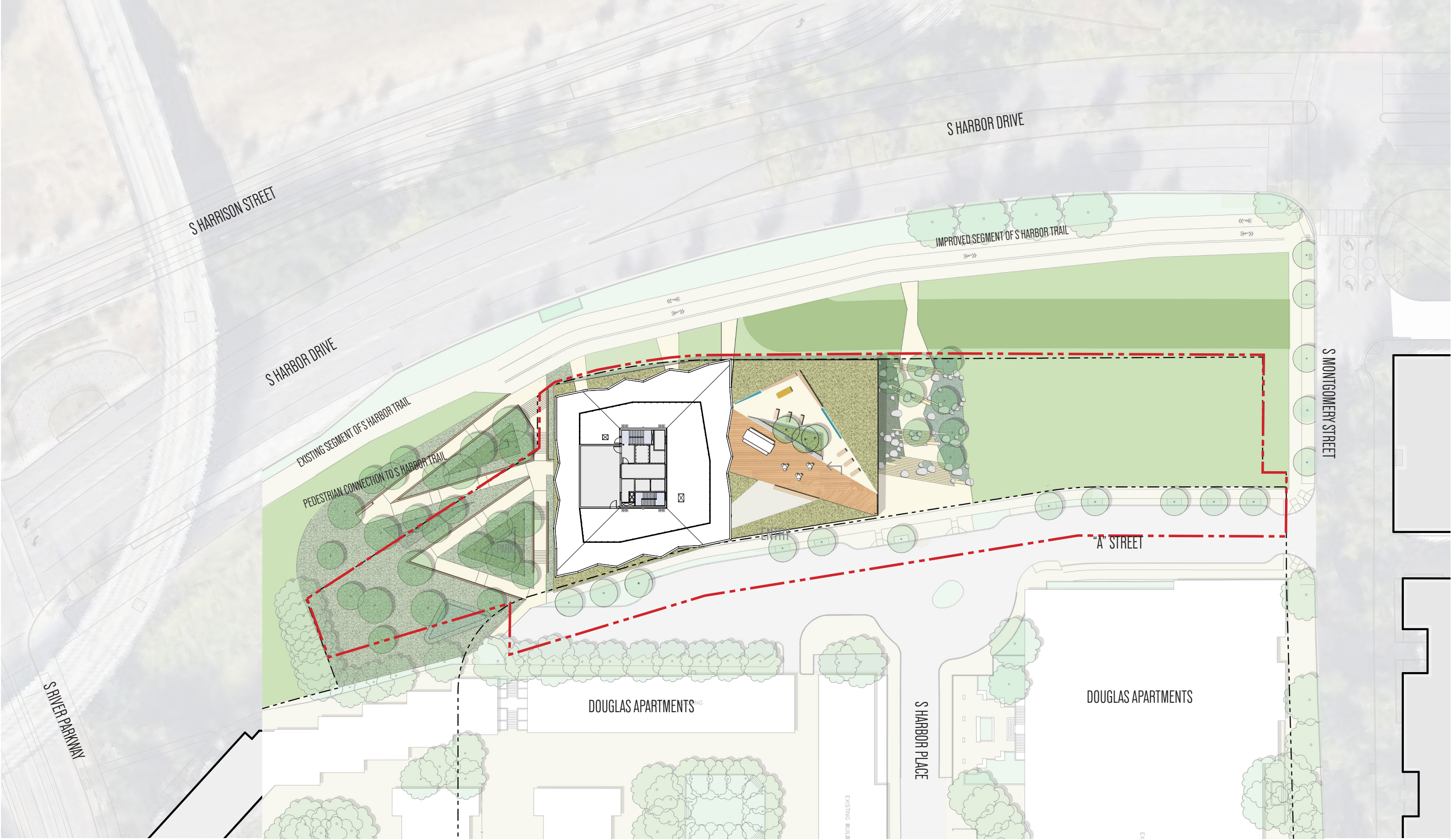
View of existing plaza on S River Drive



View looking East along S Harbor Trail

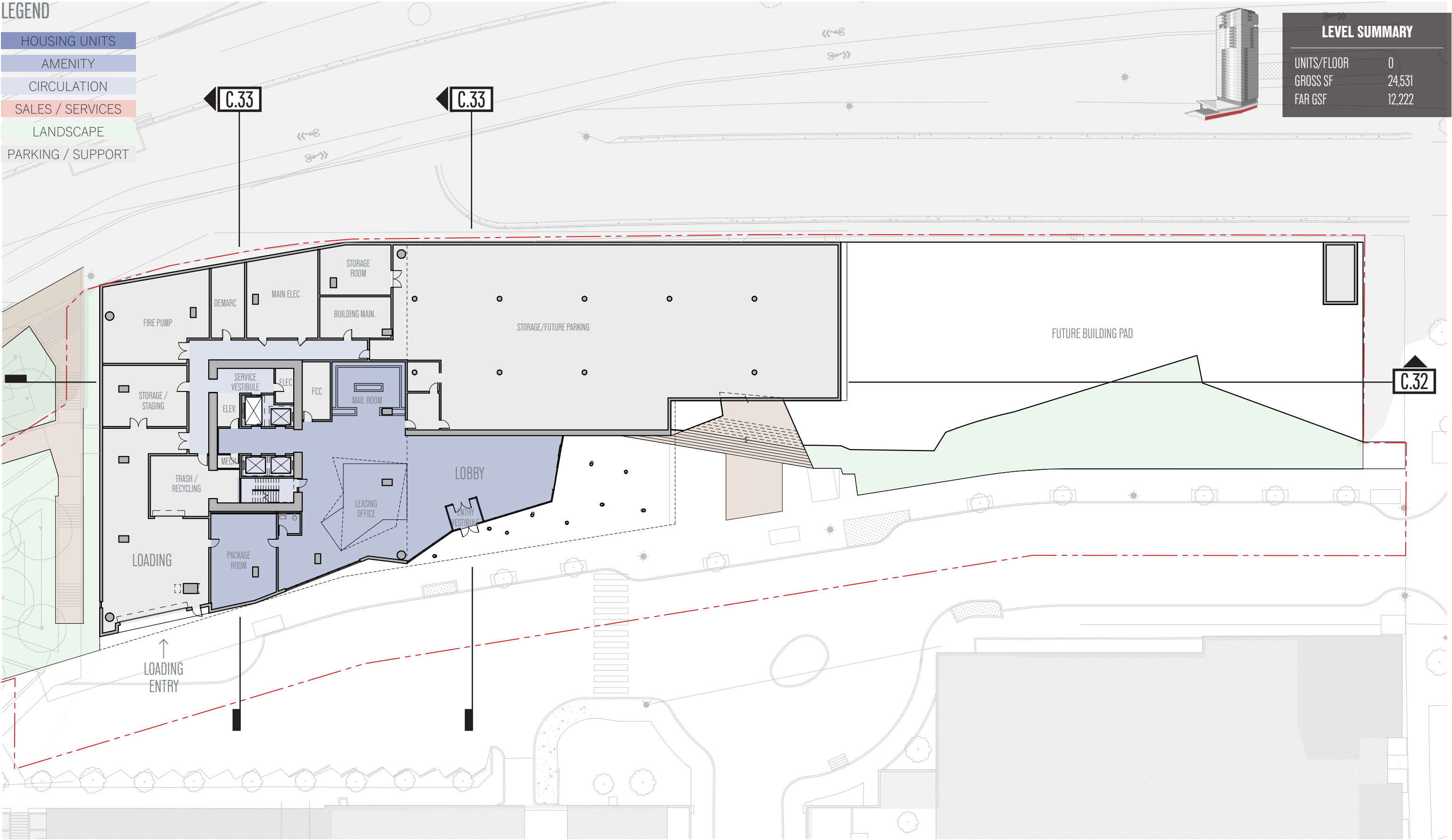






N► SCALE: 1" = 60' - 0"

SITE PLAN



LEGEND

-
- HOUSING UNITS
- AMENITY
- CIRCULATION
- SALES / SERVICES
- LANDSCAPE
- PARKING / SUPPORT

LEVEL SUMMARY

UNITS/FLOOR	0
GROSS SF	6,808
FAR GSF	3,404

FUTURE BUILDING PAD

C.32

BIKE PARKING

C.33

C.33

N ▶ SCALE: 1/32" = 1' - 0"

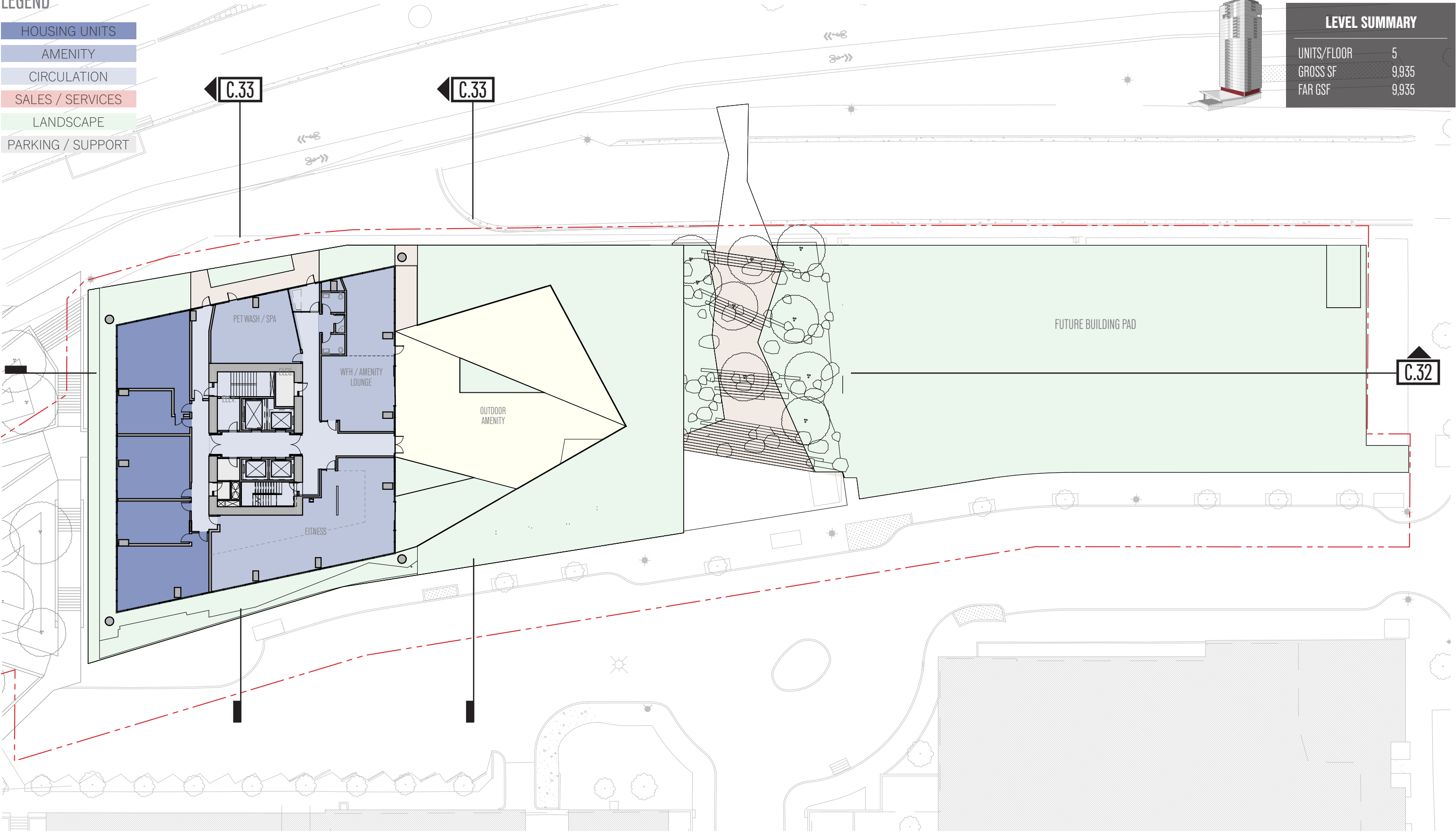
FLOOR PLAN: LEVEL 1.5

LEGEND

- HOUSING UNITS
- AMENITY
- CIRCULATION
- SALES / SERVICES
- LANDSCAPE
- PARKING / SUPPORT

LEVEL SUMMARY

UNITS/FLOOR	5
GROSS SF	9,935
FAR GSF	9,935

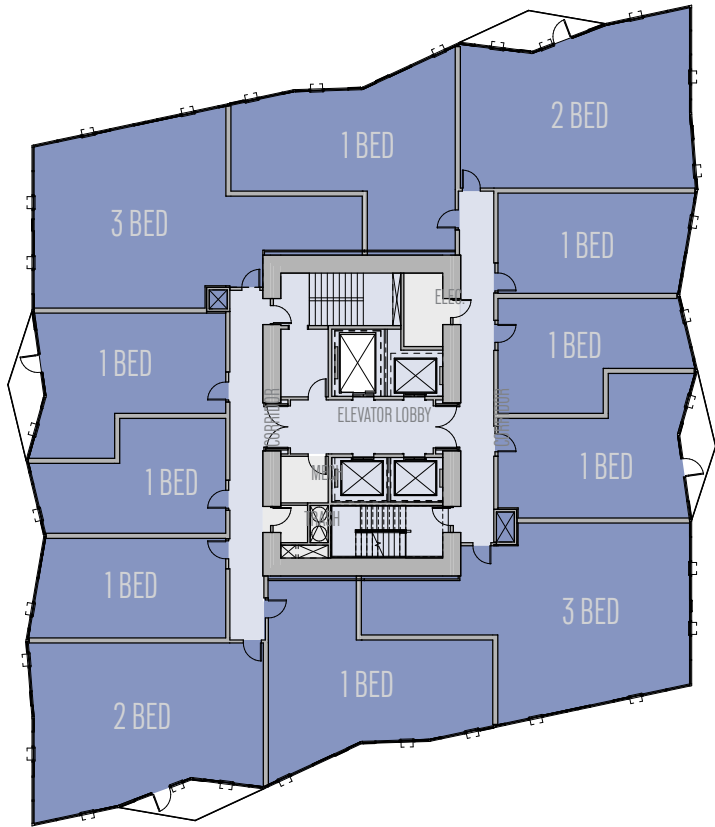


N SCALE: 1/32" = 1' - 0"

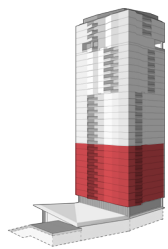
FLOOR PLAN: LEVEL 02

LEGEND

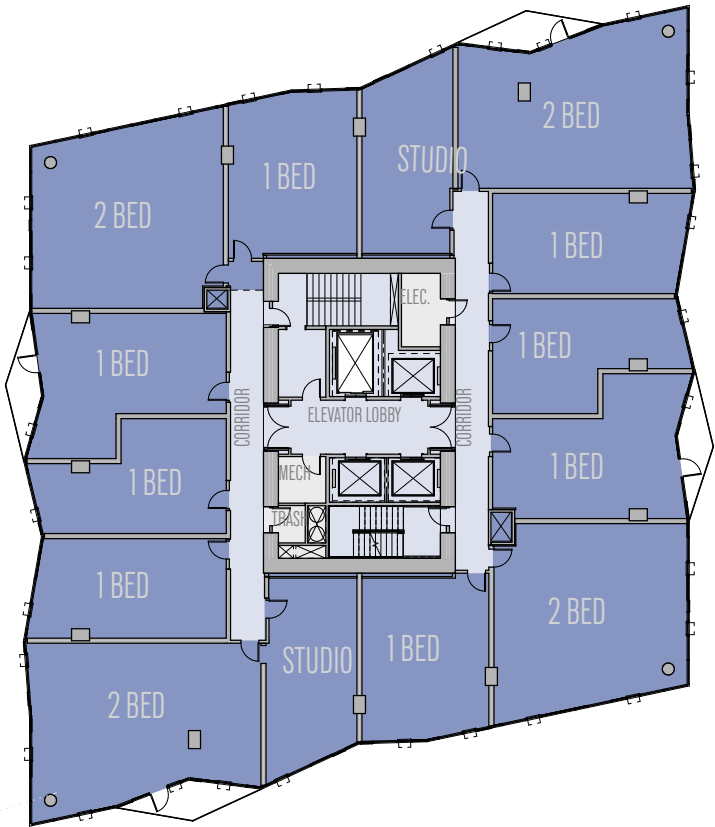
- HOUSING UNITS
- AMENITY
- CIRCULATION
- SALES / SERVICES
- LANDSCAPE
- PARKING / SUPPORT



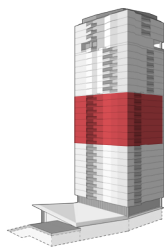
FLOOR PLAN: LEVELS 03-10



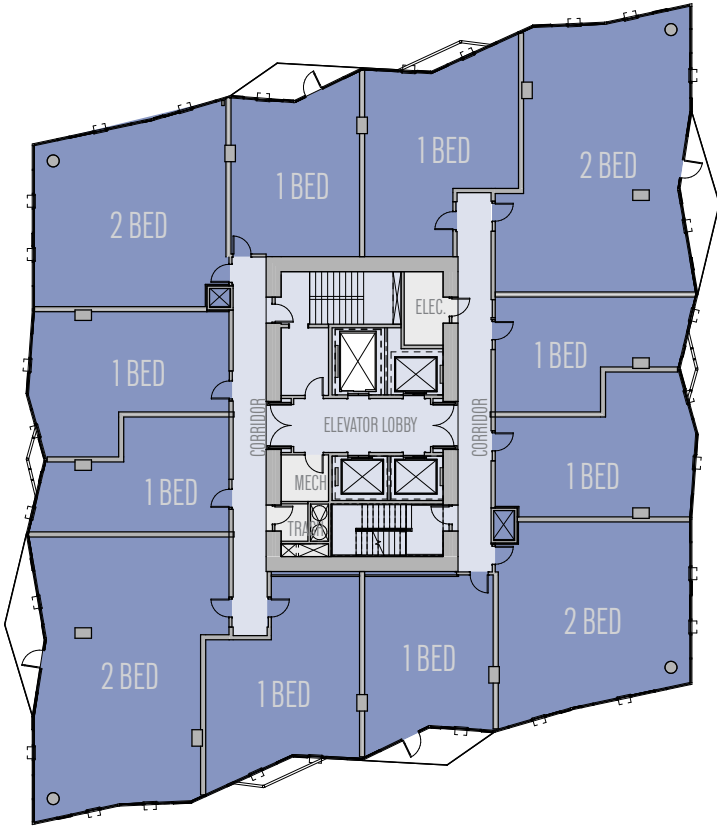
LEVEL SUMMARY	
UNITS/FLOOR	12
GROSS SF	12,313
FAR GSF	12,454



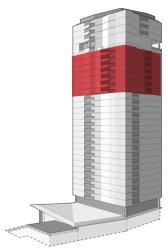
FLOOR PLAN: LEVELS 11-19



LEVEL SUMMARY	
UNITS/FLOOR	14
GROSS SF	12,313
FAR GSF	12,454



FLOOR PLAN: LEVELS 20-26



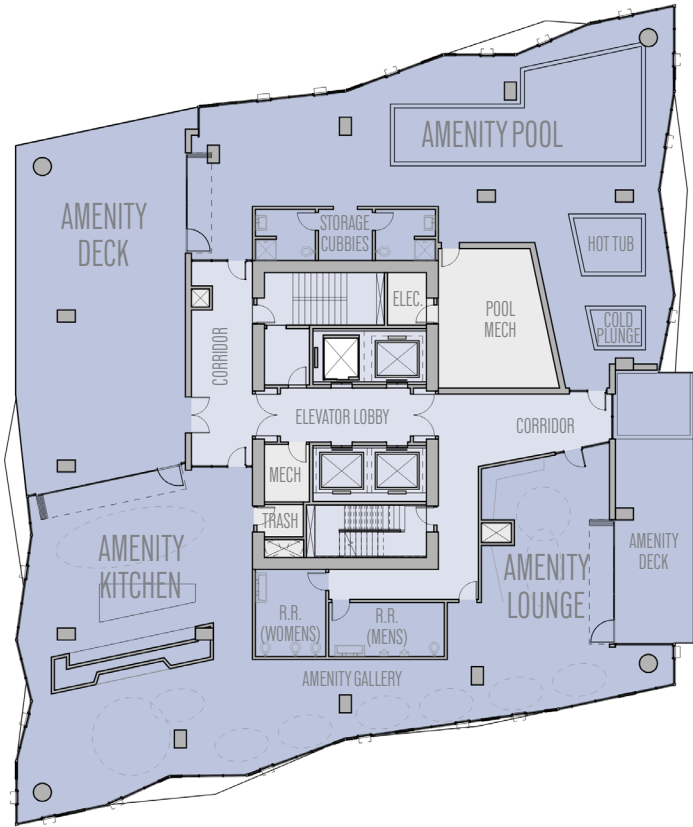
LEVEL SUMMARY	
UNITS/FLOOR	12
GROSS SF	12,245
FAR GSF	12,489

N► SCALE: 1/16" = 1' - 0"

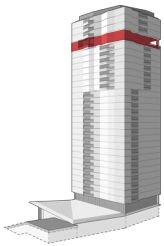
FLOOR PLANS: TOWER LEVELS

LEGEND

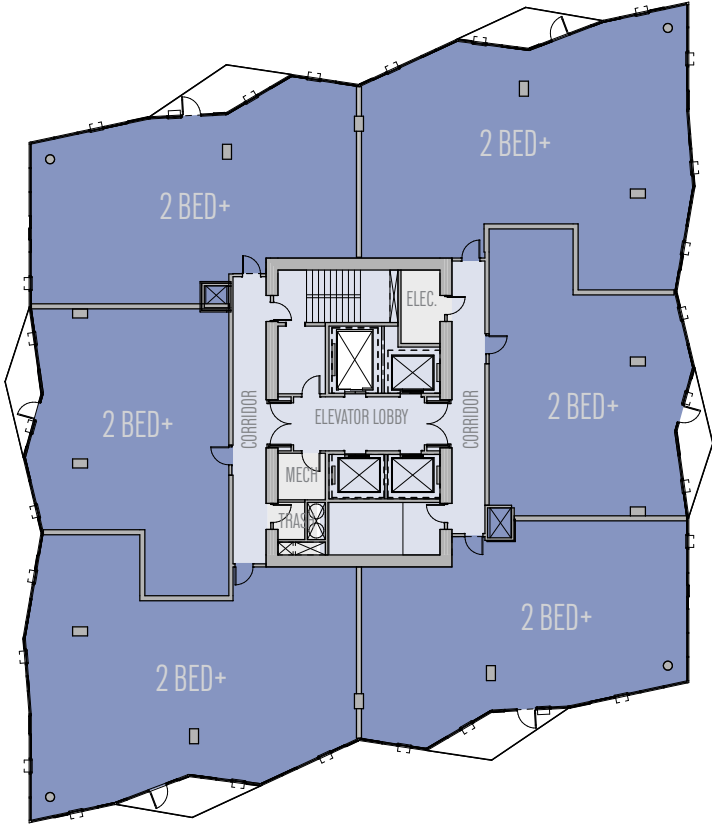
- HOUSING UNITS
- AMENITY
- CIRCULATION
- SALES / SERVICES
- LANDSCAPE
- PARKING / SUPPORT



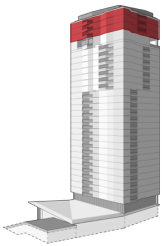
FLOOR PLAN: LEVEL 27



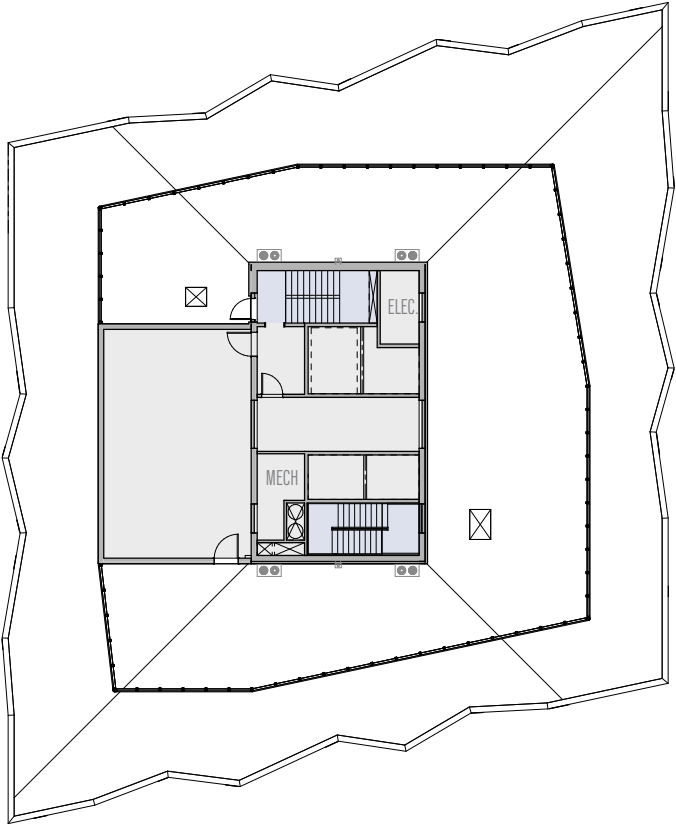
LEVEL SUMMARY	
UNITS/FLOOR	0
GROSS SF	10,362
FAR GSF	12,322



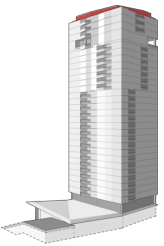
FLOOR PLAN: LEVELS 28-30



LEVEL SUMMARY	
UNITS/FLOOR	7
GROSS SF	12,309
FAR GSF	12,309



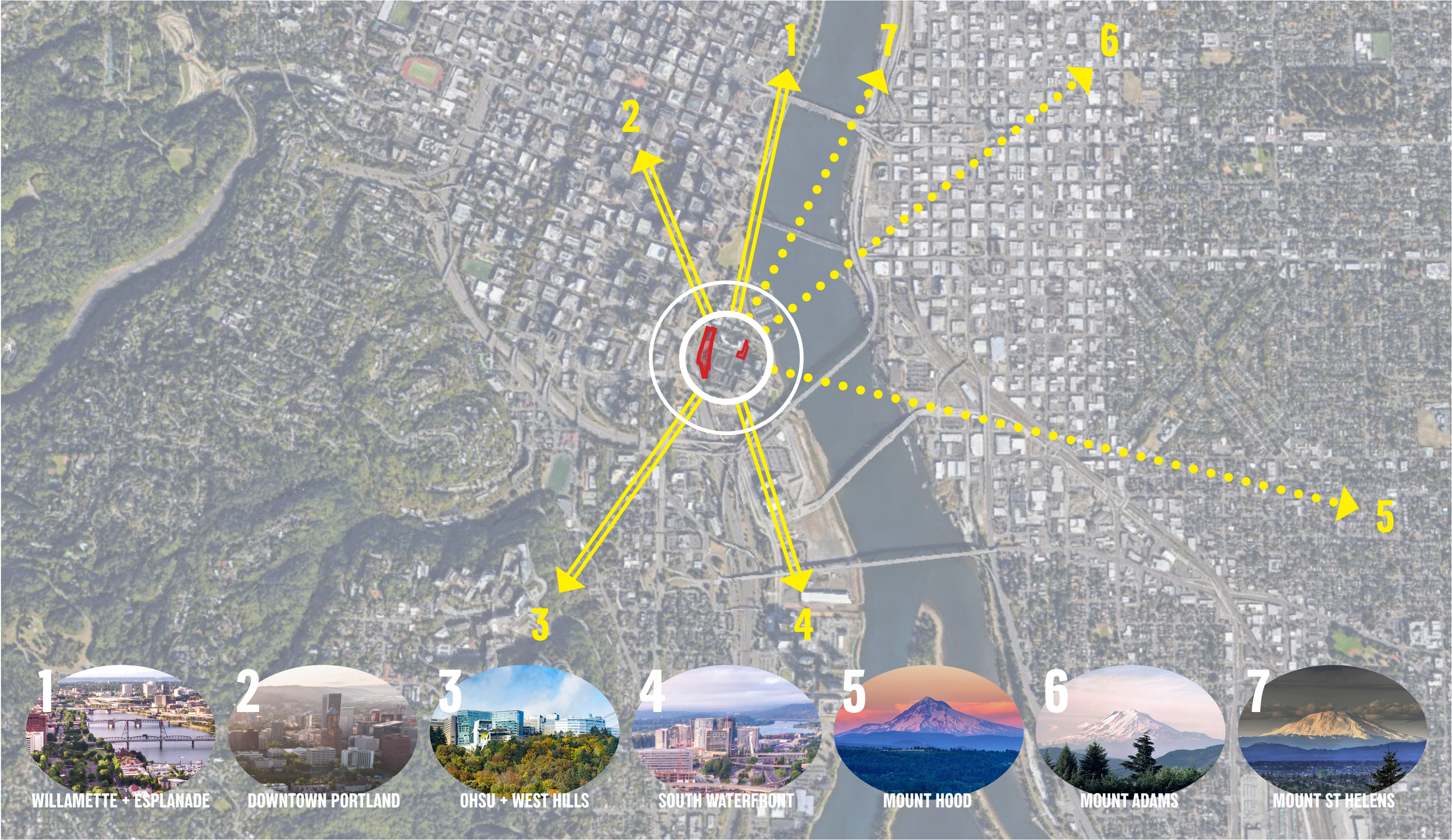
FLOOR PLAN: ROOF LEVEL

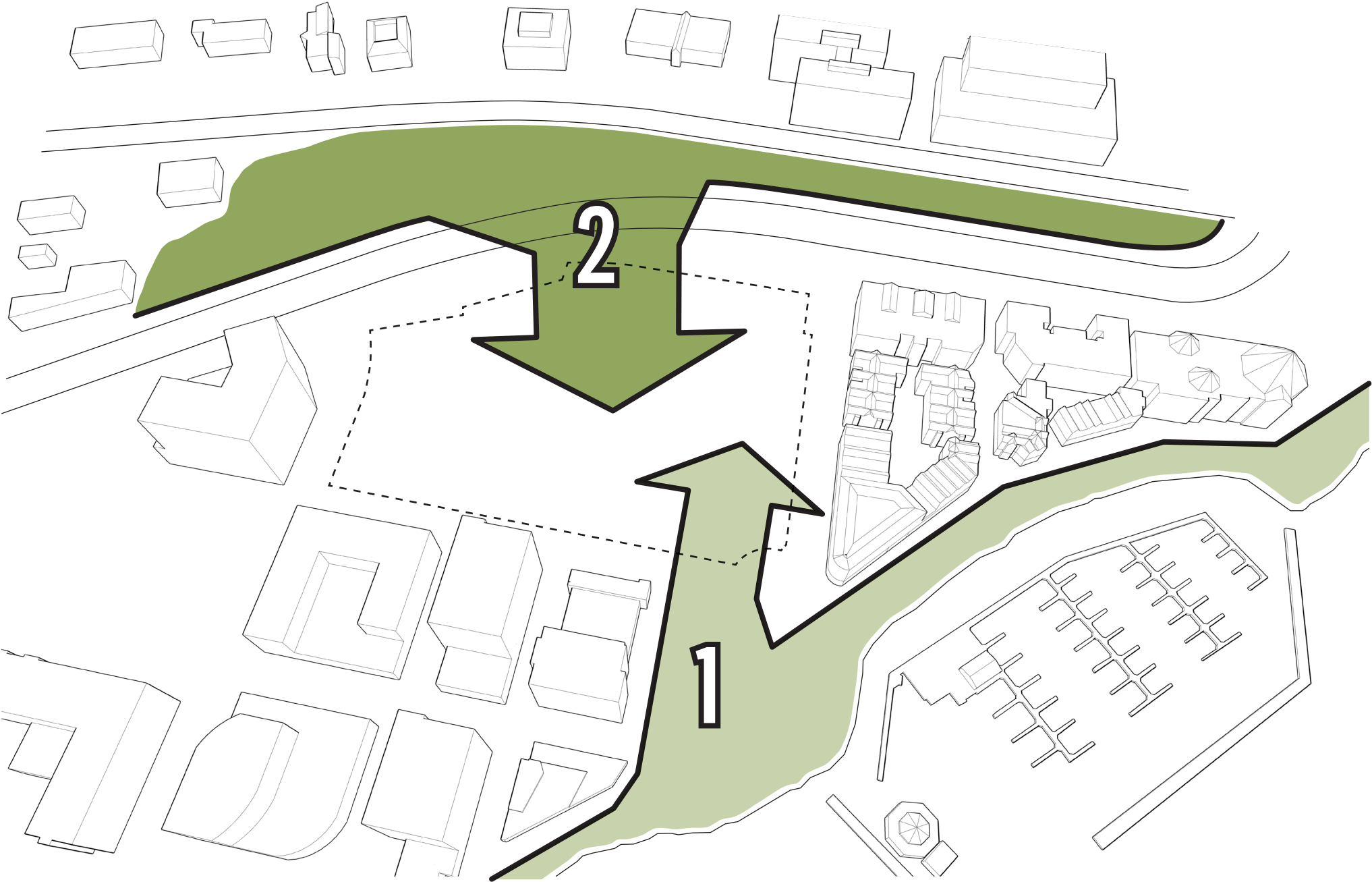


LEVEL SUMMARY	
UNITS/FLOOR	0
GROSS SF	2,504
FAR GSF	0

N► SCALE: 1/16" = 1' - 0"

FLOOR PLANS: TOWER LEVELS



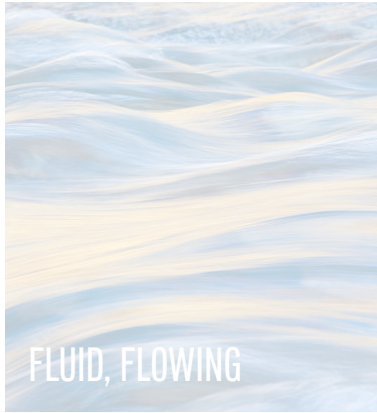
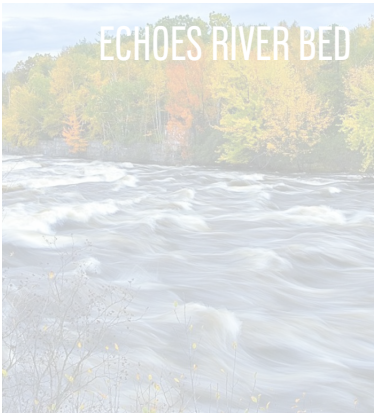
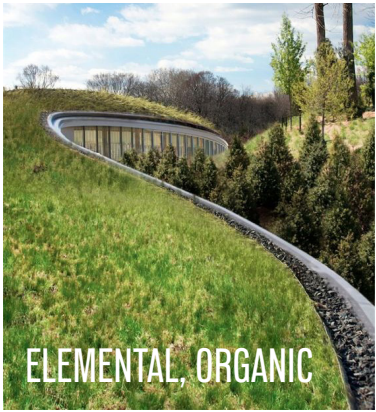
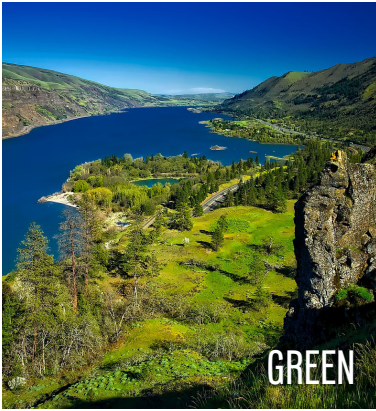


1 Bring the green character of the Willamette River and Greenway deeper into the site.

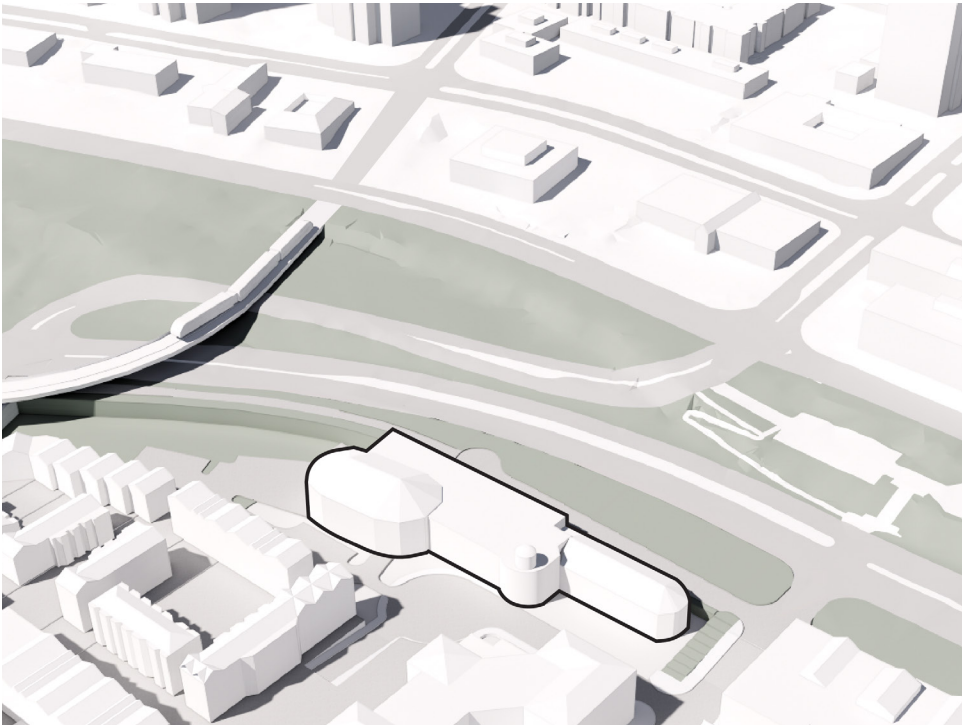
Currently South Waterfront Park offers a series of smaller, intimate green gathering areas in a heavily landscaped environment. The master plan proposes a roughly ½ acre park that features more expansive open areas for community events, gatherings and celebrations.

2 Reintroduce the natural, sloped landscape between SW Naito Pkwy and S Harbor Dr to create link to downtown.

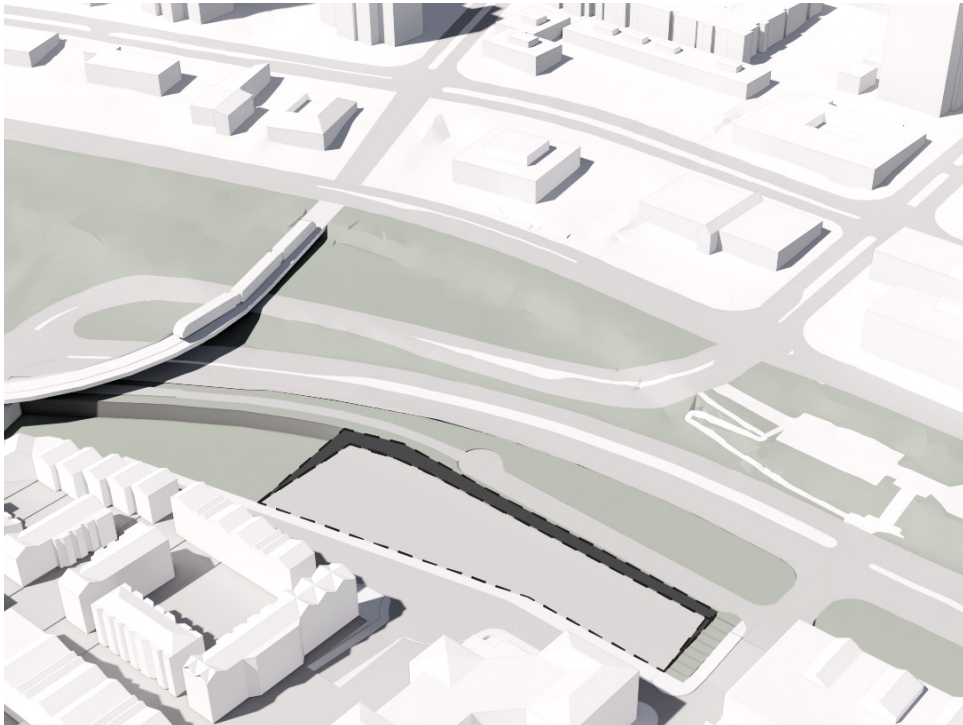
The current location of the RiverPlace Athletic Club acts a barrier between downtown and RiverPlace. By extending the natural landscape that once was present back into the site, the visual connection to downtown is reintroduced and the community becomes more directly linked to the surroundings.



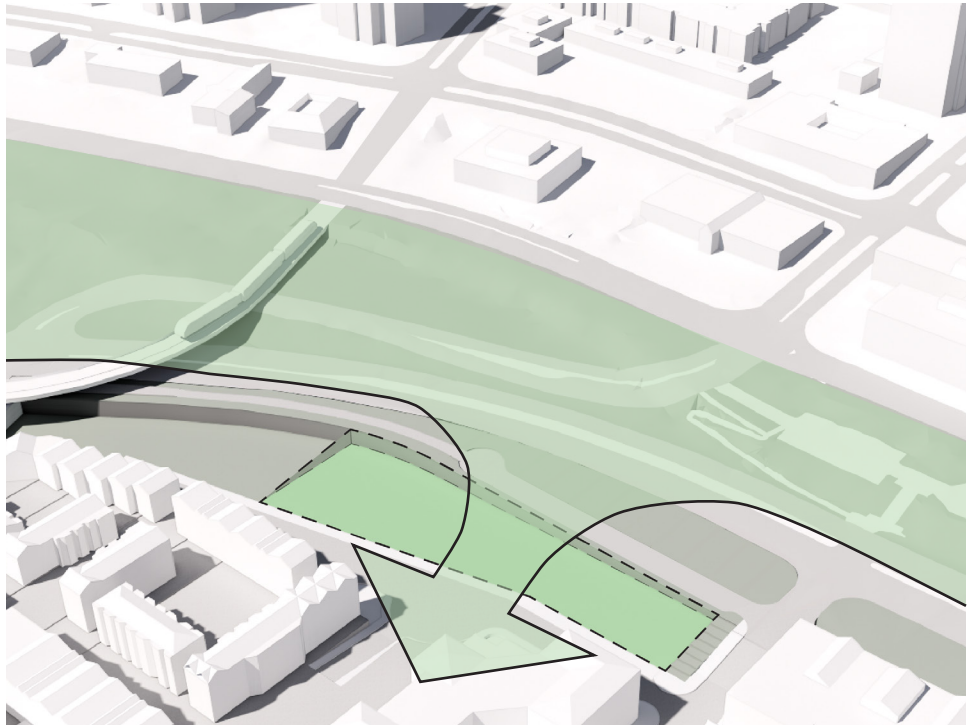
DESIGN CONCEPT: CONNECTION TO THE WILLAMETTE RIVER



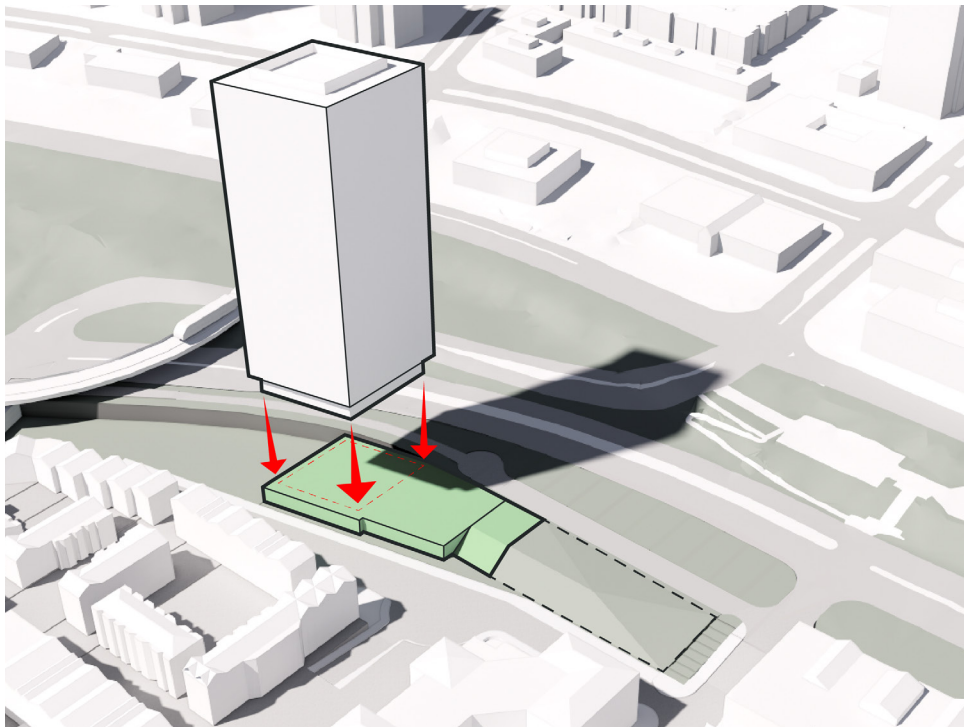
VACANT RIVERPLACE ATHLETIC CLUB



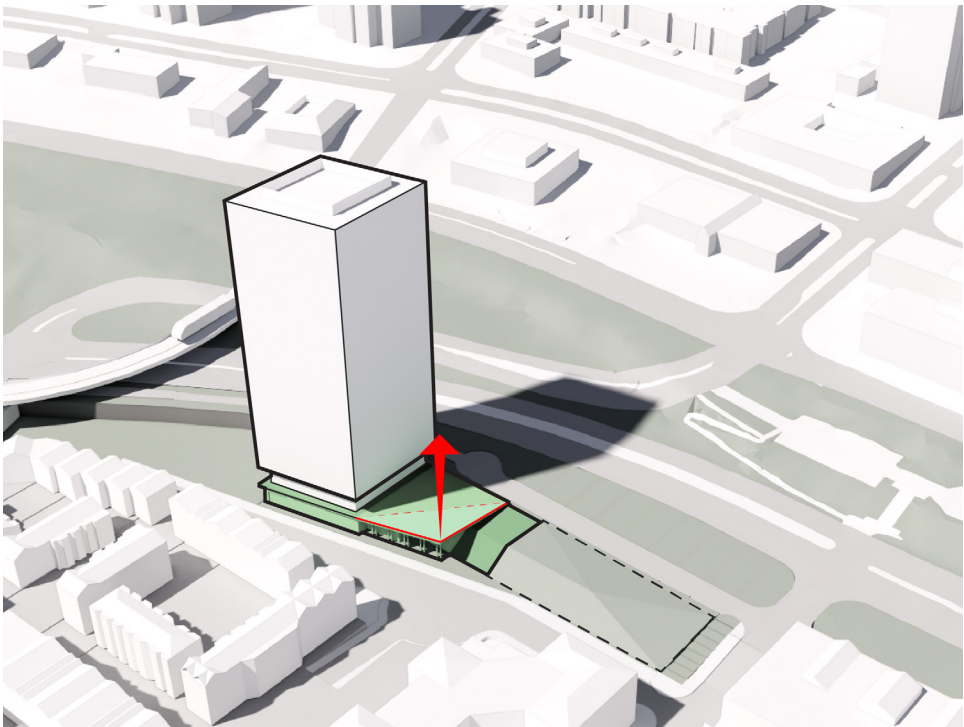
VOID LEFT IN LANDSCAPE



REINTRODUCE LANDSCAPE

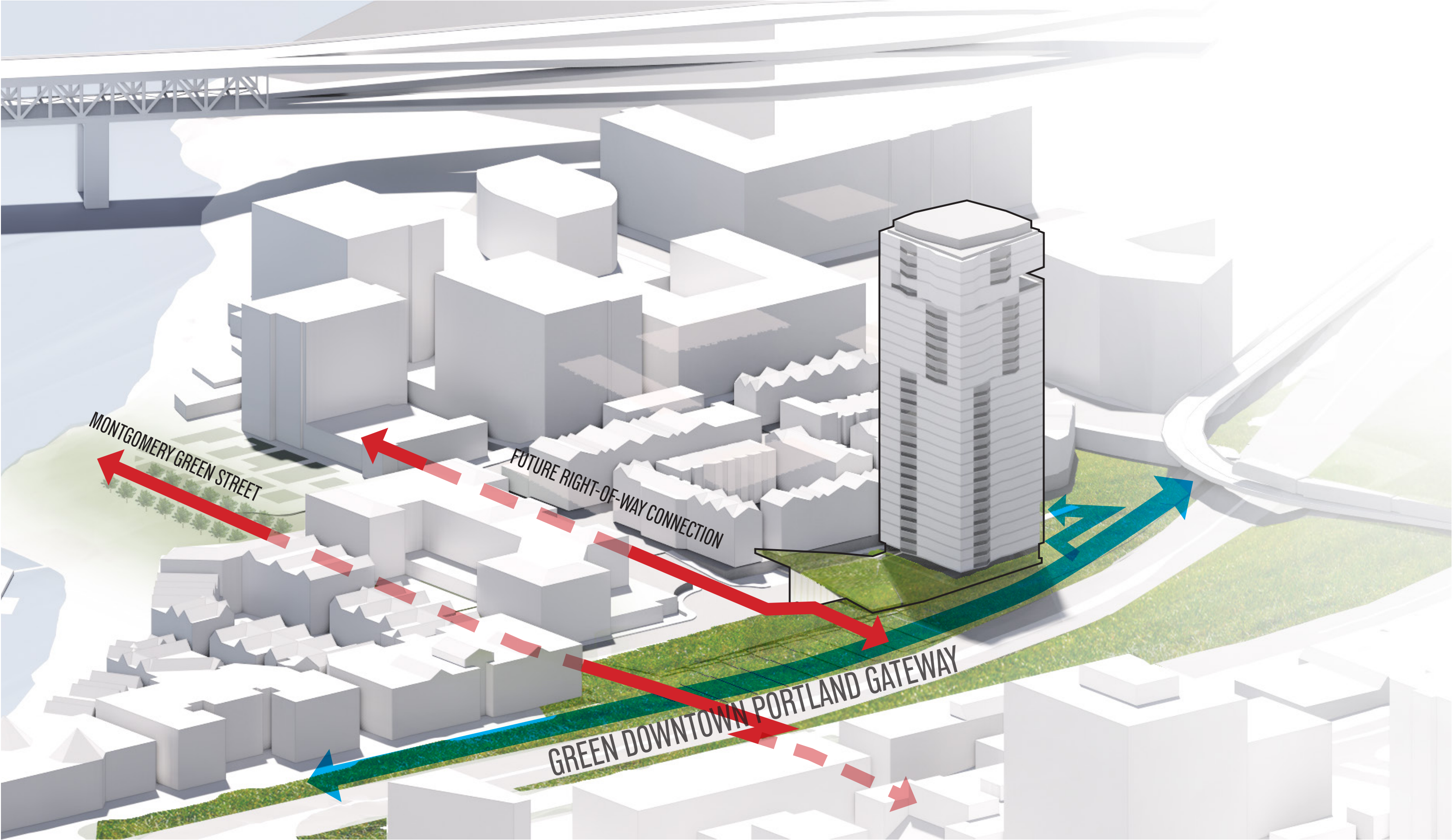


PLACE NARROW TOWER ON TOP OF LANDSCAPE

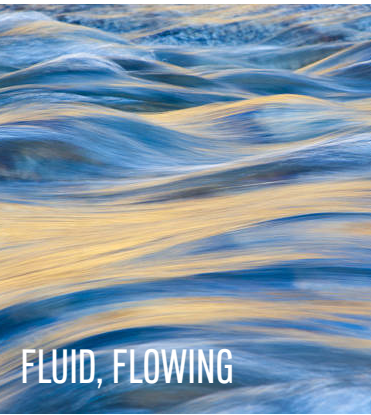
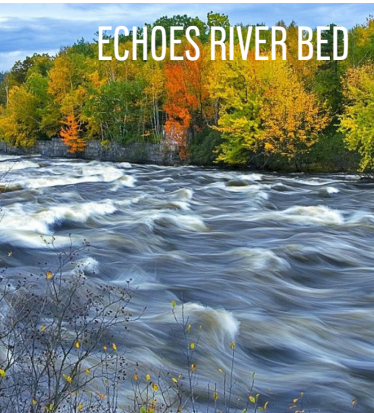
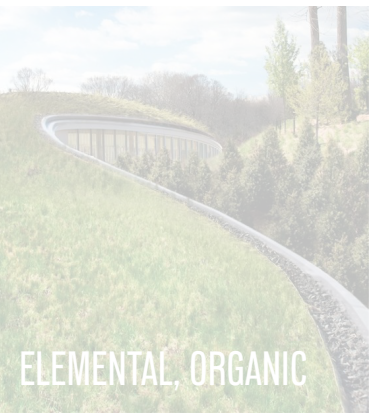


LIFT LANDSCAPE AT KEY POINTS

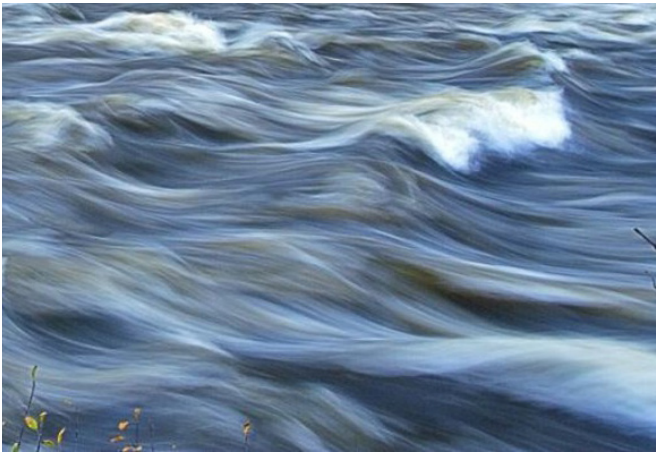
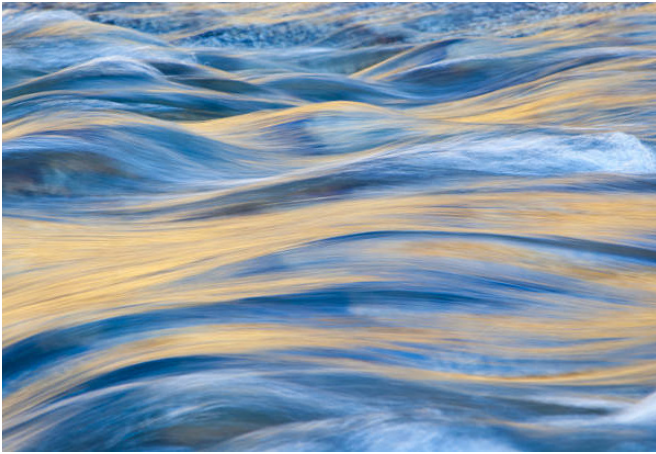
DESIGN CONCEPT: RE-INTRODUCE THE LANDSCAPE



DESIGN CONCEPT: LANDSCAPE GATEWAY

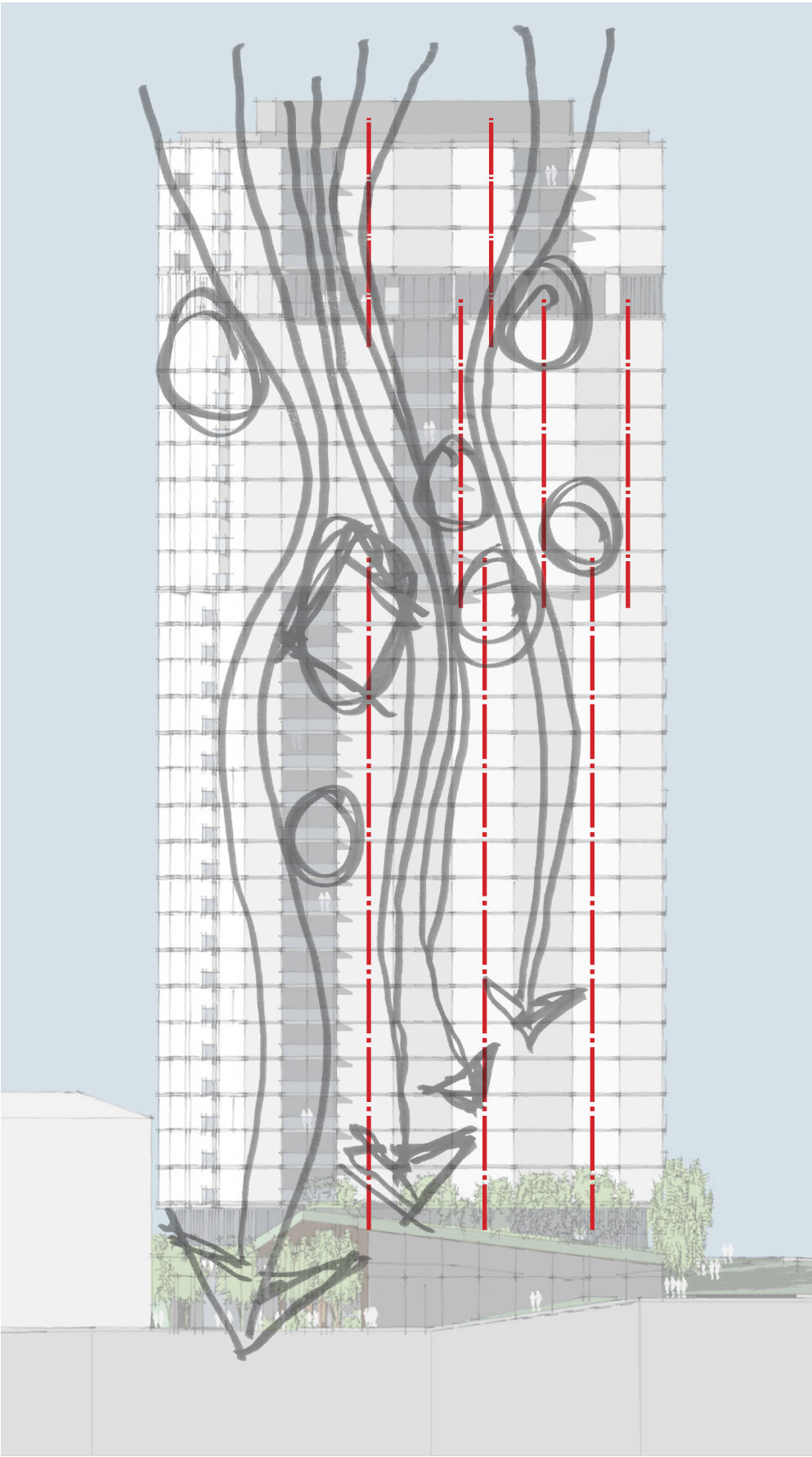


DESIGN CONCEPT: CONNECTION TO THE WILLAMETTE RIVER

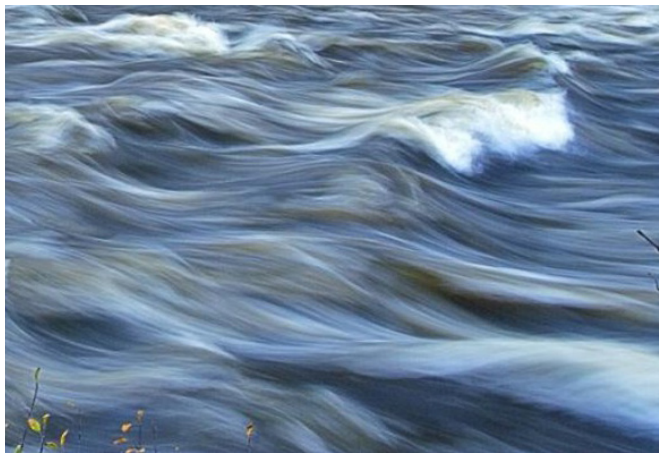
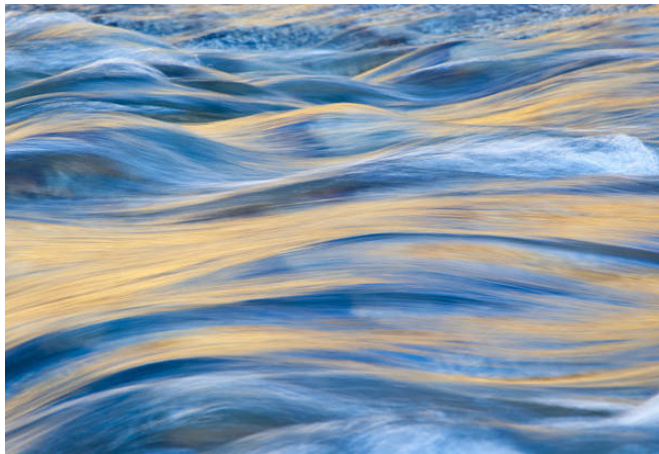


The tower form is reminiscent of the ever-changing motion of the water that the Pacific Northwest is known for.

Canted windows, balconies, and building program elements provide the structure for the flow of the facade.

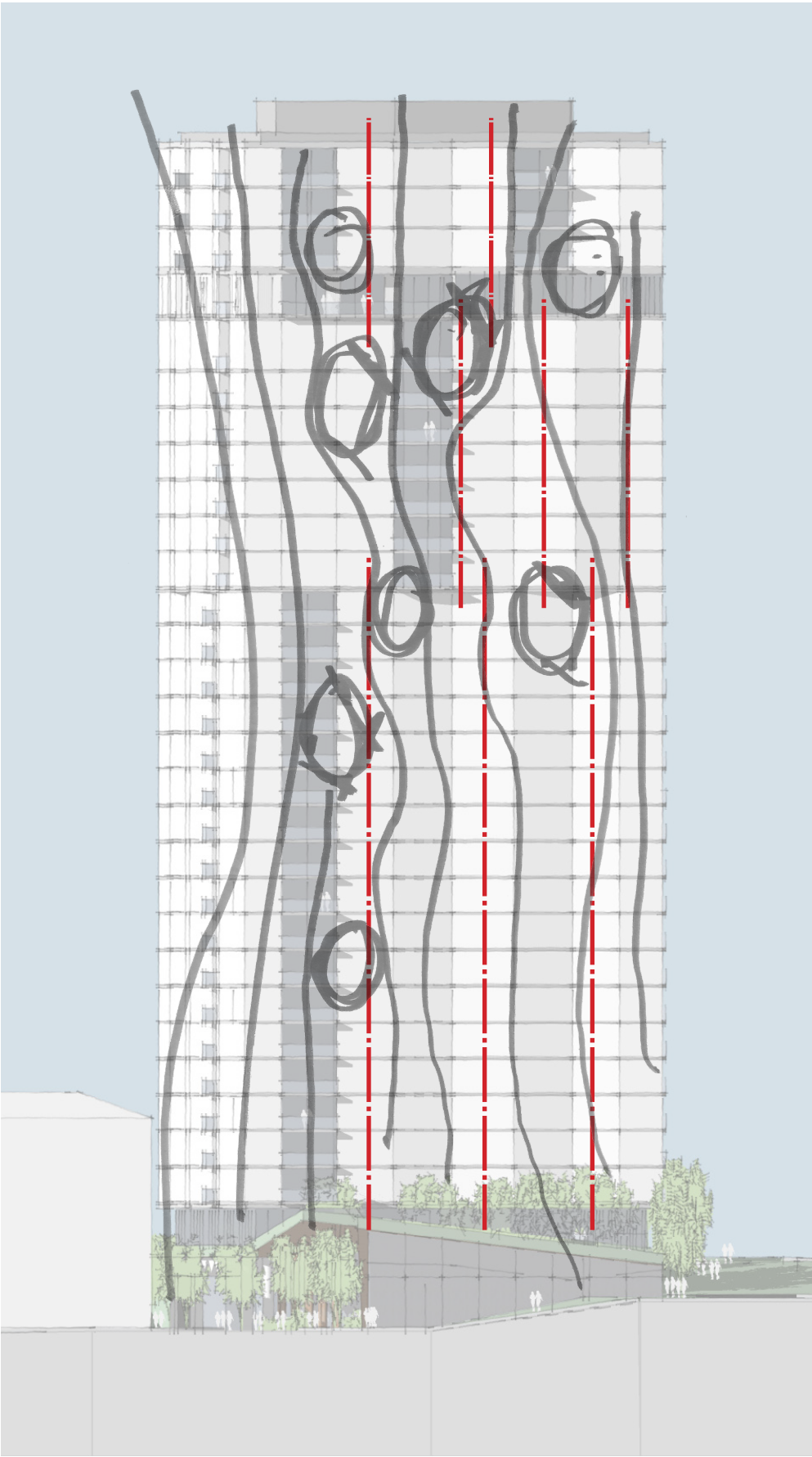


TOWER DESIGN CONCEPT: RIPPLING FACADE

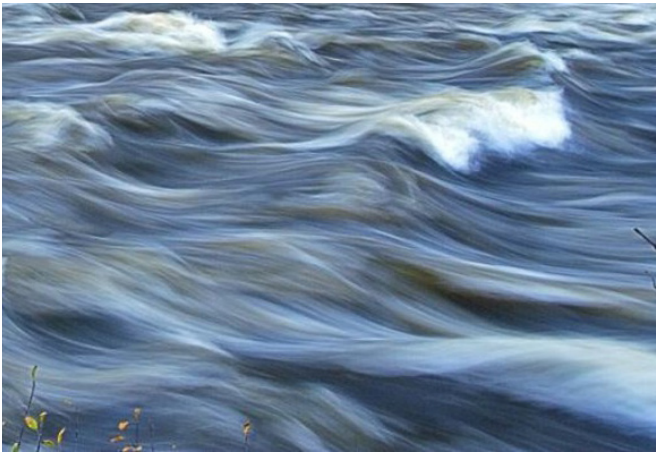
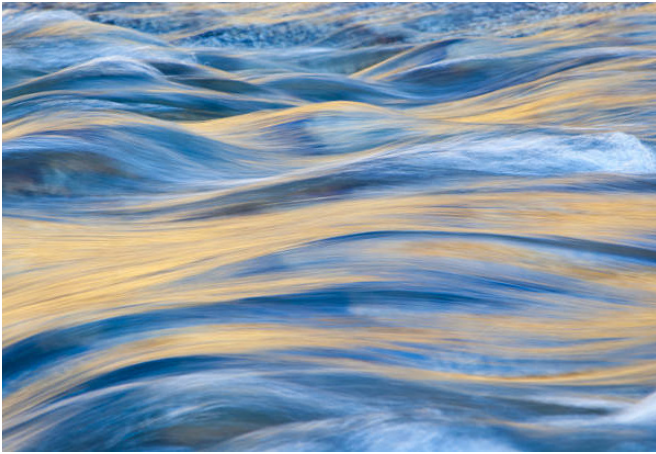


The tower form is reminiscent of the ever-changing motion of the water that the Pacific Northwest is known for.

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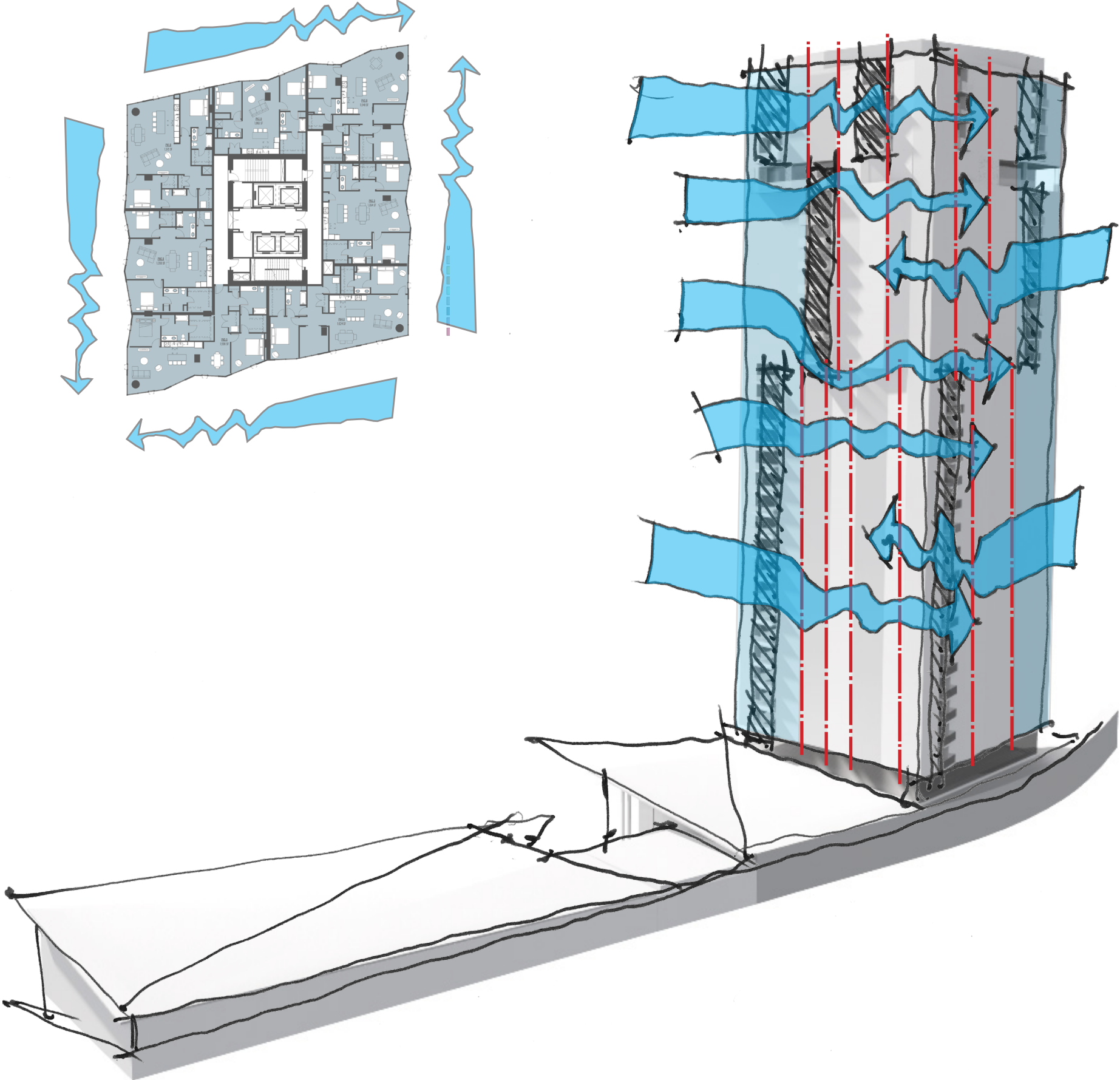


TOWER DESIGN CONCEPT: RIPPLING FACADE



The tower form is reminiscent of the ever-changing motion of the water that the Pacific Northwest is known for.

Canted windows, balconies, and building program elements provide the structure for the flow of the facade.



TOWER DESIGN CONCEPT: RIPPLING FACADE



SCALE: 1" = 40' - 0"

EAST ELEVATION: ALONG "A" STREET



SCALE: 1" = 40' - 0"

WEST ELEVATION: ALONG S HARBOR DRIVE

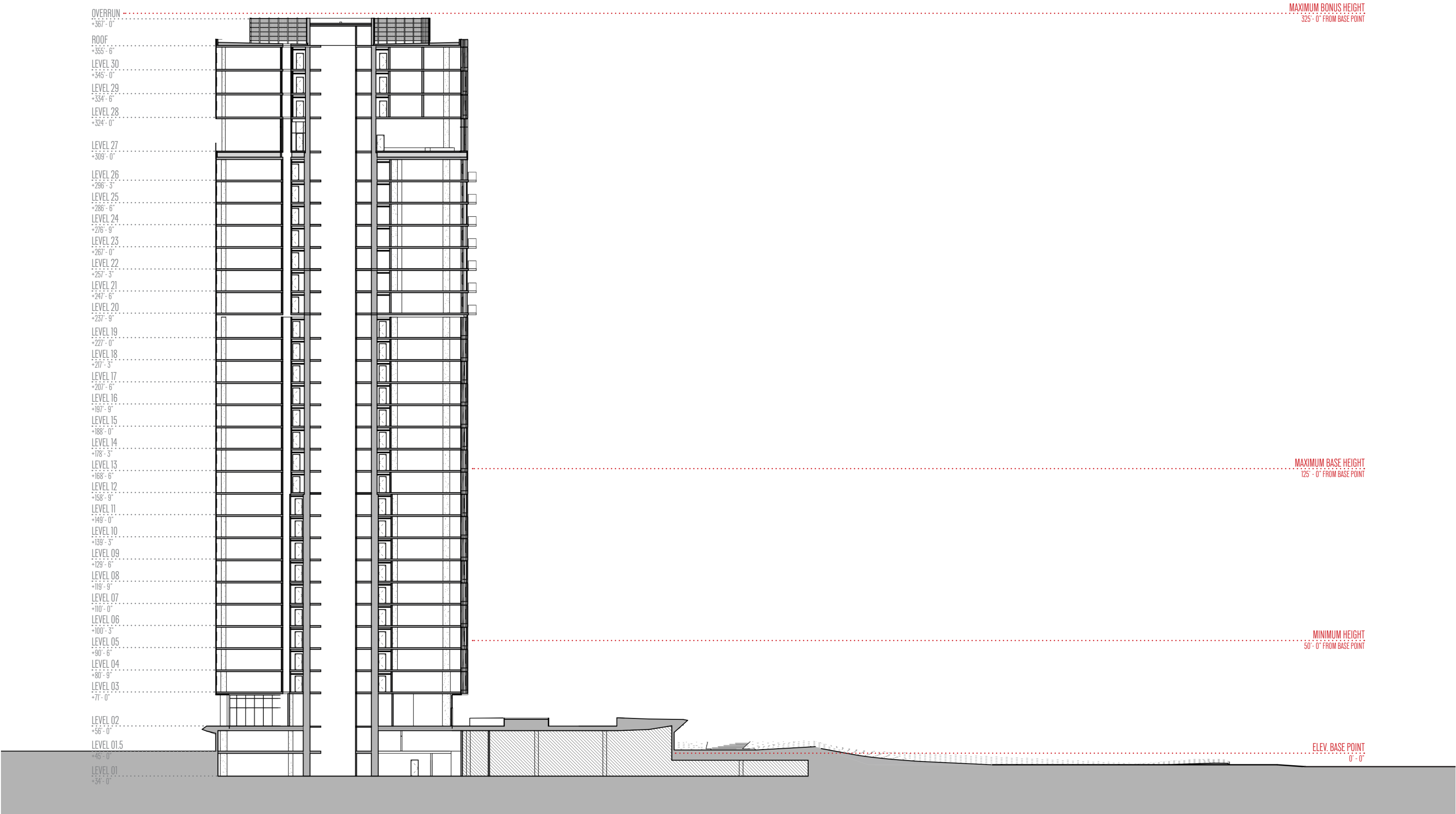


SCALE: 1" = 40' - 0"

SOUTH ELEVATION: ALONG S RIVER PARKWAY

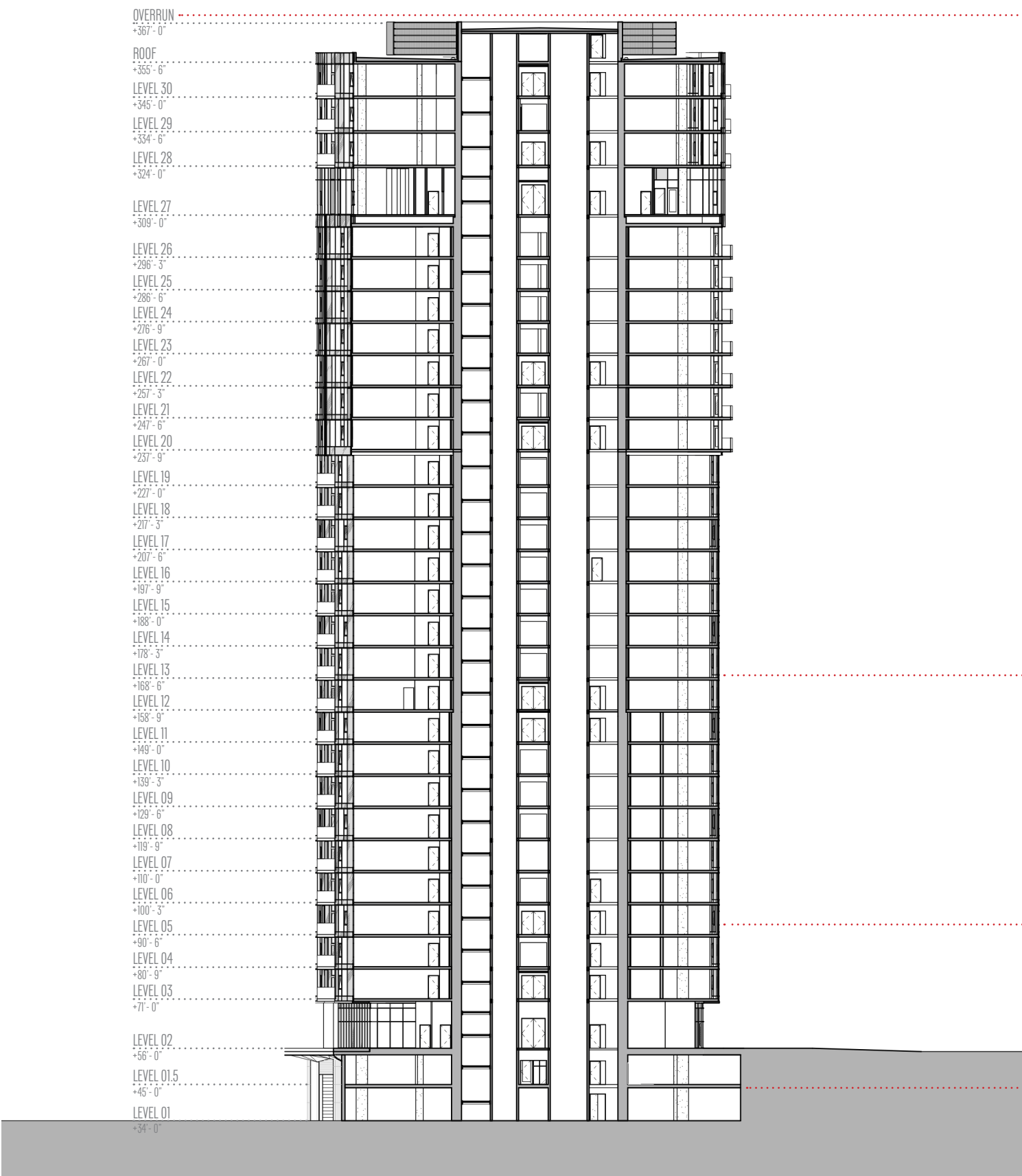


NORTH ELEVATION: ALONG PEDESTRIAN ACCESSWAY



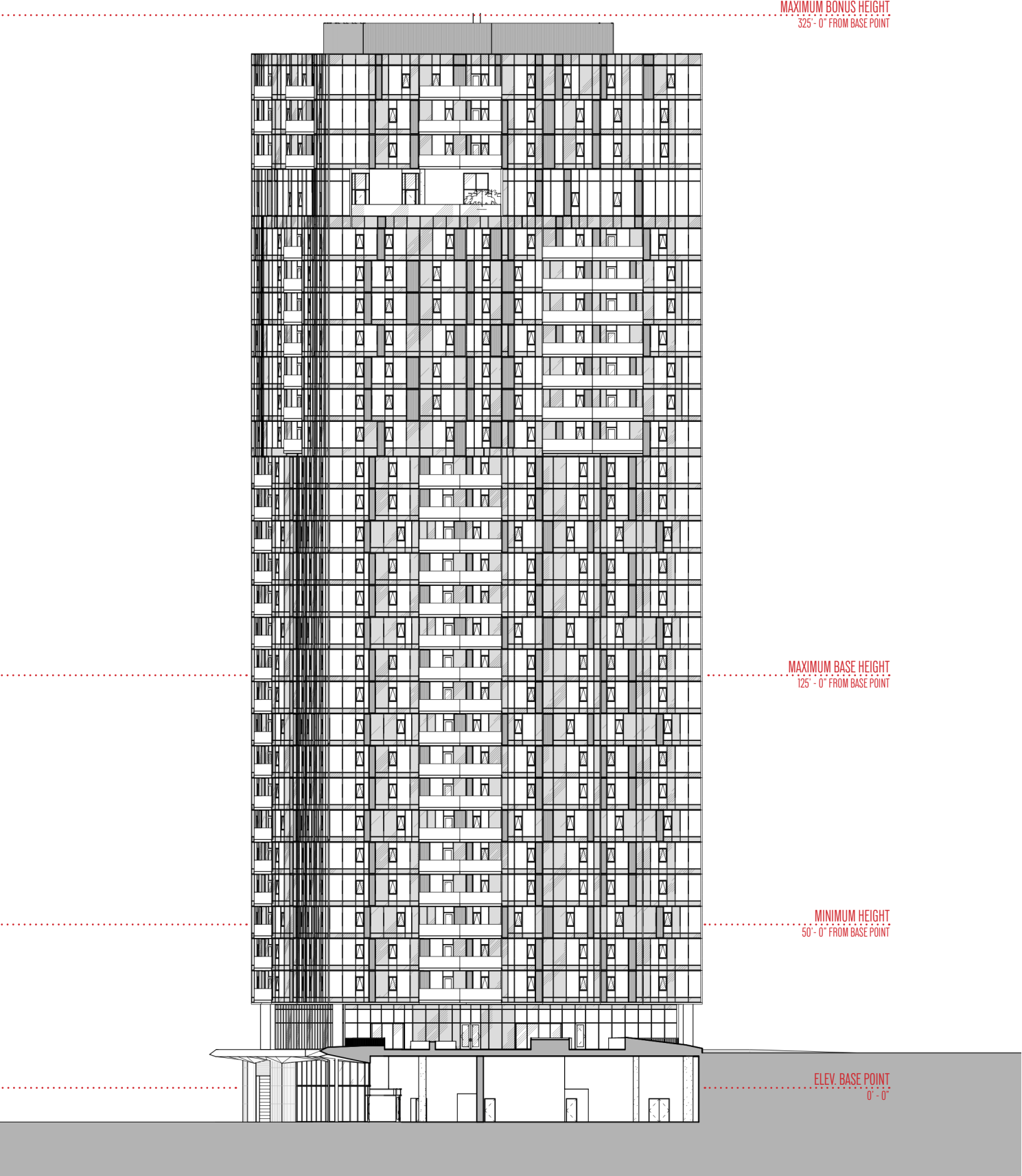
SCALE: 1" = 40' - 0"

BUILDING SECTION A-A: LOOKING WEST



SCALE: 1" = 40' - 0"

BUILDING SECTION C-C: LOOKING SOUTH AT TOWER



BUILDING SECTION B-B: LOOKING SOUTH AT LOBBY



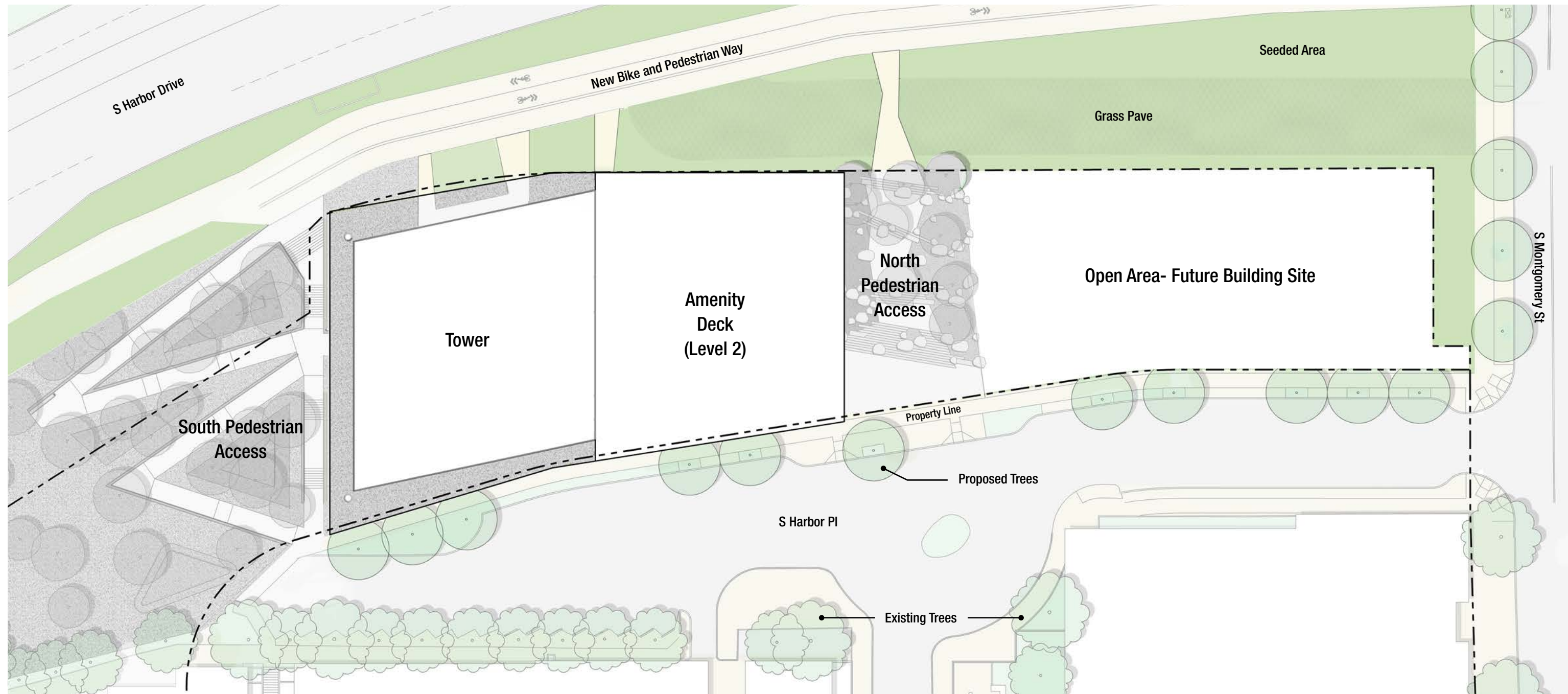
3D VIEW: LOOKING SOUTHWEST FROM MONTGOMERY & HARBOR



3D VIEW: LOOKING SOUTHEAST FROM HARBOR DRIVE

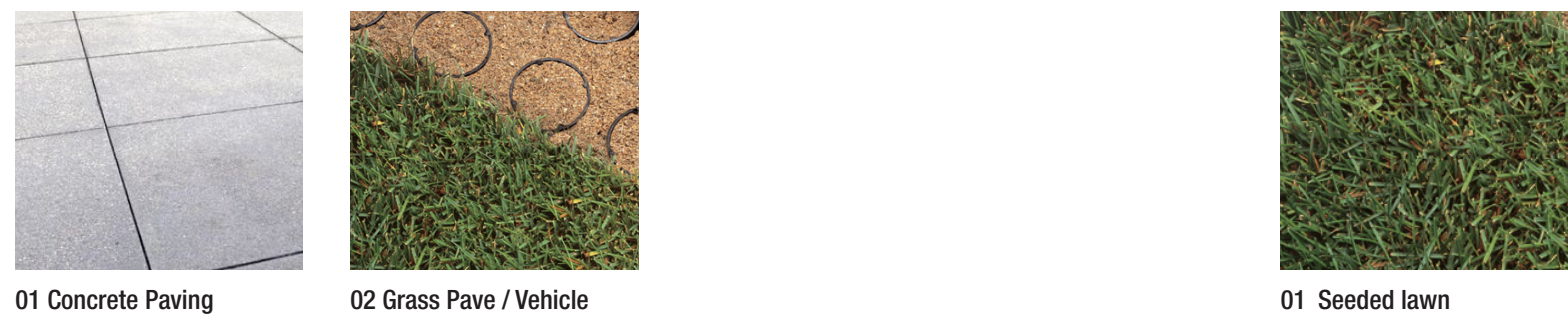


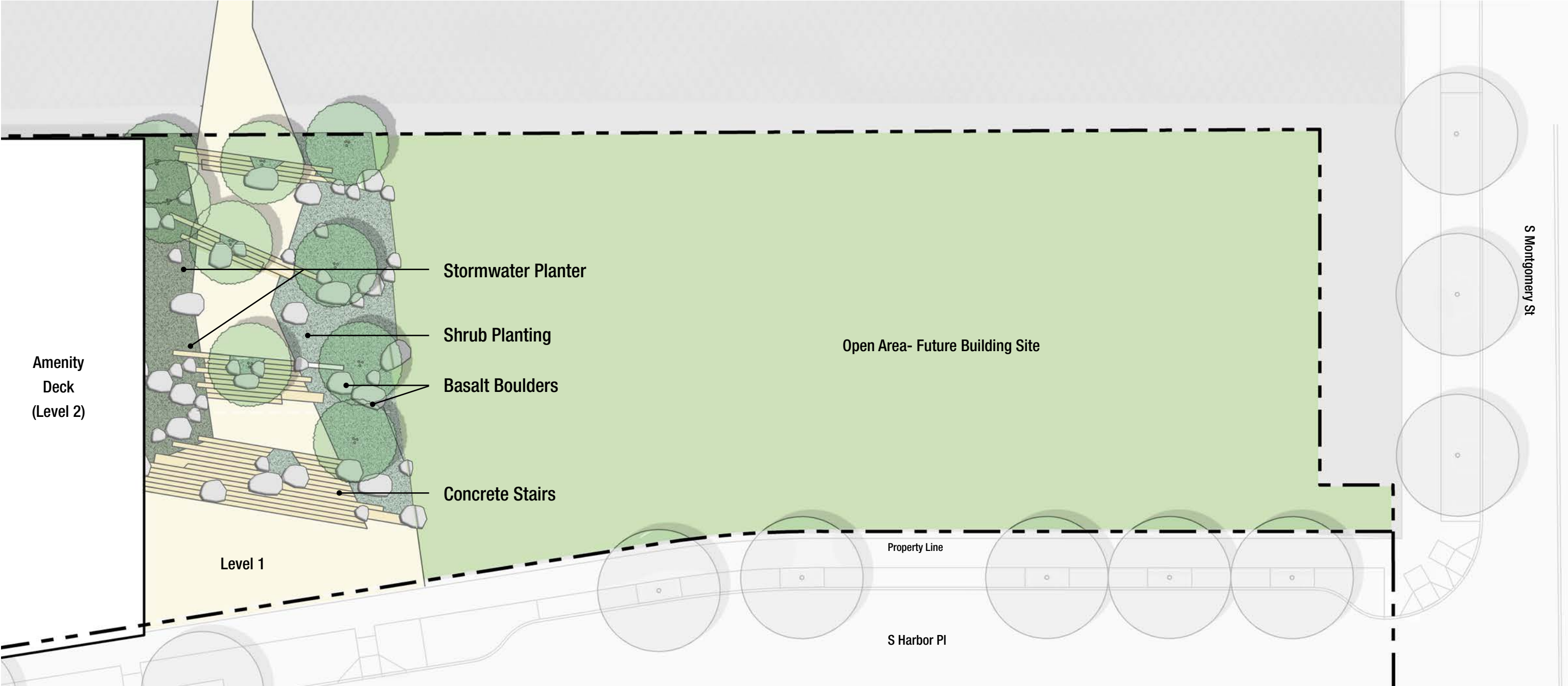
3D VIEW: LOOKING NORTH FROM HARBOR DRIVE



MATERIALS

PLANTING





MATERIALS

PLANTING



01 Concrete Paving



02 Concrete Stairs



03 Steel Handrails



04 Basalt Boulder



01 Japanese Pagoda Tree
Sophora japonica



02 Snowmound Spirea
Spiraea japonica



03 White Rock Rose
Cistus x corbariensis



04 Korean Lilac
Syringa meyeri



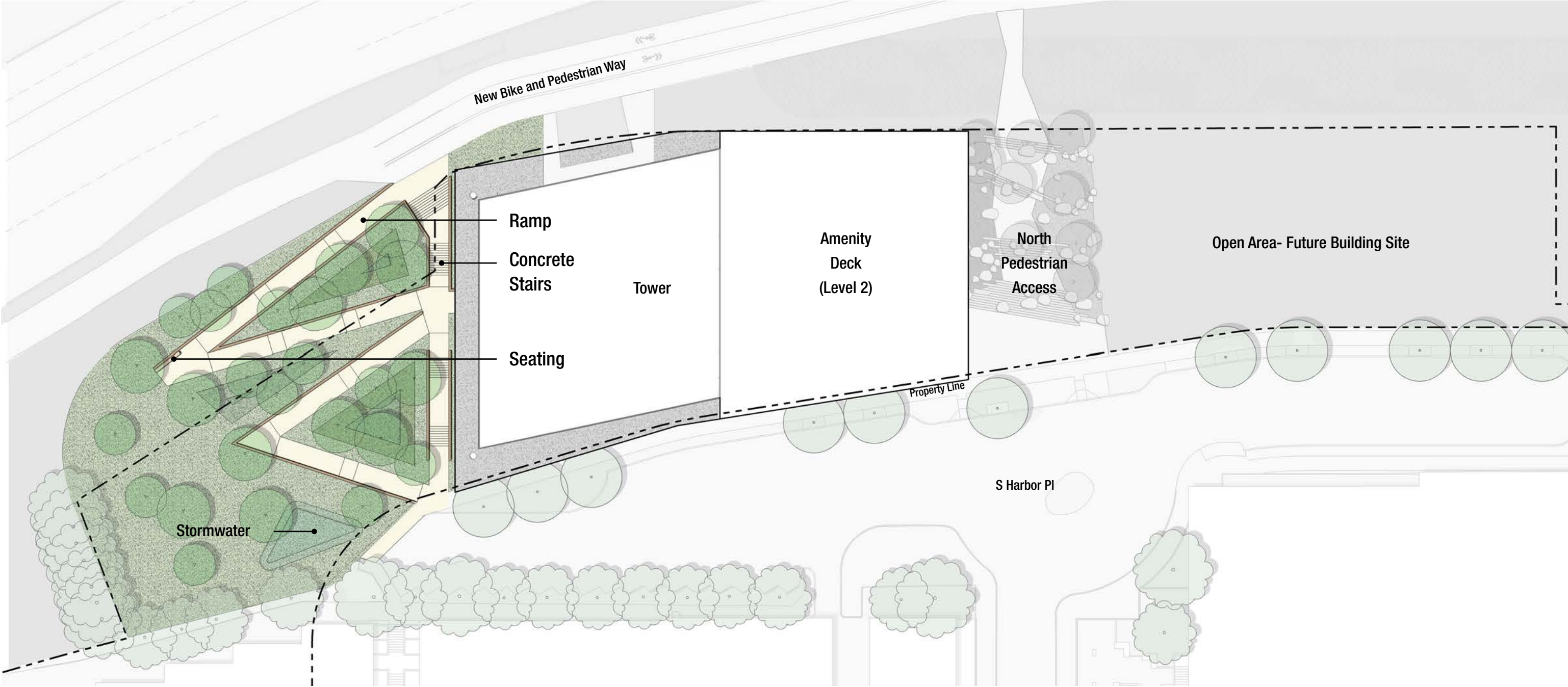
05 Western Sword Fern
Polystichum munitum



06 Point Reyes Ceanothus
Ceanothus gloriosus

N► SCALE: 1" = 20'

ENLARGED LANDSCAPE PLAN:NORTH PEDESTRIAN ACCESS & OPEN AREA



MATERIALS



01 Concrete Paving "A"



02 Concrete Stairs



03 Steel Handrails

PLANTING



01 Ocean Spray
Holodiscus discolor



02 White Rock Rose
Cistus x corbariensis



03 Snowberry
Symphoricarpos albus



04 Evergreen huckleberry
Vaccinium ovatum



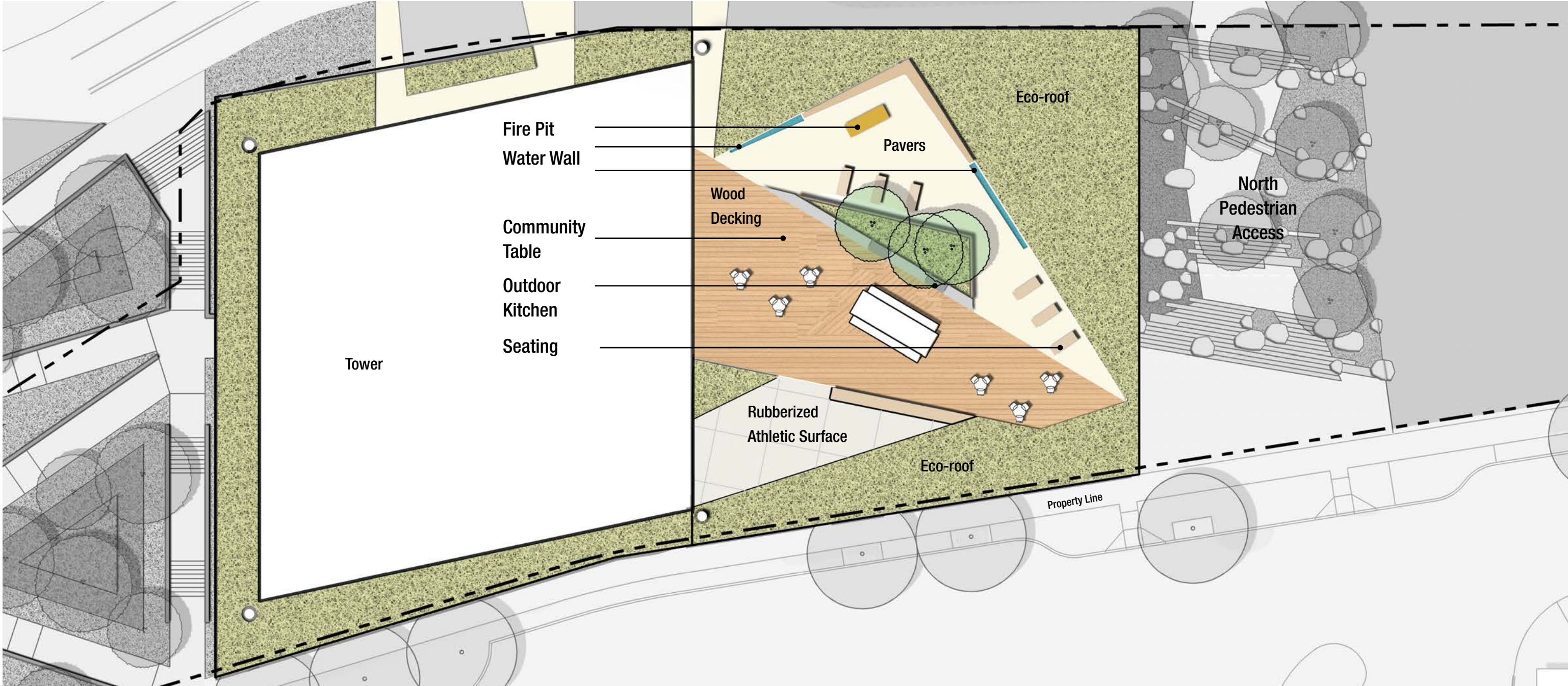
05 Birchleaf Spirea
Spirea betulifolia 'Tor'




06 Creeping Ore. Grape
Mahonia repens

N► SCALE: 1" = 40'

ENLARGED LANDSCAPE PLAN:SOUTH PEDESTRIAN ACCESS & OPEN AREA



MATERIALS



01 Pavers



02 Wood Decking




03 Rubber Surface




04 Stone water wall

PLANTING




01 Eco Roof



02 Blue Mist Fothergilla
Fothergilla gardenii



03 Autumn Moor Grass
Sesleria autumnalis



04 Tufted Hair Grass
Deschampsia cespitosa
'northern linhts'



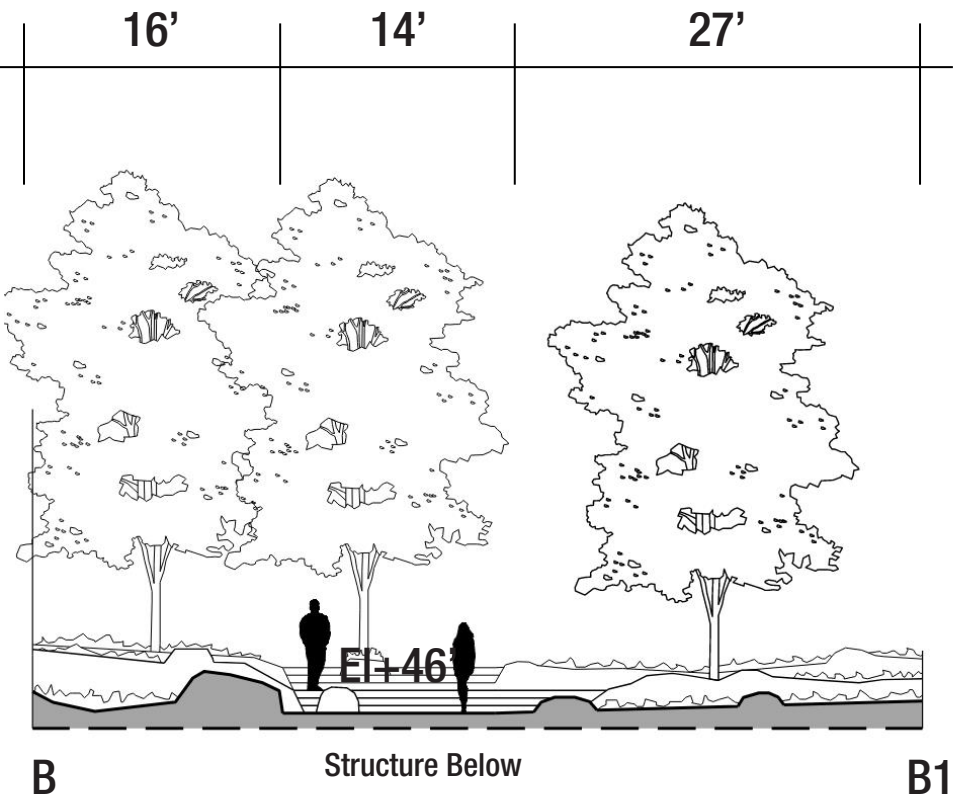
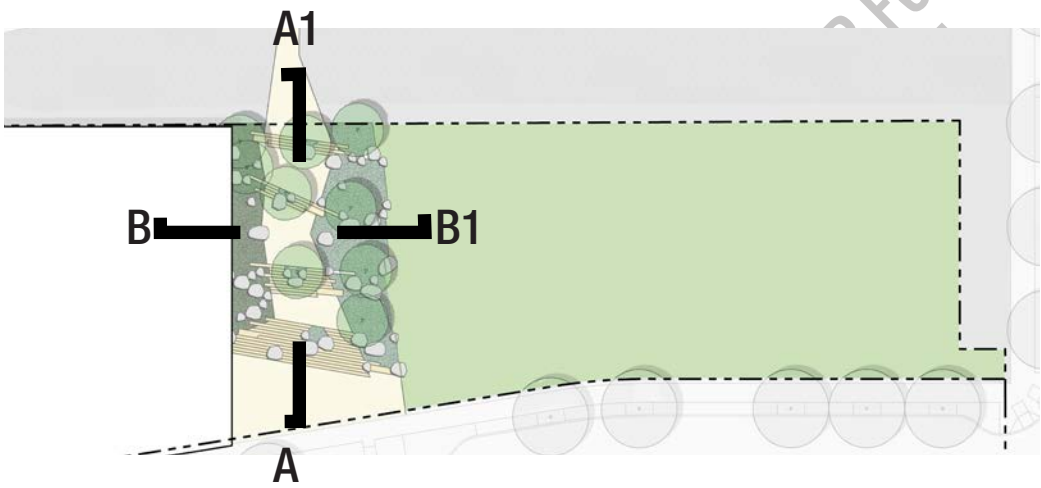
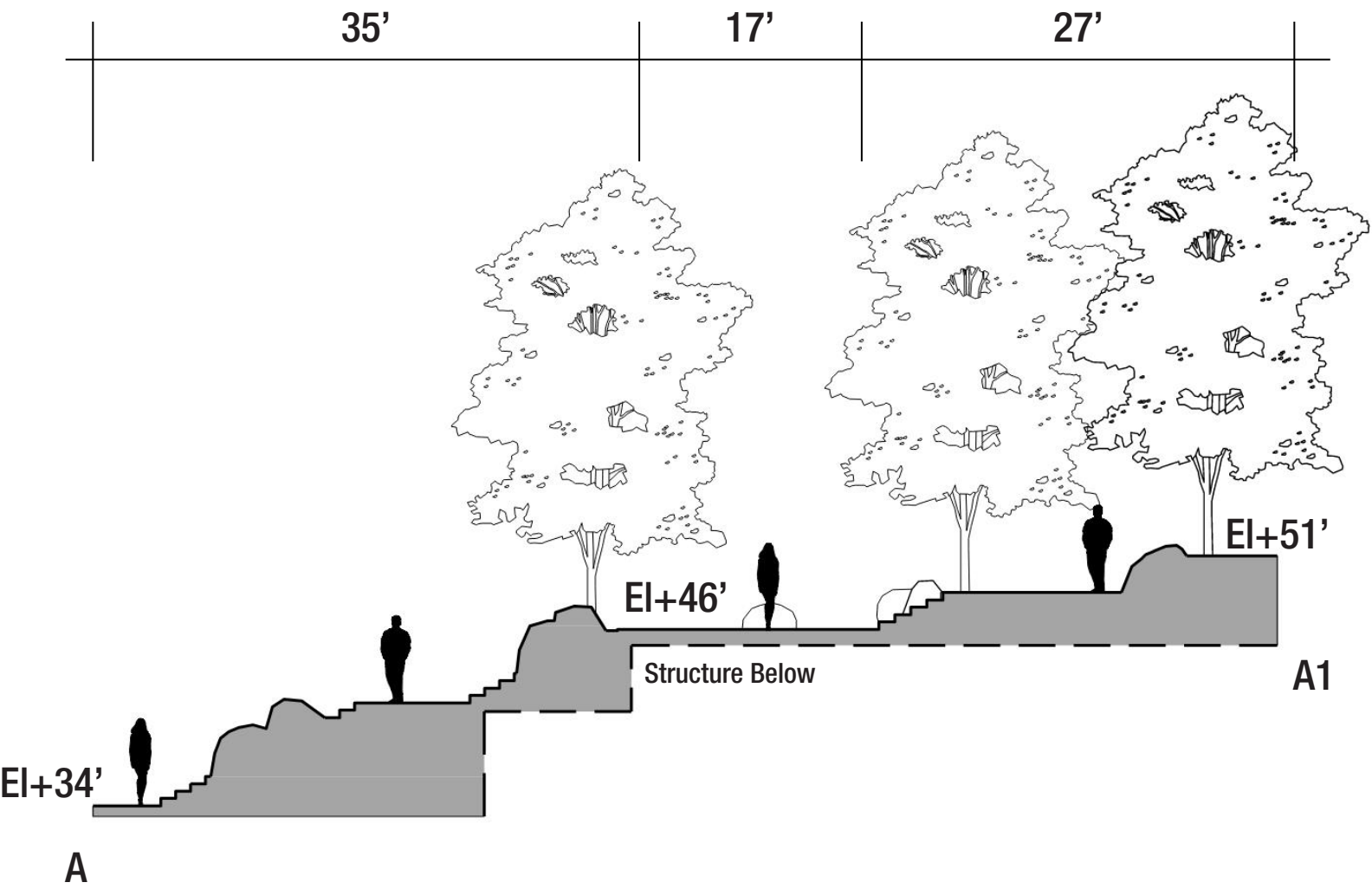
05 Kinnikinnick
Arctostaphylos
uvaursi

N► SCALE: 1" = 20'

LANDSCAPE PLAN: LEVEL 02

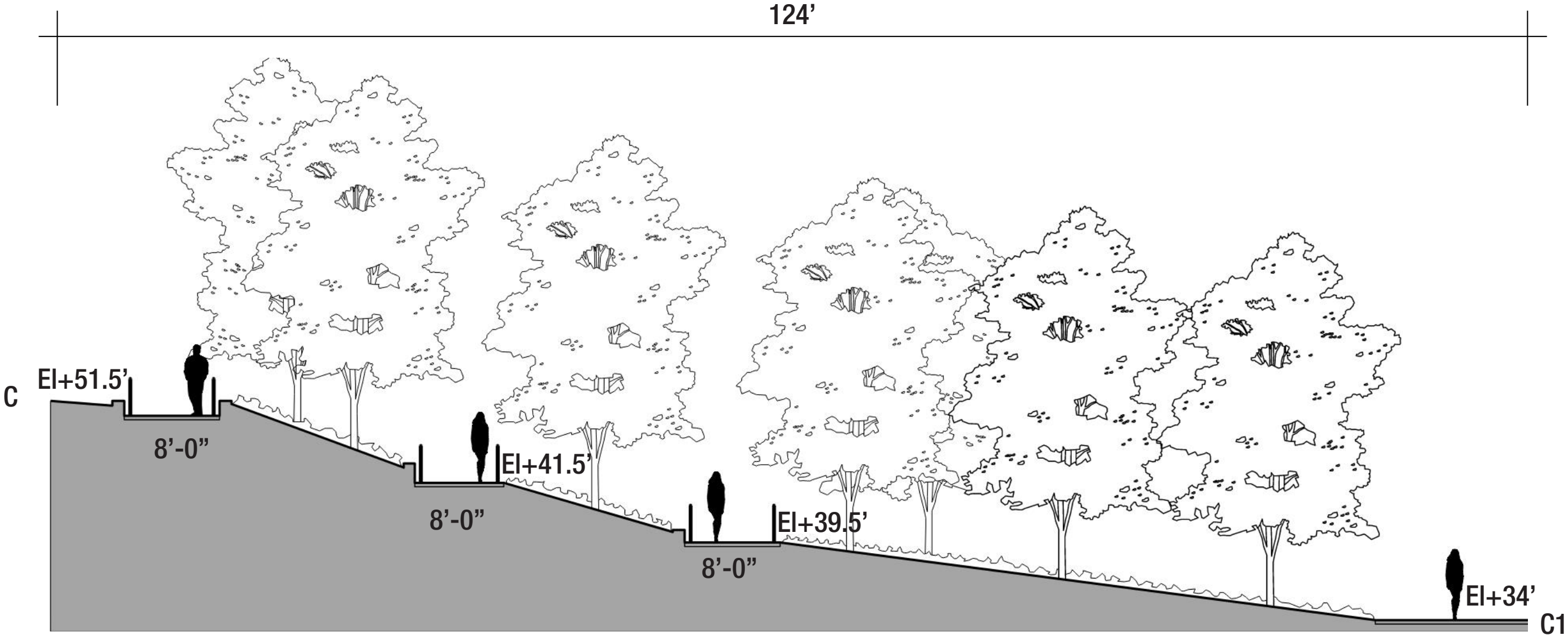
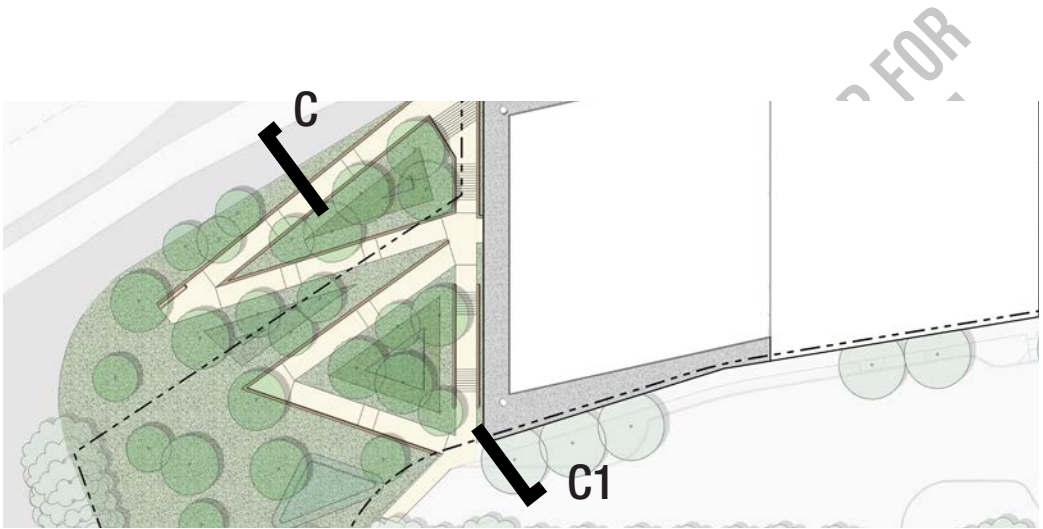
GBD Architects

EA 22-119953 AD, Exhibit C.40 C.40



SCALE: 1/8" = 1'-0"

LANDSCAPE SECTION - NORTHPEDESTRIAN ACCESS & OPEN AREA

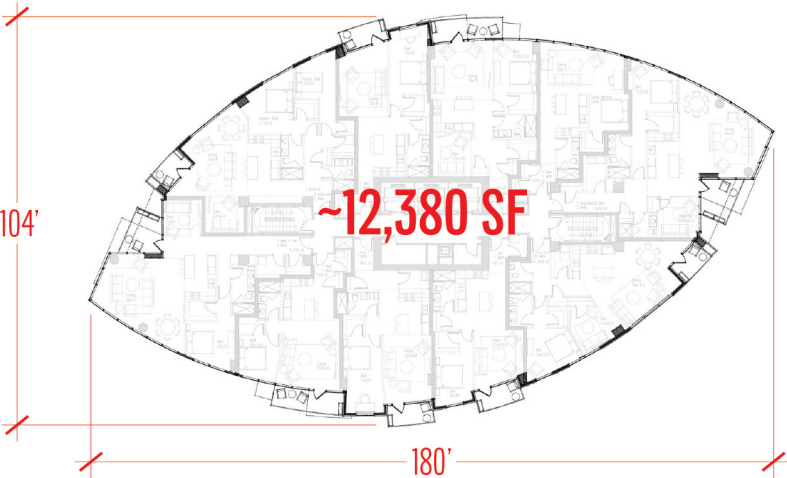


SCALE: 1/8" = 1'-0"

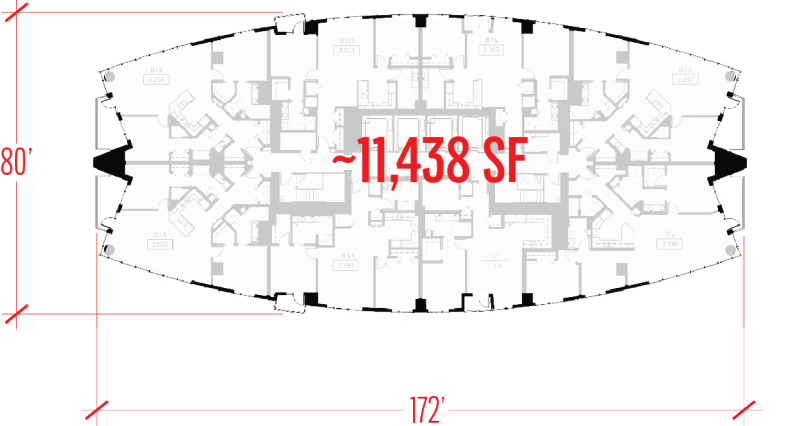
LANDSCAPE SECTION -SOUTH PEDESTRIAN ACCESS & OPEN AREA

QUESTIONS FOR DESIGN ADVICE REQUEST

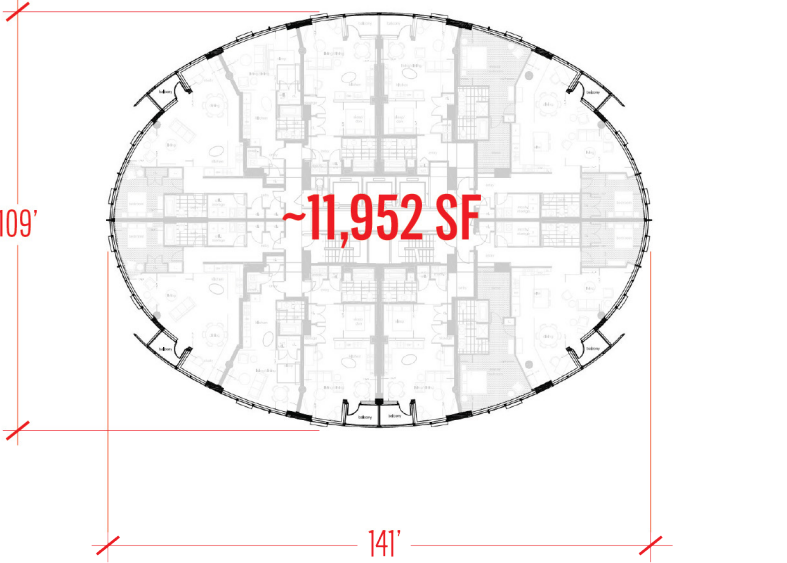
1. TOWER FLOOR PLATE SIZE MODIFICATION
2. TOWER FLOOR DIMENSION MODIFICATION
3. REQUIRED ECO-ROOF MODIFICATION
4. OPEN AREA DESIGN
5. GROUND FLOOR WINDOW MODIFICATION



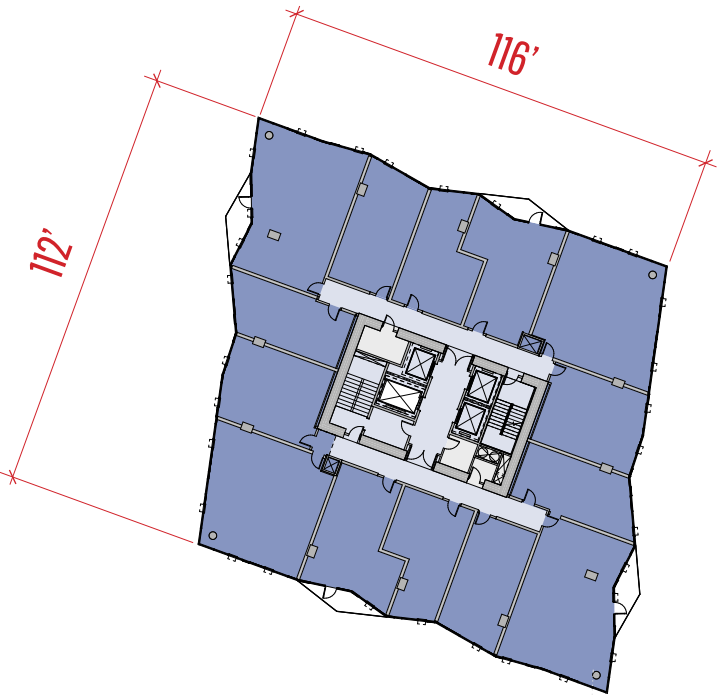
THE ARDEA - 325'
South Waterfront



MIRABELLA - 325'
South Waterfront



THE JOHN ROSS - 325'
South Waterfront



RIVERPLACE - BLOCK 1
325'

1. TOWER FLOOR PLATE SIZE MODIFICATION

REQUIREMENT

33.510.210.D.3.e RiverPlace Height Opportunity Area.

(2) Standard. If the building is taller than 75 feet, the floors of the building above 100 feet must not be more than 10,000 square feet each. Adjustments are prohibited, however modification through design review may be requested if the north-south dimension of the building above 75 feet is 112 feet or less. The north-south dimension is measured as specified in 33.510.251.A.3.e

PROPOSAL

The building is seeking the modification allowed through design review to provide a larger than 10,000 square foot floor plate above 75' in height. Using the South Waterfront Subdistrict as the most relevant example for these types of buildings, the Block 1 tower is seeking a maximum floor plate size up to 12,500 square feet (the same allowance granted for all three buildings constructed in South Waterfront that reach a building height of 325'). Rather than start the 12,500 square foot plates at the 75' height limit, the project proposal is to start that lower in the building at the second level to provide visual permeability from South Harbor Drive towards the Willamette River.

APPROVAL CRITERIA

A. The resulting development will better meet the applicable design guidelines: The proposed development better meets the applicable design guidelines as it provides more visual permeability through the site by starting the 12,500 square foot tower plates lower than 75'.

As a comparison, if this project were not utilizing the Bonus Height opportunity to reach 325' in building height and designed as a relatively slender tower of <12,500 square foot floor plates, the likely alternative would be a visual impereable slab building built to the base zone height of 125' with floor plates in the range of 16,000 square feet to 20,000 square feet that stretched the full length of the southern parcel of 200' in length.

B. On Balance, the proposal is consistent with the purpose of the standard for which a modification is requested.

In the purpose statement for RiverPlace Height Opportunity Area, the goals that are being described are being met with this proposal such as providing diverse housing opportunities, supporting high quality design, and creating additional opportunities for visual access. The intent of the code is being met. With the floor plates being enlarged from 10,000 square feet to the South Waterfront modification standard of 12,500 square feet, even more housing is being delivered than would otherwise be available. As there are 28 residential floors in the tower, the additional 2,500 square feet per floor results in an additional 70,000 square feet more of residential space in the building. At approximately 825 square feet per apartment, that additional square footage conceptually translates into 75-80 more apartments being constructed in Portland's Central City than would otherwise fit within the tower.

2. TOWER FLOOR DIMENSION MODIFICATION

REQUIREMENT

33.510.251.A.3.e Special building height corridors and tower orientation

3. Maximum north-south dimension. The north south dimension is measured as specified in Subparagraph A.3.e See Figure 510-1. Adjustments to this paragraph are prohibited; however, modifications to the standards of this paragraph may be requested through design review. In reviewing such a request, the review body will consider the results of the South Waterfront Public Views and Visual Permeability Assessment for the proposal. The north-south dimensions of buildings are limited as follows:

e. Measurements for this paragraph. The measurements for the regulations of this paragraph are as follows. See Figure 510-1:

(1) The north-south dimension of a building is measured as follows:

- From the northernmost point of the portion of a building that is at least 75' in height, a line is drawn running due east-west;
- From the southernmost point of the portion of a building that is at least 75' in height, a line is drawn running due east-west;
- A line drawn at right angles between the two east-west lines in the north south dimension

PROPOSAL

The building is seeking to modify the standards of what constitutes “north-south”. Rather than consider the cardinal north-south language, the proposal is to change the language from “northernmost point” and “southernmost point” to being 90 degrees perpendicular to the easterly and westerly street grids that exist west of the site, in most of downtown, and were adopted through the CCMS masterplan process.

APPROVAL CRITERIA

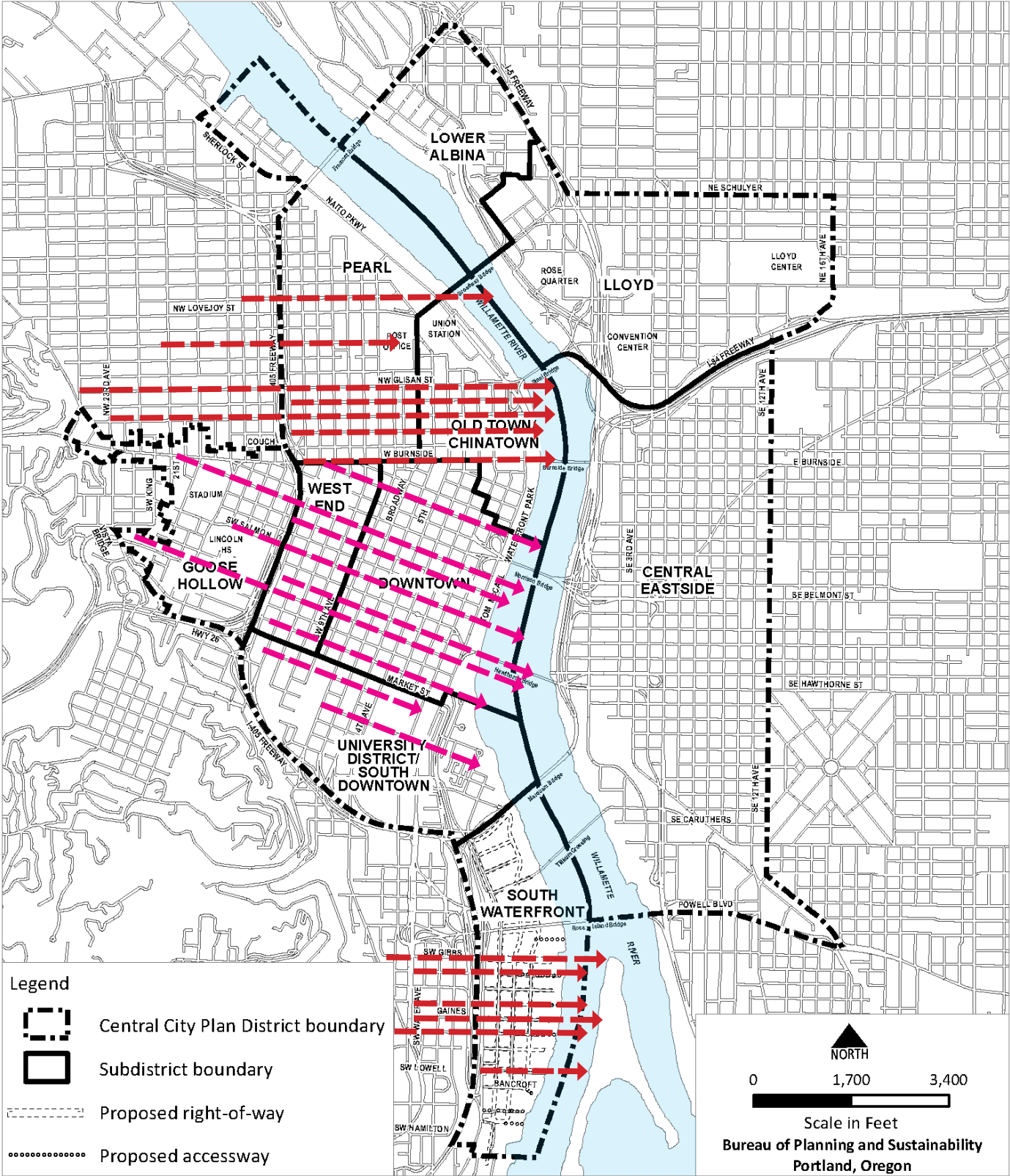
A. The resulting development will better meet the applicable design guidelines:

The proposed development better meets the applicable design guidelines as the code language being sited is particular to the South Waterfront Subdistrict and its street network that is based on the cardinal directions. In the purpose statement of this code section, the language is “Special building heights along designated east-west corridors and tower orientation standards provide visual access to the Greenway from points west of the district, provide visual access to the Tualatin Hills from points east of the district, provide access to sunlight along designated streets, and encourage an urban form that is visually permeable and varied.” The South Waterfront Subdistrict street network and the buildings due west of the subdistrict are organized in a truly north-south and east-west direction. As such, the code language matches the street network in that area.

In RiverPlace, the area due west of RiverPlace and most of the Central City of downtown, the street network is rotated approximately 20 degrees east of north. As such, the modification seeks to revise the code language such that it recognizes the orientation of the street grid in this area and have the building registered to its street grid and the grid due west of the site to meet the same intent as South Waterfront where buildings are registered and oriented along the street network in which the buildings are developed.

B. On Balance, the proposal is consistent with the purpose of the standard for which a modification is requested.

The proposal to revise the code language such that the buildings are arranged on the street network is entirely consistent with the purpose statement of the standard. The standard is about providing views through the site in an easterly and westerly direction along east-west corridors and streets. The revision to this code language recognizes the street network around RiverPlace and its unique characteristic compared to South Waterfront.



2. TOWER FLOOR DIMENSION MODIFICATION

REQUIREMENT

33.510.251.A.3.e Special building height corridors and tower orientation

3. Maximum north-south dimension. The north south dimension is measured as specified in Subparagraph A.3.e See Figure 510-1. Adjustments to this paragraph are prohibited; however, modifications to the standards of this paragraph may be requested through design review. In reviewing such a request, the review body will consider the results of the South Waterfront Public Views and Visual Permeability Assessment for the proposal. The north-south dimensions of buildings are limited as follows:

e. Measurements for this paragraph. The measurements for the regulations of this paragraph are as follows. See Figure 510-1:

(1) The north-south dimension of a building is measured as follows:

- From the northernmost point of the portion of a building that is at least 75' in height, a line is drawn running due east-west;
- From the southernmost point of the portion of a building that is at least 75' in height, a line is drawn running due east-west;
- A line drawn at right angles between the two east-west lines in the north south dimension

PROPOSAL

The building is seeking to modify the standards of what constitutes "north-south". Rather than consider the cardinal north-south language, the proposal is to change the language from "northernmost point" and "southernmost point" to being 90 degrees perpendicular to the easterly and westerly street grids that exist west of the site, in most of downtown, and were adopted through the CCMS masterplan process.

APPROVAL CRITERIA

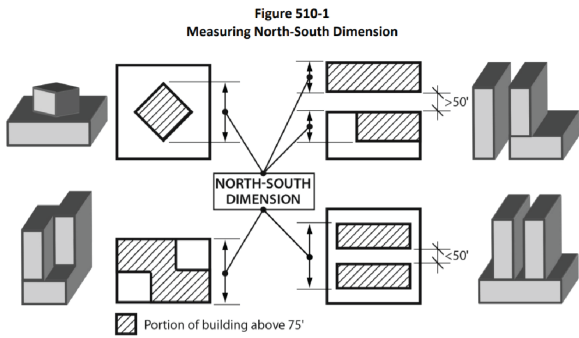
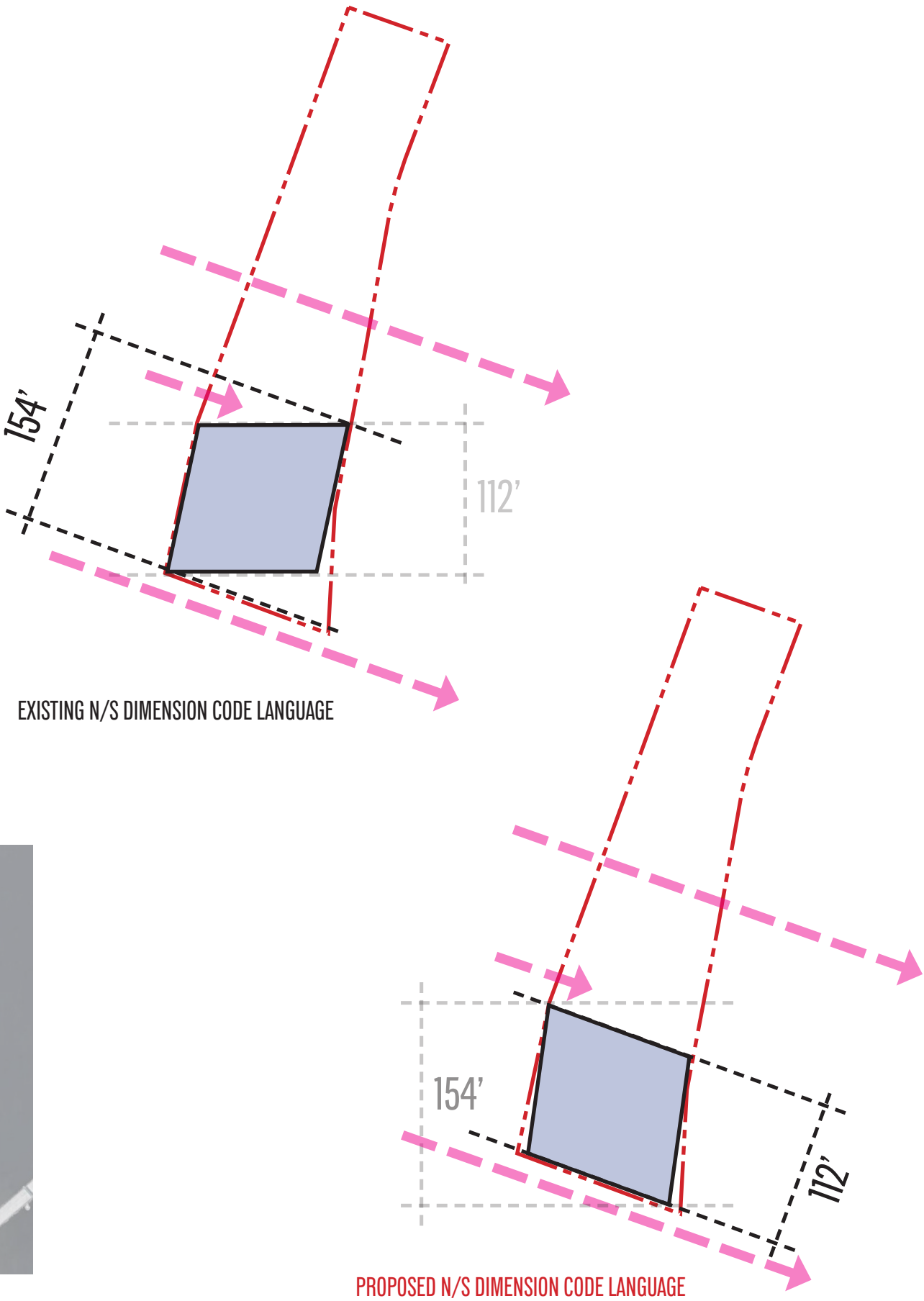
A. The resulting development will better meet the applicable design guidelines:

The proposed development better meets the applicable design guidelines as the code language being sited is particular to the South Waterfront Subdistrict and its street network that is based on the cardinal directions. In the purpose statement of this code section, the language is "Special building heights along designated east-west corridors and tower orientation standards provide visual access to the Greenway from points west of the district, provide visual access to the Tualatin Hills from points east of the district, provide access to sunlight along designated streets, and encourage an urban form that is visually permeable and varied." The South Waterfront Subdistrict street network and the buildings due west of the subdistrict are organized in a truly north-south and east-west direction. As such, the code language matches the street network in that area.

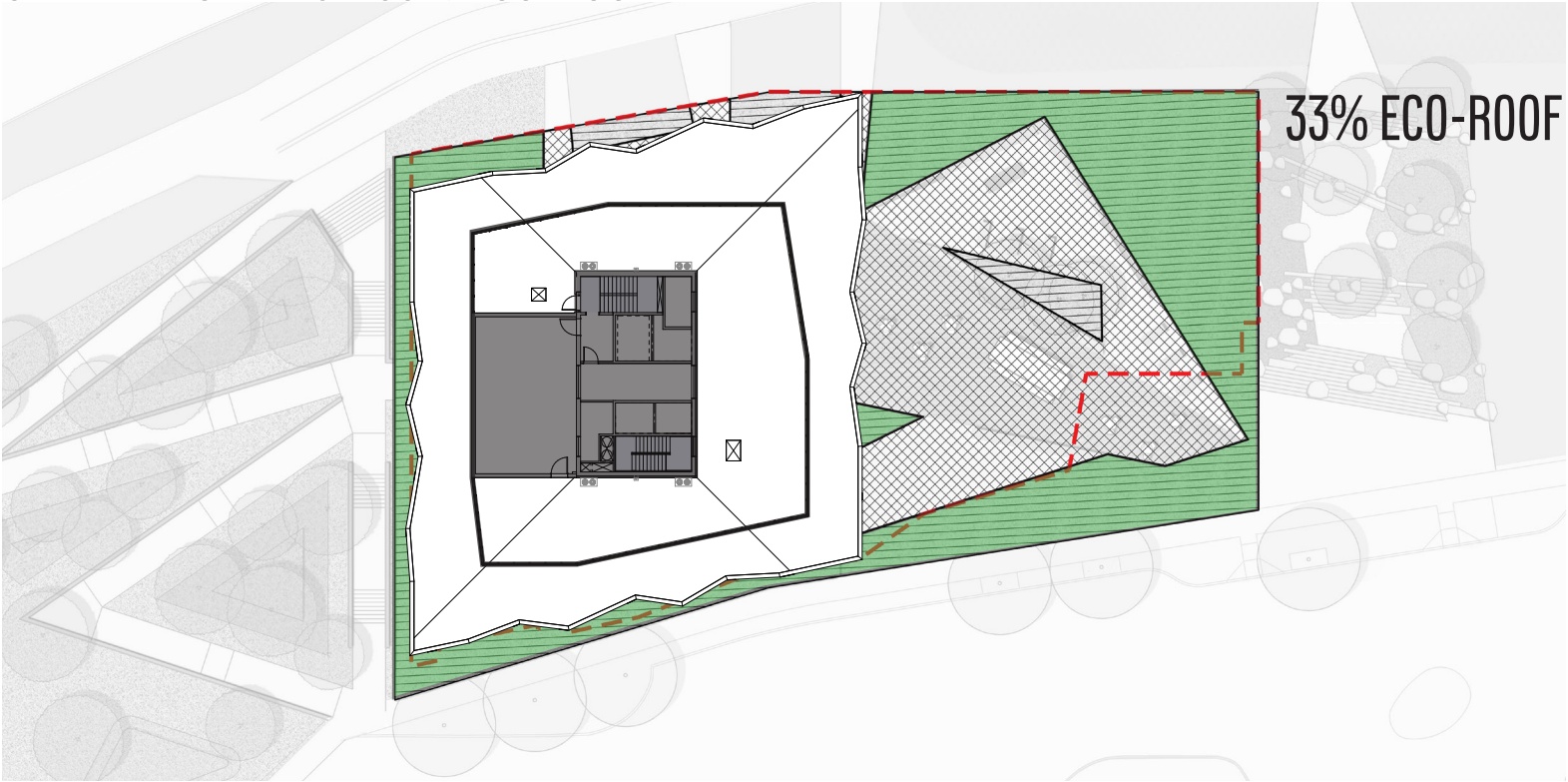
In RiverPlace, the area due west of RiverPlace and most of the Central City of downtown, the street network is rotated approximately 20 degrees east of north. As such, the modification seeks to revise the code language such that it recognizes the orientation of the street grid in this area and have the building registered to its street grid and the grid due west of the site to meet the same intent as South Waterfront where buildings are registered and oriented along the street network in which the buildings are developed.

B. On Balance, the proposal is consistent with the purpose of the standard for which a modification is requested.

The proposal to revise the code language such that the buildings are arranged on the street network is entirely consistent with the purpose statement of the standard. The standard is about providing views through the site in an easterly and westerly direction along east-west corridors and streets. The revision to this code language recognizes the street network around RiverPlace and its unique characteristic compared to South Waterfront.

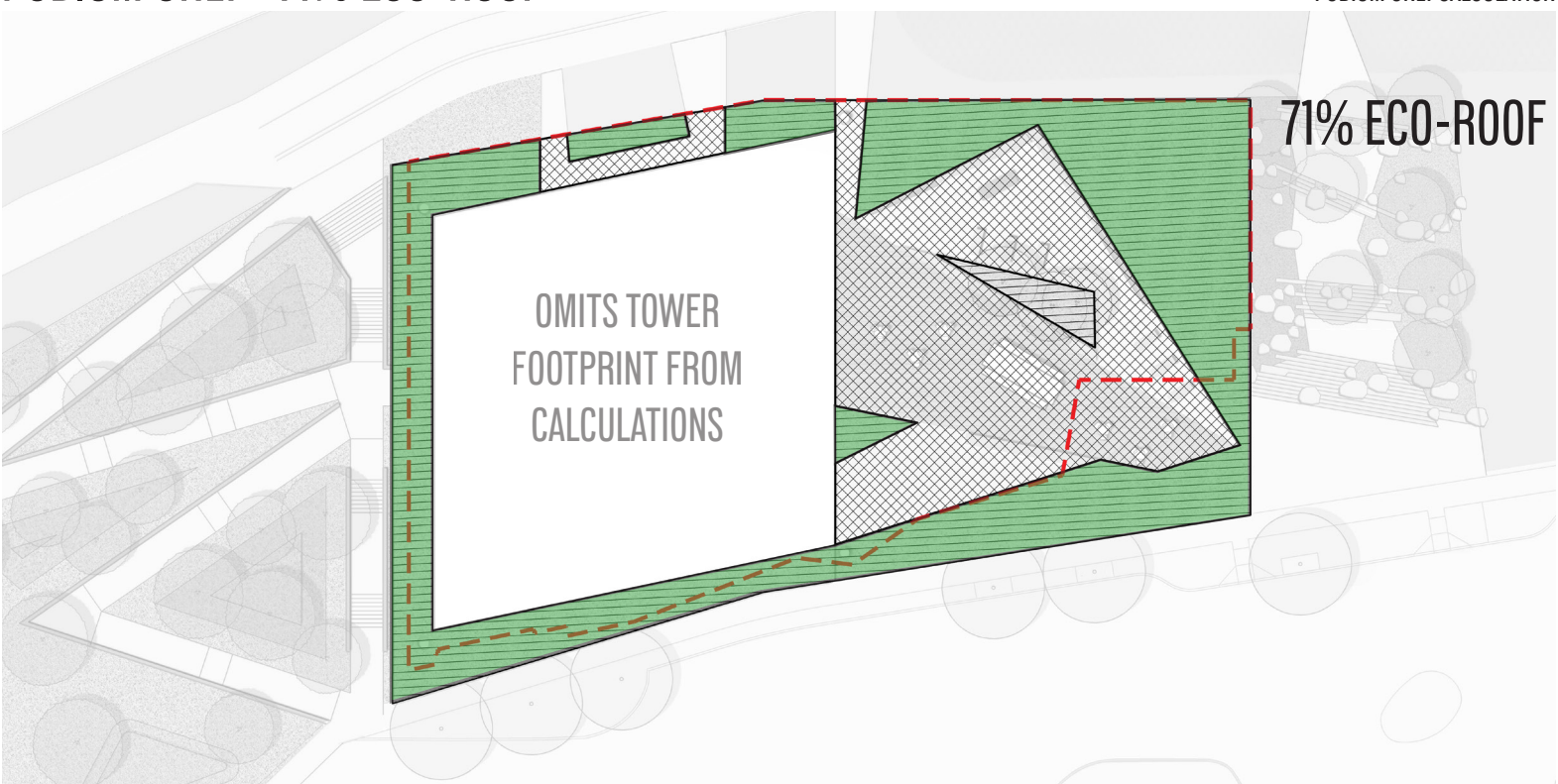


OVERALL BUILDING - 33% ECO-ROOF



ROOF PLAN WITH TOWER

PODIUM ONLY - 71% ECO-ROOF



PODIUM ROOF ONLY

3. REQUIRED ECO-ROOF MODIFICATION

REQUIREMENT

In the CX, EX, RX, and IG1 zones, new buildings with a net building area of 20,000 square feet or more must have an ecoroof that meets the following standards;

1. The ecoroofs, including required firebreaks between ecoroofs areas, must cover 100 percent of the building roof area, except that up to 40 percent of the building roof area can be covered with a combination of the following.

- a. Mechanical equipment, housing for mechanical equipment, and required access to, or clearance from, mechanical equipment;
- b. Areas used for fire evacuation routes;
- c. Stairwell and elevator enclosures;
- d. Skylights;
- e. Solar panels
- f. Wind turbines;
- g. Equipment, such as pipes and pre-filtering equipment, used for capturing or directing rainwater to a rainwater harvesting system; or
- h. Uncovered common outdoor areas. Common outdoor areas must be accessible through a shared entrance.

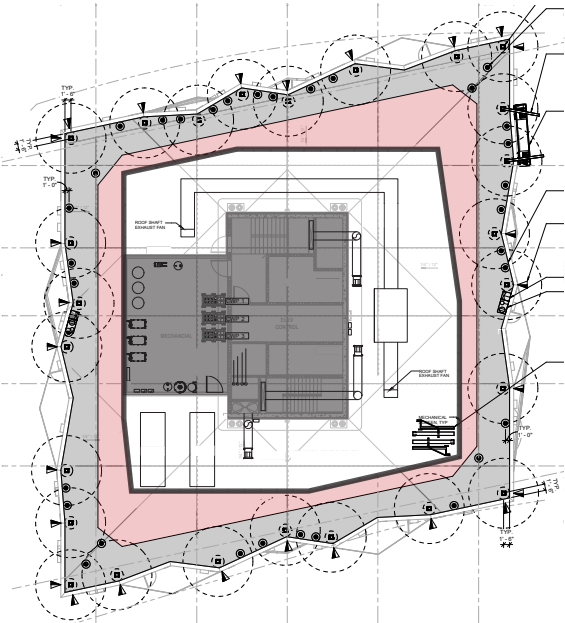
PROPOSAL

The roof of the tower is at 310 feet high. It is not recommended by experts in the industry to install an eco-roof at this elevation as the eco-roof is unlikely to survive. Additionally, on this roof there will be mechanical for the various uses, pressurization fans for the exit stairs and elevators. There will be a need to service these various pieces of equipment which then require service paths for access for periodic maintenance and repair.

The proposed solution is for the podium roof at level 2 to meet the 60% rooftop coverage and for the rooftop area that would otherwise be required to have eco-roof on the top of the building to have that area's stormwater managed at grade on the west, south, and/or northern frontages.

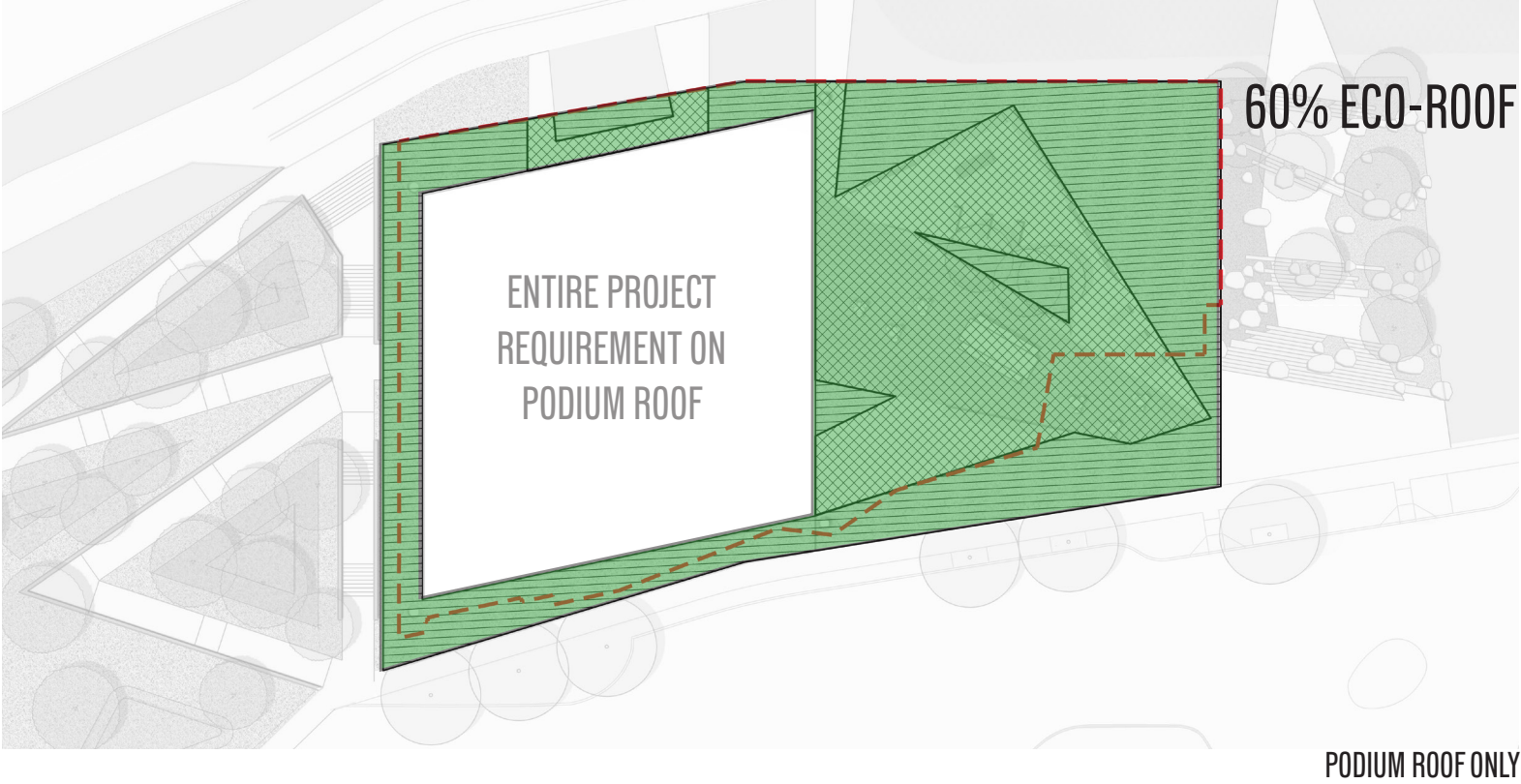
APPROVAL CRITERIA:

- A. The resulting development will better meet the applicable designed guidelines: The intent of the guideline is both aesthetic and function. The priority for stormwater in this area is treatment, and not detention. Treatment can be handled on-site to meet the standards set forth by Bureau of Environmental Services. Aesthetics for this tower are unlikely to be visible by any surrounding buildings as this building will be one of only areas with a 325' height limit in the vicinity.
- B. On Balance, the proposal will be consistent with the purpose for which a modification is requested. Industry experts do not recommend putting a planted roof this high in the building given the strong forces of wind and microclimates generated in urban environments at and around towers. The stormwater can be kept on site and treated through a series of bio-swales visible to pedestrians creating an interesting and active environment.

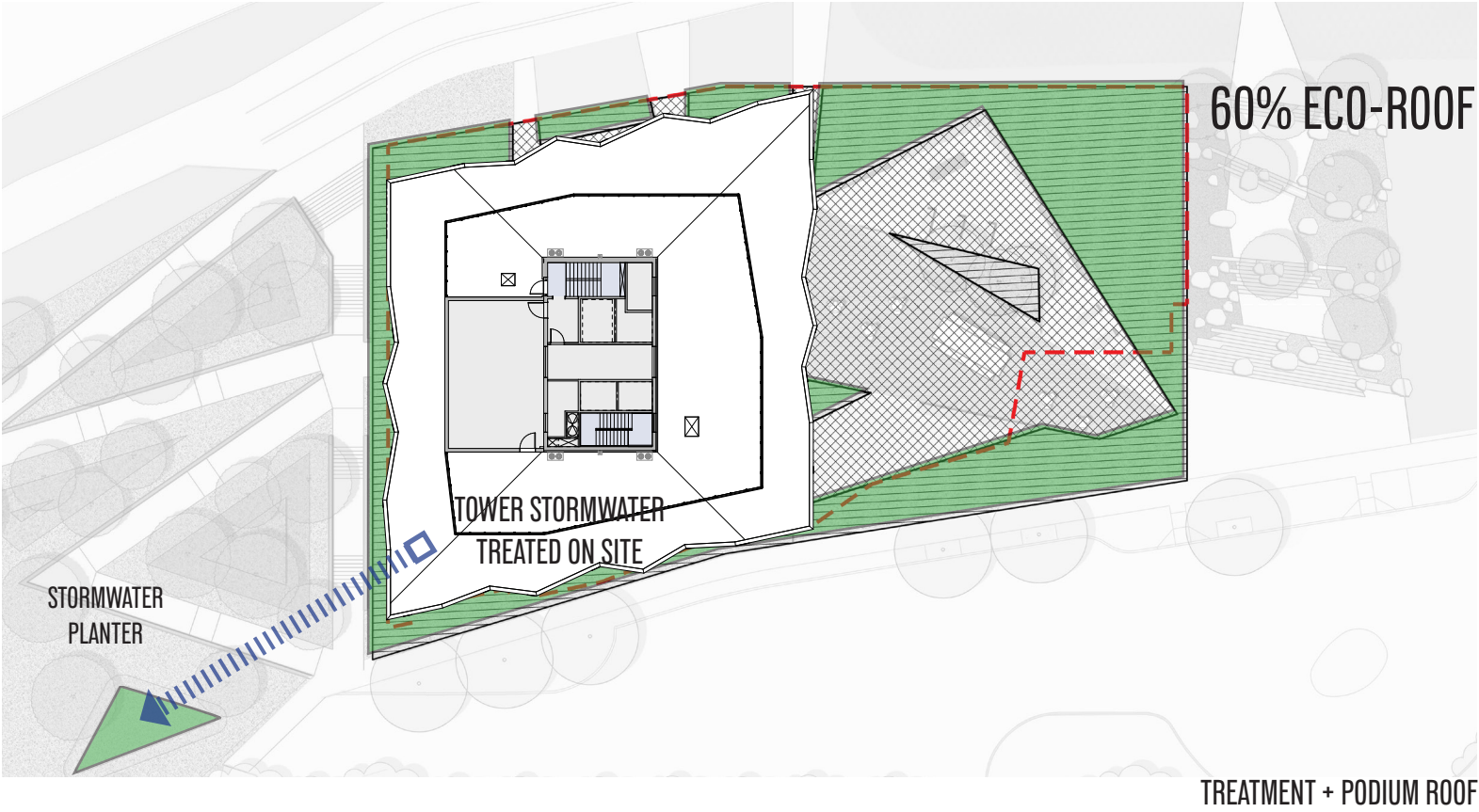


ROOF PLAN
WITH OVERLAY OF REQUIRED MECHANICAL PENTHOUSE
AND FACADE ACCESS REQUIREMENTS

PODIUM WITHOUT AMENITY TERRACE - 60% ECO-ROOF



PROPOSAL - TOWER TREATED, PODIUM ROOF IS 60% ECO-ROOF



3. REQUIRED ECO-ROOF MODIFICATION

REQUIREMENT

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 - f. Wind turbines;
 - g. Equipment, such as pipes and pre-filtering equipment, used for capturing or directing rainwater to a rainwater harvesting system; or
 - h. Uncovered common outdoor areas. Common outdoor areas must be accessible through a shared entrance.

PROPOSAL

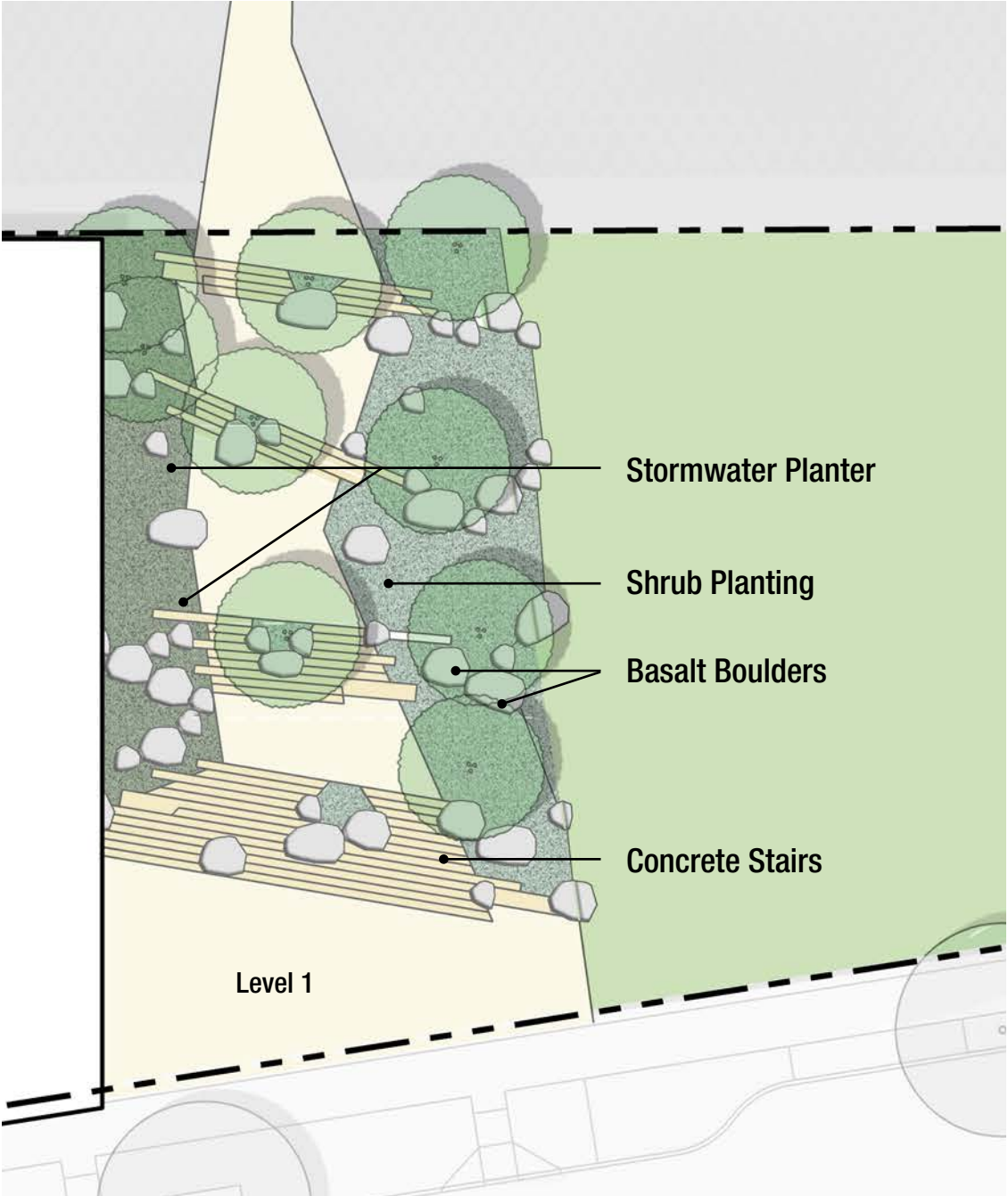
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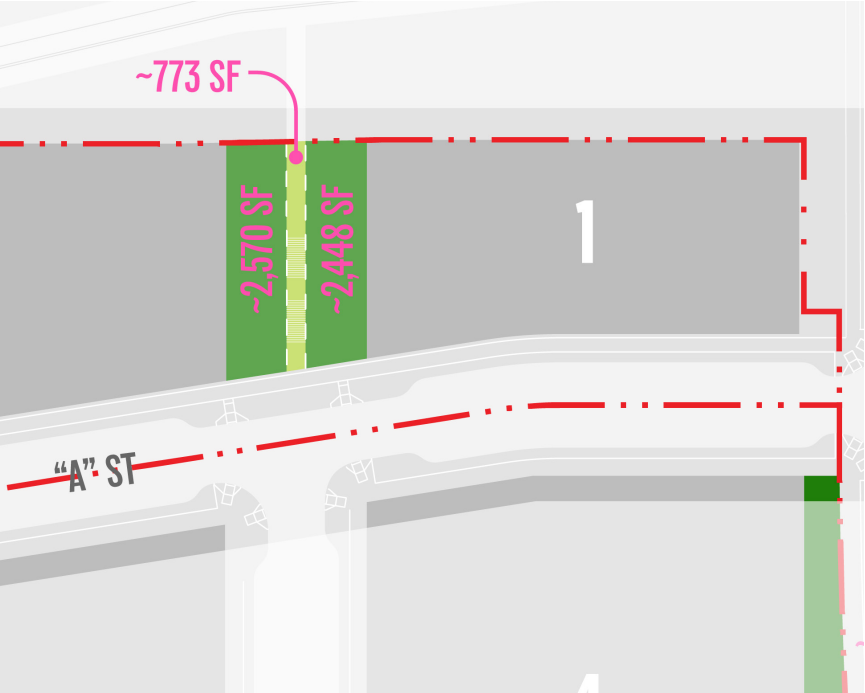
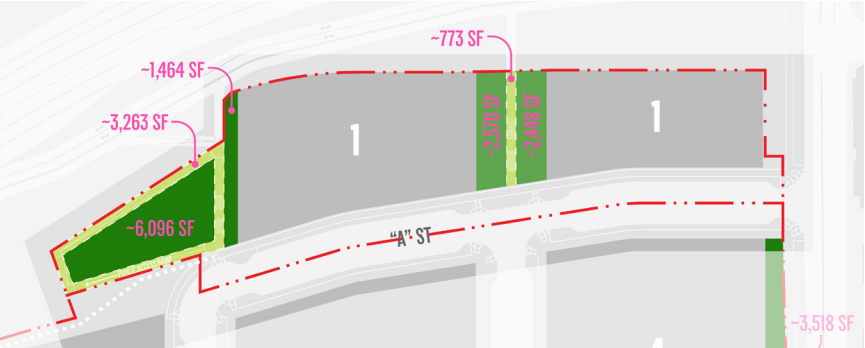
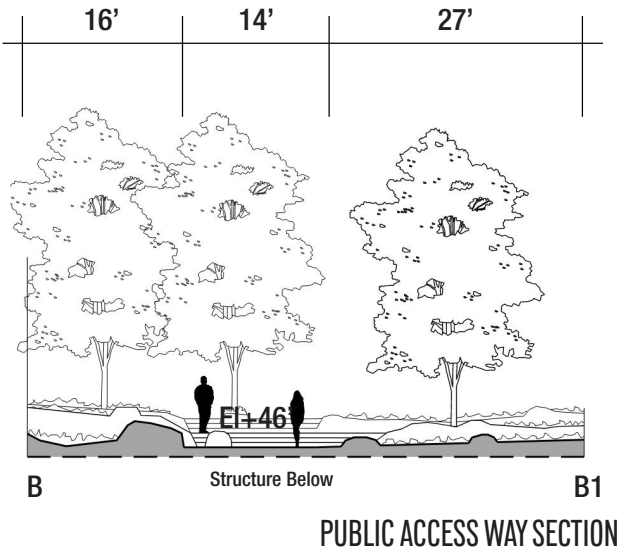
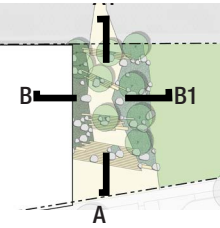
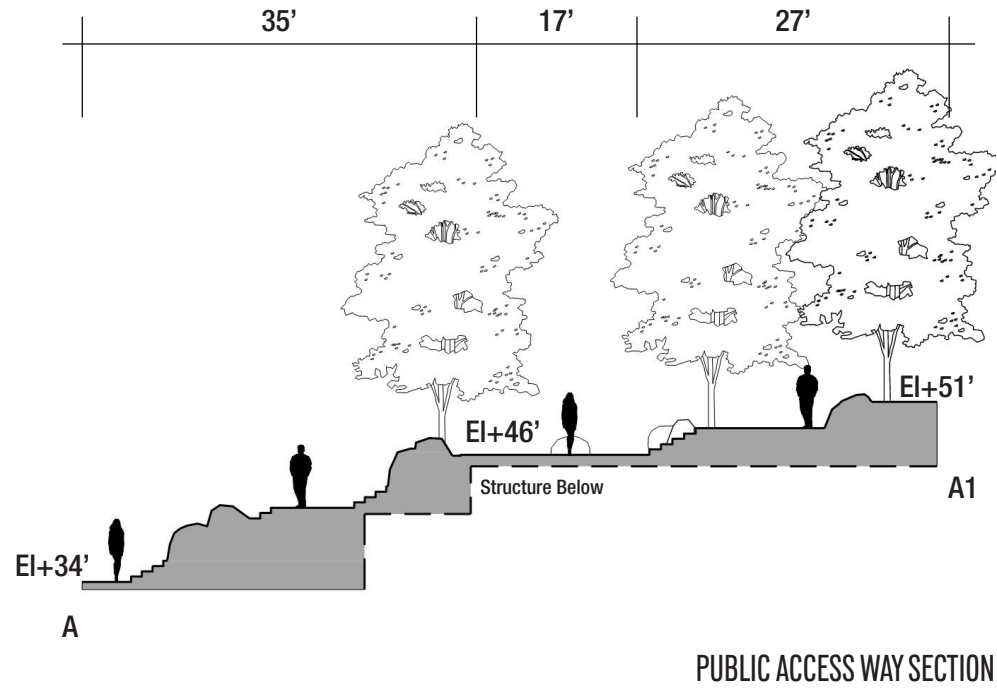
APPROVAL CRITERIA:

- A. The resulting development will better meet the applicable designed guidelines: The intent of the guideline is both aesthetic and function. The priority for stormwater in this area is treatment, and not detention. Treatment can be handled on-site to meet the standards set forth by Bureau of Environmental Services. Aesthetics for this tower are unlikely to be visible by any surrounding buildings as this building will be one of only areas with a 325' height limit in the vicinity.
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4. OPEN AREA DESIGN

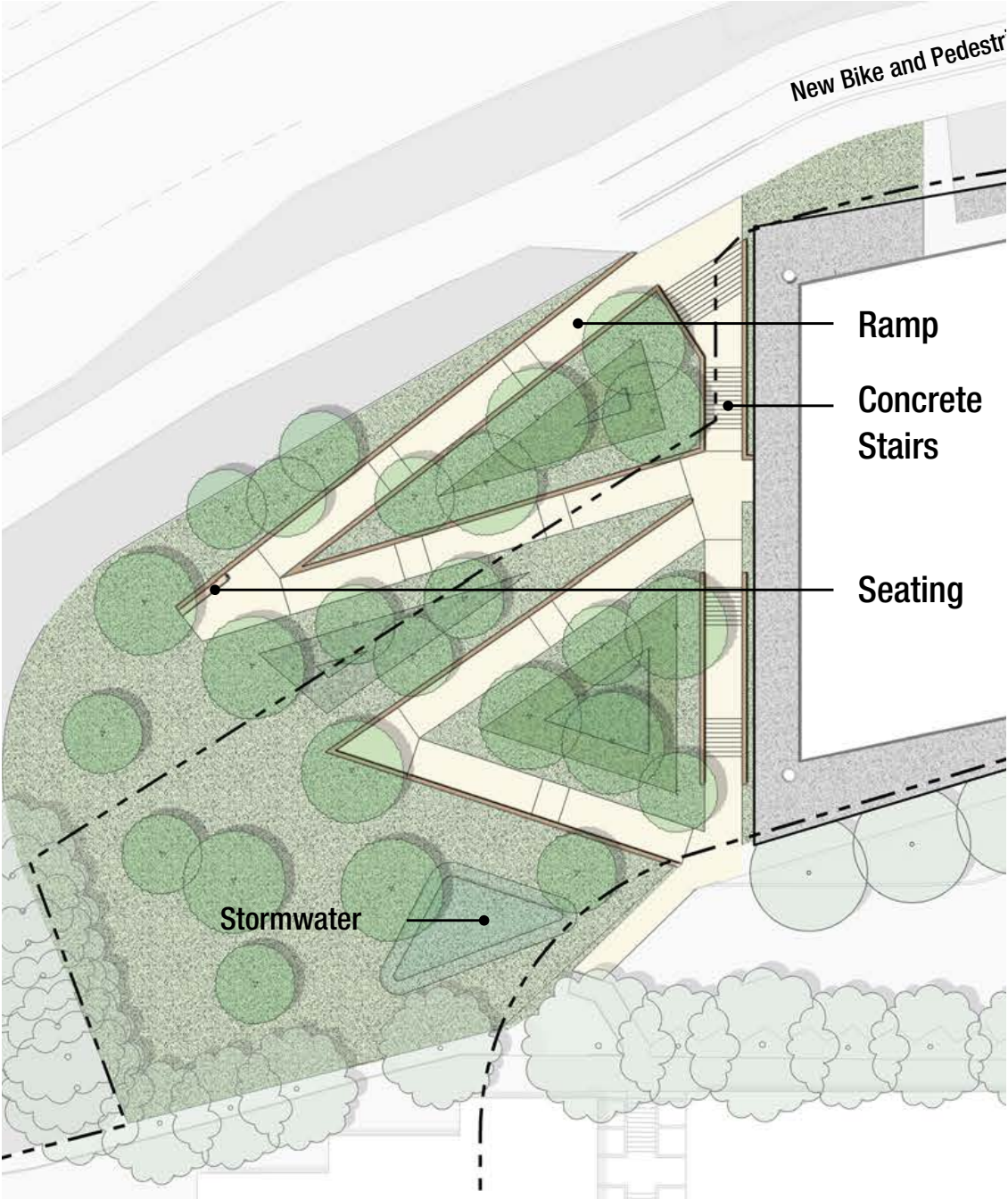


PUBLIC ACCESS WAY SITE PLAN

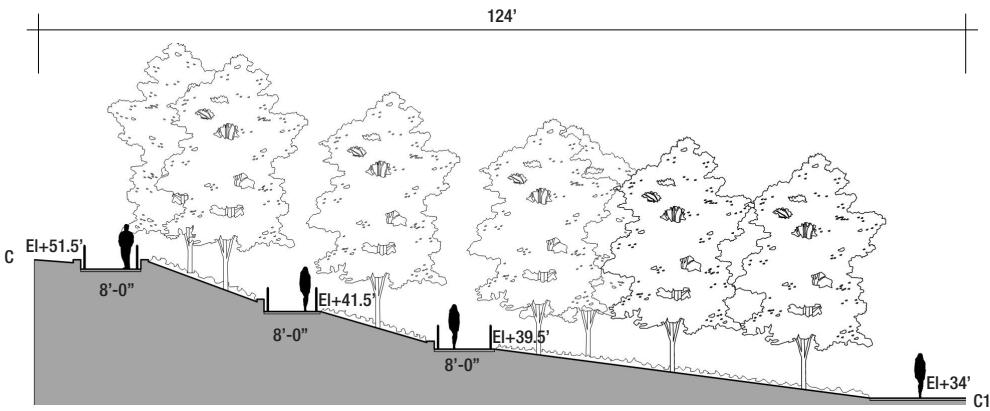
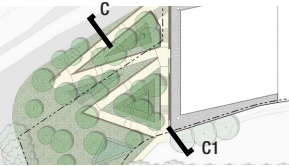
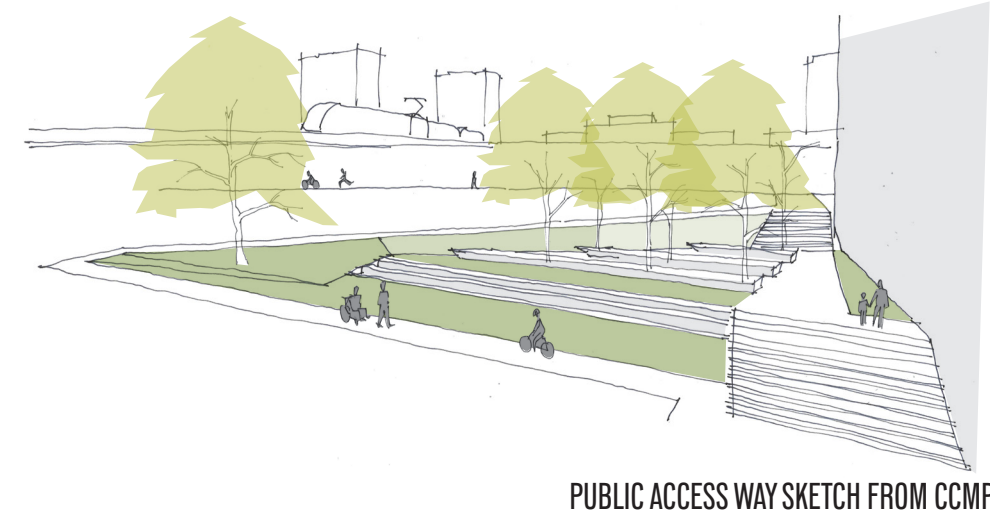


PUBLIC ACCESS WAY CCMP DIAGRAM

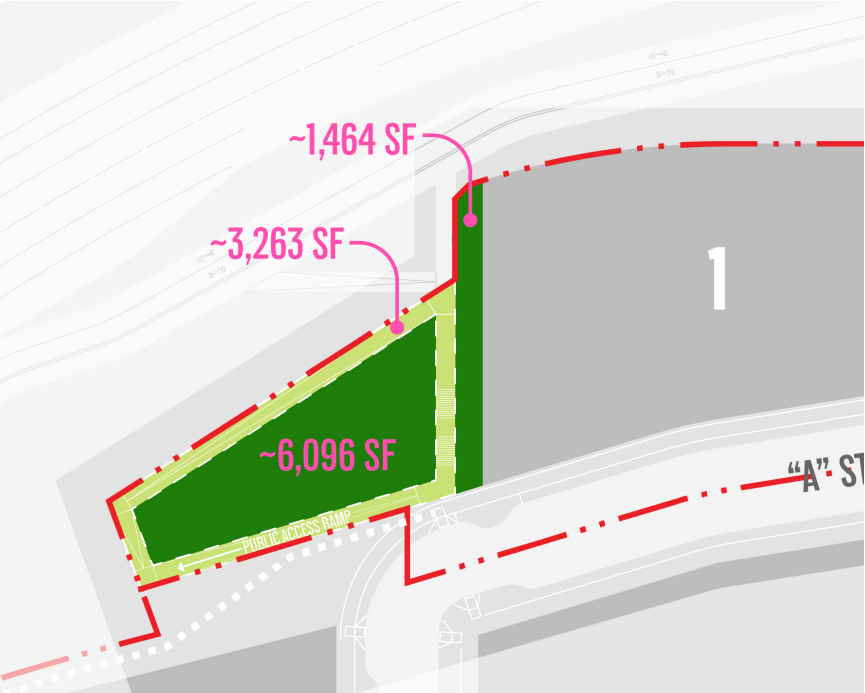
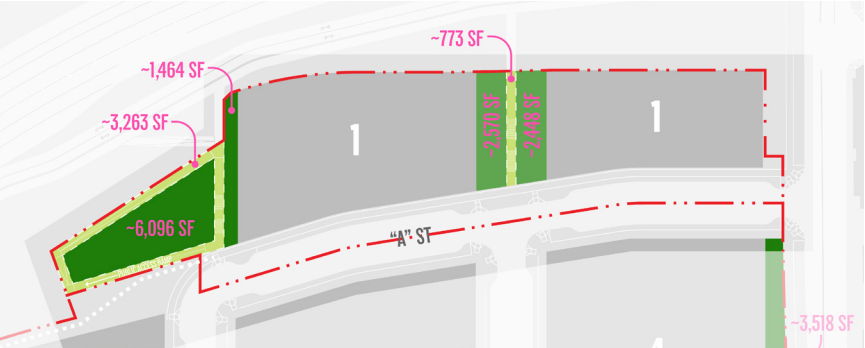
4. OPEN AREA DESIGN



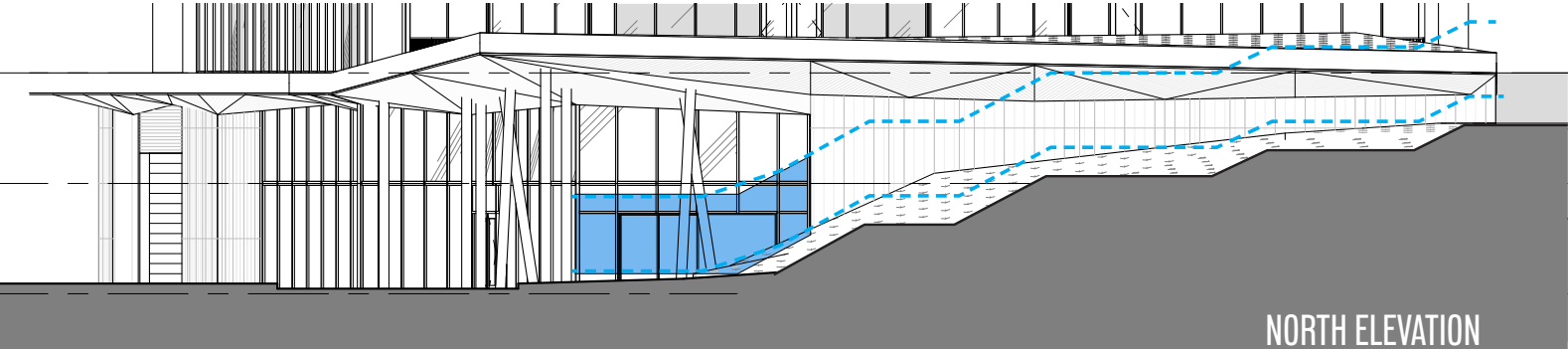
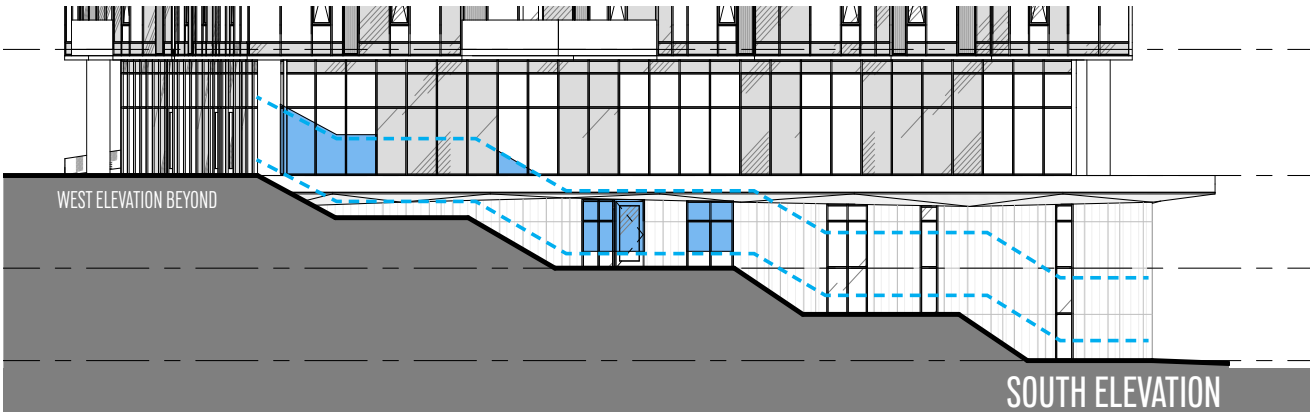
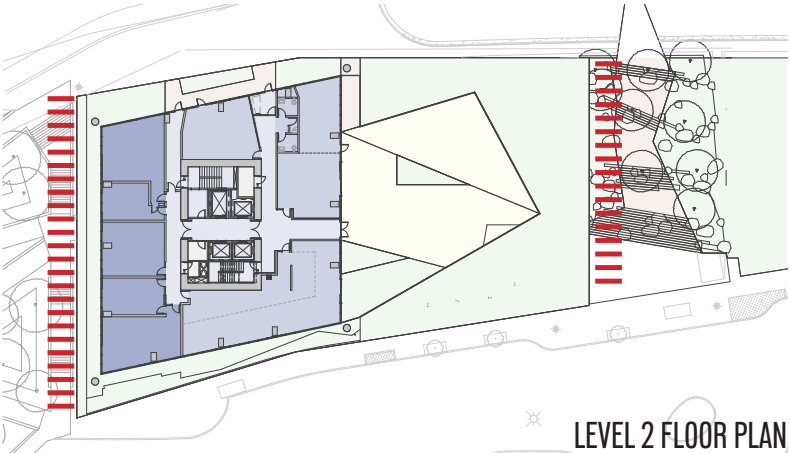
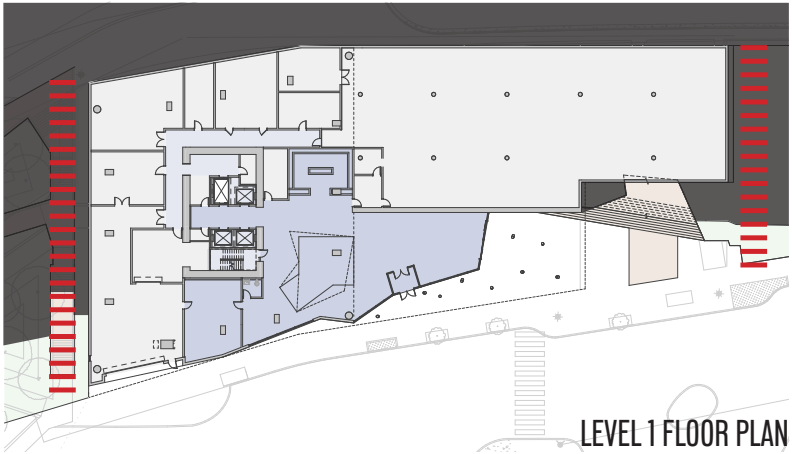
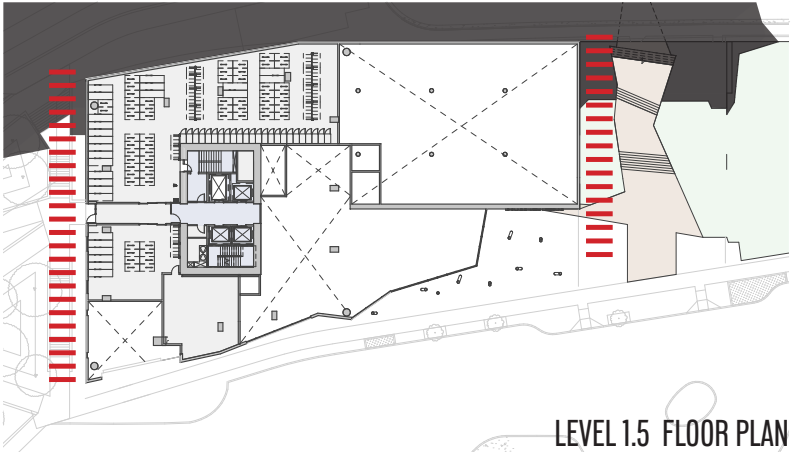
PUBLIC ACCESS WAY SITE PLAN



PUBLIC ACCESS WAY SECTION



PUBLIC ACCESS WAY CCMP DIAGRAM



GLAZING SUMMARY	
TOTAL AREA	921 SF
GLAZING AREA	166 SF
GLAZING %	18%

GLAZING SUMMARY	
TOTAL AREA	730 SF
GLAZING AREA	185 SF
GLAZING %	25%

5. GROUND FLOOR WINDOW MODIFICATION

REQUIREMENT

B. Ground floor windows. The following ground floor window standards apply in the RX, CX and EX zones. The standards of B.1 and B.2 apply to new development and major remodeling projects. B.3 only applies to major remodeling projects. To meet the standards, ground floor windows must be windows that allow views into work areas of lobbies, or be windows in pedestrian entrances. Windows into storage areas, vehicle parking areas, garbage and recycling areas, mechanical and utility areas and display cases attached to outside walls do not qualify. Windows into bicycle parking areas are allowed to qualify for up to 25 percent of the ground floor windows coverage requirement. The bottom of the windows of nonresidential spaces must be no more than 4 feet above the finished grade:

2. All other ground level facades that face a street lot line, sidewalk, plaza or other publicly accessible open area or right-of-way must have windows that cover at least 40 percent of the ground level wall area. For street facing facades of dwelling units the regulations of 33.130.230.B.4 apply. For the purposes of this standard, ground level wall area includes all exterior wall area from 2 feet to 10 feet above the finished grade.

3. Optional Artwork. Projects proposing to use artwork as an alternative to the ground floor window requirements may apply for this through the adjustment procedure. Projects may also apply for a modification through design review if they meet the following qualifications. Buildings having more than 50 percent of their ground level space in storage, parking, or loading areas, or in uses which by their nature are not conducive to windows (such as theaters), may be allowed to use the design review process. Artwork and displays relating to activities occurring within the building are encouraged. In these instances, the artwork will be allowed if it is found to be consistent with the purpose for the ground floor window standard.

PROPOSAL

21 feet of grade separates Block 1 from west to east. Given the grades, many of the functions on the ground level are tucked into the hillside and are back of house spaces such as electrical rooms, fire pump rooms, trash/recycling, loading, storage, and future parking areas. The zoning code permits modification to this standard when more than 50 percent of the ground level space are in uses such as these. At Block 1, approximately 75% of the ground level are in uses not conducive to windows.

The east and west elevations are relatively flat and are fronted with active uses and will meet the ground floor window requirement. The north and south elevations face publicly accessible open areas that are navigating 17’ of grade and 21’ of grade respectively for pedestrian and bike connections. Rather than integrating artworks and displays, the proposal is to naturalize these areas into lushly planted and thoughtfully designed spaces.

APPROVAL CRITERIA

A. The resulting development will better meet the applicable design guidelines:

The proposed development better meets the applicable design guidelines as it both provides for needed pedestrian connections along a very steep grade differential (two stories across 100 linear feet) and a pleasant and interesting environment. The proposed solution meets the intent described in the Purpose statement for pedestrians and the zoning code specifically describes modifications being allowed for conditions like this where the ground floor is primarily in storage, parking, or loading areas.

B. On Balance, the proposal is consistent with the purpose of the standard for which a modification is requested.

In the purpose statement for Ground Floor Windows blank walls are limited in order to provide a pleasant, rich, and diverse pedestrian experience, encourage surveillance opportunities at street level, and avoid a monotonous pedestrian environment. With the new circulation being provided where there is currently none, the design along the north and south elevations increases eyes and activity in those areas. The design of the space directly adjacent to these walls will be a uniquely natural environment creating an interesting pedestrian experience similar to a park like setting to avoid a monotonous pedestrian environment.

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RETURN SERVICE REQUESTED	1S1E03CB	100
RETURN SERVICE REQUESTED	1S1E03CB	200
RETURN SERVICE REQUESTED	1S1E03CB	200
RETURN SERVICE REQUESTED	1S1E03CB	200
RETURN SERVICE REQUESTED	1S1E03CD	3700
RETURN SERVICE REQUESTED	1S1E03CD	3800
RETURN SERVICE REQUESTED	1S1E03CD	3900
RETURN SERVICE REQUESTED	1S1E03CD	500
RETURN SERVICE REQUESTED	1S1E03CD	800
RETURN SERVICE REQUESTED	1S1E03CD	800
RETURN SERVICE REQUESTED	1S1E03CD	800
RETURN SERVICE REQUESTED	22- PROP MAILD	

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CENTRAL CITY PLAN DISTRICT

LAND USE (PORTLAND BOUNDARY + UNINCORP POCKETS)
LAND USE (PORTLAND BOUNDARY + UNINCORP POCKETS)
LAND USE (PORTLAND BOUNDARY + UNINCORP POCKETS)
LAND USE (PORTLAND BOUNDARY + UNINCORP POCKETS)
LAND USE (PORTLAND BOUNDARY + UNINCORP POCKETS)
NEIGHBORS WEST-NORTHWEST
PORTLAND DOWNTOWN NEIGHBORHOOD ASSOCIATION

RETURN SERVICE REQUESTED

PORTLAND PARK TRAIL

NAME

NBP 0150 S MONTGOMERY LLC

NBP RIVER DRIVE INVESTMENTS LLC

WILLAMETTE VALLEY MOVING, INC

BRILLIANT SALON & SPA CORPORATION

BREWGROUP LLC

CYPRESS RIVERPLACE LLC

PACIFIC POWER & LIGHT CO

PORTLAND CITY OF

PORTLAND CITY OF(PARKS & RECREATION BUREAU

RIVERPLACE CONDOMINIUM NO 1 OWNERS ASSOCIATION

CONTEXTMEDIA HEALTH LLC

JEAN A POZZI TR

CANDACE D KASPERICK TR

TOTH,LESLIE A & KATHLEEN M TOTH TR

SHIVELY,DANIEL R & SHIVLEY,RACHEL C

JOHNSTON JOINT REV TR

SHRUM-MISLEY,JACQUELINE

LUDWIG,JASON L

RAAF,HEATHER TR

FISKE,JENNIFER L

MILLER ENTERPRISE LLC

ENGRAV,GREGORY W & ENGRAV,MARY B

JURKINS,JACQUELYN J

FRANCIS J CAPELL FAM TR(1/2) & CARMEN A CAPELL SURVIVORS TR(1/2)

O'DAY,RONALD F & O'DAY,JANET L

GOLDMAN FAMILY REV TR

NOGEIRE,CHRISTOPHER

BARBEE,MARGARET

SOPER,MOLLY F & SOPER,GARY D

KYSER,VICTORIA L

POWERS,VALERIE

SHAW,BARBARA J
DE BESS,EMILIO E
STAMS,ULRICH K & STAMS,CAROL J
BROWN LIV TR
SUSAN BROCK JOHNSON TRUST
STRAWN,BRIAN G
LARUE,ROBERT & LARUE,TERESA K
BYRD BERMUDEZ LIV TR
KENIGSBURG,MARK C
LYONS,ATHENA
MILLER,ROBERT G & MILLER,SHARON L
JACK ROSCOE LLC
FERRARA,JESSICA & FERRARA,ELLIOT
BAYSIDE INVESTMENTS LLC
MILLER,ROBERT G TR & MILLER,SHARON L TR
FREEDMAN,SAMUEL P TR & FREEDMAN,KAREN J TR
LESTER & AUDRE ESTRIN SURVIVOR'S TR
A ELIZABETH NICKEL REV TR
MILLER,MARK J & MILLER,JENNIFER R
MORONES,ANTHONY & MORONES,SERENA
RIVERPLACE CU-2 LLC
XHR PORTLAND LLC
S BROTHERS ESTATE LLC
MC GARRIGLE,ROBER W TR & MC GARRIGLE,JANET B TR
MASOOD SANAEI FAMILY TR
MERRILL,DONNA S
JONES,BRUCE D TR & JONES,MEREDITH M TR
ROSCHE FAMILY TR
AMBURGEE,LARRY K
LARRABEE,WILLIAM L & LARRABEE,MARGOT W
LUCK,CAMERON D TR & LUCK,LORI P TR
RICE,DOUGLAS A & RICE,KAREN L

SIEFKIN,SUSAN D TR & SIEFKIN,RANDOLPH R TR
STANFORD,MARK C
PDX ESCAPE LLC
SCHOREY,JANET A
PIROTTA,MICHAEL D TR & PIROTTA,KAREN L TR
DRISKELL,JERALD W & DRISKELL,LAVONDA M
RIVERPLACE ESPLANADE EQUITY FUND LLC
SOTELO,WALDO E
OMORI REV LIV TR
MONAHAN,TIMOTHY J & MONAHAN,LESLEIGH W
PHILLIPS,RICHARD H TR & PHILLIPS,SHIRLEY P TR
ATER,LYNDA L & FREEDMAN,PETER
WOLF,GREGORY W
DA SILVA,ELIZABETH
MISHIMA,EULIA J & MISHIMA,HENRY
SHOEMAKER,RICHARDSON & SHOEMAKER,DELEE
BETH COOK LIV TR
STOUT JOINT REV LIV TR
JANET,JOSEPH C & JANET,LEA M
HALLMARK,WILLIAM L & HALLMARK,R ELAINE
NEALY,MICHAEL A
WILLER,MARGARET M
BURKHART,CHRISTOPHER L
EITING RIVERPLACE INVESTMENTS LLC
JOHN P CURNUTT & BRENDA N CURNUTT REV LIV TR
YAMASHITA,TAKASHI & JEWETT,CHARLES W JR
HIBLER,GARY W TR & HIBLER,JANE A TR
SNELLMAN,JANICE M
VOLK,BRADLEY J
BRATSLAVSKY,TANYA G & BRATSLAVSKY,ROMAN
GYLLSTROM,ELLEN S
WELLINGTON,KIM C & KOTH-WELLINGTON,CHARLENE M

EITING, JOHN R & EITING, MARIE E
HUMMELT, HAROLD B TR-1/2 & HUMMELT, JUDITH P TR-1/2
MA, EVA K
CRAWFORD, ANGELA N
DARLING, KAREN F
SUSAN BROWAR TR
HARRIS, LAWRENCE W IV
JAMESON, JEANNETTE Y TR
MATTALIANO, CHRISTOPHER J-50% & BUROVAC, CLARE M-50%
TALYA FAMILY TR
JANET LORRAINE VOSS REV LIV TR
KRANE, KENNETH S TR & KRANE, PAULA D TR
MERCER, LOUIS C & MERCER, JULIE K
HALEY, JO ANN
DURBIN, BARBARA L
MARSHALL, DONALD M TR & MARSHALL, JUDITH A TR
WILKES, JACKIE
NANCY DENTON MURRAY REV TR
TENNANT, JOSEPH P
BLOOM, GARY & SUSAN-50% & GRYZIEC, NANCY & MARK-50%
YOUNG, SAMUEL R JR & YOUNG, SUZANNE C
REITER PORTLAND LLC
COOK, BETH TR & WIKLER, JOAN G TR
CROMER, CATHERINE G & CROMWER, STEVEN A
LUEDKE, SHAD
KC MATLOCK REV TR
RAWLINS, PATTRIC JOSEPH & RAWLINS, KAREN B
LUEDKE, SHAD
MURRY, JIM
PHILLIPS, SUSAN B
NOB HILL APARTMENTS LLC
SCHOREY, JANET

HOPPLE, JON S & HOPPLE, MARIA N
BRUHN, DAVID M
MISHIMA, EULIA J
MCINNIS GROUP LLC
SINGH, PARAMJIT K & SINGH, JASWINDER K
SCOTT, LAURA H
KOZLOWSKI, LINDA & SUPAK, WILLIAM
MIKHAILOV-SCOTT, SLAVA
SPRUILL, MERVIN L & SPRUILL, SUSAN E
BRATSLAVSKY, TANYA TR & BRATSLAVSKY, ROMAN TR
MOREY, PAMELA S
ARPAN, ROBERTA A TR
CARLSON, DOUGLAS W TR & CARLSON, AIDA M TR
FIERSTEIN, MICAH A TR
MARTIN, JOHN P TR & MARTIN, BECKY P TR
JOHNSSON, TERRY
VALLION, NINA TR & VALLS, KATHERINE TR
PFISTER, CHARLES B & PFISTER, SHELLEY S
CROSS, MARILYN J
SMITH, PAMELA
DAVID & CLAIRE DEL MAR FAMILY TR
ALLEN, ELISA J
BORENE, BERNARD E & BORENE, LINDA M
ANDERSON, DAVID
THOMAS A SCHROEDER TR
OKETE PROPERTIES LLC
POMEROY, DAVID W
LOANZON, PRISCILLA V
GERALD TREADWAY 2004 REV TR
GREEN, GERALD E
GEORGE LIV TR
FIERSTEIN, MICAH

HENRY A STROMQUIST REV LIV TR
MONTGOMERY STREET PARKING GARAGE LLC
BARNES,DONALD D & BARNES,CAROL T
FRIES,DOUGLAS B & FRIES,JOANN
LEANNE K FERNALD LIV TR
TUTTLE,MARGARET G & SHINTAKU,RICHARD H
LUNCH,WILLIAM M TR & KERL,CAROLINE A TR
PARTOVI,SHIDA
WANDERSCHEID,RICHARD J & NOTRICA,JACQUELINE L
MCCRACKEN,ELLEN R
AMO,KEITH & AMO,CHRISTINE M
MO,CLIFFORD
RANDALL S J & VALERIE C WONG LIV TR
TANAKA,GLENN M & DOWNS,MARY A
BRODERICK,WILLIAM P & BRODERICK,LAURA L
VANCE, SHERRY
KIM,SEI JIN
MATZA,ROBERT B TR
DAME, RACHAEL &DAME, THORNDIKE BELMORE OLE III
GUDRON M CABLE LIV TRUST
RILEY FAMILY TRUST
DEVANEY,LISA M
WEST,HAROLD E TR & WEST,SUSAN S TR
ARNOLD,JAMES R TR & ARNOLD,PATTI A TR
FRITSCH,LAURI K
WELCH,ROBERT L JR TR & WELCH,CHARLENE V TR
HALLORAN,SARAH C
MANEY,REBECCA T
BROWN,LINDA M
GUI-LC HARRISON SQUARE OWNER LP
MACADAM FORBES INC
OREGON PACIFIC INVESTMENT DEVELOPMENT CO INC

SHIFTWISE INC
SP PLUS CORPORATION
TRUIST BANK
AIG VALIC
HILL,KENTON
HST & V LLC
JB NIBLEY INSURANCE INC
HARRISON DENTAL LLC
JOSEPH H HERRLE & ASSOCIATES INC
KERN & THOMPSON LLC
MCGRIFF SEIBELS & WILLIAMS INC
TRI-COUNTY METROPOLITAN TRANSPORTATION
BALLAS PARTNERS MANAGEMENT LLC
CELARTEM, INC
CITY OF PORTLAND FIRE & POLICE
GVI-LC HARRISON SQUARE OWNER LP
INCOME PROPERTY MANAGEMENT CO
LIBERTY CAPITAL INVESTMENTS CORP
OCHIN INC
OCHIN INC
OREGON HEALTH & SCIENCE UNIVERSITY
TRI-COUNTY METROPOLITAN TRANSPORTATION DISTRICT OF OREGON
PORTLAND CITY OF & OREGON STATE OF
TRI-COUNTY METRO TRANSPORTATION DISTRICT OF OREGON
NBP CAPITAL LLC
RIVERPLACE PHASE 2 LIMITED PARTNERSHIP
CITY OF PORTLAND
RIVERPLACE 3 HOUSING LIMITED PARTNERSHIP
CASE FILE PLANNER
CURRENT RESIDENT
CURRENT RESIDENT
CURRENT RESIDENT

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CURRENT RESIDENT
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CURRENT RESIDENT
CURRENT RESIDENT
PIONEER COURTHOUSE SQ
DOWNTOWN RETAIL COUNCIL
CENTRAL CITY CONCERN
PROSPER PORTLAND
ATTN LAND USE CONTACT
DAWN KRANTZ
PLAN AMENDMENT SPECIALIST
TRANSIT DEVELOPMENT
NEIGHBORS WEST/NORTHWEST
WENDY RAHM

TATE WHITE

ADDRESS/IO ADDRESS

1640 NW IRVING ST
9 SE 3RD AVE #100
4316 SW BERNARD DR
1811 S RIVER DR STE 100
4704 NE 28TH AVE
1811 S RIVER DR #200
PROP TAX SUPVR920 SW 6TH AVE
1120 SW 5TH AVE #1302
1120 SW 5TH AVE #1302
145 S MONTGOMERY ST
ATTN: TAX DEPT330 N WABASH AVE STE 2500
1650 NW PUTNAM RD
PO BOX 7189
225 S MONTGOMERY ST UNIT ES7
225 S MONTGOMERY ST # G09
3550 S BOND AVE UNIT 1405
PO BOX 454
PO BOX 473
225 S MONTGOMERY ST APT 5
225 S MONTGOMERY ST #ES-1
838 SW 1ST AVE #210
305 S MONTGOMERY ST APT 309
305 S MONTGOMERY ST APT 401
CAPELL, CARMEN A TR760 NW ROANOKE AVE
38925 MOUNTAIN HOME DR
850 S CEDAR POINT DR
9108 SW BECKER DR
34 CLAREWOOD LN
305 S MONTGOMERY ST #203
118 BEULAH ST
305 S MONTGOMERY ST #403

CITYSTATEZIP/ADDRESSEE

PORTLAND OR 97209-2213
PORTLAND OR 97214-1247
PORTLAND OR 97239-1586
PORTLAND OR 97201
PORTLAND OR 97211
PORTLAND OR 97201
PORTLAND OR 97204
PORTLAND OR 97204-1912
PORTLAND OR 97204-1912
PORTLAND OR 97201
CHICAGO IL 60611
BEND OR 97703
SAN DIEGO CA 92167
PORTLAND OR 97201
PORTLAND OR 97201-5130
PORTLAND OR 97239-4720
BEAVERCREEK OR 97004
TUALATIN OR 97062
PORTLAND OR 97201-5159
PORTLAND OR 97201
PORTLAND OR 97204
PORTLAND OR 97201-5136
PORTLAND OR 97201-5136
BEND OR 97702
LEBANON OR 97355
ANAHEIM HILLS CA 92808
TIGARD OR 97223
OAKLAND CA 94618-2243
PORTLAND OR 97201
SAN FRANCISCO CA 94117
PORTLAND OR 97201

305 S MONTGOMERY ST APT 503
305 S MONTGOMERY ST #204
4620 KOLOHALA ST
2550 NE 30TH AVE
3880 SE DEER CREEK WAY
OKAMOTO 3-1-13 #105SETAGAYA-KUTOKYO
PO BOX 31477
3680 NW DEER RUN ST
305 S MONTGOMERY ST APT 505
1900 SW ROXBURY AVE #A
838 SW 1ST AVE #210
PO BOX 1024
305 S MONTGOMERY ST #F-506
PO BOX 478
838 SW 1ST AVE #210
224 NW SKYLINE BLVD
305 S MONTGOMERY ST APT 408
305 S MONTGOMERY ST # F409
838 SW 1ST AVE #210
305 S MONTGOMERY STUNIT 410
3254 SW FAIRMOUNT BLVD
200 S ORANGE AVE STE 2700
1635 VILLAGE PARK LN
8000 SW WINCHESTER WAY
1630 S HARBOR WAY UNIT 204
1630 S HARBOR WAY # D203
1630 S HARBOR WAY # D202
5622 PALISADE FALLS TR
16211 NE 164TH CT
1630 S HARBOR WAY UNIT 302
14420 UPLANDS DR
1740 E CAMINO PADRE ISIDORO

PORTLAND OR 97201-5136
PORTLAND OR 97201-5136
HONOLULU HI 96816
PORTLAND OR 97212
GRESHAM OR 97080
JA 157-0076
STOCKTON CA 95213
CORVALLIS OR 97330
PORTLAND OR 97201-5136
PORTLAND OR 97225-5154
PORTLAND OR 97204
LAKE STEVENS WA 98258
PORTLAND OR 97201
SALT LAKE CITY UT 84110-0478
PORTLAND OR 97204
PORTLAND OR 97210-1069
PORTLAND OR 97201-5136
PORTLAND OR 97201-5135
PORTLAND OR 97204-3320
PORTLAND OR 97201
PORTLAND OR 97239
ORLANDO FL 32801
LAKE OSWEGO OR 97034
WILSONVILLE OR 97070
PORTLAND OR 97201-5161
PORTLAND OR 97201-5152
PORTLAND OR 97201-5152
KINGWOOD TX 77345
BRUSH PRAIRIE WA 98606-6318
PORTLAND OR 97201-5161
LAKE OSWEGO OR 97034
TUCSON AZ 85718

1809A EDGEBROOK DR
1630 S HARBOR WAY # D304
217 ADA AVE UNIT 2
1630 S HARBOR WAY UNIT 405
2543 SUMAC LN
1630 S HARBOR WAY UNIT 406
PO BOX 8880
1710 S HARBOR WAY UNIT 302
PO BOX 10843
1710 S HARBOR WAY #201
1710 S HARBOR WAY UNIT 307
1710 S HARBOR WAY UNIT 303
1710 S HARBOR WAY UNIT 202
1710 S HARBOR WAY #407
840 NW 6TH ST
17412 32ND AVE NE
1616 S HARBOR WAY UNIT 310
1616 S HARBOR WAY UNIT 410
1604 DESERT FORT ST
1616 S HARBOR WAY UNIT 610
PO BOX 3024
1616 S HARBOR WAY UNIT 409
1616 S HARBOR WAY UNIT 509
1616 S HARBOR WAY UNIT 608
1115 NE CLARK DR
8201 16TH ST APT 724
282 NW MACLEAY BLVD
1616 S HARBOR WAY #307
3215 CANTERBURY DR S
15300 OLD SEWARD HWY
1616 S HARBOR WAY UNIT 306
12915 N NORTH PARK ST

MODESTO CA 95354
PORTLAND OR 97201-5152
MOUNTAIN VIEW CA 94043
PORTLAND OR 97201-5151
LEAVENWORTH WA 98826
PORTLAND OR 97201-5151
KETCHUM ID 83340
PORTLAND OR 97201-5154
HONOLULU HI 96816-0843
PORTLAND OR 97201
PORTLAND OR 97201-5155
PORTLAND OR 97201-5154
PORTLAND OR 97201-5154
PORTLAND OR 97201-5155
GRESHAM OR 97030
LAKE FOREST PARK WA 98155
PORTLAND OR 97201
PORTLAND OR 97201-5165
LAS VEGAS NV 89128
PORTLAND OR 97201-5166
PORTLAND OR 97208-3024
PORTLAND OR 97201-5165
PORTLAND OR 97201-5166
PORTLAND OR 97201-5166
MADRAS OR 97741
SILVER SPRING MD 20910-3250
PORTLAND OR 97210-3374
PORTLAND OR 97201
SALEM OR 97302
ANCHORAGE AK 99516-3954
PORTLAND OR 97201-5165
NEWMAN LAKE WA 99025

1616 S HARBOR WAY #608
10836 SW MOREY LN
1616 S HARBOR WAY UNIT 305
PO BOX 915
1616 S HARBOR WAY UNIT 505
9325 FONTAINBLEU DR
4713 OAKSHIRE DR
1616 S HARBOR WAY UNIT 504
4915 MAGNOLIA ST
9325 FONTAINBLEU DR
1616 S HARBOR WAY UNIT 403
2800 NW 29TH ST #20
PO BOX 894652
1616 S HARBOR WAY UNIT 302
1616 S HARBOR WAY UNIT 402
PO BOX 1588
1616 S HARBOR WAY UNIT 602
1616 S HARBOR WAY UNIT 301
937 SW 14TH AVE STE 200
2273 CORINTHIAN CT
1616 S HARBOR WAY # A-601
304 INDIAN TRACE #534
1616 S HARBOR WAY #310
1616 S HARBOR WAY UNIT 512
1616 S HARBOR WAY UNIT 611
30902 CLUBHOUSE DR UNIT #21G
9611 DEER TRAIL DR
1616 S HARBOR WAY #611
25 NW 23RD PL #6 PMB 460
1333 NW BENFIELD DR
1730 S HARBOR WAY UNIT 505
1630 S HARBOR WAY #405

PORTLAND OR 97201-5166
WILSONVILLE OR 97070
PORTLAND OR 97201-5165
PORTLAND OR 97207
PORTLAND OR 97201-5166
LAS VEGAS NV 89145
HOUSTON TX 77027
PORTLAND OR 97201-5166
NEW ORLEANS LA 70115
LAS VEGAS NV 89145
PORTLAND OR 97201-5165
CORVALLIS OR 97330
MILLANI HI 96789
PORTLAND OR 97201-5165
PORTLAND OR 97201-5165
JACKSONVILLE OR 97530
PORTLAND OR 97201-5166
PORTLAND OR 97201-5165
PORTLAND OR 97205-1745
EUGENE OR 97405
PORTLAND OR 97201-5150
WESTON FL 33326
PORTLAND OR 97201
PORTLAND OR 97201-5166
PORTLAND OR 97201-5166
LAGUNA NIGUEL CA 92677
SAN DIEGO CA 92127
PORTLAND OR 97201-5166
PORTLAND OR 97210-5580
PORTLAND OR 97229
PORTLAND OR 97201-5127
PORTLAND OR 97201-5151

7653 SW BAYBERRY DR
205 S MONTGOMERY ST UNIT 205
840 NW 6TH ST
PO BOX 1862
3050 GRAND CAYMAN DR
1710 S HARBOR WAY UNIT 204
1710 S HARBOR WAY #203 PO BOX 549
1710 S HARBOR WAY UNIT 207
1710 S HARBOR WAY UNIT 406
15300 OLD SEWARD HWY
1710 S HARBOR WAY #304
1710 S HARBOR WAY UNIT 404
27510 NE 36TH ST
PELIKANWEG 94054 BASEL
25965 SW LARSON RD
205 S MONTGOMERY ST #305
205 S MONTGOMERY ST APT 406
3375 SE SHORELINE DR
PO BOX 304
205 S MONTGOMERY ST #404
205 S MONTGOMERY ST APT 203
205 S MONTGOMERY ST APT 303
205 S MONTGOMERY ST APT 403
4817 ELVA LN
205 S MONTGOMERY ST APT 302
6705 STOETZ LN
205 S MONTGOMERY ST APT 201
205 S MONTGOMERY ST APT 301
205 S MONTGOMERY ST #401
205 S MONTGOMERY ST APT 206
61375 MEEKS TRAIL
PELIKANWEG 94054 BASEL

ALOHA OR 97007
PORTLAND OR 97201
GRESHAM OR 97030-6931
LAKE OSWEGO OR 97035
EUGENE OR 97408-7414
PORTLAND OR 97201-5154
MANZANITA OR 97130
PORTLAND OR 97201-5154
PORTLAND OR 97201-5155
ANCHORAGE AK 99516-3954
PORTLAND OR 97201
PORTLAND OR 97201-5155
CAMAS WA 98607
SW
HILLSBORO OR 97123
PORTLAND OR 97201
PORTLAND OR 97201-5124
CORVALLIS OR 97333
BLUE RIVER OR 97413
PORTLAND OR 97201-5124
PORTLAND OR 97201-5124
PORTLAND OR 97201-5124
PORTLAND OR 97201-5124
EUGENE OR 97405-4434
PORTLAND OR 97201-5124
SEBASTOPOL CA 95472-9747
PORTLAND OR 97201-5124
PORTLAND OR 97201-5124
PORTLAND OR 97201
PORTLAND OR 97201-5124
BEND OR 97702
SW

1730 S HARBOR WAY UNIT 301
222 N RAMPART ST
1730 S HARBOR WAY UNIT 401
PO BOX 429
1730 S HARBOR WAY # H601
902 VILLANOVA DR
960 WESTWOOD PL
1730 S HARBOR WAY UNIT 502
1280 KIRK LN
1730 S HARBOR WAY #303
1730 S HARBOR WAY #403
PO BOX 1651
2748 KEKUANONI ST
9029 CALLE LUCIA CT
5620 W SYLVESTER ST
1730 S HARBOR WAY #305
1730 S HARBOR WAY UNIT 405
1730 S HARBOR WAY UNIT 505
9237 NW BARTHOLOMEW DR
6156 SW 67TH PL
1425 OAK RIDGE DR
1730 S HARBOR WAY UNIT 606
1730 S HARBOR WAY UNIT 308
214 RIO VISTA DR
811 S KIHEI RD #4E
841 S GAINES ST UNIT 710
1730 S HARBOR WAY UNIT 408
1730 S HARBOR WAY #508
1730 S HARBOR WAY UNIT 608
1800 SW 1ST AVE STE 100
1800 SW 1ST AVE STE 650
1800 SW 1ST AVE STE 600

PORTLAND OR 97201-5117
NEW ORLEANS LA 70112
PORTLAND OR 97201-5117
DUNDEE OR 97115
PORTLAND OR 97201-5100
DAVIS CA 95616-1749
CORVALLIS OR 97330
PORTLAND OR 97201-5127
ASHLAND OR 97520-7317
PORTLAND OR 97201
PORTLAND OR 97201
LAKE OSWEGO OR 97035-0570
HONOLULU HI 96813
LAKESIDE CA 92040
PASCO WA 99301
PORTLAND OR 97201
PORTLAND OR 97201-5117
PORTLAND OR 97201-5127
PORTLAND OR 97229
PORTLAND OR 97223
HOOD RIVER OR 97031
PORTLAND OR 97201
PORTLAND OR 97201-5117
WHITE SALMON WA 98672-8938
KIHEI HI 96753-9086
PORTLAND OR 97239-3135
PORTLAND OR 97201-5117
PORTLAND OR 97201
PORTLAND OR 97201-5127
PORTLAND OR 97201
PORTLAND OR 97201
PORTLAND OR 97201

ATTN: TAX DEPT12400 HIGH BLUFF DR STE 100

PO BOX 3841

PO BOX 167

PO BOX 4868

5858 S RIVERIDGE LN APT #34

1800 SW 1ST AVE STE 520

1800 SW 1ST AVE STE 10

ATTN MARK KAIP DDS2000 SW 1ST AVE #210

1800 SW 1ST AVE STE 280

1800 SW 1ST AVE STE 410

PO BOX 10265

DISTRICT OF OREGON4012 SE 17TH AVE

1800 SW 1ST AVE #1

1500 SW 1ST AVE STE 680

DISABILITY & RETIREMENT FUND1800 SW 1ST AVE STE 450

900 N MICHIGAN AVE STE 1450

1800 SW 1ST AVE STE 220

1800 SW 1ST AVE STE 150

1881 SW NAITO PKWY

1881 SW NAITO PKWY #100

3181 SW SAM JACKSON PARK RD

4012 SE 17TH AVE

%DEPT OF TRANSPORTATION1120 SW 5TH AVE #800

1800 SW 1ST AVE #300

1640 NW IRVING ST

600 CALIFORNIA ST FL 900

LEASE-RIVERPLACE 3 HOUSING LIMITED PARTNERSHIP1900 SW 4TH AVE STE 7007

1616 NW 13TH AVE

1900 SW 4TH AVE #5000

1616 S HARBOR WAY #302

1616 S HARBOR WAY #303

1616 S HARBOR WAY #304

SAN DIEGO CA 92130

CHICAGO IL 60654

WINSTON-SALEM NC 27102

HOUSTON TX 77210

PORTLAND OR 97239

PORTLAND OR 97201-5322

PORTLAND OR 97201

PORTLAND OR 97201

PORTLAND OR 97201-5333

PORTLAND OR 97201

BIRMINGHAM AL 35202

PORTLAND OR 97202-3940

PORTLAND OR 97201

PORTLAND OR 97201

PORTLAND OR 97201

CHICAGO IL 60611

PORTLAND OR 97201

PORTLAND OR 97201

PORTLAND OR 97201

PORTLAND OR 97201-5187

PORTLAND OR 97239-3098

PORTLAND OR 97202-3940

PORTLAND OR 97204-1912

PORTLAND OR 97201-5354

PORTLAND OR 97209-2213

SAN FRANCISCO CA 94108-9800

PORTLAND OR 97201

PORTLAND OR 97209-3394

PORTLAND OR 97201

PORTLAND OR 97201

PORTLAND OR 97201

PORTLAND OR 97201

1616 S HARBOR WAY #312	PORTLAND OR 97201
1616 S HARBOR WAY #410	PORTLAND OR 97201
1616 S HARBOR WAY #505	PORTLAND OR 97201
1616 S HARBOR WAY #512	PORTLAND OR 97201
1616 S HARBOR WAY #609	PORTLAND OR 97201
1630 S HARBOR WAY #202	PORTLAND OR 97201
1630 S HARBOR WAY #203	PORTLAND OR 97201
1630 S HARBOR WAY #204	PORTLAND OR 97201
1630 S HARBOR WAY #302	PORTLAND OR 97201
1630 S HARBOR WAY #303	PORTLAND OR 97201
1630 S HARBOR WAY #402	PORTLAND OR 97201
1710 S HARBOR WAY #401	PORTLAND OR 97201
1730 S HARBOR WAY #301	PORTLAND OR 97201
1730 S HARBOR WAY #302	PORTLAND OR 97201
1730 S HARBOR WAY #307	PORTLAND OR 97201
1730 S HARBOR WAY #501	PORTLAND OR 97201
1730 S HARBOR WAY #506	PORTLAND OR 97201
1730 S HARBOR WAY #603	PORTLAND OR 97201
1730 S HARBOR WAY #608	PORTLAND OR 97201
1750 S HARBOR DR #220	PORTLAND OR 97201
1750 S HARBOR WAY #240	PORTLAND OR 97201
1800 SW 1ST AVE #180	PORTLAND OR 97201
1800 SW 1ST AVE #200	PORTLAND OR 97201
1800 SW 1ST AVE #380	PORTLAND OR 97201
1800 SW 1ST AVE #5	PORTLAND OR 97201
1800 SW 1ST AVE #512	PORTLAND OR 97201
1800 SW 1ST AVE #520	PORTLAND OR 97201
1800 SW 1ST AVE #606	PORTLAND OR 97201
1900 S HARBOR PL	PORTLAND OR 97201
1903 S HARBOR PL	PORTLAND OR 97201
1913 S HARBOR PL	PORTLAND OR 97201
1923 S HARBOR PL	PORTLAND OR 97201

1955 S RIVER SQ	PORTLAND OR 97201
1956 S RIVER SQ	PORTLAND OR 97201
1971 S RIVER SQ	PORTLAND OR 97201
2001 S RIVER DR	PORTLAND OR 97201
2026 S RIVER WALK	PORTLAND OR 97201
205 S MONTGOMERY ST #202	PORTLAND OR 97201
205 S MONTGOMERY ST #303	PORTLAND OR 97201
205 S MONTGOMERY ST #306	PORTLAND OR 97201
205 S MONTGOMERY ST #402	PORTLAND OR 97201
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2054 S ROSE LN	PORTLAND OR 97201
2069 S HARBOR PL	PORTLAND OR 97201
2076 S HARBOR PL	PORTLAND OR 97201
2105 S ROSE LN	PORTLAND OR 97201
2172 S HARBOR PL	PORTLAND OR 97201
2199 S RIVER WALK	PORTLAND OR 97201
305 S MONTGOMERY ST #201	PORTLAND OR 97201
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320 S MONTGOMERY ST #221	PORTLAND OR 97201
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1616 S HARBOR WAY #501	PORTLAND OR 97201
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1616 S HARBOR WAY #503	PORTLAND OR 97201
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1616 S HARBOR WAY #511	PORTLAND OR 97201
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1616 S HARBOR WAY #603	PORTLAND OR 97201
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1750 S HARBOR WAY #350	PORTLAND OR 97201
1800 SW 1ST AVE #130	PORTLAND OR 97201
1800 SW 1ST AVE #250	PORTLAND OR 97201
1800 SW 1ST AVE #420	PORTLAND OR 97201
1800 SW 1ST AVE #500	PORTLAND OR 97201
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1800 SW 1ST AVE #510	PORTLAND OR 97201
1800 SW 1ST AVE #640	PORTLAND OR 97201
1840 S HARBOR PL	PORTLAND OR 97201

1844 S HARBOR PL	PORTLAND OR 97201
1881 SW NAITO PKWY #150	PORTLAND OR 97201
1907 S HARBOR PL	PORTLAND OR 97201
1909 S HARBOR PL	PORTLAND OR 97201
1915 S HARBOR PL	PORTLAND OR 97201
1921 S HARBOR PL	PORTLAND OR 97201
1968 S RIVER SQ	PORTLAND OR 97201
1976 S RIVER SQ	PORTLAND OR 97201
2000 S RIVER SQ	PORTLAND OR 97201
2007 S RIVER SQ	PORTLAND OR 97201
2008 S RIVER SQ	PORTLAND OR 97201
205 S MONTGOMERY ST #201	PORTLAND OR 97201
205 S MONTGOMERY ST #203	PORTLAND OR 97201
205 S MONTGOMERY ST #204	PORTLAND OR 97201
205 S MONTGOMERY ST #304	PORTLAND OR 97201
2053 S HARBOR PL	PORTLAND OR 97201
2065 S RIVER PKWY	PORTLAND OR 97201
2081 S HARBOR PL	PORTLAND OR 97201
2083 S RIVER DR	PORTLAND OR 97201
2100 S RIVER WALK	PORTLAND OR 97201
2125 S HARBOR PL	PORTLAND OR 97201
2129 S HARBOR PL	PORTLAND OR 97201
2133 S HARBOR PL	PORTLAND OR 97201
2146 S HARBOR PL	PORTLAND OR 97201
2148 S HARBOR PL	PORTLAND OR 97201
2158 S HARBOR PL	PORTLAND OR 97201
2176 S HARBOR PL	PORTLAND OR 97201
2183 S HARBOR PL	PORTLAND OR 97201
2189 S HARBOR PL	PORTLAND OR 97201
225 S MONTGOMERY ST #10	PORTLAND OR 97201
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305 S MONTGOMERY ST #301	PORTLAND OR 97201

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320 S MONTGOMERY ST #516	PORTLAND OR 97201
150 S MONTGOMERY ST	PORTLAND OR 97201
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1630 S HARBOR WAY #401	PORTLAND OR 97201
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1730 S HARBOR WAY #607	PORTLAND OR 97201
1750 S HARBOR DR #240	PORTLAND OR 97201
1750 S HARBOR DR #400	PORTLAND OR 97201
1750 S HARBOR WAY #245	PORTLAND OR 97201
1750 S HARBOR WAY #330	PORTLAND OR 97201

1800 SW 1ST AVE #110	PORTLAND OR 97201
1800 SW 1ST AVE #150	PORTLAND OR 97201
1800 SW 1ST AVE #160	PORTLAND OR 97201
1800 SW 1ST AVE #350	PORTLAND OR 97201
1800 SW 1ST AVE #400	PORTLAND OR 97201
1800 SW 1ST AVE #410	PORTLAND OR 97201
1800 SW 1ST AVE #440	PORTLAND OR 97201
1800 SW 1ST AVE #450	PORTLAND OR 97201
1800 SW 1ST AVE #530	PORTLAND OR 97201
1800 SW 1ST AVE #PKG	PORTLAND OR 97201
1811 S RIVER DR #100	PORTLAND OR 97201
1811 S RIVER DR #300	PORTLAND OR 97201
1811 S RIVER DR #500	PORTLAND OR 97201
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1860 S HARBOR PL	PORTLAND OR 97201
1905 S HARBOR PL	PORTLAND OR 97201
1927 S HARBOR PL	PORTLAND OR 97201
1960 S RIVER SQ	PORTLAND OR 97201
1964 S RIVER SQ	PORTLAND OR 97201
2004 S RIVER SQ	PORTLAND OR 97201
2019 S RIVER SQ	PORTLAND OR 97201
2027 S RIVER SQ	PORTLAND OR 97201
205 S MONTGOMERY ST #205	PORTLAND OR 97201
205 S MONTGOMERY ST #206	PORTLAND OR 97201
205 S MONTGOMERY ST #301	PORTLAND OR 97201
205 S MONTGOMERY ST #302	PORTLAND OR 97201
205 S MONTGOMERY ST #406	PORTLAND OR 97201
2052 S HARBOR PL	PORTLAND OR 97201
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2077 S HARBOR PL	PORTLAND OR 97201

2103 S ROSE LN	PORTLAND OR 97201
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2111 S ROSE LN	PORTLAND OR 97201
2112 S RIVER WALK	PORTLAND OR 97201
2116 S RIVER WALK	PORTLAND OR 97201
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2123 S ROSE LN	PORTLAND OR 97201
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2131 S HARBOR PL	PORTLAND OR 97201
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225 S MONTGOMERY ST #1	PORTLAND OR 97201
225 S MONTGOMERY ST #6	PORTLAND OR 97201
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1616 S HARBOR WAY #306	PORTLAND OR 97201
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1720 SW NAITO PKWY	PORTLAND OR 97201
1730 S HARBOR WAY #100	PORTLAND OR 97201
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1800 SW 1ST AVE #10	PORTLAND OR 97201
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1800 SW 1ST AVE #505	PORTLAND OR 97201
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1811 S RIVER DR #400	PORTLAND OR 97201
1831 S RIVER DR	PORTLAND OR 97201
1912 S HARBOR PL	PORTLAND OR 97201
1916 S HARBOR PL	PORTLAND OR 97201
1917 S HARBOR PL	PORTLAND OR 97201
1919 S HARBOR PL	PORTLAND OR 97201
1920 S HARBOR PL	PORTLAND OR 97201
1924 S HARBOR PL	PORTLAND OR 97201
1975 S RIVER SQ	PORTLAND OR 97201
2011 S RIVER SQ	PORTLAND OR 97201

2016 S RIVER SQ	PORTLAND OR 97201
2071 S ROSE LN	PORTLAND OR 97201
2119 S ROSE LN	PORTLAND OR 97201
2137 S HARBOR PL	PORTLAND OR 97201
2144 S HARBOR PL	PORTLAND OR 97201
2152 S HARBOR PL	PORTLAND OR 97201
2154 S HARBOR PL	PORTLAND OR 97201
2162 S HARBOR PL	PORTLAND OR 97201
2185 S HARBOR PL	PORTLAND OR 97201
2191 S RIVER WALK	PORTLAND OR 97201
225 S MONTGOMERY ST #4	PORTLAND OR 97201
225 S MONTGOMERY ST #5	PORTLAND OR 97201
225 S MONTGOMERY ST #9	PORTLAND OR 97201
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320 S MONTGOMERY ST #314	PORTLAND OR 97201
320 S MONTGOMERY ST #322	PORTLAND OR 97201
320 S MONTGOMERY ST #326	PORTLAND OR 97201
320 S MONTGOMERY ST #417	PORTLAND OR 97201
320 S MONTGOMERY ST #420	PORTLAND OR 97201
320 S MONTGOMERY ST #426	PORTLAND OR 97201
320 S MONTGOMERY ST #517	PORTLAND OR 97201
320 S MONTGOMERY ST #518	PORTLAND OR 97201
320 S MONTGOMERY ST #519	PORTLAND OR 97201
320 S MONTGOMERY ST #523	PORTLAND OR 97201
320 S MONTGOMERY ST #524	PORTLAND OR 97201
715 SW MORRISON #702	PORTLAND OR 97205
200 SW MARKET ST SUITE 150	PORTLAND OR 97201
232 NW 6TH AVE	PORTLAND OR 97209
129/PROSPER	
128/METRO	
B299/R5000	
635 CAPITAL ST NE #150	SALEM OR 97301
1800 SW FIRST AVE SUITE 300	PORTLAND OR 97201
2257 NW RALEIGH ST	PORTLAND OR 97210
1221 SW 10TH AVE. #1001	PORTLAND OR 97205

B106/R1302

Design Advice Request

RiverPlace Block 1, south

CASE FILE	EA 22-119953 DA		
WHEN	Thursday, April 7, 2022 @ 1:30 PM <i>(This is the hearing start time –see Commission agenda for estimated project start time.)</i>		
WHERE	ONLINE: Meeting link will be listed on the agenda available at www.portland.gov/bds/design-commission		
HOW	TO COMMENT: Follow instructions on the Design Commission agenda <u>or</u> email the planner at grace.jeffreys@portlandoregon.gov		
REVIEW BY	Design Commission		
PROCESS	A Design Advice Request is a voluntary review process that allows the Commission to provide early feedback on a development proposal, prior to the required land use review		
PROPOSAL	<p>DAR for a new 30-story, multi-family high-rise development on the former Riverplace Athletic Club site, part of Phase 1/ Block 1 of the overall 8-acre site of the recently approved RiverPlace Central City Masterplan CCMS, located in the University District/ S. Downtown Subdistrict of the Central City Plan District. The Phase 1/Block 1 development preserves all existing housing in the Douglas Apartments and townhouse portions of the site.</p> <p>This proposal for the southern parcel of Block 1 will provide 329 dwelling units. Parking will be provided by utilizing unused existing spaces in the adjacent Douglas Apartments garage, which contains 385 stalls. 16,610 square feet of new public open area will be provided mid-block and to the south of the block.</p> <p>5 potential modifications include: Tower Floor Plate Size, Tower Floor Plate Dimensions, Eco-roof, Open Area Design and Ground Floor Windows.</p>		
REVIEW APPROVAL CRITERIA	Central City Fundamental Design Guidelines 33.825.040 Modifications That Will Better Meet Design Review Requirements		
SITE ADDRESS	150 S MONTGOMERY ST		
ZONING/ DESIGNATION	CXd, Central Commercial with design overlay. Site is also a required CCMS site Located in the University District/ S. Downtown Subdistrict of the Central City Plan District		
APPLICANT(S)	Agustin Enriquez, GBD Architects	OWNER(S)	NBP 0150 S MONTGOMERY LLC
QUESTIONS? BDS CONTACT	Grace Jeffreys, City Planner (503) 865-6521 / Grace.Jeffreys@PortlandOregon.gov Bureau of Development Services, 1900 SW 4 th Ave, Suite 5000, Portland, OR 97201		

Traducción e interpretación | Chuyển Ngữ hoặc Phiên Dịch | 翻译或传译 | Turjumida ama Fasiraadda | 翻訳または通訳 | ຫຼັກການແປພາສາ ຫຼື ການອະທິບາຍ
Письменный или устный перевод | Traducere sau Interpretare | 번역및통역 | الترجمة التحريرية أو الشفوية | Письмовий або усний переклад



503-823-7300



BDS@PortlandOregon.gov



www.PortlandOregon.gov/bds/translated

TTY: 503-823-6868
Relay Service: 711



City of Portland, Oregon
Bureau of Development Services
Land Use Services
FROM CONCEPT TO CONSTRUCTION

Dan Ryan, Commissioner
Rebecca Esau, Director
Phone: (503) 823-7300
Fax: (503) 823-5630
TTY: (503) 823-6868
www.portland.gov/bds

DESIGN ADVICE REQUEST PROCESS OVERVIEW

Purpose

Design Advice Requests (DARs) are a form of early assistance intended to provide a public forum for the preliminary discussion and exchange of information between the applicant, BDS staff, the public, and the representative Commission. The feedback that results from a DAR is advisory and preliminary in nature. The DAR is not a land use review and decisions are not made in the DAR process.

An applicant may request advice from the Design Commission or Historic Landmarks Commission prior to submitting a land use review. In some cases, a DAR may be required by a provision of the Zoning Code. These requests do not substitute for required prescribed regulatory or legislative processes.

Public Participation

The public meeting with the Commission will provide an opportunity for parties to submit oral and written comment. The Commission relies on Portlanders to bring their perspective on their community. Portland has a strong design legacy that continues through this process. The public's early input on significant projects helps to make sure we get this right. Continued participation through the land use review is necessary for public comments to be part of the land use review record.

Meeting Order

The order of appearance for those attending the meeting is as follows:

- BDS Staff Introduction
- Applicant Presentation
- City Staff Discussion Topics
- Public Comments
- Commission and Applicant Discussion

Guiding Criteria

Design Guidelines are used to guide the conversation during the DAR because they are the approval criteria used in the subsequent land use review. All feedback should relate to the concept's response to the Guidelines. Copies of the Design Guidelines are available online at portlandoregon.gov/designguidelines.

Outside DAR Scope

The Commissions only have the authority to influence elements of a project that relate to the approval criteria. For example, guidelines do not address private views. Here other resources for questions on issues that the Commissions cannot address:

Bureau of Planning and Sustainability (BPS)
503-823-7700 | portlandoregon.gov/bps

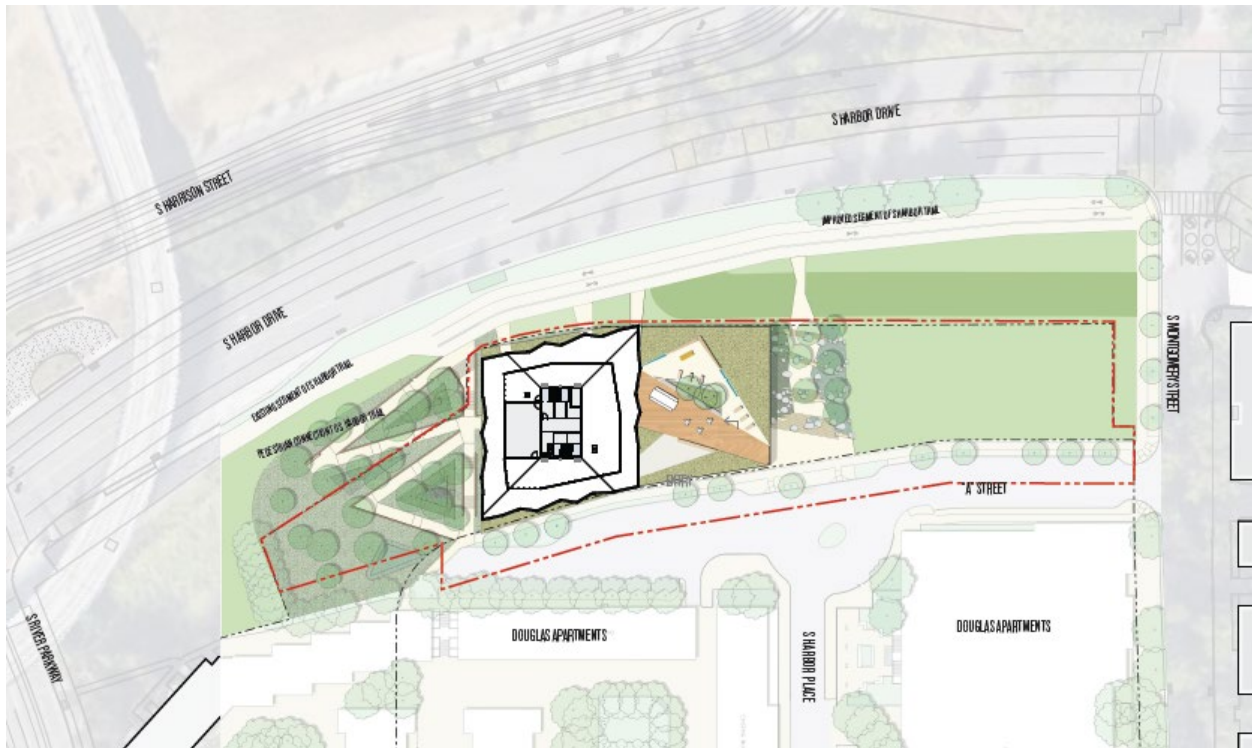
- Off-Street Parking Requirements
- Upcoming Legislative Projects on Zoning
- Zoning Allowances

Bureau of Transportation (PBOT) | 503-823-5185 | portlandoregon.gov/transportation

- On-Street Parking
- Construction Impacts on Streets & Sidewalks

Office of Community & Civic Life
503-823-4519 | portlandoregon.gov/civic

- Neighborhood Association Information
- Crime Prevention
- Noise Control Program
- Neighborhood Mediation



Site Plan



Rendering



City of Portland, Oregon
Bureau of Development Services
Land Use Services
FROM CONCEPT TO CONSTRUCTION

Dan Ryan, Commissioner
Rebecca Esau, Director
Phone: (503) 823-7300
Fax: (503) 823-5630
TTY: (503) 823-6868
www.portland.gov/bds

Date: March 10, 2022

To: Agustin Enriquez

From: Grace Jeffreys, Land Use Services, grace.jeffreys@portlandoregon.gov

RE: Design Advice Request posting for EA 22-119953 DA - RiverPlace Block 1, South

Dear Agustin:

I have received your application for a Design Advice Request (DA) at 150 S MONTGOMERY ST. Your case number is given above. The first meeting with the Design Commission is scheduled for **April 7, 2022**. I am the planner handling your case, and can answer any questions you might have during the process.

You are required to post notice on the site of your proposal 20 days before the hearing. The information below will help you do this. I am also enclosing instructions for making the required posting boards and the notice that should be placed on the signs.

- A. You must post one of these signs adjacent to each street frontage on the site.
- B. These signs must be placed within 10 feet of the street frontage line, and must be visible to pedestrians and motorists. You may not post in the public right-of-way.
- C. Because the meeting with the Design Commission for your case is scheduled for **April 7, 2022** you must post the notice by **March 18, 2022**, 20 days before the hearing.
- D. A certification statement is enclosed, which you must sign and return. The statement affirms that you posted the site. It also confirms your understanding that if you do not post the notice by the date above, your hearing will be automatically postponed. You must return this statement to us by **March 24, 2022**, 14 days before the hearing.
- E. You should not remove the notice before the meeting, but it must be taken down within two weeks after the meeting. You may want to save the posting boards to use for the required site posting during the Type III land use review.

Encls: Posting Notice
Statement Certifying Posting
Additional Instructions for Posting Notice Signs

cc: Application Case File

Design Advice Request

RiverPlace Block 1, south

CASE FILE	EA 22-119953 DA		
WHEN	Thursday, April 7, 2022 @ 1:30 PM (This is the hearing start time –see Commission agenda for estimated project start time.)		
WHERE	ONLINE: Meeting link will be listed on the agenda available at www.portland.gov/bds/design-commission		
HOW	TO COMMENT: Follow instructions on the Design Commission agenda <u>or</u> email the planner at grace.jeffreys@portlandoregon.gov		
REVIEW BY	Design Commission		
PROCESS	A Design Advice Request is a voluntary review process that allows the Commission to provide early feedback on a development proposal, prior to the required land use review		
PROPOSAL	<p>DAR for a new 30-story, multi-family high-rise development on the former Riverplace Athletic Club site, part of Phase 1/ Block 1 of the overall 8-acre site of the recently approved RiverPlace Central City Masterplan CCMS, located in the University District/ S. Downtown Subdistrict of the Central City Plan District. The Phase 1/Block 1 development preserves all existing housing in the Douglas Apartments and townhouse portions of the site.</p> <p>This proposal for the southern parcel of Block 1 will provide 329 dwelling units. Parking will be provided by utilizing unused existing spaces in the adjacent Douglas Apartments garage, which contains 385 stalls. 16,610 square feet of new public open area will be provided mid-block and to the south of the block.</p> <p>5 potential modifications include: Tower Floor Plate Size, Tower Floor Plate Dimensions, Eco-roof, Open Area Design and Ground Floor Windows.</p>		
REVIEW APPROVAL CRITERIA	Central City Fundamental Design Guidelines 33.825.040 Modifications That Will Better Meet Design Review Requirements		
SITE ADDRESS	150 S MONTGOMERY ST		
ZONING/ DESIGNATION	CXd, Central Commercial with design overlay. Site is also a required CCMS site. Located in the University District/ S. Downtown Subdistrict of the Central City Plan District		
APPLICANT(S)	Agustin Enriquez, GBD Architects	OWNER(S)	NBP 0150 S MONTGOMERY LLC
QUESTIONS? BDS CONTACT	Grace Jeffreys, City Planner (503) 865-6521 / Grace.Jeffreys@PortlandOregon.gov Bureau of Development Services, 1900 SW 4 th Ave, Suite 5000, Portland, OR 97201		

Traducción e interpretación | Chuyển Ngữ hoặc Phiên Dịch | 翻译或传译 | Turjumida ama Fasiraadda | 翻訳または通訳 | ການແປພາສາ ຫຼື ການອະທິບາຍ
Письменный или устный перевод | Traducere sau Interpretare | 번역및통역 | الترجمة التحريرية أو الشفوية | Письмовий або усний переклад



503-823-7300



BDS@PortlandOregon.gov



www.PortlandOregon.gov/bds/translated

TTY: 503-823-6868
Relay Service: 711

Agustin Enriquez, GBD Architects
1120 NW Couch Street, Suite 300
Portland, OR 97209

DATE: _____

TO: Grace Jeffreys | grace.jeffreys@portlandoregon.gov
Bureau of Development Services
1900 SW Fourth Ave., Suite 5000
Portland, Oregon 97201

APPLICANT'S STATEMENT CERTIFYING DESIGN ADVICE REQUEST POSTING

Case File EA 22-119953 DA - - RiverPlace Block 1, South

This certifies that I have posted notice on my site. I understand that the meeting with the Design Commission is scheduled for **April 7, 2022** at 1:30PM, and that I was required to post the property at least 20 days before the hearing.

The required number of poster boards, with the notices attached, were set up on _____(date). These were placed adjacent to each street frontage so that they were visible to pedestrians and motorists.

I understand that this form must be returned to the Bureau of Development Services no later than March 24, 2022, 14 days before the scheduled meeting. I also understand that if I do not post the notices by March 18, 2022, or return this form by March 24, 2022, my meeting will automatically be postponed.

In addition, I understand that I may not remove the notices before the meeting, but am required to remove them within two weeks of the meeting.

Signature

Print Name

Address

City/State/Zip Code

Additional Instructions for Posting Notice Signs

Layout:

The overall board must be printed at its full 18-inch by 24-inch size. Templates for the 18-inch by 24-inch board are provided in Adobe Illustrator, Adobe InDesign, and PDF formats.

Place an image of your proposal, preferably a rendering or an elevation, on the left side of the 18-by-24-inch sign board. Make the image as large as possible without covering any of the blue background of the board and leaving enough room for the posting notice text. Place the posting notice text provided by the city planner on the right side of the board. The posting notice text is provided in PDF format by the city planner for easy insertion/attachment to the sign template; it should be inserted at its full 8.5-inch by 11-inch size. See the example image on the following page for reference.

Materials:

Your local sign manufacturer will have a variety of options available, but for environmental reasons we recommend corrugated plastic because it can be recycled. Corrugated plastic is sold under many trade names. It is an extruded twin wall plastic-sheet product produced from high-impact polypropylene resin with a similar make-up to corrugated cardboard and is ideally suited for outdoor signage. It can be direct printed or will accept pressure sensitive adhesive graphics. The sign must be printed in color.

Installation:

Signs may be attached to an existing building or structure, or mounted on posts, stakes, a fence, or other reasonable and sturdy structure that is fully accessible to the public.

Mounting Height:

To ensure that your sign is displayed at the correct height, the top of the sign when mounted should be no higher than 60" inches above grade and free from any obstruction. The bottom of the sign must be at least 24" above the ground.

An example image of the posting board layout is provided below:



LOT 5 STATION PLACE

WHEN	THURSDAY, SEP <i>(This is the hearing start time)</i>
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 www.portlandoregon.gov/bds/dcagenda

REVIEW BY	DESIGN COMMISSION
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REVIEW TYPE	Design Review with Modifications and concurrent Adjustment Review commercial building consisting of ground floor retail, lobby, loading area
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REVIEW AGREEMENT	<ul style="list-style-type: none"> Central City Fundamental Design Guidelines River District Design Guidelines
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SITE ADDRESS	NW 9 th Ave & NW Northrup St
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FURTHER INFO	Available online at www.govt.co.uk at the Bureau of Development
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SDS CONTACT (503) 823-7612 / sdsc@maine.washington.edu or sdsc@oregon.gov
Bureau of Development Services, 1930 SW 4th Ave, Suite 3000, Portland, OR 97201

503-823-7300 @ 805ii.PortlandOregon.gov www.PortlandOregon.gov/ids/translated TTY: 503-823-6866
Relay Service: 711

Agustin Enriquez, GBD Architects
1120 NW Couch Street, Suite 300
Portland, OR 97209

DATE: 3/21/2022

TO: Grace Jeffreys | grace.jeffreys@portlandoregon.gov
Bureau of Development Services
1900 SW Fourth Ave., Suite 5000
Portland, Oregon 97201

APPLICANT'S STATEMENT CERTIFYING DESIGN ADVICE REQUEST POSTING

Case File EA 22-119953 DA - - RiverPlace Block 1, South

This certifies that I have posted notice on my site. I understand that the meeting with the Design Commission is scheduled for **April 7, 2022** at 1:30PM, and that I was required to post the property at least 20 days before the hearing.

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In addition, I understand that I may not remove the notices before the meeting, but am required to remove them within two weeks of the meeting.


Signature

Agustin Enriquez V
Print Name

1120 NW Couch #300
Address

Portland OR / 97209
City/State/Zip Code



PORTLAND BUREAU OF TRANSPORTATION

1900 SW Fourth Ave., Suite 5000 Portland, OR 97201 503-823-5185
Fax 503-823-7576 TTY 503-823-6868 www.portlandoregon.gov/transportation

Jo Ann Hardesty Commissioner Chris Warner Director

PBOT – Development Review

Early Assistance Appointment Response

Date: April 18, 2022
To: Grace Jeffreys, BDS Land Use Services
(503) 865-6521, grace.jeffreys@portlandoregon.gov
From: Fabio de Freitas, PBOT Development Review
(503) 823-4227, fabio.defreitas@portlandoregon.gov
Case File: EA 22-119953
Location: 150 S MONTGOMERY ST
R#: R246187
Proposal: DZ HEARING -DAR for a new 30-story, multi-family high-rise development on the former Riverplace Athletic Club site, part of Phase 1/ Block 1 of the overall 8-acre site of the recently approved RiverPlace Central City Masterplan CCMS, located in the University District/ S. Downtown Subdistrict of the Central City Plan District. The Phase 1/Block 1 development preserves all existing housing in the Douglas Apartments and townhouse portions of the site. This proposal for the southern parcel of Block 1 will provide 329 dwelling units. Parking will be provided by utilizing unused existing spaces in the adjacent Douglas Apartments garage, which contains 385 stalls. 16,610 square feet of new public open area will be provided mid-block and to the south of the block. 5 potential modifications include: Tower Floor Plate Size, Tower Floor Plate Dimensions, Eco-roof, Open Area Design and Ground Floor Windows.

Mayor Ted Wheeler has declared a State of Emergency for the City of Portland. While city offices are closed to the public to maintain social distancing guidelines from Oregon and federal health authorities, PBOT staff who are able to are currently working remotely to help keep the business of PBOT moving.

Portland Bureau of Transportation/Development Review staff (PBOT) has reviewed the Early Assistance materials to identify potential issues and requirements.

A. KEY ISSUES AND REQUIREMENTS:

1. The applicant is referred to PBOT's prepared responses for the project-associated Pre-application Conference (EA 21-103597) and the land use proposal's Request for Completeness (PBOT) response (LU 22-121266 DZ M) for issues and items that have been identified.
2. One outstanding matter continues to be the evolving location and orientation of the required bicycle/pedestrian path required at the south end of Parcel 1. Since the approval of the associated Central City Master Plan by the City's Design Commission, that applicant has continued to modify the design and location of this multi-use path. The applicant's most recent proposal involves placing a portion of this facility on private property and a portion of the facility

within the abutting public ROW to the west of the subject site. PBOT staff from multiple bureau sections have considered this approach and *could support this concept assuming that the Design Commission is also supportive of this changed option.* **PBOT's initial indication of support for the shifting of a portion of the required pedestrian/bicycle path to be partially within the abutting public ROW should not be construed as tacit City approval.**

The applicant is informed that if the Design Commission supports this move, permitting of the portion of the pedestrian/bicycle path that will be located within the abutting public ROW will be via PBOT's Encroachment Permit process that will be a part of the expected Building Permit process. The applicant is also advised that the portion of the pedestrian/bicycle path that will be located within the abutting public ROW must also be shown on the necessary Public Works Permit plans for Phase 1 (for reference purposes, only). Lastly, the applicant should expect that the developer will be responsible for maintenance obligations of the path and associated landscaping within the abutting ROW – these obligations will be identified in relation to the referenced future Encroachment Permit.

RiverPlace Block 1 DAR - EA 22-119953 SUBMITTAL (received 3-21-2022)

TESTIMONY for **April 7, 2022 Design Advice Review** of RiverPlace Block 1

I am Thomas Ray. I live downtown at 2211 SW 1st Ave

You have set a precedent for multi-phased, stepped, Master Plans, by delaying decisions for future design proposals. Now is the time to apply criteria of the entire CC2035 plan and Ordinance 189001, to this proposal, and to follow through on your own conditions of approval (B thru L) issued in the decision of March 16. We agree with the commission's consensus throughout the master plan hearings, that each phase of the master plan be complete, and stand alone.

The DAR before you for Phase 1 of RiverPlace proposes another "phased approach", beginning with details of a tower in the south, to be followed by an indeterminate building, at an indeterminate time, in the north, which may never be realized. Again, you will be challenged to determine if all the criteria will be met by this proposal, or if you must await later fulfillment, if at all. Is this proposal complete and does stand alone?

2 minutes is insufficient to address many issues of this proposal. However, the applicant chooses to import standards applied to an entirely different, undeveloped, South Waterfront site (with a different street grid), into a uniquely challenging location which is already developed. They are not similar, nor comparable.

With the ink barely dry from the Master Plan, this DAR already seeks 5 modifications. I will only address #1 - Tower Floor Plate Size, and #2 - Floor Dimension, seeking an increase to 12,454 sq. ft., - larger than any existing floor plate in the South Waterfront. This is counter to **33.510.210.D.3.e.1**, to promote "slender towers with an east-west orientation", as it enhances north-south length, casts a broader afternoon shadow, decreases visual permeability with a fatter building. Their modification is based on faulty calculations through a geometric slight of hand. They claim their North South dimension qualifies for modification as being only 112 feet. Review of their diagram reveals a "side" of the parallelogram building is 112 feet, However the proper dimension from the most northern edge of the tower to the most southern edge of the tower, is approximately 147 ft. - exceeding the 112 ft. criteria in code 33.510.210.D.3.e, as measured by Code 33.510.251.A.3, and shown in Figure 510-1. (See attached diagrams) In #2, they propose rewriting the code for what is north and south! The request for a 25% increase in the floor plate should be denied.

We await your application of existing code and ordinances to enhance the vitality, livability and benefit to the public of this endeavor. Thank you.

Thomas L. Ray
2211 SW 1st Ave., Unit 802
Portland, Oregon 97201
thomas-ray@comcast.net

RiverPlace - EA -22-119953 - DA 04/07/22

Good afternoon:

My name is John Czarnecki. I am a business owner at 1020 SW Taylor, a professional Urbanist and member of the DNA. Past service as chair of the Landmarks Commission made me acutely aware of and sensitive to the complex issues before Commissions.

I am grateful for this opportunity to offer the following design comments regarding the provision of appropriate public space necessary to meet the requirements of complete neighborhoods that offer livability.

The 2035 plan defines complete neighborhoods in part *"...where people have safe and convenient access to the goods and services needed in daily life, which include a variety of housing options..... and parks. Complete neighborhoods are also easily accessible by foot, wheelchair, bike, and transit for people of all ages and abilities."*

Furthermore; useable outdoor space is best, logically and perhaps obviously cited in 33.510.255.h ... *"At least one of the parks or plazas must have dimensions that allows a 50 foot by 50 foot square to fit entirely within it"*.

Wisely, both of these conditions are essential to the design of a livable environment for all residents and visitors.

Outdoor spaces with these genuinely livable qualities are not currently proposed in this design. Even the required fifty x fifty sq foot clear multiuse use space is nowhere to be found. Fifty x fifty sq feet is small. It is approximately $\frac{1}{16}$ the size of a typical Portland block. That size is intended as a minimum. It is barely large enough to support a variety of safe casual outdoor activities for children, much less for teens and adults.

The currently proposed design unnecessarily misses the opportunity to provide for this essential, useful quality of genuinely livable neighborhoods.

Thank you.

John Czarnecki
503-422-5103

Good afternoon,

My name is Dean Barnet. I am a member of the Downtown Neighborhood Association (DNA) and live downtown.

As you may recall, the DNA believed that the Master Plan approval process should have included both the approval criteria from the CC2035 Goals and Policies as well as the University Subdistrict goals. You disagreed but promised that as part of the design approval process, all of these goals and policies would be required in each stand-alone phase since the Applicant gave no guarantees, or even much detail of future possible buildouts.

So now that we are at the Phase 1 DAR, we hope that you will send a clear message that at hearing the Applicant must clearly demonstrate the evidence which demonstrates that Phase 1 meets all of these critical Central City 2035 and University Subdistrict Goals and Policies:

1) That the design promotes mixed income residential, commercial, retail and hospitality to support PSU growth as required by Policy 1.UD-3; 2) ensures housing diversity to support families and students as required by Policy 2.UD-4; and 3) ensures a broad mix of residential, commercial, recreational and boating opportunities which embrace the RiverPlace character as required by Policy 5.UD-3.

This plan fails to evidence compliance with these criteria. Foremost, there is no evidence of a clear intention to ensure affordable student, senior and family housing. We urge the Commission to require that inclusionary housing is part of this design to prevent a "fee in lieu" from being paid, as so many developers have done after obtaining concessions on size, height and density. Requiring compliance with the Subdistrict and 2035 criteria will protect our community from such sleight of hand giving us what we need – more inclusionary housing for PSU students, seniors, and university employees and families.

Thank you.

RiverPlace - EA -22-119953 - DA 04/07/22

Good afternoon,

My name is Marian deBardelaben. I am a member of the Downtown Neighborhood Association (DNA) and live downtown.

The Phase 1 design submitted by the Applicant fails to provide evidence of compliance with Central City Fundamental Design Guideline C4 that this development standing along will “complement the context of existing buildings” and complies with CC2035 Policy 4.30 and 4.31.

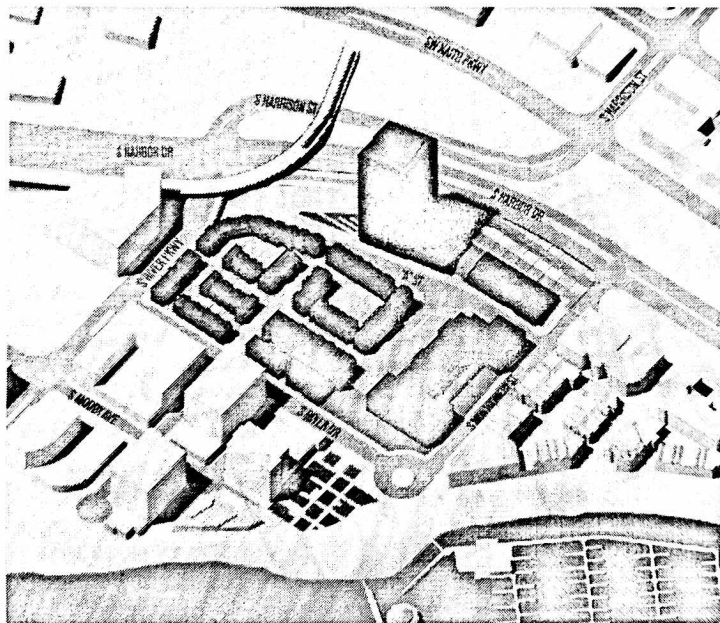
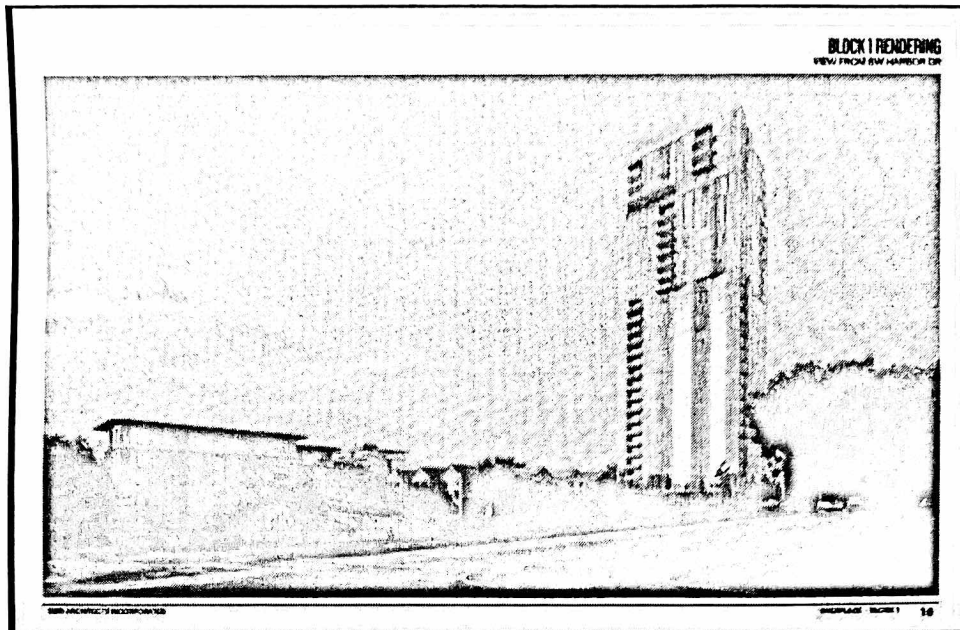
The Commission cannot speculate as to whether the future will provide such context or soft transition. The code requires evidence of compliance not speculation. The Commission has repeatedly acknowledged that none of us, even the Applicant, can foretell the future. This design must stand on its own as Phase 1 of Block 1. The newly proposed Phase 2 of Block 1 must be evaluated if and when it moves forward. **Context and transition must be evaluated with present conditions.**

Given all the changes that this Applicant has put forward, each and every time it has come before you, it is clear this is a shotgun effort at design. Please do not gamble on what may or may not occur in the future. Remember, that it is this Applicant's choice to move forward in this fashion rather than to pull back until a more coherent proposal can be designed and put forward.

In that context, standing alone, it could not be clearer that the Phase 1 design fails to demonstrate context and transition. There is no transition, let alone a soft transition to the existing neighboring buildings. Phase 1 renderings which are included with my testimony speak volumes. This 30 story – 367 ft. high - tower dwarfs all the neighboring buildings.

A smart sensible design could comply. Even a southern 20 story building and a northern 10 story building would be more appropriate context and transition. This 30-story tower will interrupt the current downward transition from the Downtown to the River with no appropriate reference or context and will be an ugly testament to poor planning in the Downtown.

Thank you.



RiverPlace - EA -22-119953 - DA 04/07/22

Good afternoon,

My name is Ron Doctor. I'm a member of the Downtown Neighborhood Association (DNA). I live in the downtown RiverPlace area.

The Application and proceedings to date both fail to comply with the 8 solar energy policies of the 2035 Comprehensive Plan. Nor do they comply with the documentation requirements of the Plan.

Goal 4.C requires that ...

"Neighborhoods and developments are efficiently designed and built to enhance human and environmental health. They ... reduce carbon emissions; encourage active and sustainable design"

You should implement and document the Plan's 8 specific solar, renewable and environmental Policies in this Design Review process. They are Policies 4.12, 4.67 through 4.72, and 8.125. As each of the Applicant's phases move forward, we ask you to ensure that each building must be designed to ...

- avoid rooftop shadowing of neighboring buildings;
- locate and orient each building to maximize rooftop exposure to the sun and to minimize shadowing on the rooftops of off-site buildings;
- increase distance between on-site buildings to maximize rooftop exposure to the sun; and,
- include rooftop solar to produce electricity and reduce carbon emissions, as called out by the Comprehensive Plan.

The design before you is silent about the solar expectations of the CCMP 2035. Don't let the Applicant make that document meaningless. Now is the time for you to require the Applicant to address the solar issues and renewable energy goals of the City. Your action on this would bring you into compliance with CCMP requirements that ...

"... quasi-judicial decisions must document how the proposed decision complies with the Comprehensive Plan's policies," and,

"2035 Goals and Policies will be used when developing urban renewal and area plans."

So far, the Applicant has totally failed to consider environmental concerns in their design. This disregard for the 2035 Comprehensive Plan becomes even more obvious with their new request to eliminate the Plan's eco-roof requirements.

Our neighborhood also is concerned because the Applicant has been quite clear that their design is largely planned as hard-scape with few trees in the major open area in Block 6. All factors taken together will result in an enormous urban heat island, storm water runoff contaminating the river and significant health hazards from poor air quality.

Please, either (1) require the design to include solar rooftops, or, (2) refuse to modify the eco-roof requirement, and (3) protect the health of existing and new RiverPlace residents, visitors, & workers by requiring implementation of the 2035 Comprehensive Plan's environmental policies.

Thank you ... Ron Doctor (rddpdx@gmail.com)

RiverPlace - EA -22-119953 - DA 04/07/22

Good afternoon,

My name is Diana Stuart. I am a member of the Downtown Neighborhood Association (DNA) and live at 1920 S River Drive in RiverPlace.

In 2018 when this applicant appeared before City Council asking for increases in height and density for RiverPlace, the design portrayed tall slender towers with streaming sunlight attracting vibrant retail and complete neighborhoods. As a result, height opportunities were granted which was codified in PCC 33.510.210 D3 specific to RiverPlace. Not having addressed this code provision at the masterplan phase, the applicant appears to presume the height of 325 feet, or even more is theirs of right. It is not.

In order to earn RiverPlace Height Opportunities this design must meet the standards of thin towers which protect visual permeability and sunlight, height step downs, reduction of shadowing and view protections. There is no step down from Naito and the rest of the Central City to this 30 story plus tower. And now the Applicant is attempting to create an even broader tower than portrayed at the masterplan phase – not a thin tower which would reduce shadowing of neighboring buildings and create visual permeability. The request to amend must be denied. Further, even with the floorplate suggested at the Masterplan stage, this design does not meet the standards and earn a height upward adjustment. Either the design needs to be revised or the height reduced since not earned.

Additionally, the DNA assumes that when a formal application is submitted, the Applicant must submit a tree plan to ensure trees will provide shade, carbon sequestration and mitigate what will otherwise contribute to an urban heat island. Further, the applicant must demonstrate how Phase 1 will attract visitors with new entertainment, retail and restaurants, create community cohesiveness, evening and weekend activity and create housing diversity. None of that is evidenced in the Application before you.

Thank you.

RiverPlace Redevelopment Phase 1 A, Design Advice Request

EA-22-119953, April 21, 2022

Inclusionary Housing and FAR Bonus

Good afternoon. I'm LaJune Thorson, DNA member and resident at 255 SW Harrison Street.

I'm here once again to emphasize the importance of Inclusionary Housing and how the Bonus FAR is earned in what is best called Phase 1 A of this redevelopment project.

The developer is still not telling us how they plan to earn the FAR Bonus which is assumed in the design before you. We hope it is through Inclusionary Housing but there still is no commitment. (Ordinance 189001) If fact, there is no commitment to rentals over high-end condos which will be bought as investments just as we are seeing in other cities. This vagueness is unacceptable to the DNA and we believe it is unacceptable to the Design Commission and to the City Council. We want students and families and workers downtown to be able to live downtown. This expectation is in keeping with PBOT's vision of fewer people needing to drive downtown. And it is in keeping with the City Council's expectation when they approved the height increase in 2018. Without Inclusionary Housing this project will do nothing to mitigate our housing crisis. And remember, the developer plans to demolish market-rate, but moderately priced housing. We want to see Inclusionary housing on this site and not off-site through a fee in lieu buyout. And we want a commitment that this inclusionary housing will be built in Phase 1 with no shifting of FAR to a later Phase that may never happen. Without this commitment for on-site inclusionary housing in Phase 1 we could end up with another fiasco like the one involving the Ritz Carlton and The Broadway Tower. The Inclusionary Housing promised in both those developments has never been built.

Please require that the developer specify exactly how they are earning the Bonus FAR that is assumed in the proposed Phase 1A. If they can't tell us how they are earning the Bonus, then the FAR must be held to 5.0. This commitment cannot be delayed any longer.

At a future hearing I wish to talk about the mirror monolith that this building will present to the rest of the city.

LaJune Thorson

Lajune.thorson@gmail.com

DAR – RiverPlace Phase 1A

EA 22-119953 Hearing_ 04/21/2022

Good Afternoon,

My name is Rudy Barton. I live at 1920 S River Dr. and I am a member of the DNA.

I would like to address an umbrella issue for this review. Other DNA members will address specific design issues in more detail.

My comments focus specifically on relationships amongst Adjustments, Modifications, and the Commission's discretionary powers.

Code definitions and discussions of Modifications and Adjustments are muddy at best; they appear to be interchangeable words for unique circumstances. Both address objectives to tweak regulations if, and that's a big if, the intended purposes and standards are met. Practically, modifications seem to address lesser degrees in scale and intensity.

There is also a lot of back and forth in the code regarding the Commission's discretionary powers. For example, in the Central City Plan District, adjustments to Floor Area Ratios are clearly prohibited. In Design Review procedures, however, the Commission may not increase or decrease total floor area or height, EXCEPT when the height includes bonus height or bonuses requiring approval through design review. In this precise case, how is the bonus height earned?

Clarification of what is excessive should be discussed at this stage in the review process. A 25% increase in maximum floor plate size is quite significant, not a minor modification. Neither is a larger increase in tower dimensions. Simply *more of something* would not appear to be sufficient justification.

The Code states that the Commission is not obligated to approve modifications or adjustments simply because the applicant wants them. Approved modifications must be consistent with the purpose of the standards, there must commensurate public benefits, and adverse impacts are mitigated.

The burden is on the applicant to clearly demonstrate that the requested modifications will better meet design review requirements. At this point, I do not believe that such criteria have been demonstrated.

Thank you for your consideration, and service on the Commission.



City of Portland, Oregon - Bureau of Development Services

1900 SW Fourth Avenue • Portland, Oregon 97201 | 503-823-7300 | www.portland.gov/bds



Early Assistance Application

FOR INTAKE, STAFF USE ONLY

Date Rec _____ by _____

LU Reviews Expected _____

☐ Required ☐ Optional see PC 21-103597
PJ 21-052246

Y N Unincorporated MC
Y N Flood Hazard Area (LD & PD only)
Y N Potential Landslide Hazard Area (LD & PD only)
Y N 100-year Flood Plain
Y N DOGAMI

File Number: _____

Appt Date/Time: _____

Qtr Sec Map(s) _____ Zoning _____

Plan District _____

Historic and/or Design District _____

Neighborhood _____

District Coalition _____

Business Assoc _____

Neighborhood within 400/1000 ft _____

**APPLICANT: Complete all sections below that apply to the proposal. Please print legibly.
Email this application and supporting documents to: LandUseIntake@portlandoregon.gov**

Development Site

Address _____ Cross Street _____ Site Size/Area _____

Tax account number(s) R _____ R _____ R _____ R _____

Short Project Description:

include proposed stormwater disposal methods. Attach additional sheets for a more detailed description, if needed.

Design & Historic Review (New development: give project valuation. Renovation: give exterior alteration value) \$ _____

APPLICANT: Select an Early Assistance Type and check boxes for desired meeting/written notes options:

Early Assistance Type	City Reviewers	On-line MS Teams meeting & written notes provided ¹	No meeting, written notes provided
<input type="checkbox"/> Pre-application Conference² required for Type III and IV land use reviews	BDS Land Use Services, Transportation, Environmental Services, Water, Parks, others as needed	<input type="checkbox"/>	
<input type="checkbox"/> Design Advice Request² Public Zoom meeting or written notes only with Design Commission or Historic Landmarks Commission	BDS Land Use Services and Design Commission or Historic Landmarks Commission		
<input type="checkbox"/> Early Assistance - Zoning and Infrastructure Bureaus (including initial bureau responses for street vacations)	BDS Land Use Services, Transportation, Environmental Services, Water, Parks	<input type="checkbox"/>	<input type="checkbox"/>
<input type="checkbox"/> Early Assistance - Zoning Only	BDS Land Use Services	<input type="checkbox"/>	<input type="checkbox"/>
<input type="checkbox"/> Pre-Permit Zoning Plan Check <input type="checkbox"/> 1-2 housing units <input type="checkbox"/> All other development	BDS Land Use Services		<input type="checkbox"/>
<input type="checkbox"/> Public Works Inquiry for 1-2 housing units No land use review or property line adjustment expected	Transportation, Environmental Services, Water		<input type="checkbox"/>

¹Where a meeting is optional, an additional fee applies for the meeting in addition to written notes. Please see the Land Use Services fee schedule for detailed fee information: www.portland.gov/bds/documents/land-use-services-fees-schedule.

²Public notice (email and internet posting) provided for Pre-application conferences and Design Advice Requests.

Applicant Information For Early Assistance options that include a meeting, indicate who should be invited by BDS staff. A legible email address must be provided. Include separate sheet for additional names if needed.

PRIMARY CONTACT, check all that apply ☐ Applicant ☐ Owner ☐ Other _____
Invite to MS Teams Meeting?: ☐ Yes ☐ No
Name _____ Company _____
Mailing Address _____
City _____ State _____ Zip Code _____
Day Phone _____ email _____

Check all that apply ☐ Applicant ☐ Owner ☐ Other _____
Invite to MS Teams Meeting?: ☐ Yes ☐ No
Name _____ Company _____
Mailing Address _____
City _____ State _____ Zip Code _____
Day Phone _____ email _____

Check all that apply ☐ Applicant ☐ Owner ☐ Other _____
Invite to MS Teams Meeting?: ☐ Yes ☐ No
Name _____ Company _____
Mailing Address _____
City _____ State _____ Zip Code _____
Day Phone _____ email _____

**Please submit this application via email with the following materials to
LandUseIntake@portlandoregon.gov:**

- ☐ Written project description
- ☐ Site plans drawn to a measurable scale, with scale and scale bar identified
- ☐ Building elevations drawn to a measurable scale (if appropriate), with scale and scale bar identified

Once the application is received, staff will contact you regarding payment and scheduling a date and time for your meeting.

Questions to be discussed:

Please include on a separate sheet of paper all questions you wish to be addressed.

Note:

1. Only material submitted with the original application will be addressed by City staff; we are unable to address any additional material that is submitted after the application is received.
2. For some proposals, such as those using the Community Design Standards, you will receive more detailed information if you provide full-sized plans.
3. Estimates for System Development Charges (SDCs) are not be provided at Early Assistance Meetings. Refer to SDC information on the BDS website.
4. Plans examiners do not participate in Early Assistance meetings and they do not provide written comments. For life/safety and building code questions, consult with a plans examiner in the Permit Center or schedule a Life Safety Preliminary Meeting (www.portland.gov/bds/documents/life-safety-preliminary-meeting-request-packet).

Following a pre-application conference, the summary report with web links to forms and handouts will be e-mailed to you. If you prefer to receive paper copies, please check this box. ☐



City of Portland, Oregon
Bureau of Development Services
Land Use Services
FROM CONCEPT TO CONSTRUCTION

Dan Ryan, Commissioner
Rebecca Esau, Director
Phone: (503) 823-7300
Fax: (503) 823-5630
TTY: (503) 823-6868
www.portland.gov/bds

Design Advice Request

DISCUSSION MEMO

Date: April 5, 2022
To: Portland Design Commission
From: Grace Jeffreys, Design / Historic Review Team
503.865.6521 | Grace.Jeffreys@portlandoregon.gov
Re: EA 22-119953 DA – RiverPlace Phase 1 South
Design Advice Request Memo – April 7, 2022

This memo is regarding the upcoming DAR on April 7, 2022 for **RiverPlace Phase 1 South**. The following supporting documents are available as follows:

- Drawings – accessed here (<https://efiles.portlandoregon.gov/Record/15017242/>) . Note, Commissioners who requested hard copies will receive the drawing set by courier.
- Guideline matrix – at end of this memo.

I. PROGRAM OVERVIEW

Proposal for a new 30-story, multi-family high-rise development as part of Phase 1/ Block 1 of the recently approved RiverPlace Central City Masterplan, located in the University District/ S. Downtown Subdistrict of the Central City Plan District. Located on the former Riverplace Athletic Club site, this phase of the development preserves the existing housing in the Douglas Apartments and townhouse portions of the site. The project will include approximately 329 dwelling units, and no retail or parking. 16,610 square feet of new public open area will be provided mid-block and to the south of the block. Potential modifications include Tower Floor Plate Size, Tower Floor Plate Dimensions, Eco-roof, and Ground Floor Windows.

II. DEVELOPMENT TEAM BIO

Architects	Agustin Enriquez GBD Architects
Owner's Representative	NBP 0150 S MONTGOMERY LLC
Project Valuation	\$160,000,000

III. FUTURE DESIGN APPROVAL CRITERIA:

- Central City Fundamental Design Guidelines
- 33.825.040 Modifications That Will Better Meet Design Review Requirements

IV. POTENTIAL MODIFICATIONS

Subject to the approval criteria of 33.825.040 A and B:

- Better meets design guidelines. The resulting development will better meet the applicable design guidelines;
- Purpose of the standard. On balance, the proposal will be consistent with the purpose of the standard for which a modification is requested; and (see below for each standard's purpose statement)
- Mitigation of impacts. Any impacts resulting from the modifications are mitigated to the extent practical.

The following four (4) Modifications may be requested (Staff has provided the purpose statement of each standard to assist as you prepare comments related to approval criterion 33.825.040.B).

1. 33.510.210.D.3.e Bonus heights, RiverPlace Height Opportunity Area. Request to allow a floor plate of 12,454 square feet above 100' in height, which is larger than the allowed 10,000 square feet (See Pages 45 of the packet).

33.510.210.D.3.e.(2) Requirement.

If the building is taller than 75 feet, the floors of the building above 100 feet must not be more than 10,000 square feet each. Adjustments are prohibited, however modification through design review may be requested if the north-south dimension of the building above 75 feet is 112 feet or less. The north-south dimension is measured as specified in 33.510.251.A.3.e.

33.510.210.D.3.e.(1) Purpose

In the RiverPlace height opportunity areas, additional building heights may be appropriate to meet density goals as well as:

- *Provide diverse housing opportunities;*
- *Support high quality design;*
- *Create additional opportunities for visual access through the area;*
- *Promote the development of slender towers with an east-west orientation;*
- *Establish and maintain a pedestrian environment with access to sunlight;*
- *Create open space amenities connecting to the riverfront;*
- *Contribute to the area's urban variety, adding visual interest at the pedestrian level and from vantage points outside of the area;*
- *Create an urban form that is visually permeable and maintains all protected public views and view corridors.*

Note the standards asks that the north-south dimension of the building above 75 feet must be 112 feet or less, which has not yet shown to be met. To meet this maximum width, the applicant asks to modify how the north-south dimension is measured, as specified in 33.510.251.A.3.e. This is the second modification, below. However, BDS's position is that a method of measurement cannot be modified. However, we have received additional information from the applicant about their stance that the measurement can be modified, and will be reviewing the material in more detail. We will provide an update on the code interpretation if anything has changed.

2. 33.510.251.A.3.e Special building height corridors and tower orientation. Request to modify the standards of what constitutes "north-south". Rather than consider the cardinal north-south language, the proposal is to change the language from "northernmost point" and "southernmost point" to being 90 degrees perpendicular to the easternly and westerly street grids that exist west of the site, in most of downtown, and were adopted through the CCMS masterplan process (See Pages 46-47 of the packet).

As noted above, the proposal does not meet the qualifying requirement of 33.510.210.D.3.e.(2), because the north-south dimension of the building above 75 feet is greater than the allowed 112 feet, as directed to be measured per 33.510.251.A.3.e. Because the code does not allow modifying a qualifying situation, the applicant proposes to instead request a modification for how the north-south dimension is measured, per 33.510.251.A.3.e

33.510.210.D.3.e.(2) Requirement.

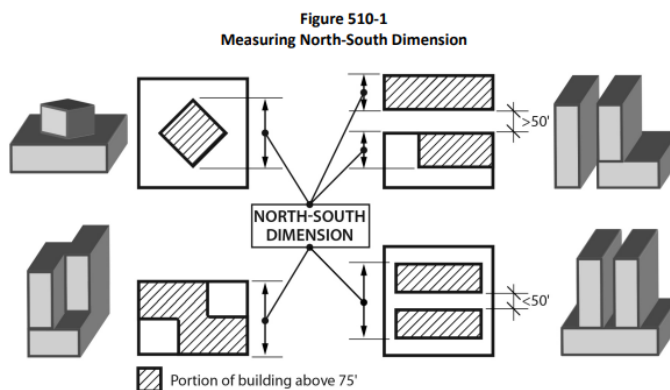
3. *Maximum north-south dimension.* The north-south dimension is measured as specified in Subparagraph A.3.e. See Figure 510-1. Adjustments to this paragraph are prohibited; however, modifications to the standards of this paragraph may be requested through design review. In reviewing such a request, the review body will consider the results of the South Waterfront Public Views and Visual Permeability Assessment for the proposal. The north-south dimensions of buildings are limited as follows:

e. *Measurements for this paragraph.* The measurements for the regulations of this paragraph are as follows. See Figure 510-1:

(1) The north-south dimension of a building is measured as follows:

- From the northernmost point of the portion of a building that is at least 75 feet in height, a line is drawn running due east-west;
- From the southernmost point of the portion of a building that is at least 75 feet in height, a line is drawn running due east-west;
- A line drawn at right angles between the two east-west lines is the north-south dimension;

(2) The space between buildings on a site is measured using the east-west lines created under A.3.e.(1). A line drawn at right angles between the northern east-west line of one building and the southern east-west line of the other is the distance between the buildings.



33.510.251.A.1. Purpose. Special building heights along designated east-west corridors and tower orientation standards provide visual access to the Greenway from points west of the district, provide visual access to the Tualatin Hills from points east of the district, provide access to sunlight along designated streets, and encourage an urban form that is visually permeable and varied.

Please see comments above under Modification 1.

3. **33.510.243 Ecoroofs.** Request to not meet eco-roof requirements on the rooftop of the tower element, and to manage stormwater at grade instead, on the west, south and/or northern frontages (See Pages 48-49 of the packet).

33.510.243.B.1 Requirement. *Ecoroof standard.* In the CX, EX, RX, and IG1 zones, new buildings with a net building area of 20,000 square feet or more must have an ecoroof that meets the following standards:

1. The ecoroofs, including required firebreaks between ecoroofs areas, must cover 100 percent of the building roof area, except that up to 40 percent of the building roof area can be covered with a combination of the following. Roof top parking does not count as roof area.

33.510.243.A. Purpose. *Ecoroofs provide multiple complementary benefits in urban areas, including stormwater management, reduction of air temperatures, mitigation of urban heat island impacts, air quality improvement, urban green spaces, and habitat for birds, plants and pollinators. The standards are intended to:*

- *Maximize the coverage of ecoroofs;*
- *Allow for the placement of structures and other items that need to be located on roofs; and*
- *Support the architectural variability of rooftops in the Central City.*

At the time of the CCMS, it was noted that all new buildings would be providing eco-roofs to manage stormwater on the buildings. Therefore, applicant will need to continue to work with BES to show how they intend to meet all stormwater requirements without providing the required ecoroofs. And, while stormwater management is part of the purpose of this standard, mitigation of urban heat island impacts, air quality improvement, urban green spaces, and habitat for birds, plants and pollinators are also important, and mitigation has not yet been identified. Also, refer to comments in the matrix, below.

4. 33.510.220 Ground Floor Windows. Request to not meet the ground floor window requirement of at least 40 percent of the ground level wall areas on the north (25 percent) and south (18 percent) facades (See Page 52 of the packet).

33.510.220.B Requirement. *To meet the standards, ground floor windows must be windows that allow views into work areas or lobbies, or be windows in pedestrian entrances. Windows into storage areas, vehicle parking areas, garbage and recycling areas, mechanical and utility areas and display cases attached to outside walls do not qualify. Windows into bicycle parking areas are allowed to qualify for up to 25 percent of the ground floor windows coverage requirement. The bottom of the windows of nonresidential spaces must be no more than 4 feet above the finished grade:*

2. All other ground level facades that face a street lot line, sidewalk, plaza, or other publicly accessible open area or right-of-way must have windows that cover at least 40 percent of the ground level wall area. For street facing facades of dwelling units the regulations of 33.130.230.B.4 apply. For the purposes of this standard, ground level wall area includes all exterior wall area from 2 feet to 10 feet above the finished grade.

33.510.220.A. Purpose. *In the Central City plan district, blank walls on the ground level of buildings are limited in order to:*

- *Provide a pleasant, rich, and diverse pedestrian experience by connecting activities occurring within a structure to adjacent sidewalk areas;*
- *Encourage continuity of retail and service uses;*
- *Encourage surveillance opportunities by restricting fortress-like facades at street level;*
- *Avoid a monotonous pedestrian environment; and*
- *The plan district modifications to the base zone standards for ground floor windows are intended to promote ground floor windows in a larger number of situations than in the base zones and to provide additional flexibility in meeting the standard.*

Refer to comments in the matrix, below.

V. STAFF ANALYSIS & RECOMMENDED DAR DISCUSSION TOPICS

Staff advise you to also consider the following among your discussion items on April 7, 2022:

- Context –
 - Tower. The tower design and character (Pages 22-36).

- Note, Modifications 1 and 2 relate to the floor plate size of the tower (Pages 45-49), as listed above under Section IV. However, as noted above, per code, these modifications cannot be requested, which will affect the design.
 - Podium. The podium design and character, and its relationship to the adjacent sloped grades. This is particularly relevant at the north end of the project, adjacent to Harbor Way to the west, the North walkway and A street to the east. (Pages C.28-31, 40).
 - Open Areas. The treatment of the 2 required Open Areas to the north and south - uses, functionality and activation.
- Public Realm –
 - The ground floor uses, depths & heights on all four sides (Pages C.28-31). Due to adjacent slopes, there are three floor plan levels relating to different ground levels - A Street level opens to the east (page 15), the mezzanine level opens to the south (Page 16) and the Harbor Way level opens to the west (Page 17). How do these engage the adjacent surroundings?
 - Note Modification 4 is to not meet ground floor window requirements facing the open areas to the north and south as listed above under Section IV.
 - Quality –
 - Coherency of building composition, exterior materials, as related to context.
 - Coherency of building composition, as related to massing & façade composition.
 - Resilience.
 - Note Modification 3 is to not meet the ecoroof requirements on the tower, as listed above under Section IV.

CONTEXT	STAFF		COMMISSION	
	+ / -	Comments	+ / -	Comments
A1: Integrate the River		<ul style="list-style-type: none"> - Tower design compelling, however, MOD 1 & 2 requested to tower floorplate size cannot be requested, which will affect the design. - Podium provides little activation or engagement on any of the four sides. (C.17) 		
A2: Emphasize Portland Themes				
A3: Respect the Portland Block Structures				
A5: Enhance, Embellish & Identify Areas		New circulation network and new landscape provided.		
A6: Re-use, Rehabilitate, Restore Buildings	NA			
A9: Strengthen Gateways		<ul style="list-style-type: none"> - The tower provides wayfinding from a distance, but up close, see above notes about the podium's lack of engagement at all four sides. 		
C1: Enhance View Opportunities				

C4: Complement the Context of Existing Buildings		– The tower provides wayfinding from a distance, but up close, see above notes about the podium’s lack of engagement at all four sides.		
PUBLIC REALM	STAFF		COMMISSION	
	+ / -	Comments	+ / -	Comments
A4: Use Unifying Elements				
A7: Establish and Maintain a Sense of Urban Enclosure		<p>Ground levels at the north, south and west could provide more activation and stronger edges (pages 30-31)</p> <ul style="list-style-type: none"> – North. The cutback at main lobby helps activate base of the sloped steps to the north, but at the top of the steps there is less activation/ definition. – South. The addition of a large bike lobby with a more generous, covered and glazed entrance would better activate the south frontage. – West. More needs to be done along the podium roof part of the frontage to better activate the north part of the west frontage. – MOD 4 requested to GFW at N and S, unclear what mitigation is offered. 		
A8: Contribute to a Vibrant Streetscape	-	See A1 and A7.		
B1: Reinforce and Enhance the Pedestrian System	-	See A1 and A7.		
B2: Protect the Pedestrian	-	See A1 and A7.		
B3: Bridge Pedestrian Obstacles				
B4: Provide Stopping and Viewing Places		See A1 and A7.		
B5: Make Plazas, Parks & Open Space Successful	-	See A1 and A7.		

B6: Develop Weather Protection		<p><i>See A7. Cover provided to the east with generous entry lobby canopy. However:</i></p> <ul style="list-style-type: none"> <i>– Additional cover for adjacent pedestrian paths is needed at a minimum at bike room entrance to provide a place to stop prior to entry.</i> <i>– Some level of cover should also be provided at north and west too.</i> 		
B7: Integrate Barrier-Free Design				
C3: Respect Architectural Integrity	NA			
C6: Develop Transitions Between Buildings & Public Spaces		<i>See A1, A7, B6</i>		
C7: Design Corners that Build Active Intersections		<p><i>See A7.</i></p> <ul style="list-style-type: none"> <i>– NW corner of podium could do more to enhance and mark location of top of new stair system.</i> 		
C8: Differentiate the Sidewalk Level of Buildings				
C9: Develop Flexible Sidewalk Level Spaces		<i>See A7</i>		
C10: Integrate Encroachments				
C11: Integrate Roofs and Use Rooftops		<i>MOD 3 requested to not provide ecoroof on tower, no mitigation offered.</i>		
C12: Integrate Exterior Lighting				
C13: Integrate Signs	NA			
QUALITY AND PERMANENCE	STAFF		COMMISSION	
	+ / -	Comments	+ / -	Comments
C2: Promote Permanence & Quality in Design		<i>MOD 3 requested to not provide eco-roof on tower, no mitigation offered.</i>		
C5: Design for Coherency	-			

Design Advice Request

REVISED DISCUSSION MEMO

Date: April 18, 2022
To: Portland Design Commission
From: Grace Jeffreys, Design / Historic Review Team
503.865.6521 | Grace.Jeffreys@portlandoregon.gov
Re: EA 22-119953 DA – RiverPlace Phase 1 South
Design Advice Request **REVISED** Discussion Memo – April 14, 2022 public meeting

This memo is regarding the upcoming DAR on April 21, 2022 for **RiverPlace Phase 1 South**. The following supporting documents are available as follows:

- Drawings – accessed here (<https://efiles.portlandoregon.gov/Record/15017242/>). Note, Commissioners who requested hard copies will receive the drawing set by courier.
- Guideline matrix – at end of this memo.

I. PROGRAM OVERVIEW

Proposal for a new 30-story, multi-family high-rise development as part of Phase 1/ Block 1 of the recently approved RiverPlace Central City Masterplan, located in the University District/ S. Downtown Subdistrict of the Central City Plan District. Located on the former Riverplace Athletic Club site, this phase of the development preserves the existing housing in the Douglas Apartments and townhouse portions of the site. The project will include approximately 329 dwelling units, and no retail or parking. 16,610 square feet of new public open area will be provided mid-block and to the south of the block. Potential modifications include Tower Floor Plate Size, Tower Floor Plate Dimensions, Eco-roof, and Ground Floor Windows.

II. DEVELOPMENT TEAM BIO

Architects	Agustin Enriquez GBD Architects
Owner's Representative	NBP 0150 S MONTGOMERY LLC
Project Valuation	\$160,000,000

III. FUTURE DESIGN APPROVAL CRITERIA:

- Central City Fundamental Design Guidelines
- 33.825.040 Modifications That Will Better Meet Design Review Requirements

IV. POTENTIAL MODIFICATIONS

Subject to the approval criteria of 33.825.040 A - C.:

- Better meets design guidelines. The resulting development will better meet the applicable design guidelines;
- Purpose of the standard. On balance, the proposal will be consistent with the purpose of the standard for which a modification is requested; and (see below for each standard's purpose statement)
- Mitigation of impacts. Any impacts resulting from the modifications are mitigated to the extent practical.

The following four (4) Modifications may be requested. Italics below is actual Zoning Code language. (Staff has provided the purpose statement of each standard to assist as you prepare comments related to approval criterion 33.825.040.B.). **For all Modifications, also refer to staff comments in the matrix, below.**

1. 33.510.210 D.3.e.(2) Bonus heights, RiverPlace Height Opportunity Area. Request to allow a floor plate of 12,454 square feet above 100' in height, which is larger than the allowed 10,000 square feet (See Pages 45 of the packet).

33.510.210 D.3.e.(2) Standard.

If the building is taller than 75 feet, the floors of the building above 100 feet must not be more than 10,000 square feet each. Adjustments are prohibited, however modification through design review may be requested if the north-south dimension of the building above 75 feet is 112 feet or less. The north-south dimension is measured as specified in 33.510.251.A.3.e.

33.510.210 D.3.e.(1) Purpose

In the RiverPlace height opportunity areas, additional building heights may be appropriate to meet density goals as well as:

- *Provide diverse housing opportunities;*
- *Support high quality design;*
- *Create additional opportunities for visual access through the area;*
- *Promote the development of slender towers with an east-west orientation;*
- *Establish and maintain a pedestrian environment with access to sunlight;*
- *Create open space amenities connecting to the riverfront;*
- *Contribute to the area's urban variety, adding visual interest at the pedestrian level and from vantage points outside of the area;*
- *Create an urban form that is visually permeable and maintains all protected public views and view corridors.*

2. 33.510.251 A.3.e. Special building height corridors and tower orientation. Request to modify the "north-south" standard. Rather than consider the cardinal north-south language, the proposal is to change the language from "northernmost point" and "southernmost point" to "90-degrees perpendicular to the easterly street grid" and "90-degrees perpendicular to the westerly street grid", this street grid exists west of the site in most of downtown.(See Pages 46-47 of the packet).

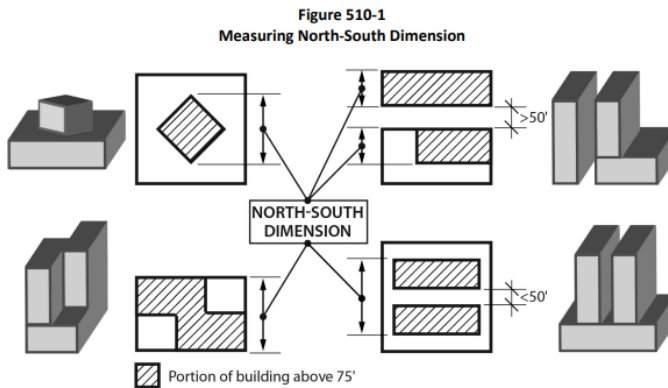
The proposal does not meet the qualifying requirement of 33.510.210.D.3.e.(2) because the north-south dimension of the building above 75 feet is greater than the allowed 112 feet, as directed to be measured per 33.510.251 A.3.e. Because the code does not allow modifying this "qualifying situation", the applicant instead requests a Modification of the north-south standard, 33.510.251.A.3.e:

33.510.210 D.3.e.(2) Standard.

33.510.210 D.3. Maximum north-south dimension. The north-south dimension is measured as specified in Subparagraph A.3.e. See Figure 510-1. Adjustments to this paragraph are prohibited; however, modifications to the standards of this paragraph may be requested through design review. In reviewing such a request, the review body will consider the results of the South Waterfront Public Views and Visual Permeability Assessment for the proposal. The north-south dimensions of buildings are limited as follows:

33.510.210 D.3.e. Measurements for this paragraph. The measurements for the regulations of this paragraph are as follows. See Figure 510-1:

- (1) *The north-south dimension of a building is measured as follows:*
- *From the northernmost point of the portion of a building that is at least 75 feet in height, a line is drawn running due east-west;*
 - *From the southernmost point of the portion of a building that is at least 75 feet in height, a line is drawn running due east-west;*
 - *A line drawn at right angles between the two east-west lines is the north-south dimension;*
- (2) *The space between buildings on a site is measured using the east-west lines created under A.3.e.(1). A line drawn at right angles between the northern east-west line of one building and the southern east-west line of the other is the distance between the buildings.*



33.510.251 A.1. Purpose.

Special building heights along designated east-west corridors and tower orientation standards provide visual access to the Greenway from points west of the district, provide visual access to the Tualatin Hills from points east of the district, provide access to sunlight along designated streets, and encourage an urban form that is visually permeable and varied.

3. **33.510.243 Ecoroofs.** Request to not meet eco-roof requirements on the rooftop of the tower element, and to manage stormwater at grade instead, on the west, south and/or northern frontages (See Pages 48-49 of the packet).

33.510.243 B.1. Standard. *In the CX, EX, RX, and IG1 zones, new buildings with a net building area of 20,000 square feet or more must have an ecoroof that meets the following standards:*

1. The ecoroofs, including required firebreaks between ecoroofs areas, must cover 100 percent of the building roof area, except that up to 40 percent of the building roof area can be covered with a combination of the following. Roof top parking does not count as roof area.

33.510 243.A. Purpose.

Ecoroofs provide multiple complementary benefits in urban areas, including stormwater management, reduction of air temperatures, mitigation of urban heat island impacts, air quality improvement, urban green spaces, and habitat for birds, plants and pollinators. The standards are intended to:

- *Maximize the coverage of ecoroofs;*
- *Allow for the placement of structures and other items that need to be located on roofs; and*
- *Support the architectural variability of rooftops in the Central City.*

Staff comment: as part of the CCMS approval, it is noted that all new buildings would be providing eco-roofs to manage stormwater on the buildings. Therefore, applicant will need to continue to work with BES to show how they intend to meet all stormwater requirements

without providing the required ecoroofs. And, while stormwater management is part of the purpose of this standard, mitigation of urban heat island impacts, air quality improvement, urban green spaces, and habitat for birds, plants and pollinators are also important, and mitigation has not yet been identified. Also, refer to comments in the matrix, below.

4. 33.510.220 Ground Floor Windows. Request to not meet the ground floor window requirement of at least 40 percent of the ground level wall areas on the north (25 percent) and south (18 percent) facades (See Page 52 of the packet).

33.510.220 B. Standard.

To meet the standards, ground floor windows must be windows that allow views into work areas or lobbies, or be windows in pedestrian entrances. Windows into storage areas, vehicle parking areas, garbage and recycling areas, mechanical and utility areas and display cases attached to outside walls do not qualify. Windows into bicycle parking areas are allowed to qualify for up to 25 percent of the ground floor windows coverage requirement. The bottom of the windows of nonresidential spaces must be no more than 4 feet above the finished grade:

2. All other ground level facades that face a street lot line, sidewalk, plaza, or other publicly accessible open area or right-of-way must have windows that cover at least 40 percent of the ground level wall area. For street facing facades of dwelling units the regulations of 33.130.230.B.4 apply. For the purposes of this standard, ground level wall area includes all exterior wall area from 2 feet to 10 feet above the finished grade.

33.510.220 A. Purpose.

In the Central City plan district, blank walls on the ground level of buildings are limited in order to:

- *Provide a pleasant, rich, and diverse pedestrian experience by connecting activities occurring within a structure to adjacent sidewalk areas;*
- *Encourage continuity of retail and service uses;*
- *Encourage surveillance opportunities by restricting fortress-like facades at street level;*
- *Avoid a monotonous pedestrian environment; and*
- *The plan district modifications to the base zone standards for ground floor windows are intended to promote ground floor windows in a larger number of situations than in the base zones and to provide additional flexibility in meeting the standard.*

V. STAFF ANALYSIS & RECOMMENDED DAR DISCUSSION TOPICS

Staff advise you to also consider the following among your discussion items on April 21, 2022:

- **Context** –
 - **Tower**. The tower design and character (Pages 22-36).
 - **Note, Modifications 1 and 2** relate to the floor plate size of the tower (Pages 45-49), as listed above under Section IV.
 - **Podium**. The podium design and character, and its relationship to the adjacent sloped grades. This is particularly relevant at the north end of the project, adjacent to Harbor Way to the west, the North walkway and A street to the east. (Pages C.28-31, 40).
 - **Open Areas**. The treatment of the 2 required Open Areas to the north and south - uses, functionality and activation.
- **Public Realm** –
 - **The ground floor uses, depths & heights on all four sides** (Pages C.28-31). Due to adjacent slopes, there are three floor plan levels relating to different ground levels - A Street level opens to the east (page 15), the mezzanine level opens to the south (Page 16) and the Harbor Way level opens to the west (Page 17). How do these engage the adjacent surroundings?

- Note Modification 4 is to not meet ground floor window requirements facing the open areas to the north and south as listed above under Section IV.

▪ Quality –

- Coherency of building composition, exterior materials, as related to context.
- Coherency of building composition, as related to massing & façade composition.
- Resilience.
- Note Modification 3 is to not meet the ecoroof requirements on the tower, as listed above under Section IV.

CONTEXT	STAFF		COMMISSION	
	+ / -	Comments	+ / -	Comments
A1: Integrate the River	+/-	<ul style="list-style-type: none"> - Tower design compelling. - However, the podium provides little activation or engagement on three of the four sides. (C.17) 		
A2: Emphasize Portland Themes				
A3: Respect the Portland Block Structures	+/-	<ul style="list-style-type: none"> - Mod 2 helps tower better align with the adjacent grid, which is off from true north south. 		
A5: Enhance, Embellish & Identify Areas	+/-	<ul style="list-style-type: none"> - New circulation network and new landscape are provided. - However, the deficient ground level activation doesn't embellish the area. 		
A6: Re-use, Rehabilitate, Restore Buildings		NA		
A9: Strengthen Gateways	+/-	<ul style="list-style-type: none"> - The tower provides wayfinding from a distance. - However, see above notes about the podium's lack of engagement at three of four sides. 		
C1: Enhance View Opportunities				
C4: Complement the Context of Existing Buildings	+/-	<ul style="list-style-type: none"> - The tower provides wayfinding from a distance. - However, up close, see above notes about the podium's lack of engagement at three of four sides. 		
PUBLIC REALM	STAFF		COMMISSION	
	+ / -	Comments	+ / -	Comments
A4: Use Unifying Elements				
A7: Establish and Maintain a Sense of Urban Enclosure	-	<p>Ground levels should provide more activation and stronger edges (pages 30-31)</p> <ul style="list-style-type: none"> - North. The cutback at main lobby helps activate base of the sloped 		

		<p><i>steps to the north, but at the top of the steps there is less activation/ definition.</i></p> <ul style="list-style-type: none"> <i>– South. The addition of a large bike lobby with a more generous, covered and glazed entrance would better activate the south frontage.</i> <i>– West. More needs to be done along the podium roof part of the frontage to better activate the north part of the west frontage.</i> <i>– MOD 4 requested to GFW at N and S, unclear how criteria are met and what mitigation is offered.</i> 		
A8: Contribute to a Vibrant Streetscape	-	<i>See A1 and A7.</i>		
B1: Reinforce and Enhance the Pedestrian System	-	<i>See A1 and A7.</i>		
B2: Protect the Pedestrian	-	<i>See A1 and A7.</i>		
B3: Bridge Pedestrian Obstacles				
B4: Provide Stopping and Viewing Places	-	<i>See A1 and A7.</i>		
B5: Make Plazas, Parks & Open Space Successful	-	<i>See A1 and A7.</i>		
B6: Develop Weather Protection	-	<p><i>See A7.</i></p> <ul style="list-style-type: none"> <i>– Cover provided to the east with generous entry lobby canopy.</i> <i>– However, ample cover for adjacent pedestrian paths is needed around the site, not just at entrances to provide a place to stop prior to entry.</i> 		
B7: Integrate Barrier-Free Design		<ul style="list-style-type: none"> <i>– ADA access is provided at the south open area via ramps.</i> <i>– However, ADA access is not provided at the central landscape stair.</i> 		
C3: Respect Architectural Integrity		NA		

C6: Develop Transitions Between Buildings & Public Spaces	-	See A1, A7, B6		
C7: Design Corners that Build Active Intersections	-	See A7. – NW corner of podium especially should do more to enhance and mark location of top of new stair system.		
C8: Differentiate the Sidewalk Level of Buildings				
C9: Develop Flexible Sidewalk Level Spaces	-	See A7		
C10: Integrate Encroachments				
C11: Integrate Roofs and Use Rooftops	-	MOD 3 requested to not provide ecoroof on tower, no mitigation offered.		
C12: Integrate Exterior Lighting				
C13: Integrate Signs		NA		
QUALITY AND PERMANENCE	STAFF		COMMISSION	
	+ / -	Comments	+ / -	Comments
C2: Promote Permanence & Quality in Design	-	MOD 3 requested to not provide eco-roof on tower, no mitigation offered.		
C5: Design for Coherency	+/-	– Tower design compelling. – However, the podium provides little activation or engagement on three of the four sides. (C.17)		



City of Portland
Design Commission

Design Advice Request

EA 22-119953 DA

150 S MONTGOMERY ST **(RiverPlace Block 1- North)**

April 21, 2022

Staff Presentation

Staff Introduction

Applicant Presentation

Staff Discussion Topics

Public Comments

Commission Discussion

Zoning

Base Zone:

CX, Central Commercial

Overlays:

d, Design

g*, River General

Floor Area Ratio:

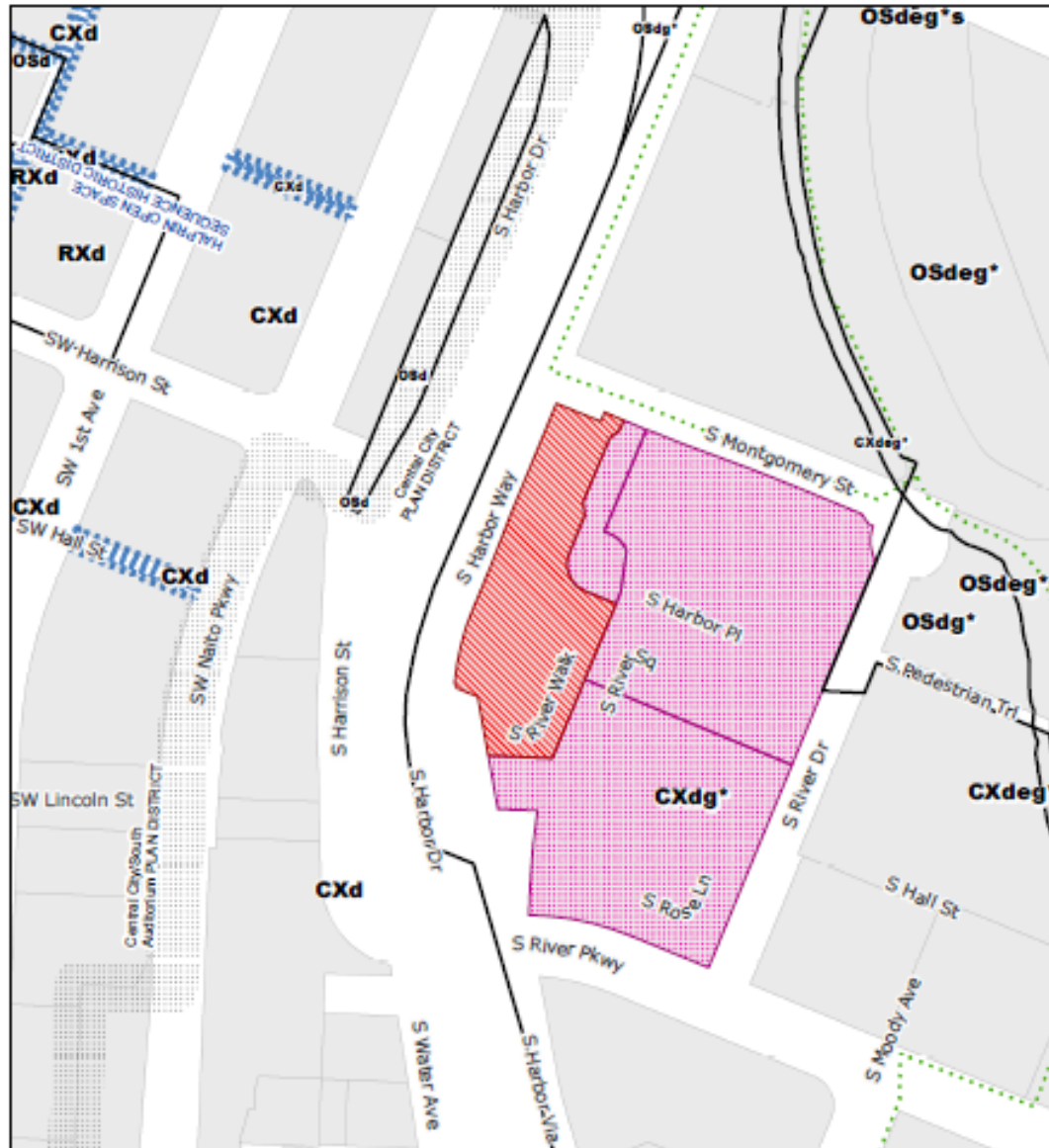
5:1 base,

3:1 bonus with inclusionary housing

Height:

125' base

150' – 325' with bonus






ZONING

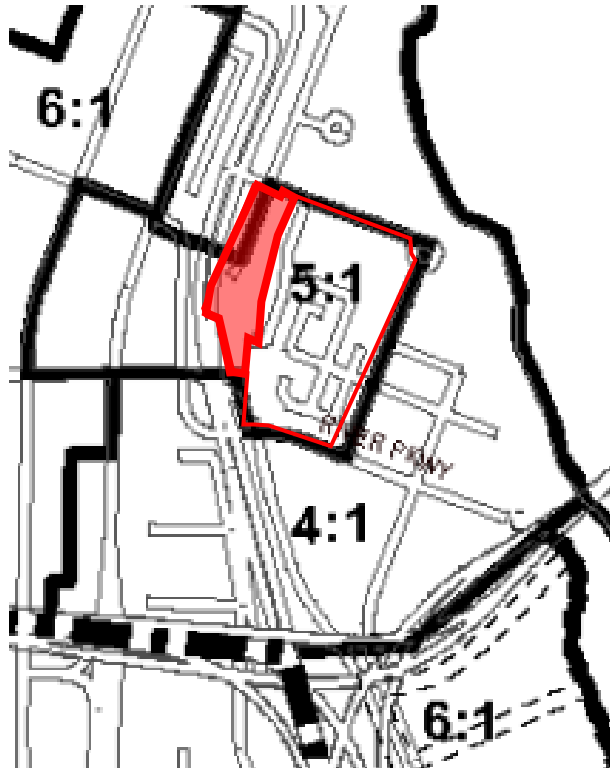


For Zoning Code in effect Post August 1, 2021

CENTRAL CITY PLAN DISTRICT
UNIVERSITY DISTRICT/SOUTH
DOWNTOWN SUB DISTRICT

-  Site
-  Also Owned Parcels
-  Recreational Trails

File No.	EA 22 - 119953 DA
1/4 Section	3229
Scale	1 inch = 200 feet
State ID	1S1E03CA 1000
Exhibit	B Mar 14, 2022



Base FAR –

May be moved w/in the CCMS boundary:

33.510.255.D.3 Flexibly allowed.

An approved Central City Master Plan review allows additional flexibility in the following situations:

1. Floor area may be transferred among sites within the master plan boundary without having to meet the prioritization in 33.510.205.B; (below)

33.510.205.B Priorities for the use of bonus and transfer options.

1. Unless otherwise specified in Subparagraph B.2. the first 3 to 1 of any increase in FAR on a site must be earned or gained through use of one of the following options:
 - a. The inclusionary housing bonus option described in Subparagraph C.2.a;
 - b. The Affordable Housing Fund bonus option described in Subparagraph C.2.b.;
 - c. The historic resources transfer provisions described in Paragraph D.1. or
 - d. The riverfront open space bonus option described in Subparagraph C.2.c.

Zoning

Base Zone:

CX, Central Commercial

Overlays:

d, Design

g*, River General

Floor Area Ratio:

5:1 base,

3:1 bonus with inclusionary housing

Height:

125' base

150' – 250' w/ bonus

325' bonus with restrictions



Bonus FAR – Up to 3:1 can be earned:

33.510.205.C.2 Floor area bonus options.

- a. Inclusionary housing bonus option.** Projects that include buildings that trigger 33.245, Inclusionary Housing, receive bonus floor area. The amount of bonus floor area earned is an amount equal to the net building area of the building that triggers 33.245, up to a maximum increase of 3 to 1 FAR on the site.
- b. Affordable Housing Fund bonus option.** Proposals that contribute to the Affordable Housing Fund (AHF) receive bonus floor area. Up to 3 to 1 FAR can be earned by paying into the fund.

Zoning

Base Zone:

CX, Central Commercial

Overlays:

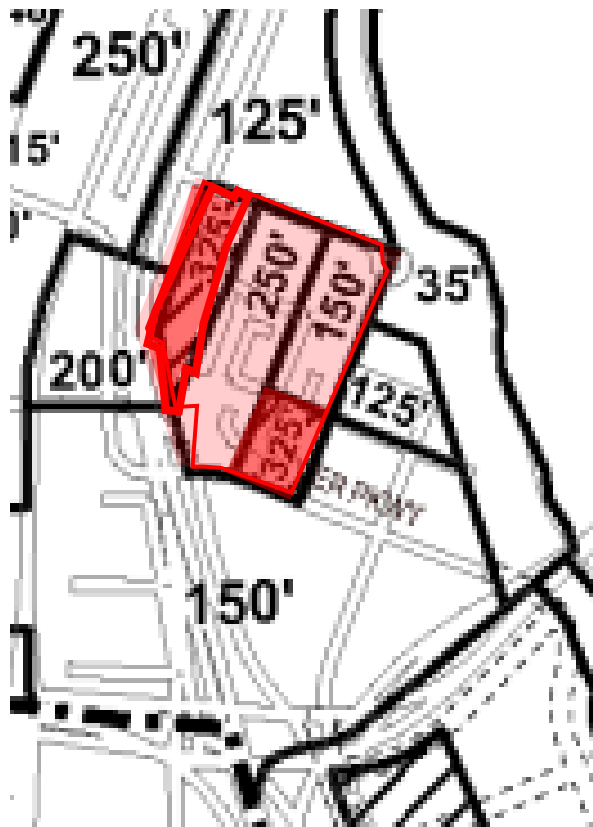
d, Design
g*, River General

Floor Area Ratio:

5:1 base,
3:1 bonus with inclusionary
housing

Height:

125' base
150' – 250' w/ bonus
325' bonus with restrictions



Height -

325' ht. is allowed w/o bonuses or transfers:

33.510.255.D Flexibly allowed. An approved Central City Master Plan review allows additional flexibility in the following situations:

33.510.255.D.3. The bonus height limits shown on Map 510-4 may be achieved without having to provide the bonuses or transfers required by 33.510.210.D.3;

(33.510.210.D.3. Bonus height earned through an FAR bonus or transfer)

Restrictions for areas over 100' ht.:

33.510.210.D.3.e.(2) Bonus height options.

3. Bonus height earned through an FAR bonus or transfer.

(2) RiverPlace Height Opportunity Area Standard. If the building is taller than 75 feet, the floors of the building above 100 feet must not be more than 10,000 square feet each. Adjustments are prohibited, however modification through design review may be requested if the north-south dimension of the building above 75 feet is 112 feet or less. The north-south dimension is measured as specified in 33.510.251.A.3.e

Zoning

Base Zone:

CX, Central Commercial

Overlays:

d, Design

g*, River General

Floor Area Ratio:

5:1 base,

3:1 bonus with inclusionary housing

Height:

125' base

325' bonus with restrictions

EA 22-119953 DA, Exhibit G.4

Located in the Downtown Pedestrian District

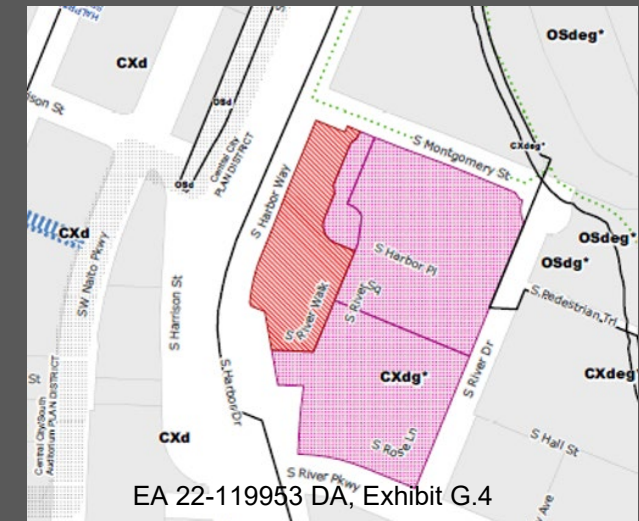
- **S Harbor Drive (west, beyond S Harbor Way):** Major City Walkway, Traffic Access, and Local Service for Transit and Bike.
- **S Harbor Way/ S Harbor Bike Path (west):** Major City Bikeway, Major City Walkway, and Local Service for Transit and Traffic.
- **S Montgomery Street (north):** “Green Street”, City Bikeway, City Walkway, and Local Service for Transit and Traffic.
- **S River Drive (east):** City Bikeway, City Walkway, and Local Service Street for Transit and Traffic.
- **S River Parkway (south):** “Streetcar”, Major Transit Priority Street, Major City Bikeway, Major City Walkway, and Traffic Access Street.

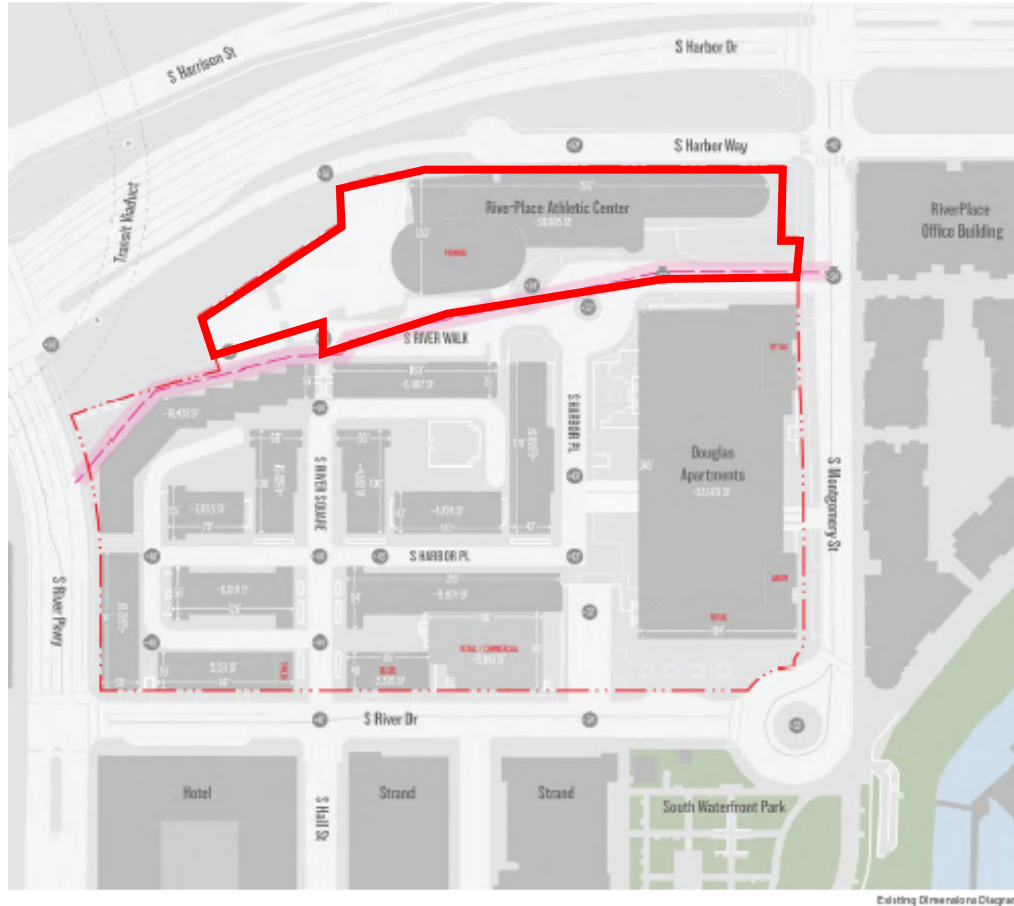
“A right-of-way that is intended for motor vehicle, pedestrian or bicycle travel or for motor vehicle, bicycle or pedestrian access to abutting property”.



An aerial photograph of a residential and commercial development. A red outline highlights three specific areas: the RiverPlace Athletic Club (top), RiverPlace 2 - Douglas Townhomes (bottom left), and RiverPlace 2 - Douglas Apartments (bottom right). The map includes labels for various streets: S Harrison St, S Harbor Dr, S Harbor Way, S River Dr, S Rose Ln, S Hall St, S Moody Ave, S River Pkwy, S Water Ave, and S Montgomery St. It also identifies 'Westfront Park' and 'Gov. Tom McCall Westfront Park'. A marina with numerous boats is visible on the right side of the image.

1. RiverPlace Athletic Club (1998)
2. RiverPlace 2 – Douglas Apartments (1991), parking podium, mixed-use and townhomes
3. RiverPlace 2 – Douglas Townhomes (1993), mixed-use and townhomes





EXISTING - SITE PLAN

EASEMENT, DIMENSIONS, GRADES & USES

Street Re-alignment based on existing sewer line easement

There is an existing north-south sewer line that runs roughly from S River Parkway to S Montgomery along a S River Walk/S Harbor Place alignment. There is a 20'-wide easement above this line for Bureau of Environmental Services (BES) access and maintenance. The future public street grid for the site has been adjusted to reflect and not encumber this easement. The combined sewer interceptor and future 20-foot easement as shown is an approximate location.

	EXISTING AMOUNTS
Residential Units	290 units
Sales and Services	66,200 sq ft
Parking Stalls	722 stalls
Total Built Area	164,543 sq ft

Context

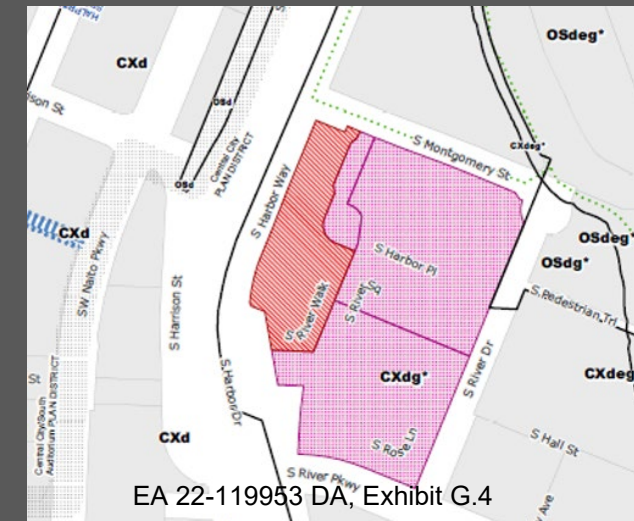
Block 1 Size – 70,762 sf

Existing Use –

Retail Sales and Services

Existing SF – 20,520 sf, or

Existing FAR – 0.29:1



CCMS

FAR allocation

Block 1 –
Base - 4.5:1 plus earned
bonus up to 3:1

PARCEL	AREA	MINIMUM FAR	MINIMUM GSF	BASE FAR	BASE MAX GSF	MAXIMUM FAR W/ 3:1 BONUS	MAXIMUM GSF W/ 3:1 BONUS
1	70,762 SF	2.25	159,215 GSF	4.5	318,429 GSF	7.5	530,715 GSF
2	78,758 SF	2.25	177,201 GSF	7.0	551,382 GSF	10.0	787,580 GSF
3	57,228 SF	2.25	128,763 GSF	5.0	286,140 GSF	8.0	457,824 GSF
4	52,238 SF	2.25	117,536 GSF	7.0	365,666 GSF	10.0	522,380 GSF
5	44,744 SF	2.25	100,674 GSF	5.0	223,720 GSF	8.0	357,952 GSF
6	45,980 SF	0	0 GSF	0.07	3,293 GSF	0.07	3,293 GSF
TOTAL	349,708 SF		683,388 GSF	5.0	1,748,540 GSF	8.0	2,797,664*

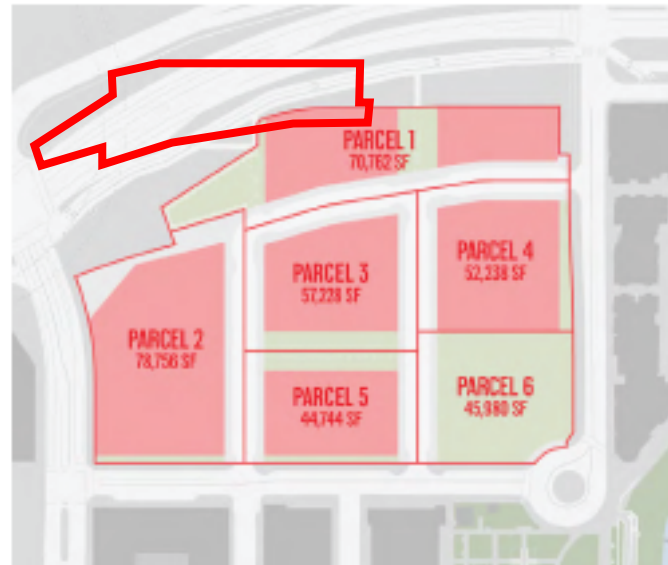
FAR

The total site area is 349,708 sf or 8.03 acres.

Development areas, minimum and maximum FARs shown in this master plan may be adjusted as final legal parcels are created.

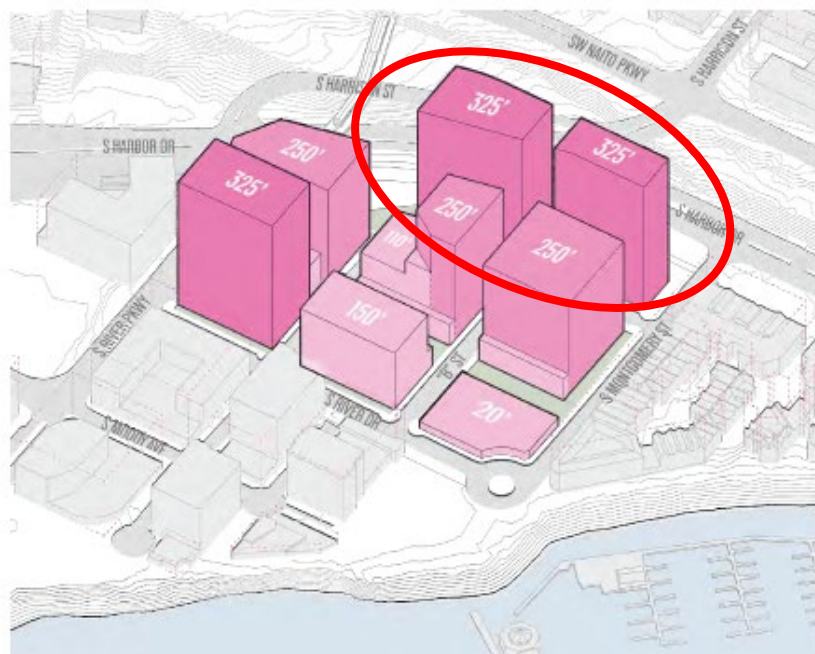
The total site-wide development with 3:1 bonus FAR is not to exceed 2,797,664 gsf.

* Maximum GSF with 3:1 bonus sums do not individually total to 8:1 FAR due to restricted Max FAR on Block 6.

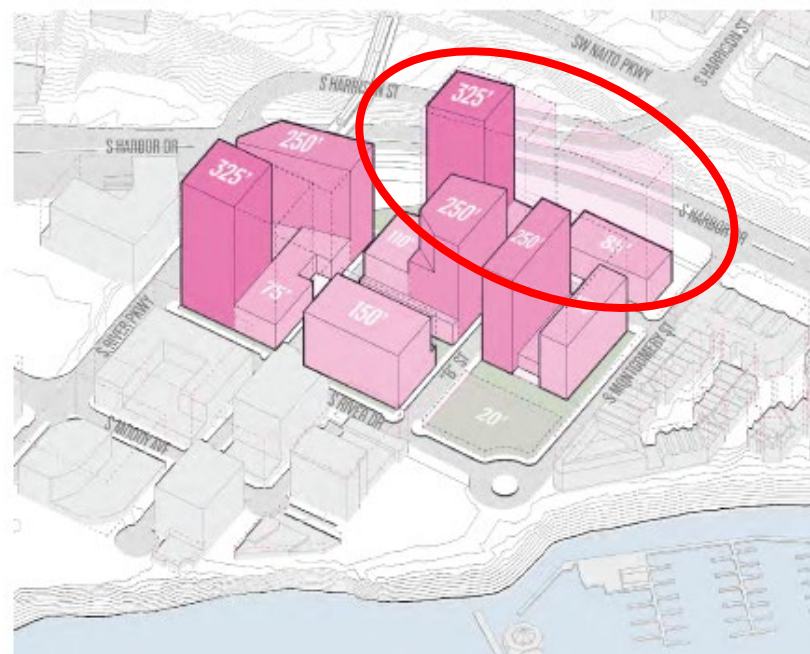


Parcel Area Diagram

BUILDING ENVELOPES BLOCK SIZES & MAXIMUM HEIGHTS



MAXIMUM HEIGHT DIAGRAM SHOWING PROPOSED STREET GRID AND SETBACKS



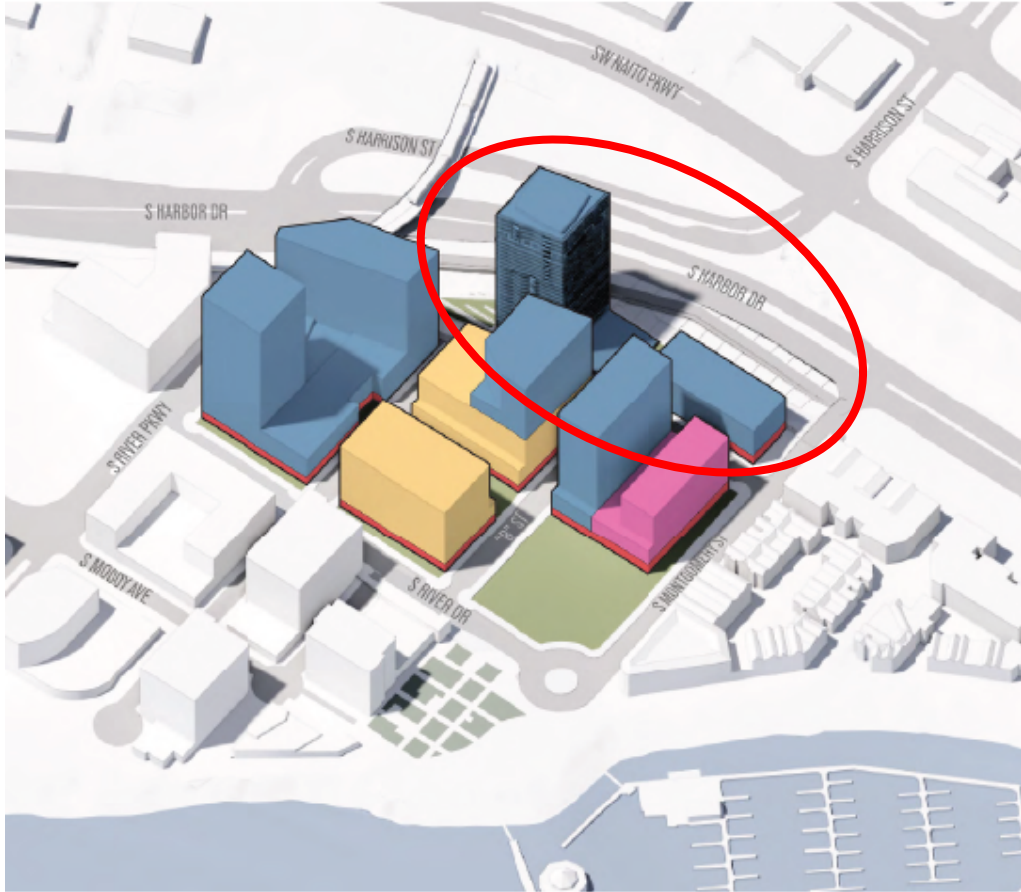
MAXIMUM HEIGHT DIAGRAM WITH CONCEPTUAL BUILDING MASSING



CCMS

Massing

- Maximum envelop
- Conceptual



Conceptual Buildout Massing Diagram

CONCEPTUAL BUILDOUT - MASSING BUILDINGS & USES



The concept for massing at buildout will build on the high-density approach started with the Phase 1 development. The Buildout will include new buildings on 4 blocks, along with the completion of the public street network and new open spaces.

The buildings are envisioned to step up and away from the new park at S Montgomery and S River Drive. The central north-south spine of the development is envisioned to have towers at roughly 250', with the possibility of a taller, thinner tower at the SE corner of the site near the intersection of S River Parkway and S River Drive.

Buildings along S River Drive and S Montgomery are set back from the street behind open areas that add to the landscaped character of RiverPlace. A potential hotel development at Block 4 could step down toward S Montgomery and existing development to the north.

Parking Locations and Amounts at Full Buildout

At full buildout, and similar to other Central City sites, parking will be addressed through a combination of different solutions. These will include on-street, mechanical and structured parking strategies. In early phases, new development on Block 1 will be able to use underutilized parking resources in the existing structure underneath many of the existing townhouse buildings, as well as new parking stalls built with the new building. With later phases of development, below-grade parking structures are being considered for blocks 2, 3, 4, 5 and 6.

	CONCEPTUAL AMOUNTS IN BUILDOUT PHASE	TOTALS
Residential Units	915-1015 units	1,415 units / 1.6M gsf
Office Space	418,720 gsf	418,720 gsf
Sales and Services	142,000 gsf	145,000 gsf
Hotel Keys	154 keys / 200k gsf	154 keys / 200k gsf
Parking Stalls	1,613 stalls	1,698 stalls
Open Area	59,856 sf	76,270 sf

LEGEND

- Residential
- Sales and Services
- Office
- Open Area
- Hotel

CCMS

Conceptual Buildout

- Uses

CCMS

Phasing

- Phase 1

EXISTING



Development at RiverPlace is divided into 2 major phases: Phase 1 and Phase 2. Phase 1 is focused on redeveloping the RiverPlace Athletic Center (RAC) building at the western edge of the site. Redevelopment of the RAC site would be able to double the current residential density on the site while preserving all of the housing that is present today.

TOTAL SITE AREA: 349,708 SF OR 8.03 ACRES

LEGEND

- Existing Building
- New Block
- New Open Area
- Potential Open Area
- Site Boundary

PHASE 1



Phase 1 would develop the former RAC site and add between 400 and 500 new housing units. It would make a series of new connectivity improvements around Block 1, including improvements to the Harbor Drive Trail.

NEW OPEN AREA: 16,614 SF
POTENTIAL OPEN AREA: 15,130 SF
PROPOSED DEVELOPABLE BLOCKS: 44,590 SF (TOTAL)

SUMMARY OF PHASES



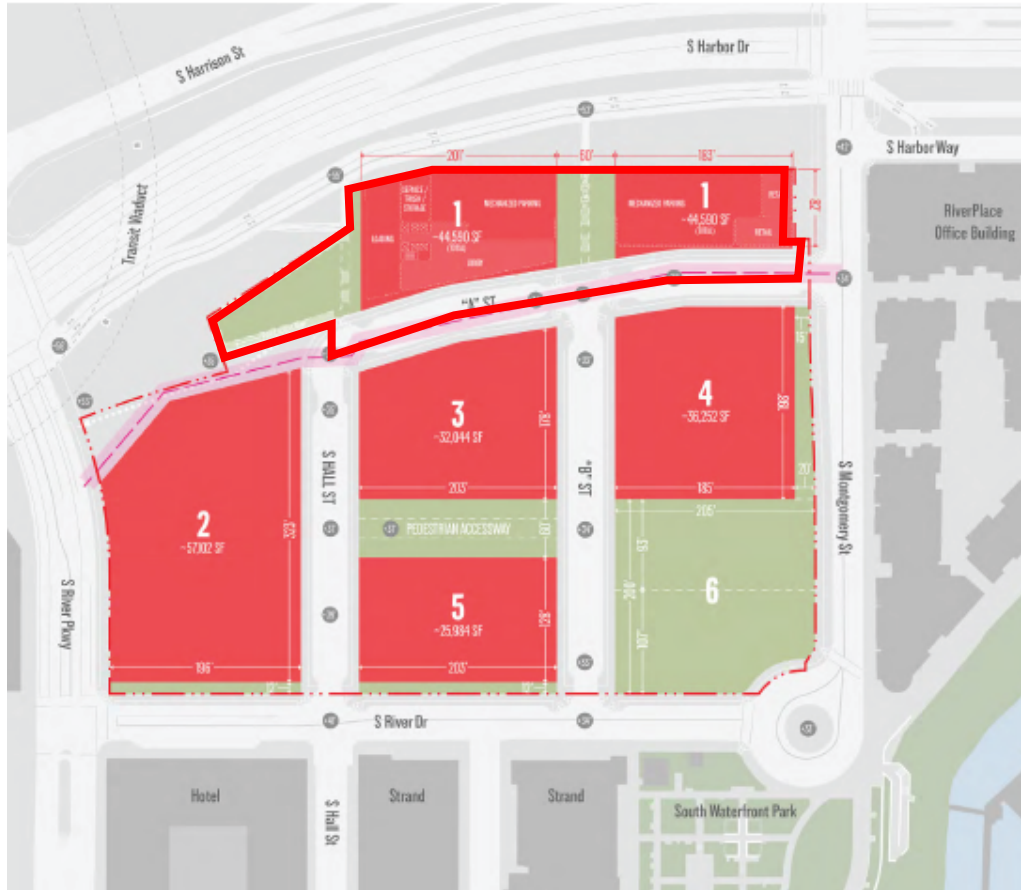
FINAL PARCEL PLAN



Phase 2 would redevelop the remainder of the site east of the former RAC site, adding new streets, connections and open areas. Phase 2 would also inject new high-density uses onto the site such as office and hotel, providing parking through a mixture of above and below-grade solutions.

NEW OPEN AREA: 59,656 SF
NEW PROPOSED DEVELOPABLE BLOCKS: 151,382 SF

COMPLETED DEVELOPMENT
TOTAL OPEN AREA: 76,270 SF
TOTAL PROPOSED DEVELOPABLE BLOCKS: 195,972 SF



CONCEPTUAL BUILDOUT - SITE PLAN EASEMENT, DIMENSIONS, GRADES & USES



Sewer Re-alignments based on existing sewer line easement

There is an existing north-south sewer line that runs roughly from S River Parkway to S Montgomery along a S River Walk/S Harbor Place alignment. There is a 20'-wide easement above this line for Bureau of Environmental Services (BES) access and maintenance. The future public street grid for the site has been adjusted to reflect and not encumber this easement.

The combined sewer intercepter and future 20-foot easement as shown is an approximate location. The sewer may need to be relocated or developable area on Block 2 may need to be adjusted or revised accordingly to accommodate the true location of the sewer and easement needs (which will be determined during Phase 1 PWP review).

	CONCEPTUAL AMOUNTS IN BUILDOUT PHASE	TOTALS
Residential Units	915-1015 units	1,415 units / 1.6M gpf
Office Space	418,720 gsf	418,720 gsf
Sales and Services	142,000 gsf	142,000 gsf
Hotel Keys	154 keys / 200k gpf	154 keys / 200k gpf
Parking Stalls	1,615 stalls	1,615 stalls
Open Area	58,656 sf	76,270 sf

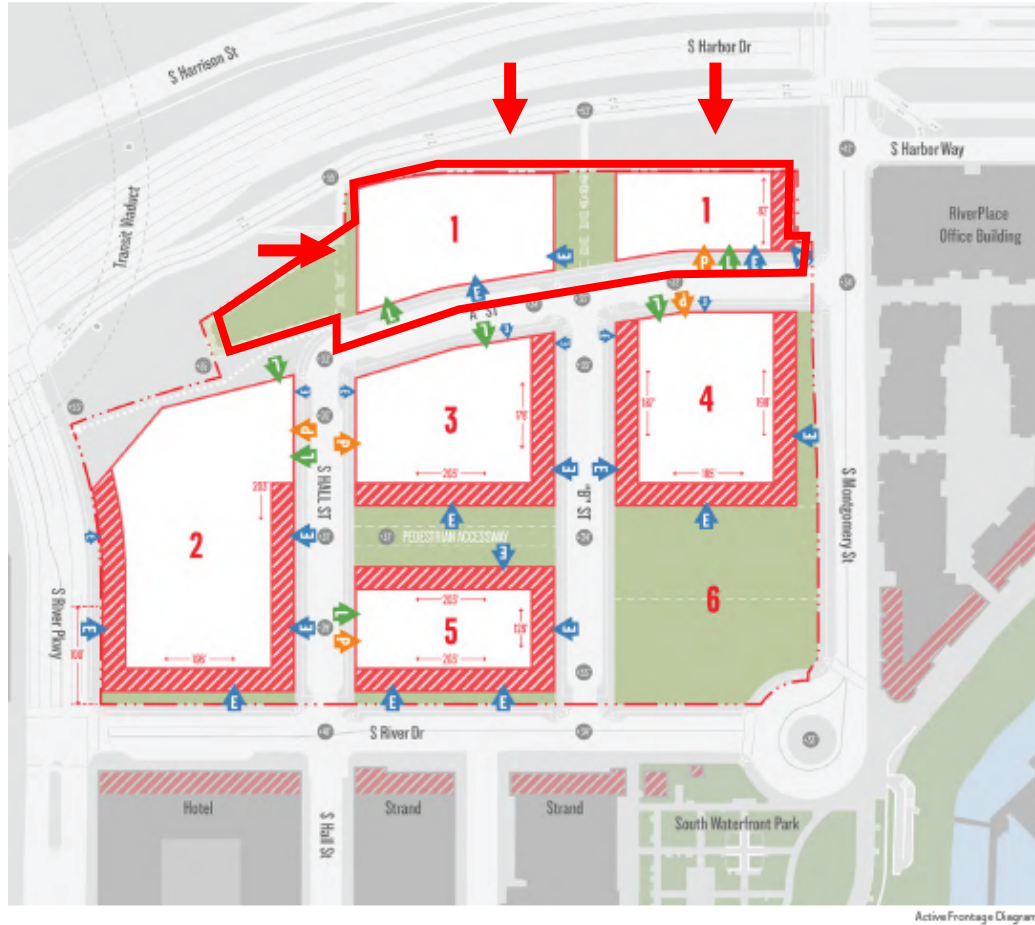
LEGEND

- Buildout Development
- Buildout Open Area
- Existing Sewer Line (Approximate)
- Existing 20' Sewer Easement (Approximate)
- Elevation Tag
- Site Boundary

CCMS

Site Plan

- Block 1



PROPOSED USES ENTRANCES & ACTIVATION

Active Frontages at RiverPlace are consistent with the "Ground Floor Active Uses" (GFAU) code section of 33.510.225 of the Portland Zoning Code. Map 510-9 of the Portland Zoning Code currently identifies those portions of blocks required to meet this standard. Active uses include but are not limited to: lobbies, retail, commercial, and office uses, but do not include storage, vehicle parking, garbage, recycling, mechanical, or utility uses.

The following regulations would apply to the areas shown in red on the diagram to the left:

1. Dwelling units are prohibited on the ground floor.
2. Buildings must be designed and constructed to accommodate uses such as those described above. Areas designed to accommodate these uses must be developed at the time of construction.

Areas designed to accommodate active uses must meet the following standards:

1. The distance from the finished floor to the bottom of the structure above must be at least 12 feet. The bottom of the structure above includes supporting beams;
2. The area must be at least 25 feet deep, measured from the street-facing facade;
3. The area may be designed to accommodate a single tenant or multiple tenants. In either case, the area must meet the standards of the Accessibility Chapter of the State of Oregon Structural Specialty Code. This code is administered by BDS; and
4. The street-facing facade must include windows and doors.

Areas shown in red on the diagram to the left would have to meet the regulations along 50% of the frontage.



CCMS

Entrances & Activation

Conditions of approval D and G add more entries, shown by red arrows

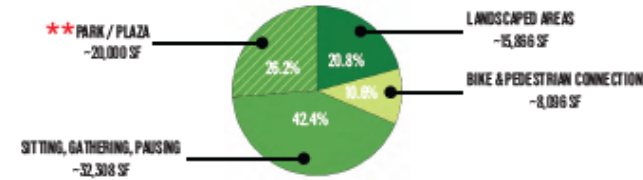


OPEN AREAS REQUIREMENTS & TYPES

The master plan for RiverPlace proposes a range of different open areas that will offer a series of varied urban experiences. The different open areas include landscaped areas, new multimodal east-west connections, an active Pedestrian Accessway and a large new park, for a total of 76,270 sf. The open areas will be subject to public easements ensuring that they will be open to public use and enjoyment as intended by the open area requirements.

The large park at the NE corner of the site at S Montgomery and S River Drive is envisioned to be a gathering area that offers a complementary space to the more intimate existing spaces of South Waterfront Park. Some of the functions that the new park is intended to accommodate include hosting larger community celebrations or events, spaces for active recreation and potentially children's play areas. Currently, it is not envisioned to be a heavily-treed space, as the goal is to create something new offering a different set of functions from the heavily landscaped, more intimate character of the park across the street.

At Block 6, the total open area will be 39,270 sf, almost exactly the size of a downtown Portland block. Given the size of the RiverPlace site, the open area standards require a minimum 20,000 sf space as a "park or plaza" which for the purposes of meeting the requirement, is shown along the eastern side of the space. The park would be designed as a single space at the time of its development.



LEGEND

- Park / Plaza
- Sitting, Gathering, Pausing
- Bike / Pedestrian Connection
- Landscaped Edges
- Site Boundary

★ A structure could be built in this area if it meets the following criteria:

1. Its size is not so large as to cast shadows on the 20,000 sf identified portion of the open area, making it out of conformance with shadow requirements.
2. Its floor area will not preclude the Master Plan from meeting the total required open area of 69,941 sf, or 20% of the total site area.

★ The Park/Plaza zone represents the 20,000 sf of open area required to meet the shadow requirements in Section 33.510.255 K 3 d.

CCMS

Open Areas

2 on Block 1:

- North stairs
- South ramps

Relevant BDS Conditions of approval from the CCMS:

D. Along the west frontage of Block 1:

- At least two entrances into an active space such as a lobby or a common area shall be provided, one on the north half of the block and one on the south half of the block.
- If ground level residential units are proposed, each unit shall provide an entrance and a front porch that is at least 6 feet by 8 feet or at least 4 feet by 6 feet if raised by at least 2 feet.
- If ground level common residential uses are proposed, each common use space shall provide an entrance.

E. Along the east frontage of Block 1, new development shall respond to the full length of A Street as a public street per the Zoning Code.

F. Along the north frontage of Block 1, a minimum of 2 street trees shall be provided on the Montgomery.

G. Along the south frontage of Block 1, at least one entrance into an active space such as a lobby or a common area shall be provided facing the open area.

J. A Design Advice Request meeting must be held for each new building on this site, prior to a land use review being deemed complete.

L. No above grade parking areas shall be allowed within 25 feet of frontages facing a “street lot line, sidewalk, plaza, or other publicly accessible open area or right-of-way”.

CCMS

Conditions of approval

- **Block 1**

Staff Introduction

Applicant Presentation

Staff Discussion Topics

Public Comments

Commission Discussion

Staff Introduction

Applicant Presentation

Staff Discussion Topics

Public Comments

Commission Discussion

Context:

1. Tower, city, neighborhood, and adjacent scale
2. Mods #1 & #2 to tower size and orientation

Public Realm

1. Podium/ Ground floors – 4 frontages, design and character related to existing and desired future contexts & slopes Mod #4 to GFW at N & S
2. Open Areas – uses, functionality and activation

Quality & Permanence:

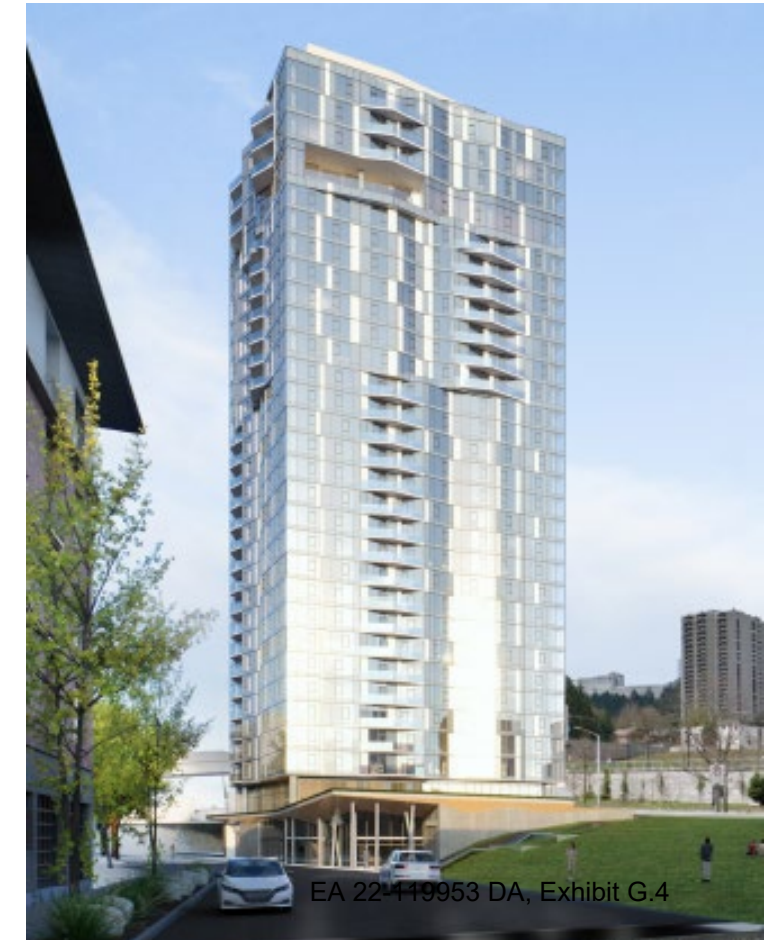
1. Coherency of composition and materials, tower and podium,
2. Resilience, incl. Mod #3 to eco-roofs

Context: Tower

- Design & character – Precedent for future and relationship to existing context.

CCFDG's – Respond to Context

- A1: Integrate the River
- A2: Emphasize Portland Themes
- A3: Respect the Portland Block Structures
- A5: Enhance, Embellish & Identify Areas
- A9: Strengthen Gateways
- C1: Enhance View Opportunities
- C4: Complement the Context of Existing Buildings

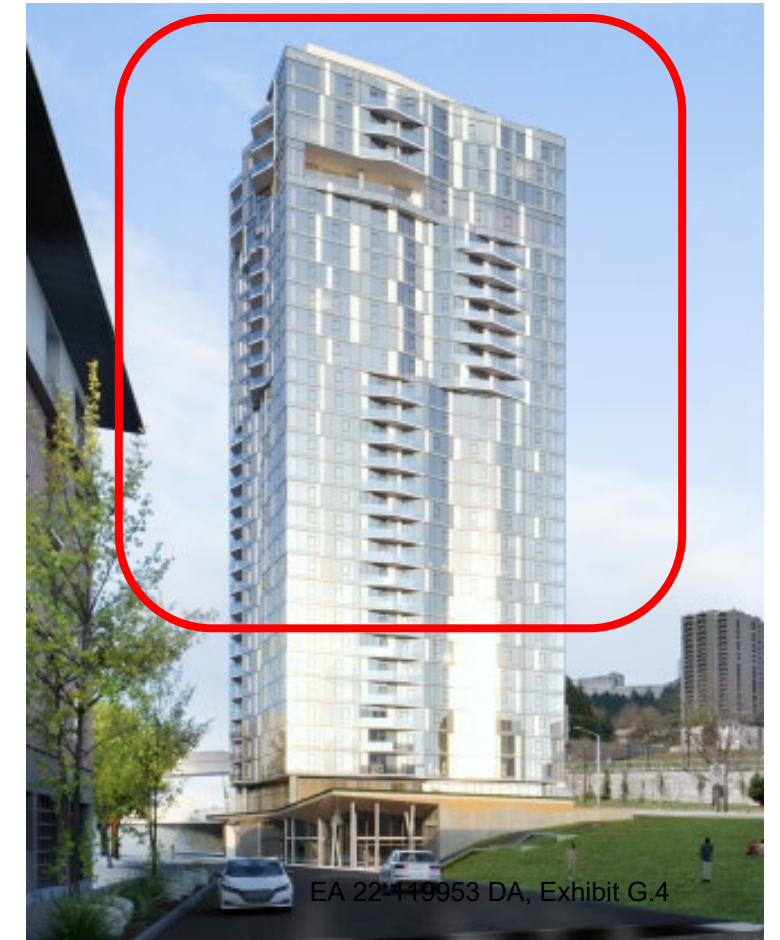


Context: Tower – city scale

- Design & character – Precedent for future and relationship to existing context.

CCFDG's – Respond to Context

- A1: Integrate the River
- A2: Emphasize Portland Themes
- A3: Respect the Portland Block Structures
- A5: Enhance, Embellish & Identify Areas
- A9: Strengthen Gateways
- C1: Enhance View Opportunities
- C4: Complement the Context of Existing Buildings



Context: Tower – neighborhood scale

- Design & character – Precedent for future and relationship to existing context.

CCFDG's – Respond to Context

A1: Integrate the River

A2: Emphasize Portland Themes

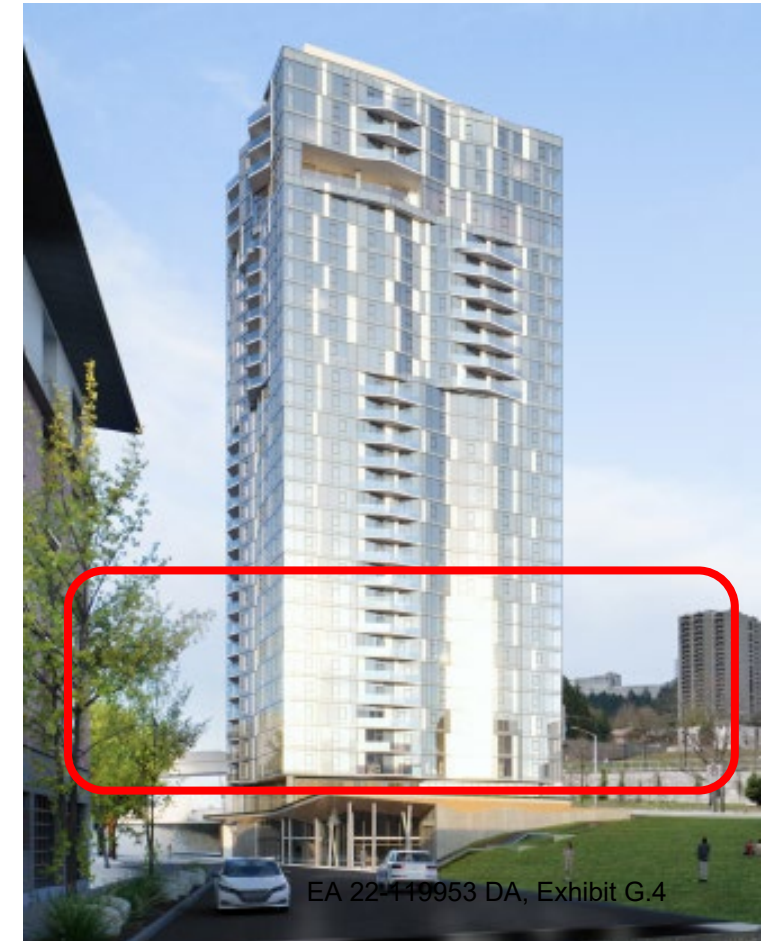
A3: Respect the Portland Block Structures

A5: Enhance, Embellish & Identify Areas

A9: Strengthen Gateways

C1: Enhance View Opportunities

C4: Complement the Context of Existing Buildings

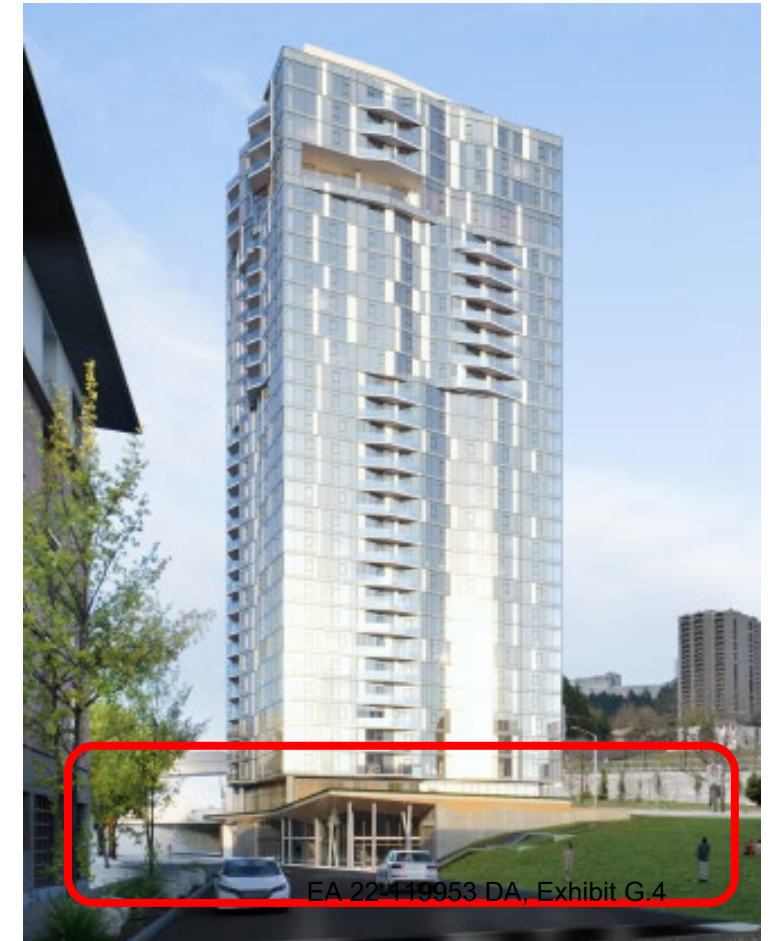


Context: Tower – adjacent scale

- Design & character – Precedent for future and relationship to existing context.

CCFDG's – Respond to Context

- A1: Integrate the River
- A2: Emphasize Portland Themes
- A3: Respect the Portland Block Structures
- A5: Enhance, Embellish & Identify Areas
- A9: Strengthen Gateways
- C1: Enhance View Opportunities
- C4: Complement the Context of Existing Buildings



Context: Tower

- Mods #1 & #2 to tower size and orientation

POTENTIAL MODIFICATIONS

Subject to the approval criteria of 33.825.040 A - C:

- A. Better meets design guidelines. The resulting development will better meet the applicable design guidelines;
- B. Purpose of the standard. On balance, the proposal will be consistent with the purpose of the standard for which a modification is requested; and (see below for each standard's purpose statement)
- C. Mitigation of impacts. Any impacts resulting from the modifications are mitigated to the extent practical.

CCFDG's – Respond to Context

A1: Integrate the River

A2: Emphasize Portland Themes

A3: Respect the Portland Block Structures

A5: Enhance, Embellish & Identify Areas

A9: Strengthen Gateways

C1: Enhance View Opportunities

C4: Complement the Context of Existing Buildings



Context: Tower

- Mod #1 to tower size

1. 33.510.210.D.3.e Bonus heights, RiverPlace Height Opportunity Area.

Request to allow a floor plate of 12,454 square feet above 100' in height, which is larger than the allowed 10,000sf.

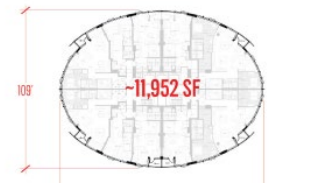
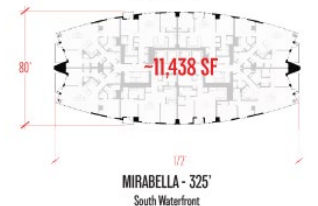
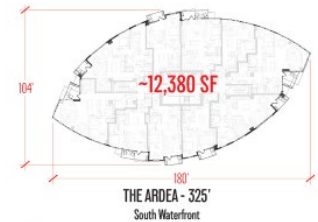
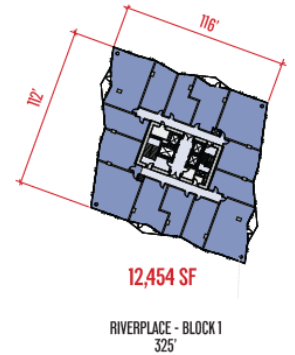
33.510.210.D.3.e.(2) Requirement.

If the building is taller than 75 feet, the floors of the building above 100 feet must not be more than 10,000 square feet each. Adjustments are prohibited, however modification through design review may be requested if the north-south dimension of the building above 75 feet is 112 feet or less. The north-south dimension is measured as specified in 33.510.251.A.3.e.

33.510.210.D.3.e.(1) Purpose

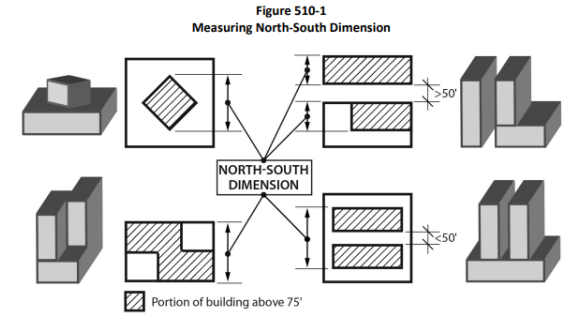
In the RiverPlace height opportunity areas, additional building heights may be appropriate to meet density goals as well as:

- *Provide diverse housing opportunities;*
- *Support high quality design;*
- *Create additional opportunities for visual access through the area;*
- *Promote the development of slender towers with an east-west orientation;*
- *Establish and maintain a pedestrian environment with access to sunlight;*
- *Create open space amenities connecting to the riverfront;*
- *Contribute to the area's urban variety, adding visual interest at the pedestrian level and from vantage points outside of the area;*
- *Create an urban form that is visually permeable and maintains all protected public views and view corridors.*



Context: Tower

- Mod #2 to tower orientation



2. 33.510.251.A.3.e Special building height corridors and tower orientation.

Request to modify “north-south” from cardinal north-south to relate to the street grids west of the site, in most of downtown, and that were adopted through the CCMS masterplan process.

33.510.251.A.1.e.Requirement.

e. Measurements for this paragraph. The measurements for the regulations of this paragraph are as follows. See Figure 510-1:

(1) The north-south dimension of a building is measured as follows:

- *From the northernmost point of the portion of a building that is at least 75 feet in height, a line is drawn running due east-west;*
- *From the southernmost point of the portion of a building that is at least 75 feet in height, a line is drawn running due east-west;*
- *A line drawn at right angles between the two east-west lines is the north-south dimension;*

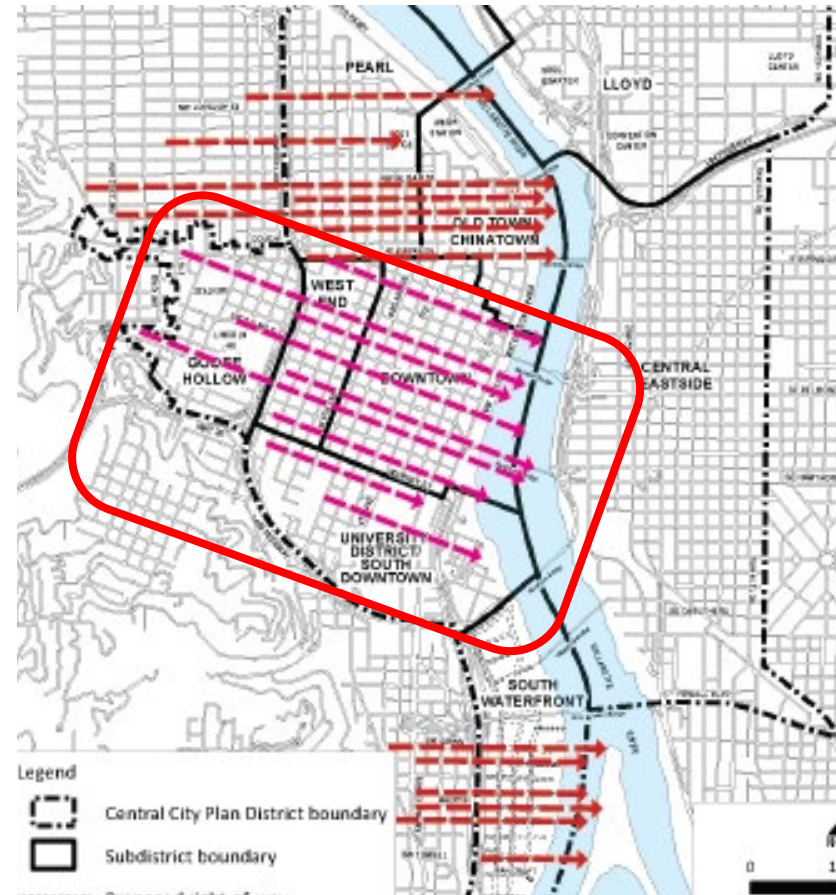
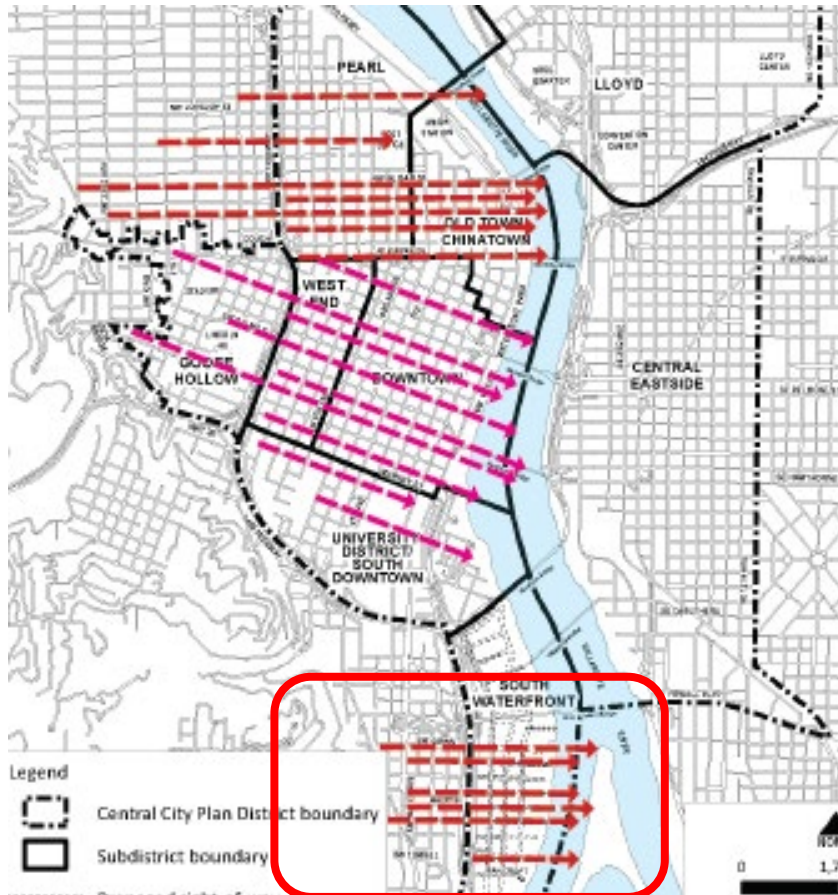
(2) The space between buildings on a site is measured using the east-west lines created under A.3.e.(1). A line drawn at right angles between the northern east-west line of one building and the southern east-west line of the other is the distance between the buildings.

33.510.251.A.1. Purpose.

Special building heights along designated east-west corridors and tower orientation standards provide visual access to the Greenway from points west of the district, provide visual access to the Tualatin Hills from points east of the district, provide access to sunlight along designated streets, and encourage an urban form that is visually permeable and varied.

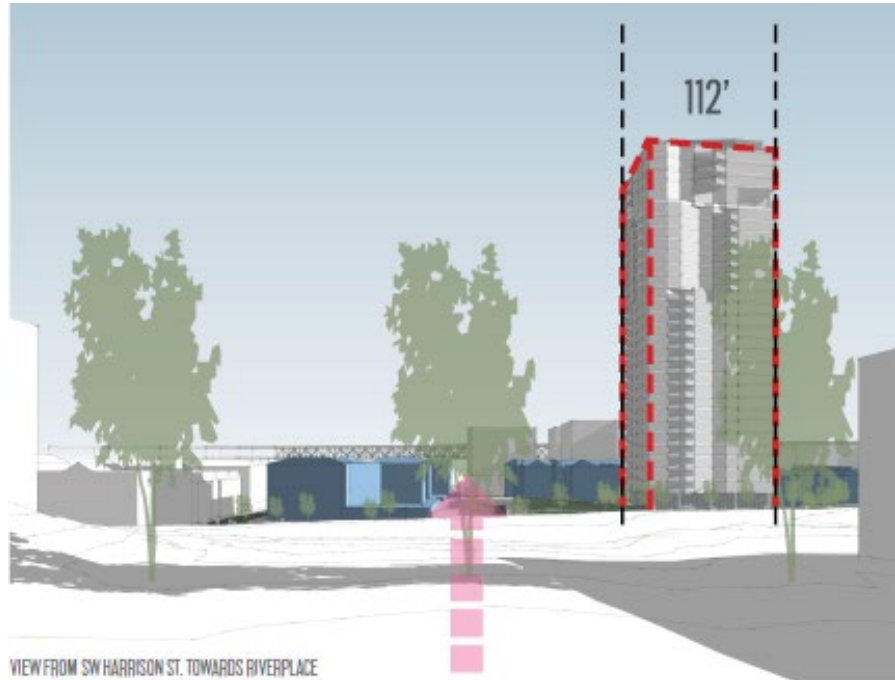
Context: Tower

- Mods #1 & #2 to tower size and orientation

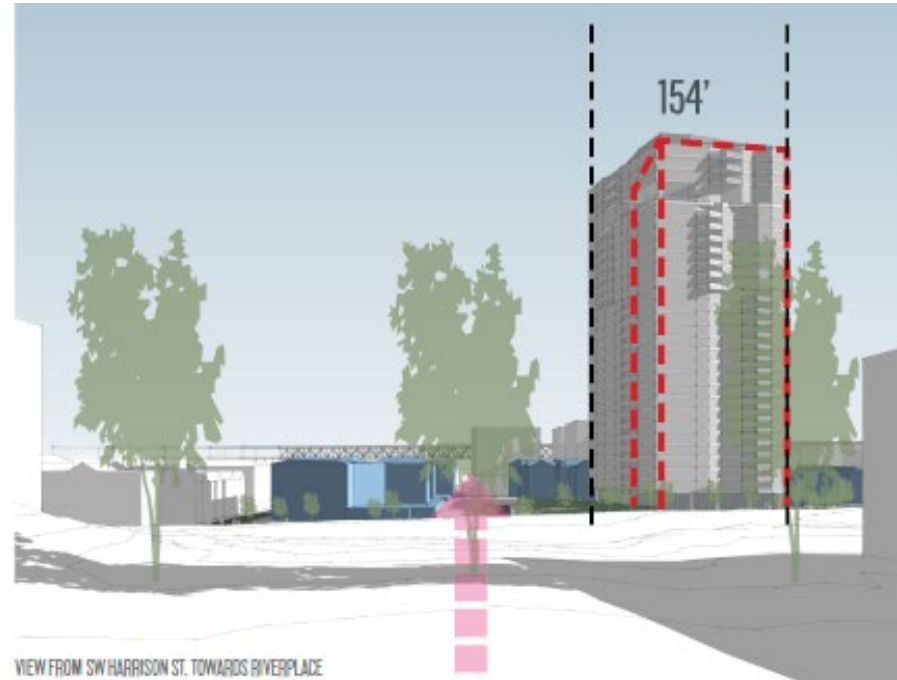
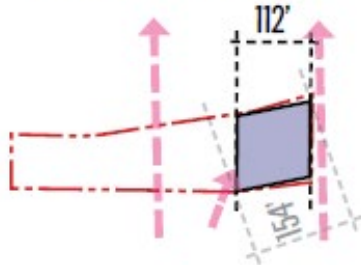


Context: Tower

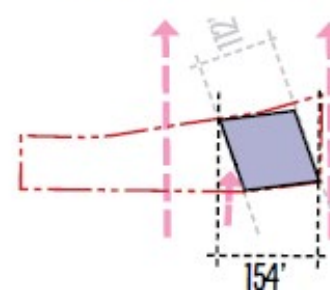
- Mods #1 & #2 to tower size and orientation



112' WIDE TOWER
WHEN ALIGNED WITH STREET GRIDS



154' WIDE TOWER
WHEN ALIGNED DUE EAST/WEST



Public Realm

1. Podium/ Ground floors – 4 frontages, design and character related to existing and desired future contexts & slopes, incl. Mod #4 to GFW at N & S
2. Open Areas – uses, functionality and activation

Public Realm

1. Podium/ Ground floors – 4 frontages, design and character related to existing and desired future contexts & slopes, incl. Mod #4 to GFW at N & S
2. Open Areas – uses, functionality and activation

CCFDG's – Enhance the Public Realm

A4: Use Unifying Elements

A7: Establish and Maintain a Sense of Urb. Encl.

A8: Contribute to a Vibrant Streetscape

B2: Protect the Pedestrian

B3: Bridge Pedestrian Obstacles

B4: Provide Stopping and Viewing Places

B5: Make Plazas, Parks & Open Space Successful

B6: Develop Weather Protection

B7: Integrate Barrier-Free Design

C6: Develop Transitions B/w Bldgs & Public Spaces

C7: Design Corners that Build Active Intersections

C8: Differentiate the Sidewalk Level of Buildings

C9: Develop Flexible Sidewalk Level Spaces

C10: Integrate Encroachments

C11: Integrate Roofs and Use Rooftops

Public Realm: Podium/ Ground floors

- 4 frontages, design and character related to existing and desired future contexts & slopes & Mod #4 to GFW at N & S



CCFDG's – Enhance the Public Realm

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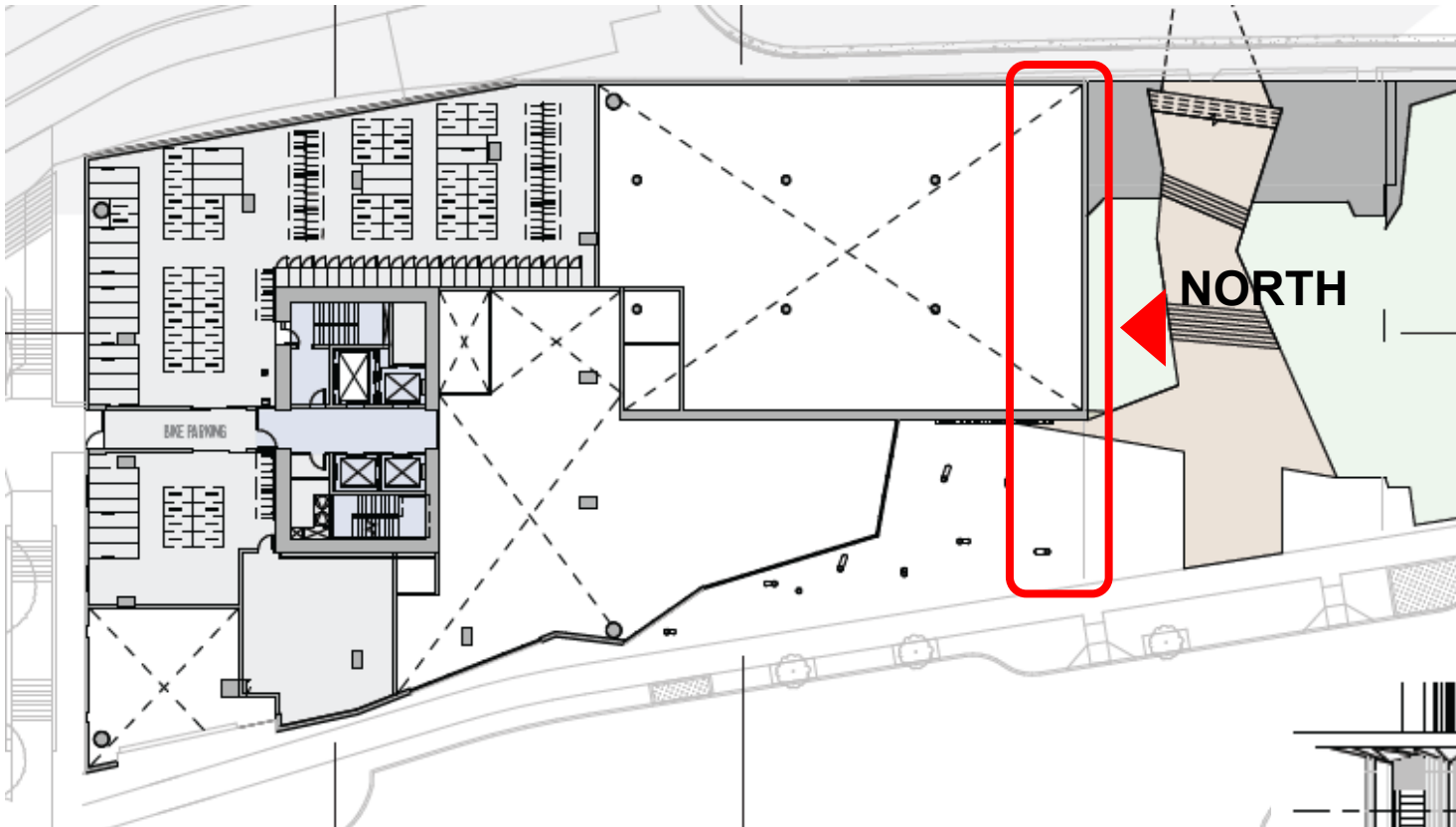
C10: Integrate Encroachments

C11: Integrate Roofs and Use Rooftops



Public Realm: Podium/ Ground floors

- 4 frontages, design and character related to existing and desired future contexts & slopes & **Mod #4 to GFW at N & S**



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C6: Develop Transitions B/w Bldgs & Public Spaces

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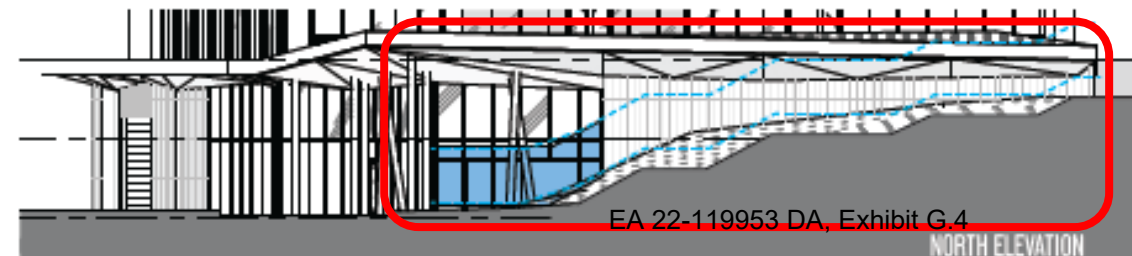
C8: Differentiate the Sidewalk Level of Buildings

C9: Develop Flexible Sidewalk Level Spaces

C10: Integrate Encroachments

C11: Integrate Roofs and Use Rooftops

TOTAL AREA	730 SF
GLAZING AREA	185 SF
GLAZING %	25%

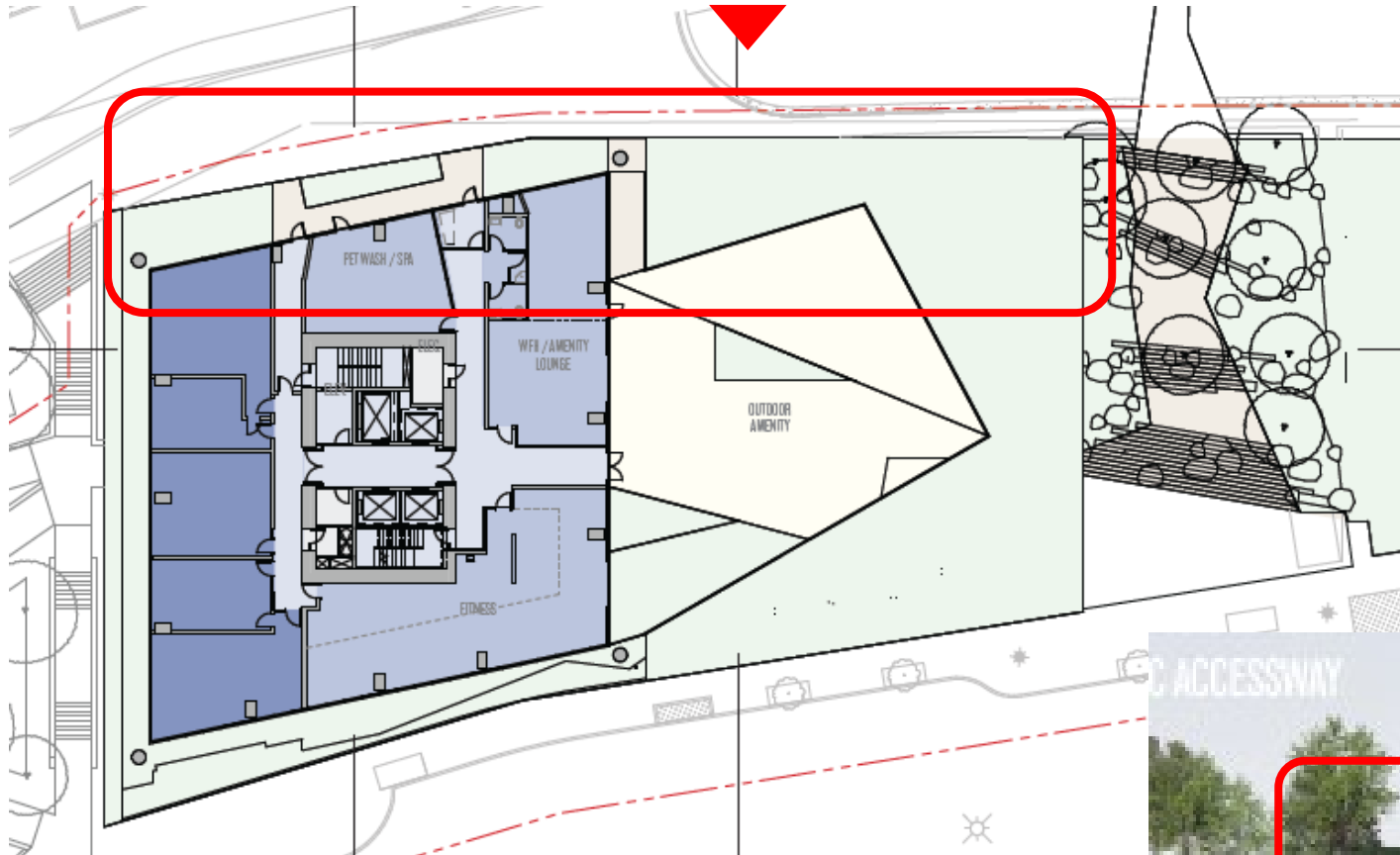


EA 22-119953 DA, Exhibit G.4

Public Realm: Podium/ Ground floors

- 4 frontages, design and character related to existing and desired future contexts & slopes & Mod #4 to GFW at N & S

WEST



CCFDG's – Enhance the Public Realm

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B3: Bridge Pedestrian Obstacles

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B5: Make Plazas, Parks & Open Space Successful

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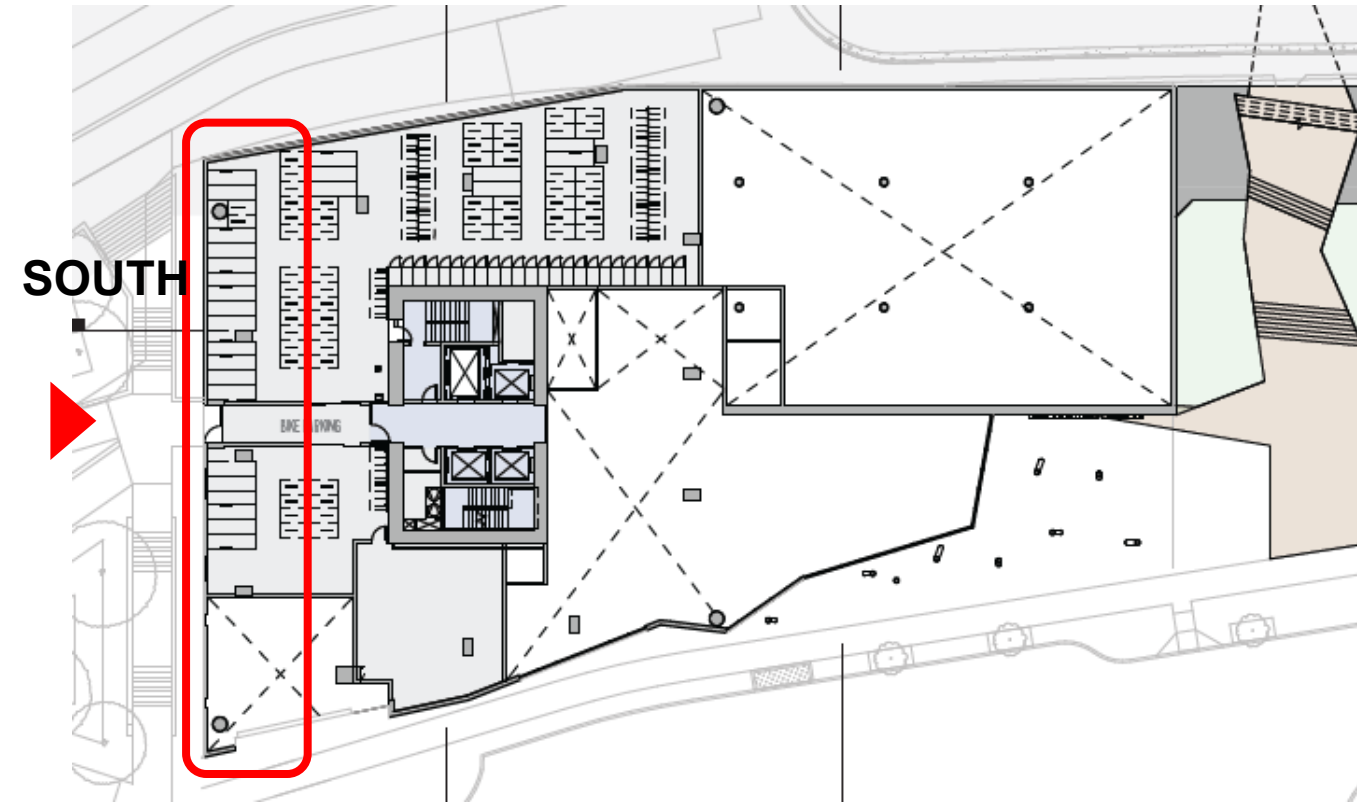
C10: Integrate Encroachments

C11: Integrate Roofs and Use Rooftops



Public Realm: Podium/ Ground floors

- 4 frontages, design and character related to existing and desired future contexts & slopes & Mod #4 to GFW at N & S



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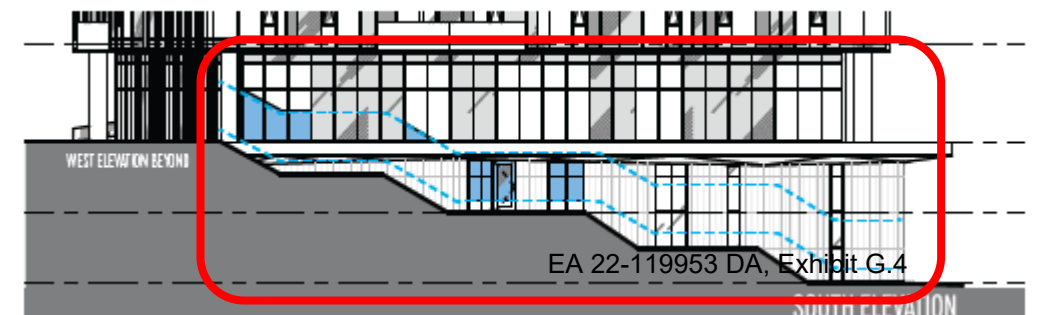
C8: Differentiate the Sidewalk Level of Buildings

C9: Develop Flexible Sidewalk Level Spaces

C10: Integrate Encroachments

C11: Integrate Roofs and Use Rooftops

TOTAL AREA	921 SF
GLAZING AREA	166 SF
GLAZING %	18%



Public Realm: Podium/ Ground floors

- Mod #4 to GFW at N & S

4. 33.510.220 Ground Floor Windows.

Request to not meet the ground floor window requirement of at least 40 percent of the ground level wall areas on the north (25 percent) and south (18 percent) façade.

33.510.220 B. Standard.

To meet the standards, ground floor windows must be windows that allow views into work areas or lobbies, or be windows in pedestrian entrances. Windows into storage areas, vehicle parking areas, garbage and recycling areas, mechanical and utility areas and display cases attached to outside walls do not qualify. Windows into bicycle parking areas are allowed to qualify for up to 25 percent of the ground floor windows coverage requirement. The bottom of the windows of nonresidential spaces must be no more than 4 feet above the finished grade:

2. All other ground level facades that face a street lot line, sidewalk, plaza, or other publicly accessible open area or right-of-way must have windows that cover at least 40 percent of the ground level wall area. For street facing facades of dwelling units the regulations of 33.130.230.B.4 apply.

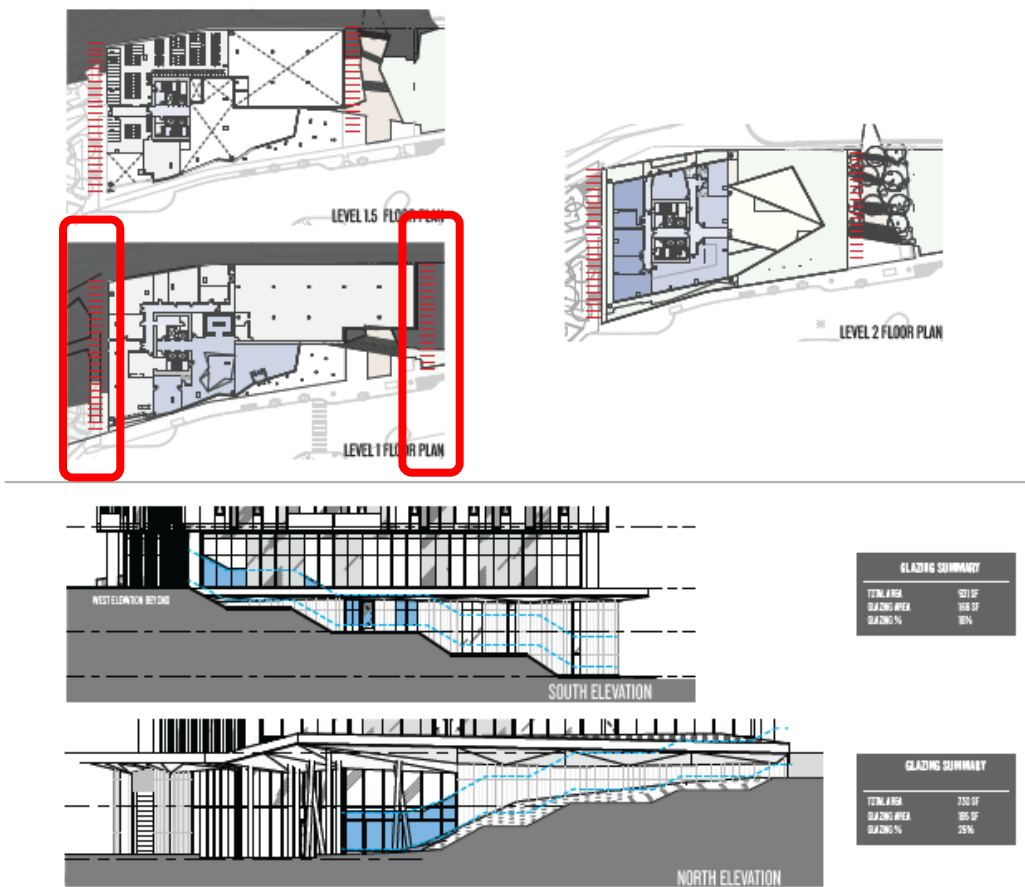
33.510.220 A. Purpose.

In the Central City plan district, blank walls on the ground level of buildings are limited in order to:

- *Provide a pleasant, rich, and diverse pedestrian experience by connecting activities occurring within a structure to adjacent sidewalk areas;*
- *Encourage continuity of retail and service uses;*
- *Encourage surveillance opportunities by restricting fortress-like facades at street level;*
- *Avoid a monotonous pedestrian environment; and*
- *The plan district modifications to the base zone standards for ground floor windows are intended to promote ground floor windows in a larger number of situations than in the base zones and to provide additional flexibility in meeting the standard.*

Public Realm: Podium/ Ground floors

- Mod #4 to GFW at N & S



5. GROUND FLOOR WINDOW MODIFICATION

REQUIREMENT

B. Ground floor windows. The following ground floor window standards apply in the RK, CX and EX zones. The standards of B.1 and B.2 apply to new development and major remodeling projects. B.3 only applies to major remodeling projects. To meet the standards, ground floor windows must be windows that allow views into work areas of lobbies, or be windows in pedestrian entrances. Windows into storage areas, vehicle parking areas, garbage and recycling areas, mechanical and utility areas and display cases attached to outside walls do not qualify. Windows into bicycle parking areas are allowed to qualify for up to 25 percent of the ground floor windows coverage requirement. The bottom of the windows of nonresidential spaces must be no more than 4 feet above the finished grade.

2. All other ground level facades that face a street lot line, sidewalk, plaza or other publicly accessible open area or right-of-way must have windows that cover at least 40 percent of the ground level wall area. For street facing facades of dwelling units the regulations of 33.130.230.B.4 apply. For the purposes of this standard, ground level wall area includes all exterior wall area from 2 feet to 10 feet above the finished grade.

3. Optional Artwork. Projects proposing to use artwork as an alternative to the ground floor window requirements may apply for this through the adjustment procedure. Projects may also apply for a modification through design review if they meet the following qualifications. Buildings having more than 50 percent of their ground level space in storage, parking, or loading areas, or in uses which by their nature are not conducive to windows (such as theaters), may be allowed to use the design review process. Artwork and displays relating to activities occurring within the building are encouraged. In these instances, the artwork will be allowed if it is found to be consistent with the purpose for the ground floor window standard.

PROPOSAL

21 feet of grade separates Block 1 from west to east. Given the grades, many of the functions on the ground level are tucked into the hillside and are back of house spaces such as electrical rooms, the pump rooms, trash/recycling, loading, storage, and future parking areas. The zoning code permits modification to this standard when more than 50 percent of the ground level space are in uses such as these. At Block 1, approximately 75% of the ground level are in uses not conducive to windows.

The east and west elevations are relatively flat and are fronted with active uses and will meet the ground floor window requirement. The north and south elevations face publicly accessible open areas that are navigating 17' of grade and 21' of grade respectively for pedestrian and bike connections. Rather than integrating artworks and displays, the proposal is to naturalize these areas into lushly planted and thoughtfully designed spaces.

APPROVAL CRITERIA

A. The resulting development will better meet the applicable design guidelines:

The proposed development better meets the applicable design guidelines as it both provides for needed pedestrian connections along a very steep grade differential (two stories across 100 linear feet) and a pleasant and interesting environment. The proposed solution meets the intent described in the Purpose statement for pedestrians and the zoning code specifically describes modifications being allowed for conditions like this where the ground floor is primarily in storage, parking, or loading areas.

B. On Balance, the proposal is consistent with the purpose of the standard for which a modification is requested.

In the purpose statement for Ground Floor Windows blank walls are limited in order to provide a pleasant, rich, and diverse pedestrian experience, encourage surveillance opportunities at street level, and avoid a monotonous pedestrian environment. With the new circulation being provided where there is currently none, the design along the north and south elevations increases eyes and activity in those areas. The design of the space directly adjacent to these walls will be a uniquely natural environment creating an interesting pedestrian experience similar to a park like setting to avoid a monotonous pedestrian environment.

CCFDG's – Enhance the Public Realm

- A4: Use Unifying Elements
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- A8: Contribute to a Vibrant Streetscape
- B2: Protect the Pedestrian
- B3: Bridge Pedestrian Obstacles
- B4: Provide Stopping and Viewing Places
- B5: Make Plazas, Parks & Open Space Successful
- B6: Develop Weather Protection
- B7: Integrate Barrier-Free Design
- C6: Develop Transitions B/w Bldgs & Public Spaces
- C7: Design Corners that Build Active Intersections
- C8: Differentiate the Sidewalk Level of Buildings
- C9: Develop Flexible Sidewalk Level Spaces
- C10: Integrate Encroachments
- C11: Integrate Roofs and Use Rooftops

Public Realm: Open Areas

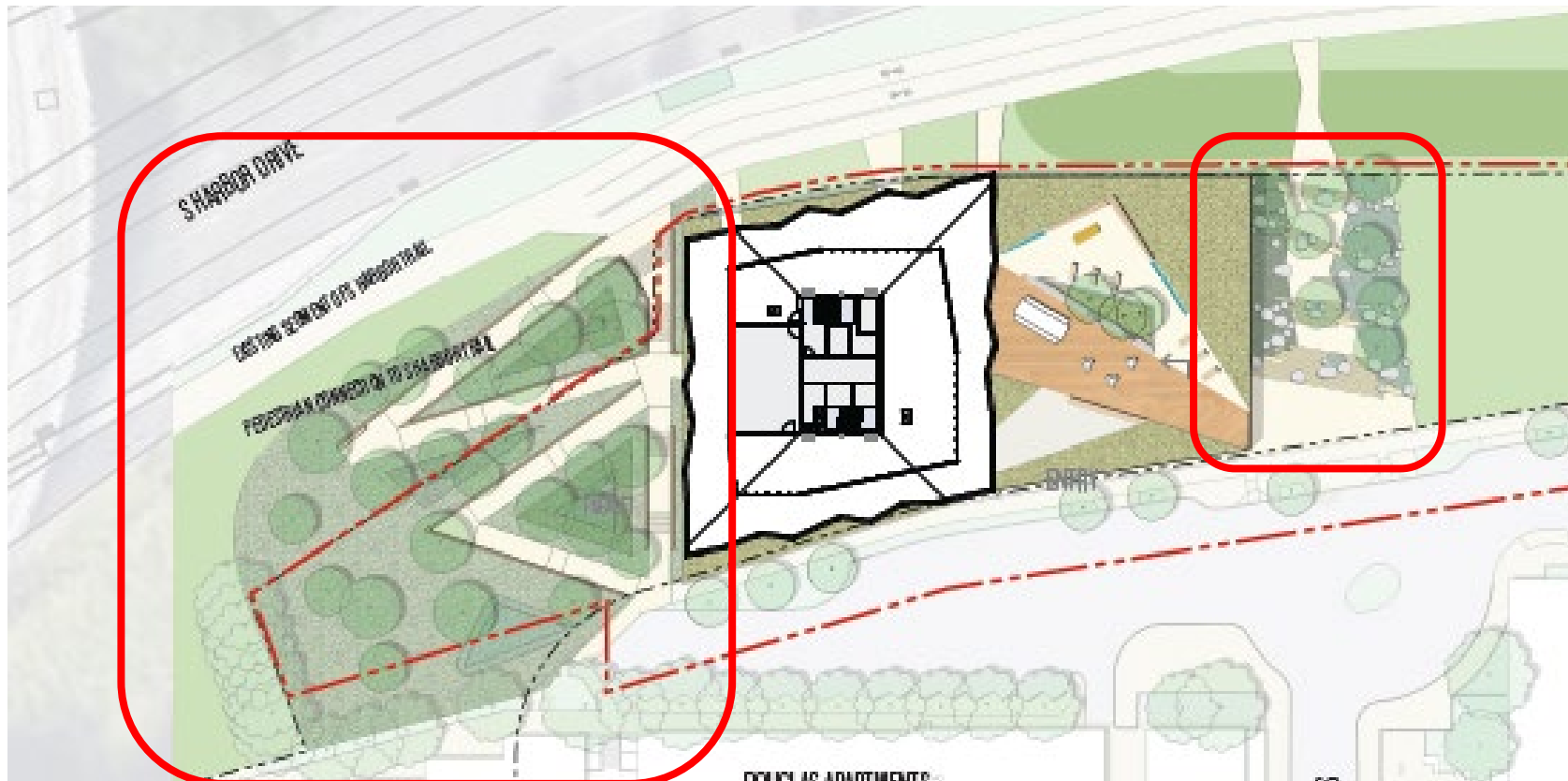
- Uses, functionality and activation

CCFDG's – Respond to Context

- A1: Integrate the River
- A2: Emphasize Portland Themes
- A3: Respect the Portland Block Structures
- A5: Enhance, Embellish & Identify Areas
- A9: Strengthen Gateways
- C1: Enhance View Opportunities
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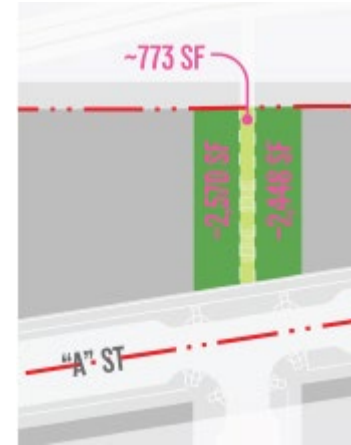
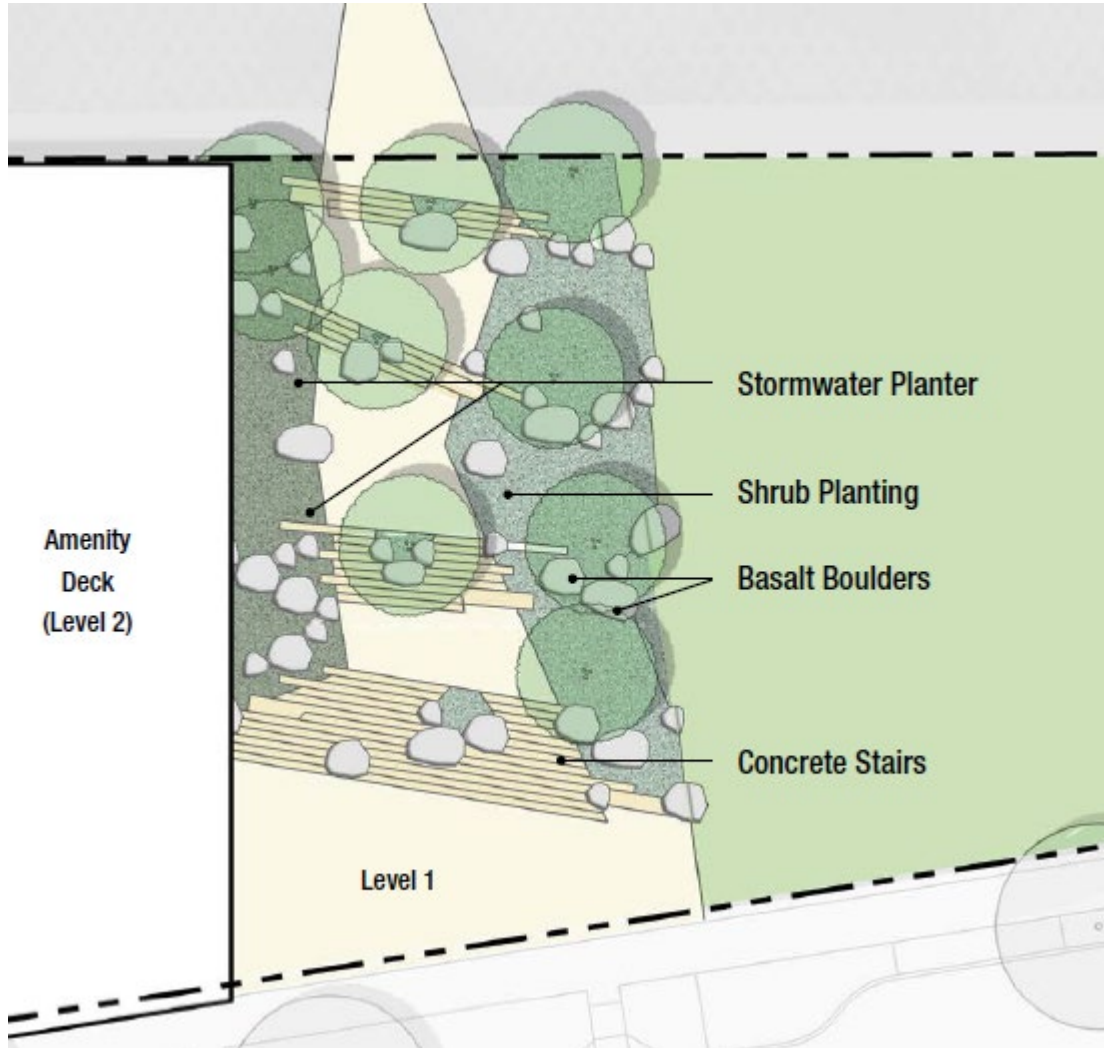
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Public Realm: Open Areas

- Uses, functionality and activation



CCMP

CCFDG's – Enhance the Public Realm

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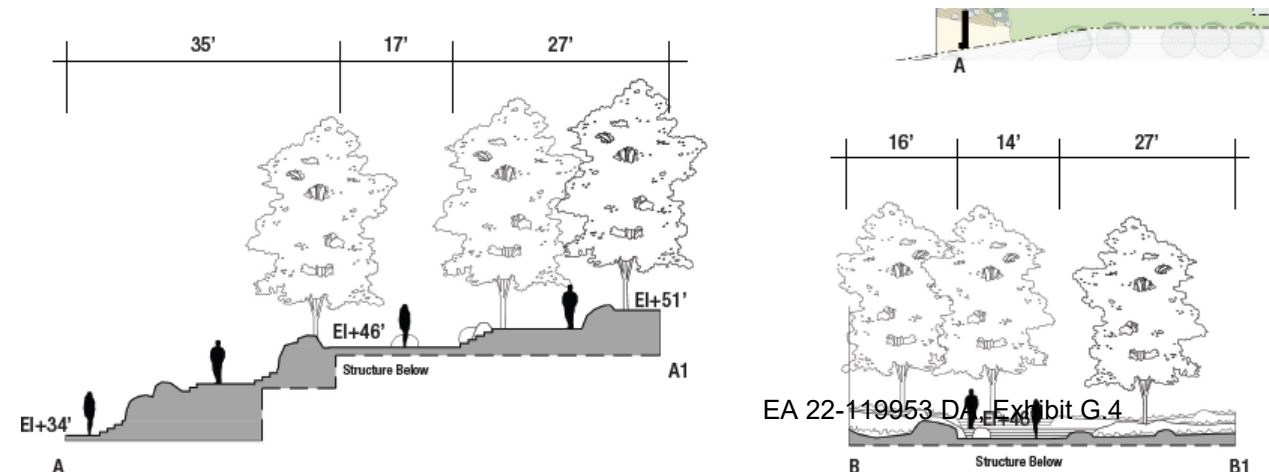
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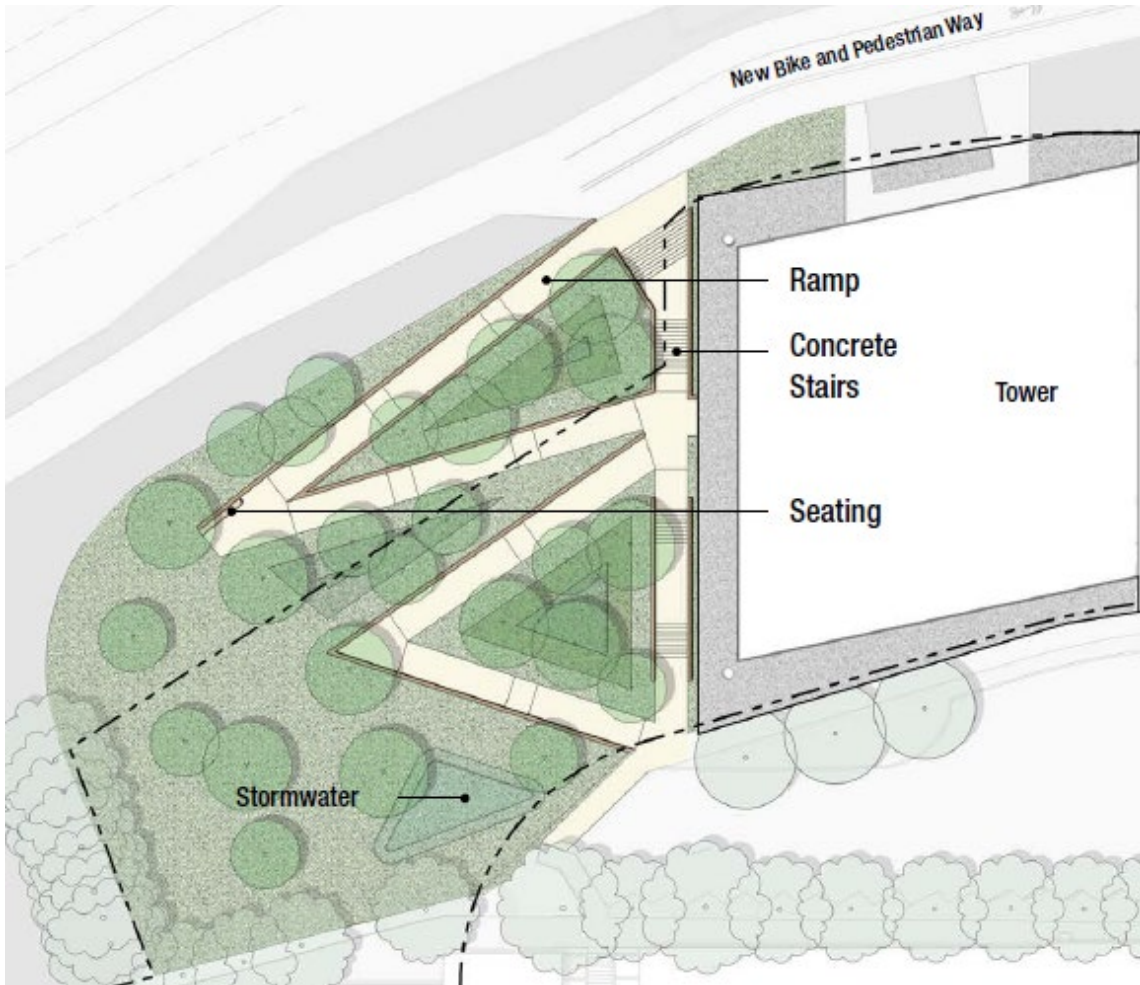
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Public Realm: Open Areas

- Uses, functionality and activation



CCMP

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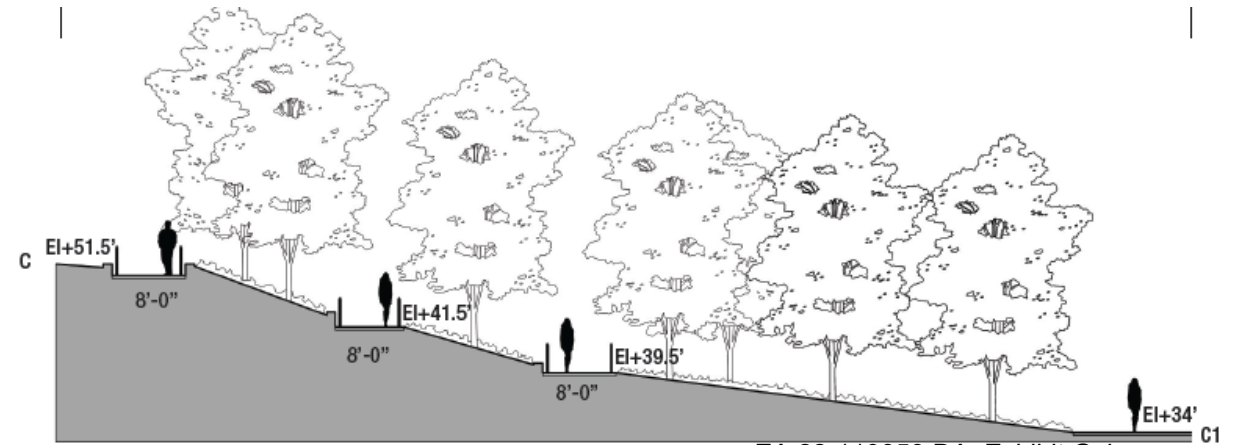
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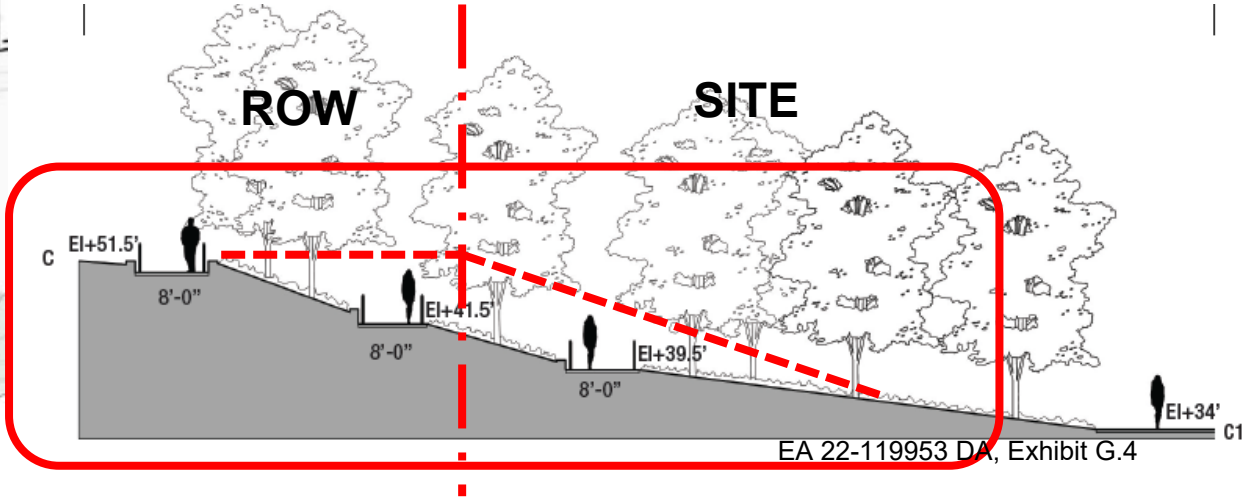


Public Realm: Open Areas

- Uses, functionality and activation

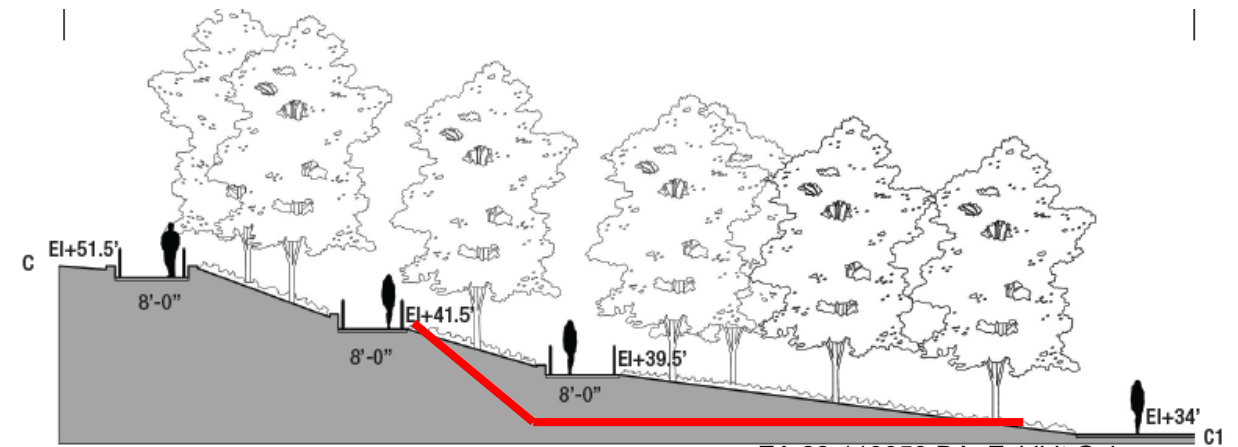


CCMP



Public Realm: Open Areas

- Uses, functionality and activation



Quality & Permanence:

1. Coherency of composition and materials, related to context
2. Resilience, incl. Mod #3 to eco-roofs

CCFDG's – Quality and Resilience

C2: Promote Permanence & Quality in Design

C5: Design for Coherency

Quality & Permanence:

- Coherency of composition and materials, related to context

CCFDG's – Quality and Resilience

C2: Promote Permanence & Quality in Design

C5: Design for Coherency



Quality & Permanence:

- Resilience, incl. Mod #3 to eco-roofs

3. 33.510.243 Ecoroofs.

Request to reduce eco-roof requirements from 100% to 33%, with none on the rooftop of the tower element, and to manage stormwater at grade, incl. stormwater planter at south open area. (See Pages 48-49 of the packet).

33.510.243 B.1. **Standard.** *In the CX, EX, RX, and IG1 zones, new buildings with a net building area of 20,000 square feet or more must have an ecoroof that meets the following standards:*

1. The ecoroofs, including required firebreaks between ecoroofs areas, must cover 100 percent of the building roof area, except that up to 40 percent of the building roof area can be covered with a combination of the following. Roof top parking does not count as roof area.

33.510 243.A. **Purpose.**

Ecoroofs provide multiple complementary benefits in urban areas, including stormwater management, reduction of air temperatures, mitigation of urban heat island impacts, air quality improvement, urban green spaces, and habitat for birds, plants and pollinators. The standards are intended to:

- *Maximize the coverage of ecoroofs;*
- *Allow for the placement of structures and other items that need to be located on roofs; and*
- *Support the architectural variability of rooftops in the Central City.*

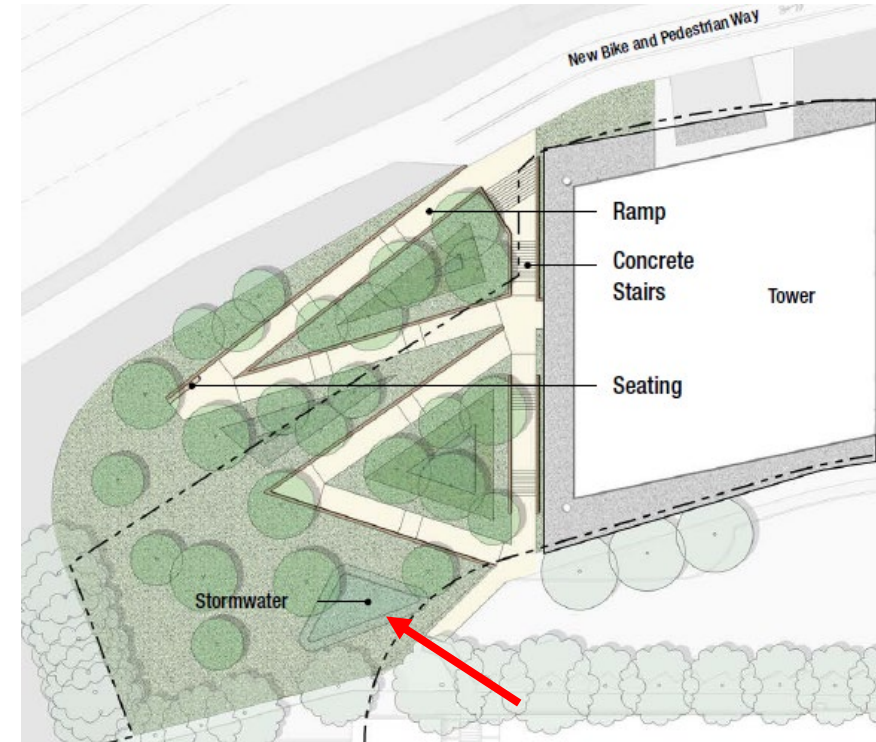
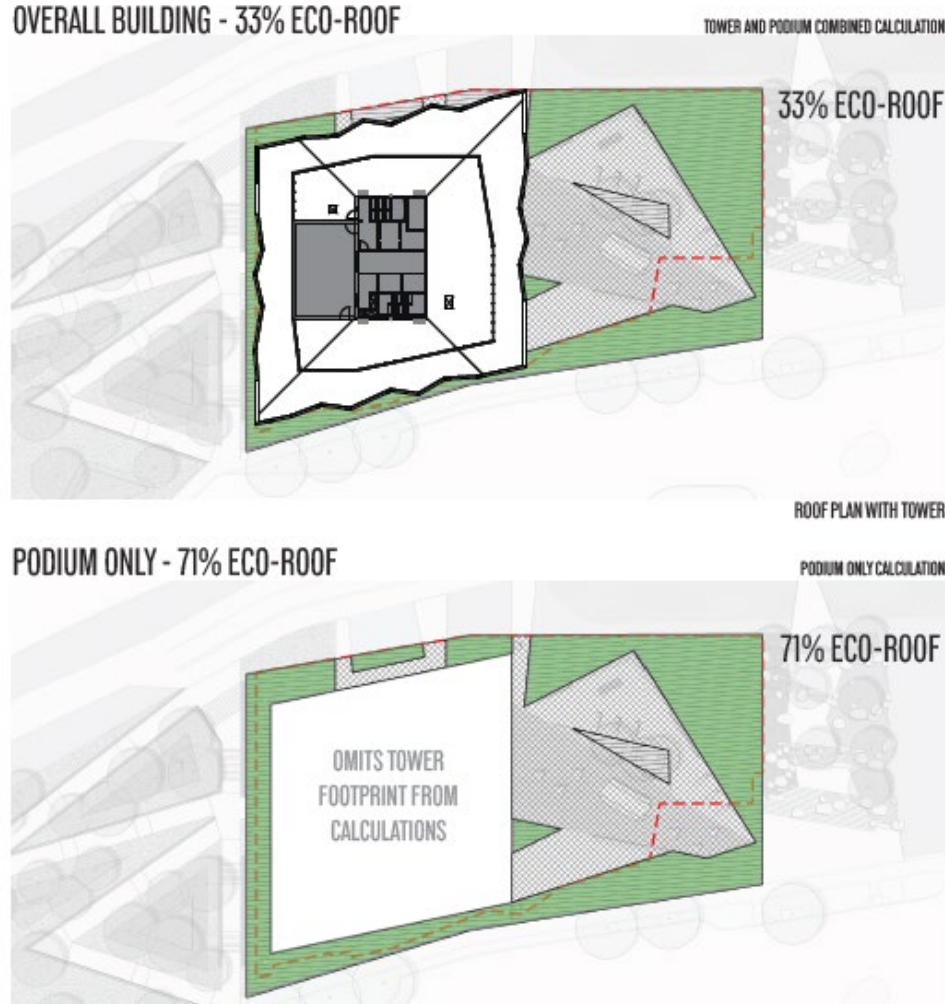
Quality & Permanence:

- Resilience, incl. Mod #3 to eco-roofs

CCFDG's – Quality and Resilience

C2: Promote Permanence & Quality in Design

C5: Design for Coherency



Staff Introduction

Applicant Presentation

Staff Discussion Topics

Public Comments

Commission Discussion

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Applicant Presentation

Staff Discussion Topics

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Commission Discussion

4/21/22 - DESIGN COMMISSION HEARING

EA 22-119953 DA – RiverPlace Phase 1 THESE ARE FROM 4/7 WHICH RESCHEDULED FROM 4/7

ATTENDEES - TESTIFIERS IN RED (subject to change)

	FIRST NAME	LAST NAME	EMAIL	ADDRESS	CITY	ZIP	ARE YOU ATTENDING FOR:	WOULD YOU LIKE TO TESTIFY	FOR OR AGAINST	TESTIFIED	DID NOT TESTIFY
1	Rudy	Barton	rbartonrbarton@gmail.com	1920 S River Dr Unit E101	Portland	97201	YES	YES	AGAINST		
2	Thomas	Ray	thomas-ray@comcast.net	2211 SW 1st Ave., Unit 802	Portland	97201	YES	YES	N/A		
3	Lajune/Joel	Thorson	thorson@easystreet.net	255 SW HARRISON ST APT 26D	PORTLAND	97201	YES	YES			
4	Dean	Barnett	drs.barnett89@gmail.com	2211 SW 1st Ave., Unit 1402	Portland	97201	YES	YES	N/A		
5	JOHN	CZARNECKI	JRCA@AOL.COM	1020 SW TAYLOR ST #234	PORTLAND	97205	YES	YES	N/A		
6	Ronald	Doctor	rddpdx@gmail.com	13224 Barkley Street	Overland Park	66209	YES	YES	AGAINST		
7	Marian	Debardelaben	mldebar@comcast.net	2221 SW 1st Ave	Portland	97201	YES	YES	AGAINST		
8	Diana	Stuart	stuart2409@comcast.net	1920 S River Dr , E302	Portland	97201-8048	YES	YES	AGAINST		
9	Lory	Utz	loryutz@aol.com	1920 S. River Drive	Portland	97201	YES	YES	AGAINST		
	Adam	Green	adamg@gbdachitects.com	3728 NE 114th Ave.	Portland	97220	YES	NO	FOR		
	Alison	Iwashita	alisoni@gbdachitects.com	726 NW 11th Ave. #306	Portland	97209	YES	NO	FOR		
	Amy	Caplan	amyvegan@gmail.com	255 SW Harrison St, #23G	Portland	97201	YES	NO	AGAINST		
	Anne	Draper	aedraper@comcast.net	2127 SE Elliott Avenue	Portland	97214	YES	NO	N/A		
	Daniel	Bradbury	dbradbury.arch@gmail.com	8687 N Edison St	Portland	97203	YES	NO	FOR		
	Debra	Wood	dwood@saddleback.edu	1930 S River Dr Unit 804	Portland	97201	YES	NO	AGAINST		
	Diane	Perry	operryland@gmail.com	255 SW Harrison St. #8D	Portland	97201	YES	N/A	AGAINST		
	Doug	Bean	dougb@dougbbean.com	PO Box 2519	Portland	97208	YES	NO	N/A		
	Harold	West	harold@bluemoonastrology.net	1730 S Harbor Way #308	Portland	97201	YES	NO	N/A		
	Jacob	Loeb	info@montavilla.net	19 SE 78th Ave	Portland	97215	YES	NO	N/A		
	Jan	Campbell	janc988@aol.com	320 SW Montgomery ST,	Portland	97201	YES	NO	N/A		
	Joel	Thorson	thorson@easystreet.net	255 SW Harrison St Apt 26D	Portland	97201	YES	NO	AGAINST		
	Judith G.	Trenberth	dustytrenberth@gmail.com	1930 S. River Dr., Unit W301	Portland	97201	YES	NO	AGAINST		
	Kevin	Cornelius	Kevin.C.Cornelius@Outlook.com	1910 SW River Drive	Portland	97201	YES	NO	N/A		
	krystin	baker	krystin.baker@eastbankdev.com	12826 SW Killpack In	Beaverton	97005	YES	NO	N/A		
	Kyle	Andersen	Kyle@gbdachitects.com	1120 NW COUCH ST	Portland	97209	YES	N/A	N/A		
	Maren	Elnes	marene@gbdachitects.com	9306 NW Hardy ave	Portland	97231	YES	NO	FOR		
	Robert	Wood	robertwood338@gmail.com	1930 S River Drive	Portland	97201	YES	NO	AGAINST		
	Susan	West	susan@bluemoonastrology.com	1730 S Harbor Way #308	Portland	97201	YES	NO	N/A		
	Vicki	Mayberry	Vshopmayberry@gmail.com	1930 S River Drive #601	Portland	97201	YES	NO	AGAINST		
	xiaoyue	wang	xwang@walkermacy.com	140 SW Columbia Street	Portland	97201	YES	N/A	FOR		

River Place Phase 1 DAR

CONTEXT:

- Mod 1 Tower Floor Plate Size and Mod 2 Tower Floor Plate Dimension: The applicant's rationale for the Mod 1 request is logical and when combined with Mod 2 Tower Floor Dimension to measure the tower width in the orientation of the street grid vs the cardinal N-S-E-W axes; it seems reasonable. 112' of width aligned with the downtown street corridors is better than 154' of rotated width not aligned with the downtown street grid. This better meets **A3 Portland Block Structures**.
- **A5 Enhance, Embellish & Identify Areas:**
- C15 Ground Floor Plan: Taking advantage of topography to bury back of house uses into the embankment makes sense.
- Ground floor uses facing A Street are – loading bay, package room, leasing office, lobby. On one hand, looking at this building as part of a composition of multiple, future buildings with active ground floor uses combined to create critical mass along proposed streets and passages, would tend to take pressure off this building as it sits at the edge of the CCMS.
- However, if no other phases are ever built here, looking at C29, C34, C35, there is a startling lack of urban vitality in the scenes. Thinking of hundreds of residents of this new tower, I wonder what is it on this site that makes a compelling place for them to come together, to enjoy being here? It comes off dull and lifeless. Was there supposed to be an improved connection to the east to access existing amenities?
- Further, if this building is the only addition to the neighborhood, it does not address **C4 Complement the Context of Existing Buildings** successfully.
- Go back to C14 Site Plan, C16 Floor Plan Level 1.5, C17 Floor Plan Level 02, C30 West Elevation, C31 South and North Elevations and consider how to make:
 - stronger visual connections to the open space on the south;
 - successful public-private transition for the residential unit at Level 2 facing west using a more developed, layered landscape;
 - make a more prominent entrance from Level 2 (Multiuse Path) to a more prominent, transparent corridor leading to the elevator lobby and the work-from-home amenity space by relocating the dog wash and whatever small enclosed room is shown near the west façade; make the whole relationship from the west side of the building to the public open space and multiuse path stronger.

PUBLIC REALM:

- ***B1 Reinforce and Enhance the Pedestrian System:***
- The site does have significant topography and the public access at the north and south ends can work together to provide access AND good public spaces. I do not take issue with no ADA access in the mid-block open space. It's physically impossible to accommodate. See below on how to improve ADA access in the south open space.
- The applicant and PBOT should be acknowledged for their effort to find good solutions to ped/bike mobility, fire access along the old cul-de-sac, etc. Shifting the MUP to the west along Harbor Drive is a great improvement. Also utilizing the excess ROW to the south end of the site for improved public pedestrian/bike access is a significant achievement.
- The switchback ramp and stair system in the south open space may work well for pedestrians but as a bike access route, not as well. The sharp V-shaped switchback turns are not practical to ride a bike on and will result in ped-bike conflicts. Consider:
 - Wider, radiused, inside turns for bicyclists;
 - A larger mid-point landing entering the bike parking door at Level 1.5;
 - A comprehensive landscape plan for the whole south area including private property and public ROW that looks complete at the end of Phase 1;
- ***A7 Establish and Maintain Urban Enclosure:*** Agree with staff the cutaway of Ground Level lobby to reveal the mid-block pedestrian open space/access stair is a good move. However, the combination of the Ground floor outdoor space in the front of the lobby, the pedestrian stairs/open space and the Level 2 Outdoor Amenity Space – all seem like unconnected, separate gestures. The covered outdoor space at Ground Floor and the Outdoor Amenity space at Level 2 are common areas; the Pedestrian stair/open space is public but the three spaces could be better integrated to meet the intent of:
 - ***B4 Stopping and View Places***
 - ***B5 Plazas, Parks and & Open Space Successful***
 - ***C6 Transitions between Buildings and Public Spaces***
- ***C8 Differentiate Sidewalk Level of Buildings:*** the tall, upward sloping east elevation at the Ground Floor is differentiated by height and upward tilt. The Level 2 north and west elevations are only differentiated by a base recess and floor to ceiling glazing. They don't project the importance of the work from home space and the west entrance. C30 West Elevation, Level 02 seems squatty in proportion to the tower.

- **C9 Flexible Sidewalk Level Spaces:** premature to know whether this guideline is met. See issues listed with Level 2 ground floor uses on the exterior.
- **C11 Integrate Roofs and use Rooftops:** I don't take issue with no ecoroof on the tower for practical reasons. However, we should see a more integrated landscape solution for a rain garden in the south open space.
- **C12 Integrate Exterior Lighting and C13 Integrate Signs:** TBD when we see more detail.

QUALITY AND COHERENCE

- **C2 Permanence and Quality in Design:** TBD when we see more detail.
- **C5 Coherency:** most of the tower elevations seem well-related and simple in materials and forms. The most work is needed in the first three floors for a better relationship to surrounding streets and open spaces.