



**City of Portland, Oregon**  
**Bureau of Development Services**  
**Land Use Services**  
**FROM CONCEPT TO CONSTRUCTION**

Dan Ryan, Commissioner  
Rebecca Esau, Director  
Phone: (503) 823-7300  
Fax: (503) 823-5630  
TTY: (503) 823-6868  
[www.portland.gov/bds](http://www.portland.gov/bds)

**RECORDER**

Please stamp the County Recorder's copy of the recording sheet and return with the attached decision to City of Portland, BDS 299/5000/BDS LUR

Multnomah County Official Records **2022-018462**  
E Murray, Deputy Clerk  
02/18/2022 11:36:46 AM  
NOT-NOT Pgs=5 Stn=36 ATKBH  
\$25.00 \$11.00 \$10.00 \$60.00 **\$106.00**

**Date:** February 15, 2022  
**To:** Interested Person  
**From:** Hannah Bryant, Land Use Services  
503-865-6520 / [Hannah.Bryant@portlandoregon.gov](mailto:Hannah.Bryant@portlandoregon.gov)

**NOTICE OF A TYPE I DECISION ON A PROPOSAL IN YOUR NEIGHBORHOOD**

The Bureau of Development Services has approved a proposal in your neighborhood. The mailed copy of this document is only a summary of the decision. The reasons for the decision are included in the version located on the BDS website <http://www.portlandonline.com/bds/index.cfm?c=46429>. Click on the District Coalition then scroll to the relevant Neighborhood, and case number. If you disagree with the decision, you can appeal. Information on how to do so is included at the end of this decision.

**CASE FILE NUMBER: LU 21-107545 HR – REBUILD EXISTING FRONT PORCH**

**GENERAL INFORMATION**

**Applicant:** Autumn Freer | Right Turn Construction Inc  
1205 E 33rd St  
Vancouver, WA 98663  
[rightturnconstruction@hotmail.com](mailto:rightturnconstruction@hotmail.com)  
**Owner:** Lauren Mittelman and Brian Mittelman  
6336 NE Rodney Ave  
Portland, OR 97211  
**Site Address:** 6336 NE RODNEY AVE

**Legal Description:** BLOCK 43 LOT 13, PIEDMONT  
**Tax Account No.:** R657806730  
**State ID No.:** 1N1E15DA 08000  
**Quarter Section:** 2430

**Neighborhood:** Piedmont, contact Deanne Gomez at [gomez.deanne@yahoo.com](mailto:gomez.deanne@yahoo.com)  
**Business District:** Soul District Business Association, contact at [info@nnebaportland.org](mailto:info@nnebaportland.org)  
**District Coalition:** North Portland Neighborhood Services, contact Mary Jaron Kelley at 503-823-8877.

**Plan District:** None  
**Other Designations:** Contributing Resource in the Piedmont Conservation District  
**Zoning:** R5h – Residential 5,000 with an 'h' height overlay  
**Case Type:** HR – Historic Resource Review  
**Procedure:** Type I, an administrative decision with appeal to the Oregon Land Use Board of Appeals (LUBA).

**Proposal:**

The applicant seeks Historic Resource Review approval to rebuild an existing front porch on a Contributing Resource in the Piedmont Conservation District. The proposal includes Trex composite decking, cedar railings and posts, wood fascia covering all pressure treated framing, and tongue-and-groove skirting boards.

Historic Resource Review is required for non-exempt exterior alterations in the Piedmont Conservation District.

**Relevant Approval Criteria:**

In order to be approved, this proposal must comply with the approval criteria of Title 33, Portland's Zoning Code. The relevant approval criteria are:

- *Community Design Guidelines*

## CONCLUSIONS

The purpose of the Historic Resource Review process is to ensure that additions, new construction, and exterior alterations to historic resources do not compromise their ability to convey historic significance. This proposal meets the applicable Historic Resource Review criteria and therefore warrants approval.

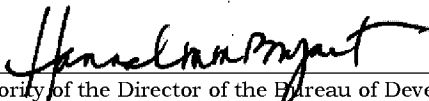
## ADMINISTRATIVE DECISION

Approval to rebuild a front porch, per the approved site plans, Exhibits C-1 through C-5, signed and dated February 11, 2022, subject to the following conditions:

- A. As part of the building permit application submittal, the following development-related conditions (B through F) must be noted on each of the four required site plans or included as a sheet in the numbered set of plans. The sheet on which this information appears must be labeled "ZONING COMPLIANCE PAGE- Case File LU 21-107545 HR." All requirements must be graphically represented on the site plan, landscape, or other required plan and must be labeled "REQUIRED."
- B. At the time of building permit submittal, a signed Certificate of Compliance form (<https://www.portlandoregon.gov/bds/article/623658>) must be submitted to ensure the permit plans comply with the Design/Historic Resource Review decision and approved exhibits.

- C. All porch framing, including columns, shall be covered with stained or painted wood fascia and trim, so no pressure treated framing is visible from the public right of way.
- D. The opening beneath the raised porch shall be enclosed with painted 1x4 wood siding or cedar shingles with a 4" reveal.
- E. All porch railings, newel posts and balusters shall be stained or painted wood.
- F. No field changes allowed.

**Staff Planner: Hannah Bryant**

**Decision rendered by:**  **on February 11, 2022**  
By authority of the Director of the Bureau of Development Services

**Decision mailed February 15, 2022**

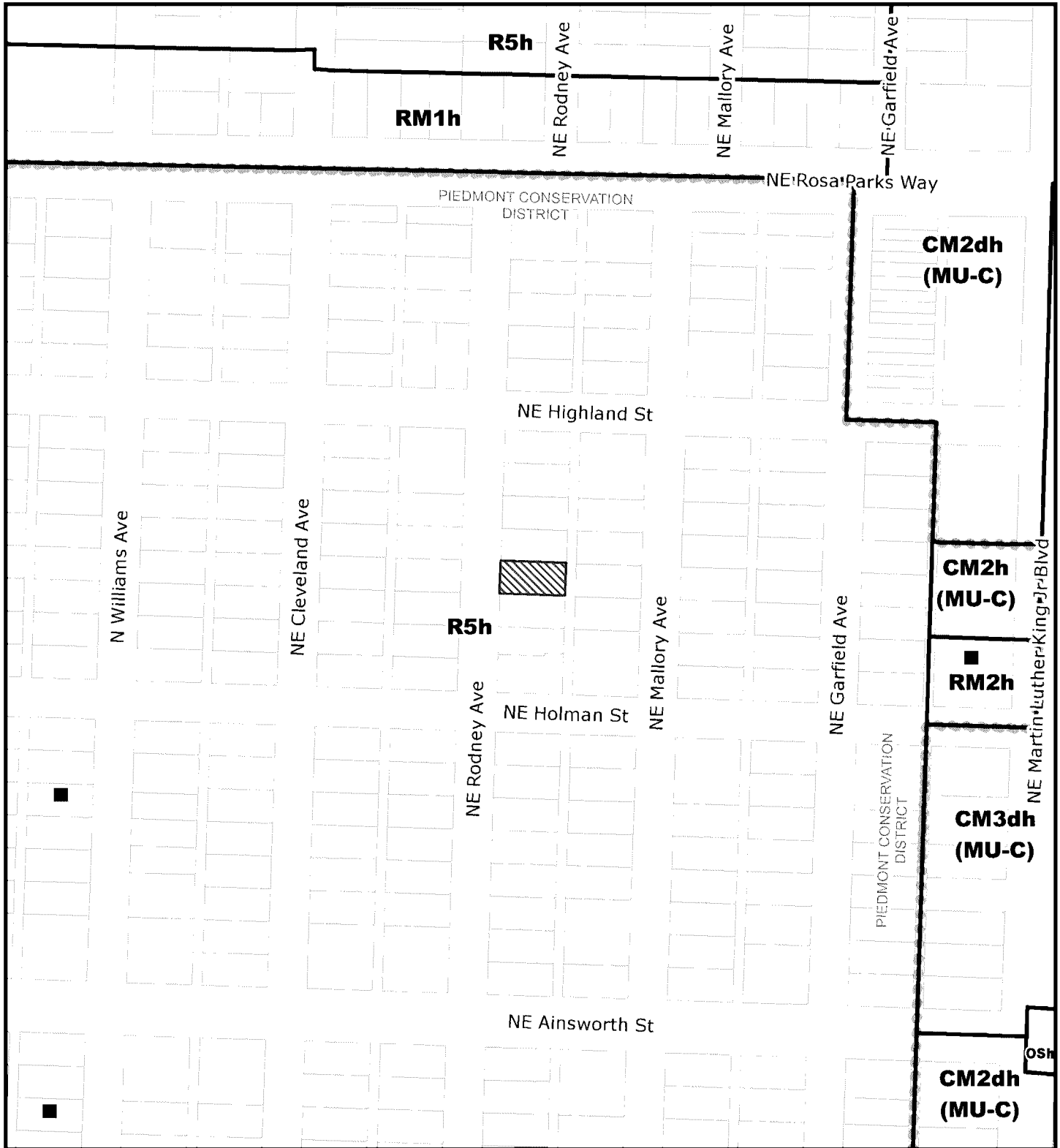
**Effective Date (if no appeal): February 16, 2022 Decision may be recorded on this date**

**Kimberly Tallant, Principal Planner**

**City of Portland**  
Bureau of Development Services  
1900 SW Fourth Ave, #5000  
Portland, OR 97201

Date: February 16, 2022

  
Representative



# ZONING

  
NORTH

For Zoning Code in effect Post August 1, 2021

THIS SITE LIES WITHIN THE:  
PIEDMONT CONSERVATION DISTRICT



Site



Historic Landmark

File No.	LU 21 - 107545 HR
1/4 Section	2430
Scale	1 inch = 200 feet
State ID	1N1E15DA 8000
Exhibit	B Nov 18, 2021

6336 NE Rodney Ave  
Portland OR 97211

Water  
meter

Elevation  
175  
POWER

1" = 20'

Re-Surface  
w/ T&E

25'

Elevation  
175

31'

38'

73x64

7'

149x92

18'

19'

Rebuild front  
Porch

100

34"

42"

Elevation  
175

Elevation  
175

50

— RODNEY AVE —

\*Approved\*  
City of Portland  
Bureau of Development Services

Planner

*[Signature]*

Date

02-11-2022

\*This approval applies only to the reviews requested and is subject to all conditions of approval. Additional zoning requirements may apply.

C.1

LU 21-107545 HR



**City of Portland, Oregon**  
**Bureau of Development Services**  
**Land Use Services**  
**FROM CONCEPT TO CONSTRUCTION**

Dan Ryan, Commissioner  
Rebecca Esau, Director  
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**Other Designations:** Contributing Resource in the Piedmont Conservation District  
**Zoning:** R5h – Residential 5,000 with an ‘h’ height overlay  
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**Proposal:**

The applicant seeks Historic Resource Review approval to rebuild an existing front porch on a Contributing Resource in the Piedmont Conservation District. The proposal includes Trex composite decking, cedar railings and posts, wood fascia covering all pressure treated framing, and tongue-and-groove skirting boards.

Historic Resource Review is required for non-exempt exterior alterations in the Piedmont Conservation District.

**Relevant Approval Criteria:**

In order to be approved, this proposal must comply with the approval criteria of Title 33, Portland's Zoning Code. The relevant approval criteria are:

- *Community Design Guidelines*

**ANALYSIS**

**Site and Vicinity:** The subject property is located mid-block on NE Rodney Street, in the Piedmont Conservation District. At this location, NE Rodney Street is a Local Service Street for all modes of transit. Constructed in 1910, the subject property is a contributing resource in the District, and appears to be a good example of a Portland Foursquare style.

**Zoning:** The Residential 5,000 (R5) single-dwelling zone is intended to preserve land for housing and to provide housing opportunities for individual households. The zone implements the comprehensive plan policies and designations for single-dwelling housing. Minimum lot size is 3,000 square feet, with minimum width and depth dimensions of 36 and 50 feet, respectively. Minimum densities are based on lot size and street configuration. Maximum densities are 1 lot per 5,000 square feet of site area.

The Historic Resource Protection overlay is comprised of Historic and Conservation Districts, as well as Historic and Conservation Landmarks and protects certain historic resources in the region and preserves significant parts of the region's heritage. The regulations implement Portland's Comprehensive Plan policies that address historic preservation. These policies recognize the role historic resources have in promoting the education and enjoyment of those living in and visiting the region. The regulations foster pride among the region's citizens in their city and its heritage. Historic preservation beautifies the city, promotes the city's economic health, and helps to preserve and enhance the value of historic properties.

**Land Use History:** City records indicate there are no prior land use reviews for this site.

**Agency Review:** A Notice of Proposal in your Neighborhood was mailed on **January 4, 2022**.

**Neighborhood Review:** A Notice of Proposal in Your Neighborhood was mailed on **January 4, 2022**. No written responses have been received from either the Neighborhood Association or notified property owners in response to the proposal.

**ZONING CODE APPROVAL CRITERIA****Chapter 33.846.060 - Historic Resource Review****Purpose of Historic Resource Review**

Historic Resource Review ensures the conservation and enhancement of the special characteristics of historic resources.

**Historic Resource Review Approval Criteria**

Requests for Historic Resource Review will be approved if the review body finds the applicant has shown that all of the approval criteria have been met.

**Findings:** The site is located within the Piedmont Conservation District and the proposal is for a non-exempt treatment. Therefore, Historic Resource Review approval is required. The approval criteria are the *Community Design Guidelines*.

*Staff has considered all guidelines and addressed only those applicable to this proposal.*

### **Community Design Guidelines**

**P2. Historic and Conservation Districts.** Enhance the identity of historic and conservation districts by incorporating site and building design features that reinforce the area's historic significance. Near historic and conservation districts, use such features to reinforce and complement the historic areas.

**D6. Architectural Integrity.** Respect the original character of buildings when making modifications that affect the exterior. Make additions compatible in scale, color, details, material proportion, and character with the existing building.

**D7. Blending into the Neighborhood.** Reduce the impact of new development on established neighborhoods by incorporating elements of nearby, quality buildings such as building details, massing, proportions, and materials.

**D8. Interest, Quality, and Composition.** All parts of a building should be interesting to view, of long-lasting quality, and designed to form a cohesive composition.

**Findings:** The proposal to rebuild an existing semi-enclosed front porch with the same dimensions will maintain the original proportions of this classic Portland Foursquare. While the existing porch has experienced prolonged disrepair and therefore needs full replacement of all of its elements, the proposal does not intend to make any major changes to the historic elements. Railings, posts, and balusters are all proposed to be cedar. The one non-historic material proposed is the composite Trex decking in lieu of wood decking. While Trex may not be suitable for all porch rebuilds on contributing resources, in this situation staff determined that the non-historic material will have minimal visibility from the sidewalk due to three factors: the porch is set back from the street lot line approximately thirty-four feet; the porch floor is raised approximately five-feet above the sidewalk; the porch is recessed behind the front wall of the house, enclosed by railings and covered by a roof, so the decking will be heavily shadowed and visibility will be limited. Therefore, details such as sheen and faux-wood grain that can make plastic-based composite decking visually divergent from wood decking are obscured by the conditions of this deck. Its setback and raised elevation mean that pedestrians will not be looking down on the decking and only its edge and stair treads will be visible.

On balance, staff found that the limited use of this non-historic material is approvable since all other visible materials are wood and the porch is being rebuilt in its original historic configuration. To ensure that all typical historic porch details are maintained, the applicant has requested that staff add the following conditions of approval to provide details not included in the submitted exhibits:

To ensure consistency with the original porch and typical historic porches in the area, all framing shall be covered with painted wood fascia, and the exposed area beneath the raised porch shall be enclosed to within 3" of grade with painted 1x4 wood siding or cedar shingle skirting, and all railings, newel posts and balusters shall be stained or painted wood. These conditions of approval ensure that the porch detailing is consistent with typical details, without any exposed pressure treated framing beneath the porch, and that all materials shall be of long-lasting quality and composition consistent with similar contributing historic resources in this Conservation District.

*With the conditions of approval that all porch framing, including columns, shall be covered with stained or painted wood fascia and trim, so no pressure treated framing is visible from the public right of way, and the opening beneath the raised porch shall*



*be enclosed with painted 1x4 wood siding or cedar shingles with a 4" reveal, and all porch railings, newel posts and balusters shall be stained or painted wood, this guideline is met.*

## DEVELOPMENT STANDARDS

Unless specifically required in the approval criteria listed above, this proposal does not have to meet the development standards in order to be approved during this review process. The plans submitted for a building or zoning permit must demonstrate that all requirements of Title 11 can be met, and that all development standards of Title 33 can be met or have received an Adjustment or Modification via a land use review, prior to the approval of a building or zoning permit.

## CONCLUSIONS

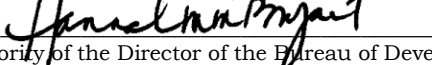
The purpose of the Historic Resource Review process is to ensure that additions, new construction, and exterior alterations to historic resources do not compromise their ability to convey historic significance. This proposal meets the applicable Historic Resource Review criteria and therefore warrants approval.

## ADMINISTRATIVE DECISION

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- B. At the time of building permit submittal, a signed Certificate of Compliance form (<https://www.portlandoregon.gov/bds/article/623658>) must be submitted to ensure the permit plans comply with the Design/Historic Resource Review decision and approved exhibits.
- C. All porch framing, including columns, shall be covered with stained or painted wood fascia and trim, so no pressure treated framing is visible from the public right of way.
- D. The opening beneath the raised porch shall be enclosed with painted 1x4 wood siding or cedar shingles with a 4" reveal.
- E. All porch railings, newel posts and balusters shall be stained or painted wood.
- F. No field changes allowed.

**Staff Planner: Hannah Bryant**

**Decision rendered by:**  **on February 11, 2022**  
By authority of the Director of the Bureau of Development Services

**Decision mailed February 15, 2022**

**Procedural Information.** The application for this land use review was submitted on November 17, 2021, and was determined to be complete on December 28, 2021.

*Zoning Code Section 33.700.080* states that Land Use Review applications are reviewed under the regulations in effect at the time the application was submitted, provided that the application is complete at the time of submittal, or complete within 180 days. Therefore, this application was reviewed against the Zoning Code in effect on November 17, 2021.

ORS 227.178 states the City must issue a final decision on Land Use Review applications within 120-days of the application being deemed complete. The 120-day review period may be waived or extended at the request of the applicant. In this case the applicant did not waive or extend the 120-day review period. Unless further extended by the applicant, **the 120 days will expire on: April 27, 2022.**

**Some of the information contained in this report was provided by the applicant.**

As required by Section 33.800.060 of the Portland Zoning Code, the burden of proof is on the applicant to show that the approval criteria are met. The Bureau of Development Services has independently reviewed the information submitted by the applicant and has included this information only where the Bureau of Development Services has determined the information satisfactorily demonstrates compliance with the applicable approval criteria. This report is the decision of the Bureau of Development Services with input from other City and public agencies.

**Conditions of Approval.** If approved, this project may be subject to a number of specific conditions, listed above. Compliance with the applicable conditions of approval must be documented in all related permit applications. Plans and drawings submitted during the permitting process must illustrate how applicable conditions of approval are met. Any project elements that are specifically required by conditions of approval must be shown on the plans, and labeled as such.

These conditions of approval run with the land, unless modified by future land use reviews. As used in the conditions, the term “applicant” includes the applicant for this land use review, any person undertaking development pursuant to this land use review, the proprietor of the use or development approved by this land use review, and the current owner and future owners of the property subject to this land use review.

**This decision, and any conditions associated with it, is final.** It may be appealed to the Oregon Land Use Board of Appeals (LUBA), within 21 days of the date the decision is mailed, as specified in the Oregon Revised Statute (ORS) 197.830. Among other things, ORS 197.830 requires that a petitioner at LUBA must have submitted written testimony during the comment period for this land use review. Contact LUBA at 775 Summer St NE Suite 330, Salem, OR 97301-1283 or phone 1-503-373-1265 for further information.

The file and all evidence on this case are available for your review by appointment only. Please call the Request Line at our office, 1900 SW Fourth Avenue, Suite 5000, phone 503-823-7617, to schedule an appointment. I can provide some information over the phone. Copies of all information in the file can be obtained for a fee equal to the cost of services. Additional information about the City of Portland, city bureaus, and a digital copy of the Portland Zoning Code is available on the internet at [www.portlandonline.com](http://www.portlandonline.com).

**Recording the final decision.**

If this Land Use Review is approved the final decision will be recorded with the Multnomah County Recorder.

- *Unless appealed*, the final decision will be recorded on or after **February 16, 2022** by the Bureau of Development Services.

The applicant, builder, or a representative does not need to record the final decision with the Multnomah County Recorder.

For further information on your recording documents please call the Bureau of Development Services Land Use Services Division at 503-823-0625.

**Expiration of this approval.** An approval expires three years from the date the final decision is rendered unless a building permit has been issued, or the approved activity has begun.

Where a site has received approval for multiple developments, and a building permit is not issued for all of the approved development within three years of the date of the final decision, a new land use review will be required before a permit will be issued for the remaining development, subject to the Zoning Code in effect at that time.

**Applying for your permits.** A building permit, occupancy permit, or development permit may be required before carrying out an approved project. At the time they apply for a permit, permittees must demonstrate compliance with:

- All conditions imposed herein;
- All applicable development standards, unless specifically exempted as part of this land use review;
- All requirements of the building code; and
- All provisions of the Municipal Code for the City of Portland, and all other applicable ordinances, provisions and regulations of the City.

#### **EXHIBITS**

NOT ATTACHED UNLESS INDICATED

- A. Applicant's Submittals
  - 1. Original Submittal
- B. Zoning Map (attached)
- C. Plans/Drawings:
  - 1. Site Plan (attached)
  - 2. Deck Framing – Front Elevation
  - 3. Handrail Detail
  - 4. Deck Framing – Side Elevation
  - 5. Trex Cutsheet
- D. Notification information:
  - 1. Mailing list
  - 2. Mailed notice
- E. Agency Responses: No responses were received.
- F. Correspondence: None
- G. Other:
  - 1. Original LU Application
  - 2. Incomplete Letter, dated December 3, 2022

**The Bureau of Development Services is committed to providing equal access to information and hearings. Please notify us no less than five business days prior to the event if you need special accommodations. Call 503-823-7300 (TTY 503-823-6868).**



# ZONING

↑  
NORTH

For Zoning Code in effect Post August 1, 2021

THIS SITE LIES WITHIN THE:  
PIEDMONT CONSERVATION DISTRICT



Site



Historic Landmark

File No.	LU 21 - 107545 HR
1/4 Section	2430
Scale	1 inch = 200 feet
State ID	1N1E15DA 8000
Exhibit	B Nov 18, 2021

6336 NE Rodney Ave  
Portland OR 97211

1" = 20'

Water  
meter

Elevation  
175  
POWER

Re-Surface  
w/Tree

N ←

Rebuild front  
Porch

100

*Approved*	
City of Portland Bureau of Development Services	
Planner	<u>H. [Signature]</u>
Date	<u>02-11-2022</u>
*This approval applies only to the reviews requested and is subject to all conditions of approval. Additional zoning requirements may apply.	

Elevations  
175

Elevation  
175

50

— RODNEY AVE —

C.1

LU 21-107545 HR

6336 NE Rodney Ave  
Portland OR 97211

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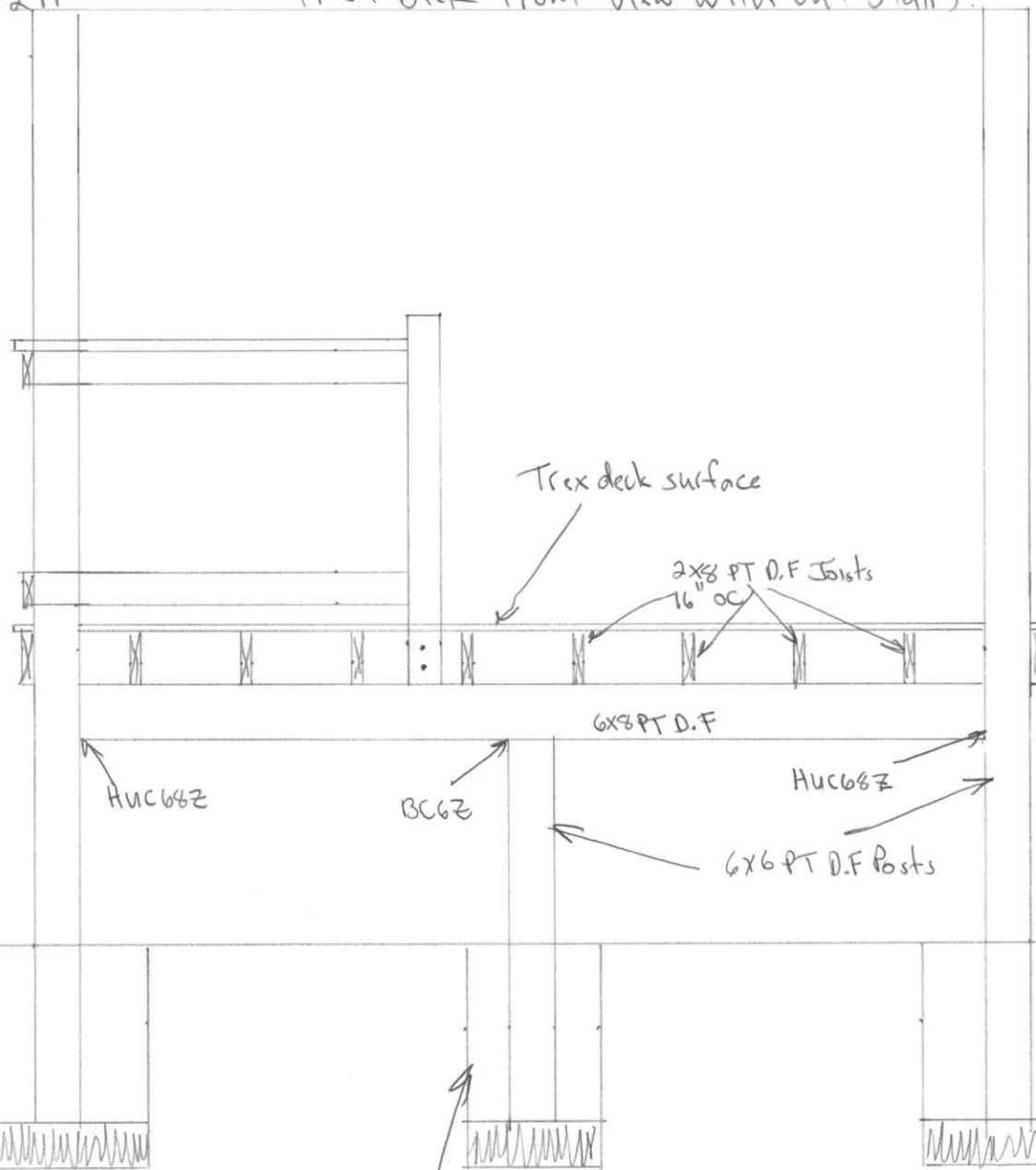
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— RODNEY AVE —

LU 21-107545 HR A.1

Lauren Mittelman  
6336 NE Rodney Ave.  
Portland, OR. 97211  
949-280-6941

# Trex Deck Front View with out stairs.

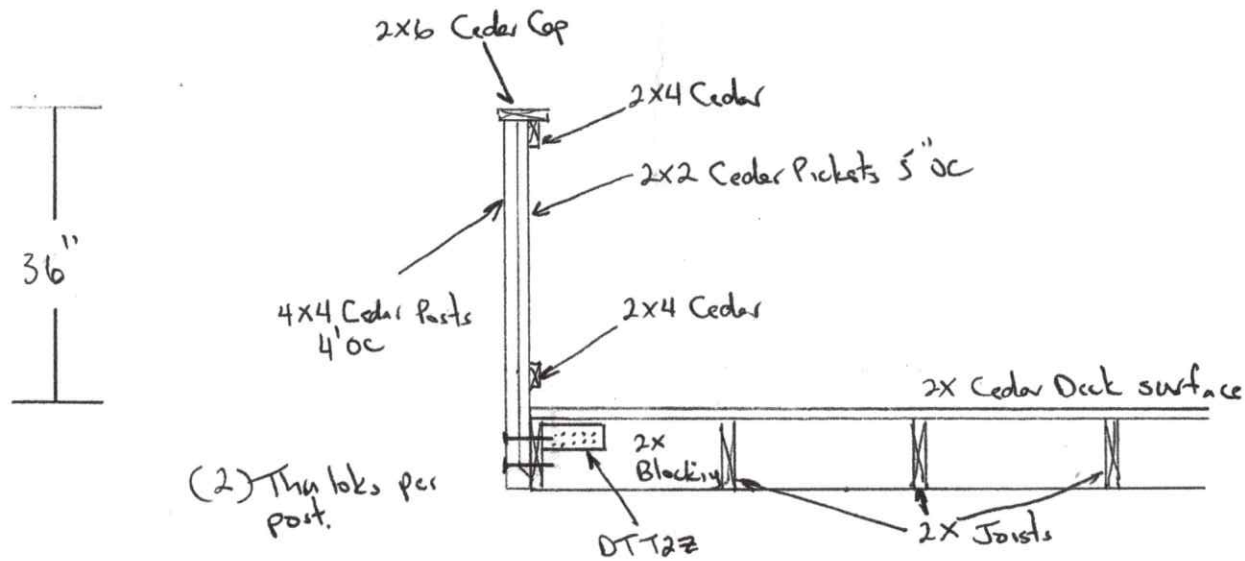


24" x 30" Concrete Footing  
with 6 punch pad and  
(X) #4 rebar.

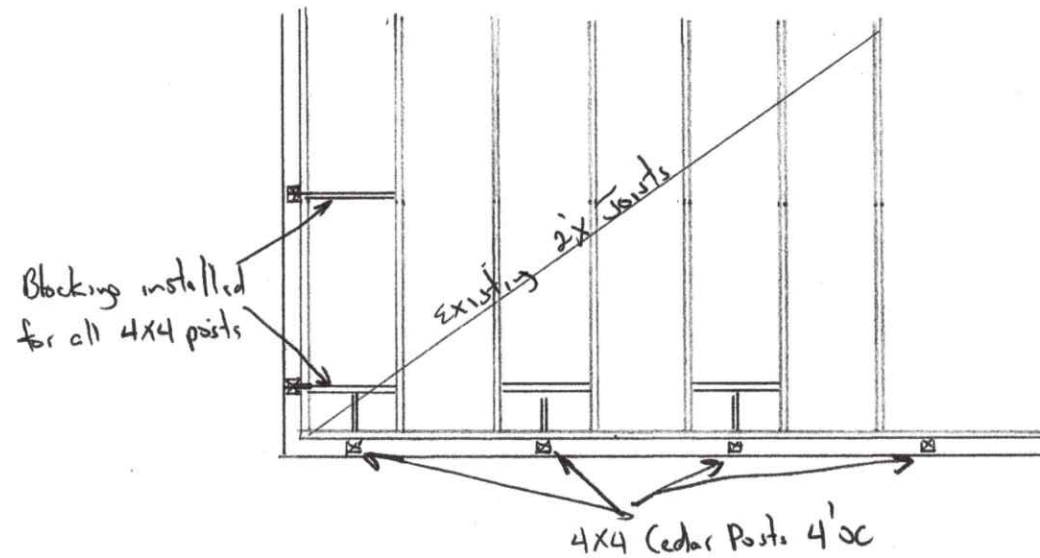
18" x 30" Concrete Footing  
with 6 punch pad and  
(X) #4 rebar

# Handrail Detail

Scale  $\frac{1}{2}" = 1'$



Scale  $\frac{1}{4}" = 1'$





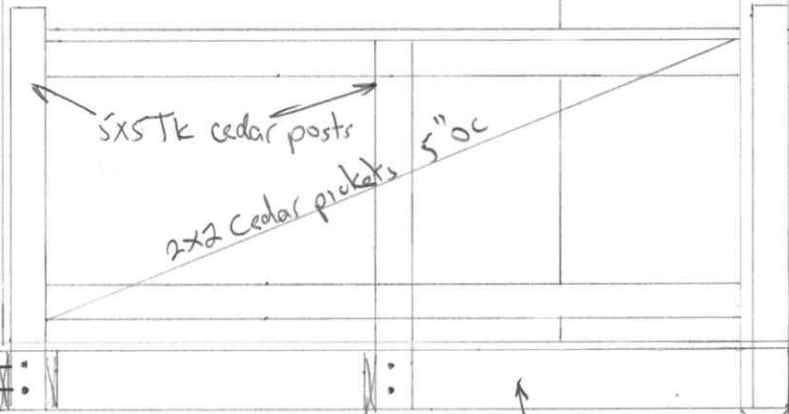
Lauren Mittelman  
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949-280-6941

Front Door

Trex deck side view

Scale  $\frac{1}{2}" = 1'$

2x8 PT D.F. ledger  
with (2)  $3\frac{5}{8}"$   
ledger loks 24" oc



2x8 PT D.F.  
Joists 16" OC

6x6 PT D.F.  
Continuous  
Post

Handrail detail attached

24"x30" Concrete  
Footing with a 6"  
punch pad

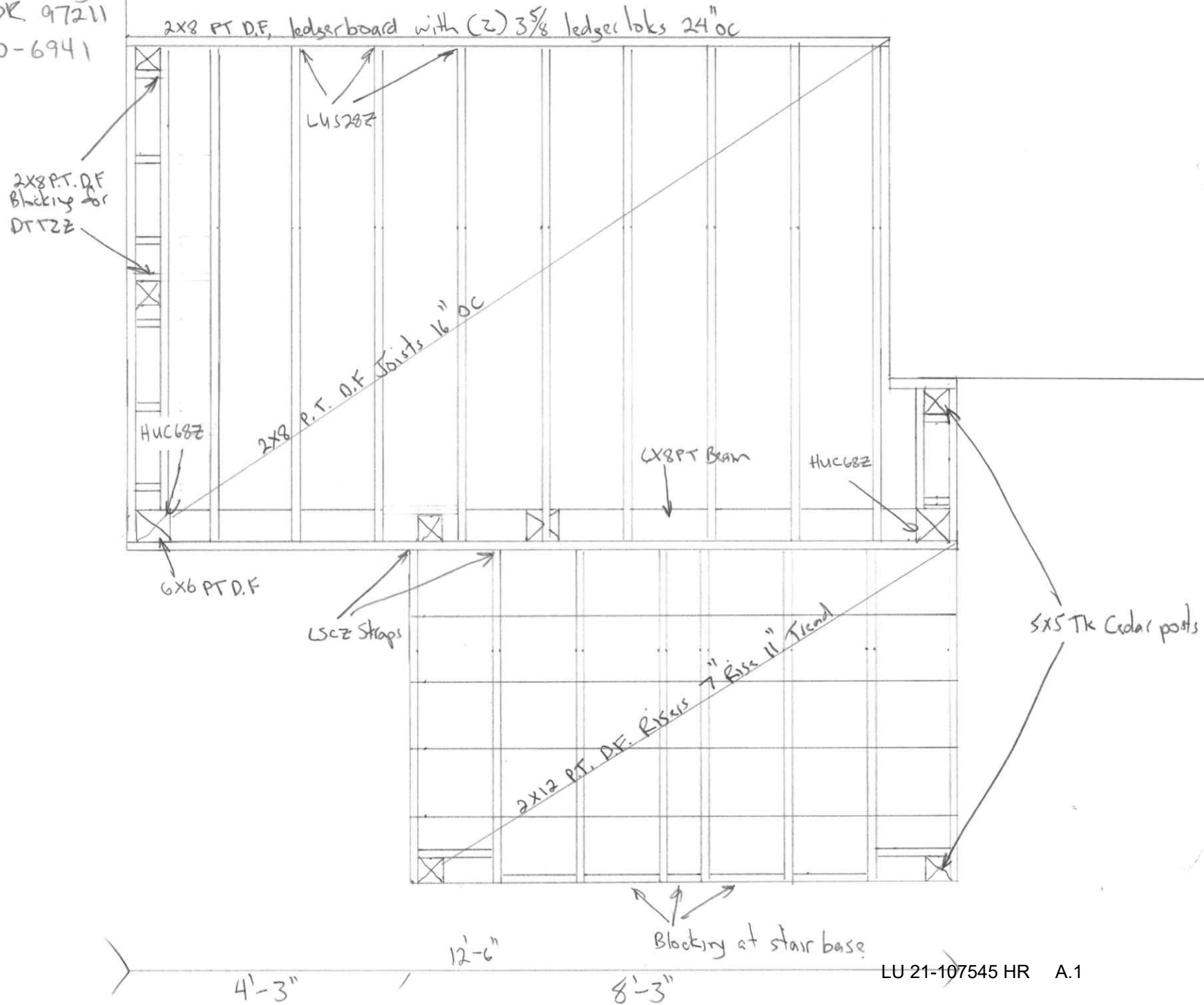
KOH+

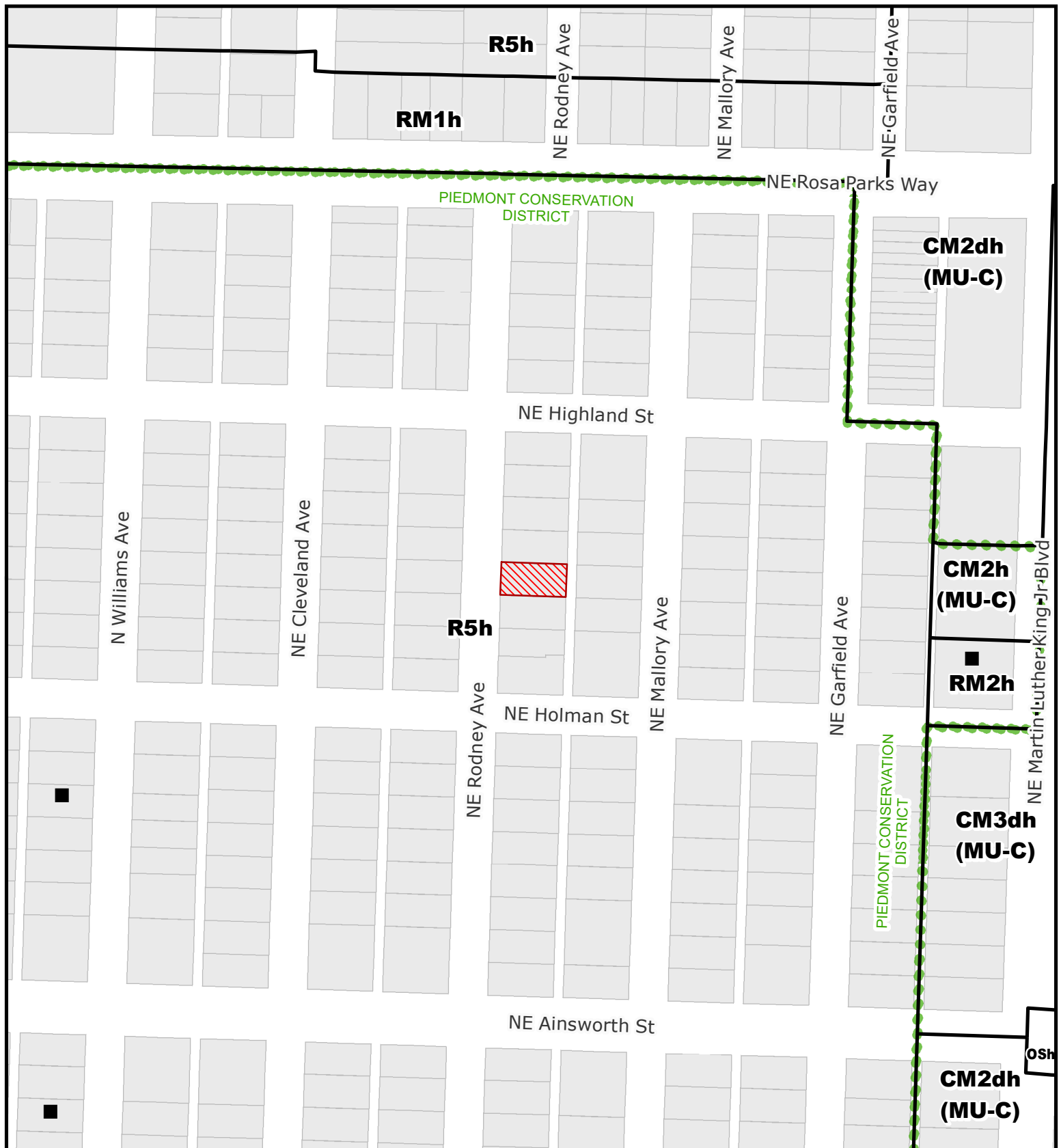
Lauren Mittelman  
6336 N.E. Rodney Ave.  
Btland, OK 97211  
949-280-6941

Trex porch surface top view.

Scale  $\frac{1}{2}" = 1'$

KOH+





# ZONING



For Zoning Code in effect Post August 1, 2021

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City of Portland Bureau of Development Services	
Planner	<i>[Signature]</i>
Date	02-11-2022
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Elevation  
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— RODNEY AVE —

C.1

LU 21-107545 HR

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Trex Deck Front View with out stairs.

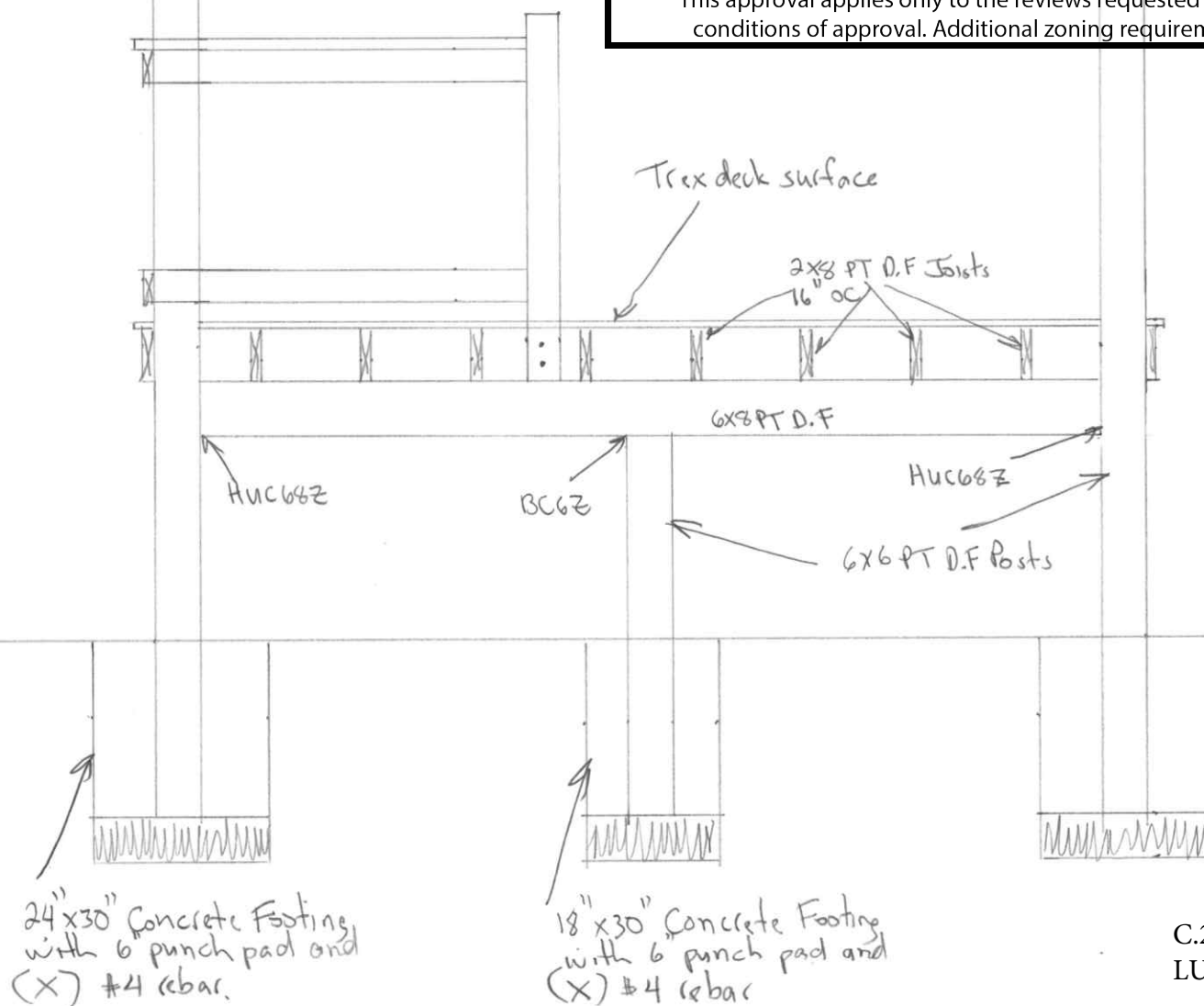


\*Approved\*  
City of Portland  
Bureau of Development Services

Planner *Handwritten signature*

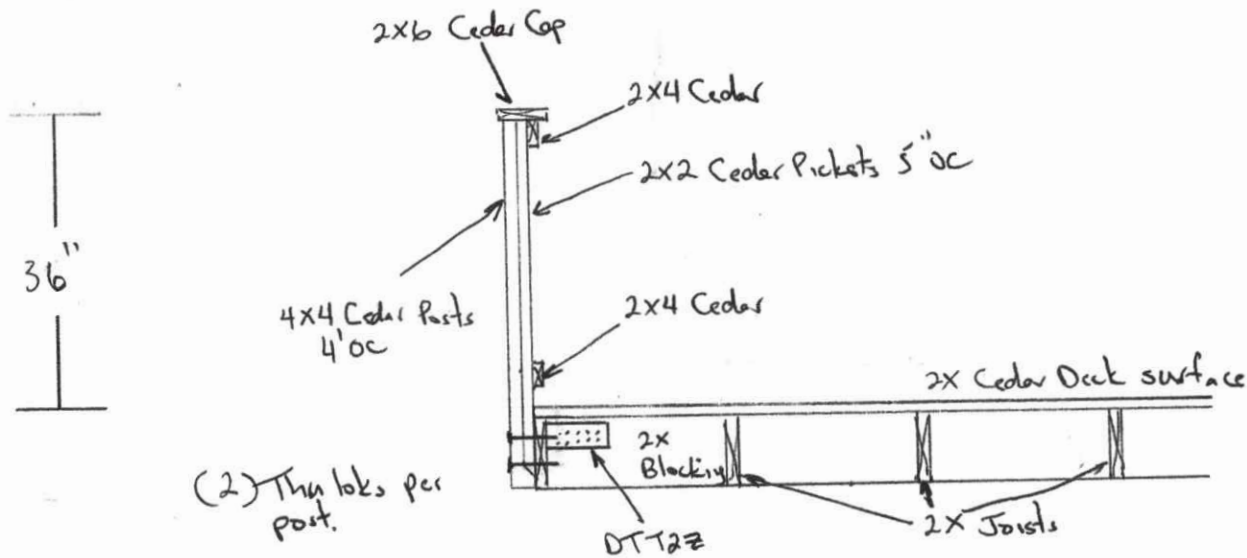
Date 02-11-2022

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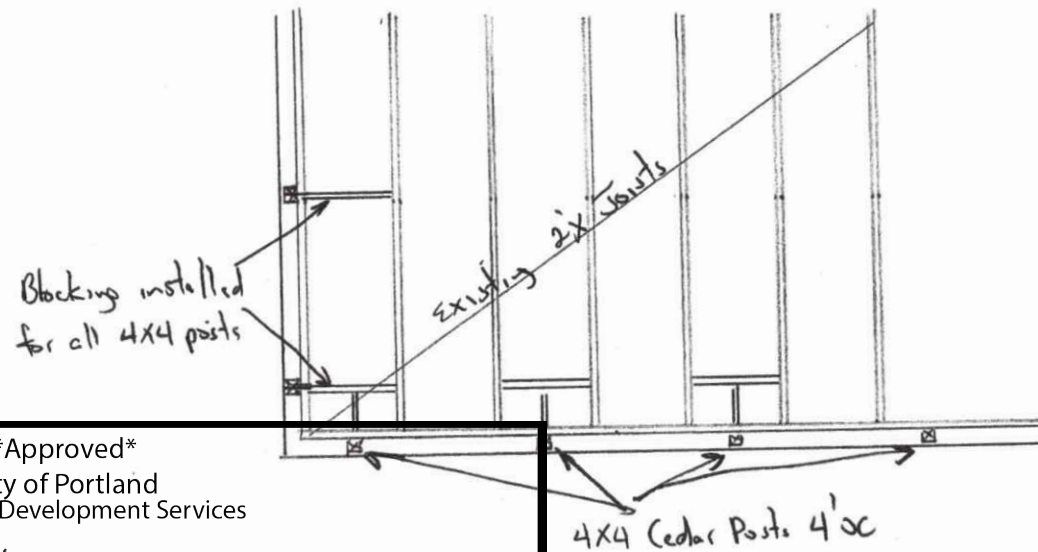


C.2  
LU 21-107545 HR

Scale  $\frac{1}{2}" = 1'$



Scale  $\frac{1}{4}" = 1'$



\*Approved\*  
City of Portland  
Bureau of Development Services

Planner *Hanselma*

Date 02-11-2022

\* This approval applies only to the reviews requested and is subject to all conditions of approval. Additional zoning requirements may apply.

C.3  
LU 21-107545 HR

Lauren Mittelman  
6336 N.E. Rodney Ave.  
Portland, OR 97211  
949-280-6941

Front Door

Scale 1/2" = 1'

2x8 PT D.F. ledger  
with (2) 3/8" lag  
screws 24" oc

5x5 Tk cedar posts  
2x2 cedar pickets 5" oc

Facia covers: Rimg Joist

2x8 PT D.F.  
Joists 16" oc

6x6 PT D.F.  
Continuous Post

Handrail detail attached

Facia over Risers

1x4 T+G skirting  
as stated in written

24"x30" Concrete  
Footings with a 6"  
punch pad

\*Approved\*  
City of Portland  
Bureau of Development Services

Planner Lauren Mittelman

Date 02-11-2022

\*This approval applies only to the reviews requested and is subject to all conditions of approval. Additional zoning requirements may apply.

LU 21-107545 HR  
C.4





## MID-PRICED, HIGH-PERFORMANCE DECKING & FASCIA

Trex Select® decking and Trex® Fascia are wood thermoplastic composite lumber (WTCL) boards with an integrated shell that covers the boards on the top surface and sides. The integrated shell consists of a proprietary surface formulation that produces a natural, wood-like grain pattern finish. An alternative to naturally durable hardwood lumber, Select Decking and Fascia are ICC-ES ESR-1109 certified to be a minimum of 95.4% recycled content of wood fiber and polyethylene by weight.



○ **Shell:** impact, scratch- and fade-resistant

○ **Core:** 95% recycled materials

DECKING

Planner

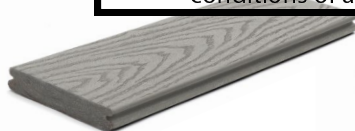
*Handwritten signature*

Date

02-11-2022

FASCIA

\* This approval applies only to the reviews requested and is subject to all conditions of approval. Additional zoning requirements may apply.



1" Grooved edge



1" Square edge



2" Square edge



8" or 12" Widths

FEATURES	DECKING BOARDS		FASCIA BOARDS	
	1" x 6"	2" x 6"	8"	12"
Actual Dimensions - Standard	.82" x 5.5"	1.3" x 5.5"	.56" x 7.25"	.56" x 11.375"
Actual Dimensions - Metric	20 mm x 140 mm	33 mm x 140 mm	14 mm x 184 mm	14 mm x 288 mm
Available Lengths - Standard	12', 16', 20'	12', 16', 20'	12'	12'
Available Lengths - Metric	365 cm, 487 cm, 609 cm	365 cm, 487 cm, 609 cm	365 cm	365 cm
Grooved Edge	X			
Square Edge	X	X	X	X
Weight per Lineal Foot	2.2 lbs	3.4 lbs	2.0 lbs	3.3 lbs

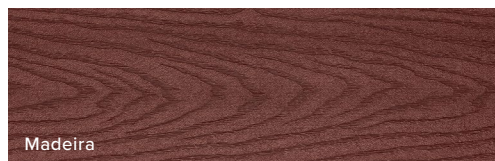
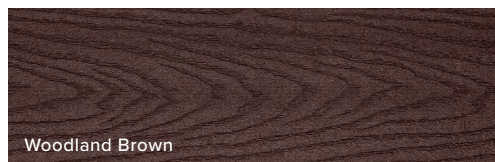
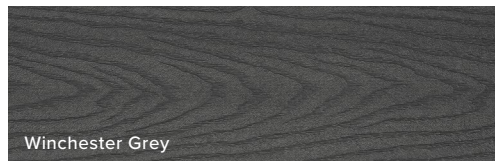
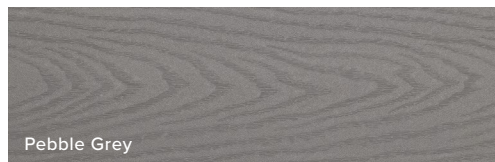


## PHYSICAL & MECHANICAL PROPERTIES

TEST	TEST METHOD	VALUE
Flame Spread	ASTM E 84	70
Thermal Expansion	ASTM D 1037	$1.9 \times 10^{-5}$ in/in/°F
Moisture Absorption	ASTM D 1037	< 1.2%
Screw Head Pull-Through	ASTM D1761	161 lbf/screw*
Fungus Resistance	ASTM D1413	Rating – no decay
Termite Resistance	AWPAE1-72	Rating = 9.7

\*Fastener used in testing: #8 x 2.5" HEADCOTE Stainless Steel Screw

## COLORS



## FASTENERS



### Trex Hideaway® Hidden Fastening System

Self-gapping, glass-filled nylon fastener with 304 grade stainless steel, sharp point screw for wood framing



### Other Approved Fasteners

Color-matched composite deck screw  
or matching composite plug

Color-coordinated fascia screw

Uncoated stainless steel fascia screw

For a full list of approved fasteners, download our Installation Guide at [trex.com/literature](https://www.trex.com/literature)

C.5  
LU 21-107545 HR

	A	B	C	D	E	F
1	ENDORSEMENT	INFO1	INFO2	NAME	ADDRESS/IO ADDRESS	CITYSTATEZIP/ADDRESSEE
2	RETURN SERVICE REQUESTED		1N1E15DA 7000	MC CLEAVE CORINE	3500 NE AINSWORTH ST	PORTLAND OR 97211-7353
3	RETURN SERVICE REQUESTED		1N1E15DA 7100	SHERMAN ANTHONY D & SHERMAN EDDIE D	6327 NE RODNEY AVE	PORTLAND OR 97211-2429
4	RETURN SERVICE REQUESTED		1N1E15DA 7200	GATEWOOD BLYTHE	6335 NE RODNEY AVE	PORTLAND OR 97211
5	RETURN SERVICE REQUESTED		1N1E15DA 7300	REDEAU VELMA J	6345 NE RODNEY AVE	PORTLAND OR 97211-2429
6	RETURN SERVICE REQUESTED		1N1E15DA 7400	LOHR PAULINE & PRYOR REBECCA	6355 NE RODNEY AVE	PORTLAND OR 97211
7	RETURN SERVICE REQUESTED		1N1E15DA 7700	TURNER NANCY C	PO BOX 80827	PORTLAND OR 97280
8	RETURN SERVICE REQUESTED		1N1E15DA 7800	STEFFECK MATEO ET AL	6356 NE RODNEY AVE	PORTLAND OR 97211
9	RETURN SERVICE REQUESTED		1N1E15DA 7900	SHELLENBERGER JANE W	11158 N 66TH ST	LONGMONT CO 80503
10	RETURN SERVICE REQUESTED		1N1E15DA 8100	SMITH MABLE	6328 NE RODNEY AVE	PORTLAND OR 97211-2430
11	RETURN SERVICE REQUESTED	1N1E15DA 8200	HOGG KRISTINA L	& SCHUTRUMPF ROBERT J III	6308 NE RODNEY AVE	PORTLAND OR 97211
12	RETURN SERVICE REQUESTED	1N1E15DA 8201	RUSHBROOK THOMAS	& MELLQVIST KRISTIN	6318 NE RODNEY AVE	PORTLAND OR 97211
13	RETURN SERVICE REQUESTED		1N1E15DA 8300	REECE JENNIFER S & RIDDLE JAMES K	6309 NE MALLORY AVE	PORTLAND OR 97211-2417
14	RETURN SERVICE REQUESTED		1N1E15DA 8400	LORENTZ JOHN R	6323 NE MALLORY AVE	PORTLAND OR 97211-2417
15	RETURN SERVICE REQUESTED		1N1E15DA 8500	HOLLINGSWORTH MATTHEW L & YUKA	6333 NE MALLORY AVE	PORTLAND OR 97211
16	RETURN SERVICE REQUESTED		1N1E15DA 8600	GREEN IAN & BABIC TATJANA	6343 NE MALLORY AVE	PORTLAND OR 97211
17	RETURN SERVICE REQUESTED		1N1E15DA 8700	SNYDER TROY L & SNYDER REBECCA E	6353 NE MALLORY AVE	PORTLAND OR 97211
18	RETURN SERVICE REQUESTED		1N1E15DA 8800	BROOKS KENNETH S & BROOKS CLARE F	6369 NE MALLORY AVE	PORTLAND OR 97211-2417
19				CURRENT RESIDENT	6309 NE MALLORY AVE #B	PORTLAND OR 97211
20				CURRENT RESIDENT	6315 NE RODNEY AVE	PORTLAND OR 97211
21				CURRENT RESIDENT	6346 NE RODNEY AVE	PORTLAND OR 97211
22				CURRENT RESIDENT	6364 NE RODNEY AVE	PORTLAND OR 97211
23	RETURN SERVICE REQUESTED	OWNERS	1N1E15DA 8000	MITTELMAN LAUREN & MITTELMAN BRIAN	6336 NE RODNEY AVE	PORTLAND OR 97211
24	RETURN SERVICE REQUESTED	APPLICANT	RIGHT TURN CONSTRUCTION INC	FREER AUTUMN	1205 E 33RD ST	VANCOUVER WA 98663
25	RETURN SERVICE REQUESTED		NPNS	MARY JARON KELLEY	2209 N SCHOFIELD ST	PORTLAND OR 97217
26	RETURN SERVICE REQUESTED		PIEDMONT NEIGHBORHOOD ASSOCIATION	DEANNE GOMEZ C/O NPNS	2209 N SCHOFIELD ST	PORTLAND OR 97217
27	RETURN SERVICE REQUESTED		LAND USE CONTACT	SOUL DISTRICT BUSINESS ASSOCIATION	PO BOX 11565	PORTLAND OR 97211
28	RETURN SERVICE REQUESTED		LAND USE CONTACT	PLAN AMENDMENT SPECIALIST	635 CAPITAL ST NE #150	SALEM OR 97301
29	RETURN SERVICE REQUESTED		LAND USE CONTACT	PORT OF PORTLAND PLANNING	PO BOX 3529	PORTLAND OR 97208
30	RETURN SERVICE REQUESTED		LAND USE CONTACT	STATE HISTORIC PRESERVATION OFFICE	725 SUMMER NE #C	SALEM OR 97301
31	RETURN SERVICE REQUESTED		LAND USE CONTACT	TRANSIT DEVELOPMENT	1800 SW FIRST AVE SUITE 300	PORTLAND OR 97201
32					DAWN KRANTZ	B299/R5000
33					PROSPER PORTLAND	129/PROSPER
34	RETURN SERVICE REQUESTED		21-107545 PROP 1-4-22	CASE FILE BRYANT	1900 SW 4TH AVE #5000	PORTLAND OR 97201



**City of Portland, Oregon**  
**Bureau of Development Services**  
**Land Use Services**  
**FROM CONCEPT TO CONSTRUCTION**

Dan Ryan, Commissioner  
Rebecca Esau, Director  
Phone: (503) 823-7300  
Fax: (503) 823-5630  
TTY: (503) 823-6868  
[www.portland.gov/bds](http://www.portland.gov/bds)

**Date:** January 4, 2022  
**To:** Interested Person  
**From:** Hannah Bryant, Land Use Services  
503-865-6520 / [Hannah.Bryant@portlandoregon.gov](mailto:Hannah.Bryant@portlandoregon.gov)

**NOTICE OF A TYPE I PROPOSAL IN YOUR  
NEIGHBORHOOD**

Development has been proposed in your neighborhood. The proposed development requires a land use review. The proposal, review process, and information on how to respond to this notice are described below. A copy of the site plan and zoning map is attached. I am the staff person handling the case. Please call me if you have questions regarding this proposal. Please contact the applicant if you have questions regarding any future development on the site.

Because we must publish our decision within 21 days, **we need to receive your written comments by 5 p.m. on January 18, 2022. Your comments must be e-mailed to the assigned planner listed above;** please include the Case File Number, LU 21-107545 HR, in your e-mail. If you do not have access to e-mail, please telephone the planner listed above about submitting comments. Please note that all correspondence received will become part of the public record.

**CASE FILE NUMBER: LU 21-107545 HR – REBUILD  
EXISTING FRONT PORCH**

**Applicant:** Autumn Freer  
Right Turn Construction, Inc.  
1205 E 33rd Street  
Vancouver WA, 98663

**Owners:** Lauren Mittelman + Brian Mittelman  
6336 NE Rodney Avenue  
Portland, OR 97211

**Site Address:** 6336 NE RODNEY AVE  
**Legal Description:** BLOCK 43 LOT 13, PIEDMONT  
**Tax Account No.:** R657806730  
**State ID No.:** 1N1E15DA 08000  
**Quarter Section:** 2430  
**Neighborhood:** Piedmont, contact Deanne Gomez at [gomez.deanne@yahoo.com](mailto:gomez.deanne@yahoo.com)  
**Business District:** Soul District Business Association, contact at [Info@nnebaportland.org](mailto:Info@nnebaportland.org)  
**District Coalition:** North Portland Neighborhood Services, contact Mary Jaron Kelley at 503-823-8877.

**Plan District:** None  
**Other Designations:** Contributing Resource in the Piedmont Conservation District  
**Zoning:** R5h – Residential 5,000 with an 'h' height overlay  
**Case Type:** HR – Historic Resource Review  
**Procedure:** Type I, an administrative decision with appeal to the Oregon Land Use Board of Appeals (LUBA).

**Proposal:**

The applicant seeks Historic Resource Review approval to rebuild an existing front porch on a Contributing Resource in the Piedmont Conservation District. The proposal includes Trex composite decking, cedar railings and posts, wood fascia covering all pressure treated framing, and tongue-and-groove skirting boards.

Historic Resource Review is required for non-exempt exterior alterations in the Piedmont Conservation District.

**Relevant Approval Criteria:**

In order to be approved, this proposal must comply with the approval criteria specified in the Portland Zoning Code. The relevant approval criteria are:

- *Community Design Guidelines*

Zoning Code Section 33.700.080 states that Land Use Review applications are reviewed under the regulations in effect at the time the application was submitted, provided that the application is complete at the time of submittal, or complete within 180 days. This application was submitted on November 17, 2021 and determined to be complete on December 28, 2021.

**Decision Making Process**

The Bureau of Development Services will make a decision on this proposal.

After we consider your comments we will do one of the following:

- Approve the proposal;
- Approve the proposal with conditions; or
- Deny the proposal.

The neighborhood association listed on the first page of this notice may take a position on this application. They may also schedule an open meeting prior to making their recommendation to the Bureau of Development Services. Please contact the person listed as the neighborhood contact to determine the time and date of this meeting.

ORS 227.178 states the City must issue a final decision on Land Use Review applications within 120-days of the application being deemed complete. The 120-day review period may be extended at the request of the applicant.

If you are interested in viewing information in this file, please contact the planner listed on the front of this notice. The planner can email you documents from the file. A fee would be required for all requests for paper copies of file documents. Additional information about the City of Portland, and city bureaus is available online at <https://www.portland.gov>. A digital copy of the Portland Zoning Code is available online at <https://www.portlandoregon.gov/zoningcode>.

**Appeal Process**

If you disagree with the Bureau of Development Services administrative decision, you can appeal the decision to the Oregon Land Use Board of Appeals (LUBA) at 775 Summer St NE, Suite 330, Salem OR 97301-1283. The phone number for LUBA is 1-503-373-1265. Issues which may provide the basis for an appeal to LUBA must be raised in writing before the deadline for comments, or you may not be able to raise that issue in an appeal. If you do not raise an issue with enough specificity to give the Bureau of Development Services an opportunity to respond to it, that also may preclude an appeal to LUBA on that issue.

**The Bureau of Development Services is committed to providing equal access to information and hearings. Please notify us no less than five business days prior to the event if you need special accommodations. Call 503-823-7300 (TTY 503-823-6868).**

**Enclosures:**

Zoning Map, Site Plan



# ZONING



For Zoning Code in effect Post August 1, 2021

THIS SITE LIES WITHIN THE:  
PIEDMONT CONSERVATION DISTRICT



Site



Historic Landmark

File No.	LU 21 - 107545 HR
1/4 Section	2430
Scale	1 inch = 200 feet
State ID	1N1E15DA 8000
Exhibit	B Nov 18, 2021

6336 NE Rodney Ave  
Portland OR 97211

1" = 20'

WARM  
MASON

RE SURFACE  
W/ TNER

100

50

RODNEY AVE

LU 21-107545 HR

LU 21-107545 HR D.2





# City of Portland, Oregon - Bureau of Development Services

1900 SW Fourth Avenue • Portland, Oregon 97201 | 503-823-7300 | www.portland.gov/bds



## Land Use Review Application

File Number: LU 21-107545 HR

### FOR INTAKE, STAFF USE ONLY

Date Rec 11/17/21 by Mary

☒ Type I ☐ Type Ix ☐ Type II ☐ Type Iix ☐ Type III ☐ Type IV

LU Reviews HR

[Y] ☒ Unincorporated MC

[Y] [N] Flood Hazard Area (LD & PD only)

[Y] [N] Potential Landslide Hazard Area (LD & PD only)

[Y] ☒ 100-year Flood Plain [Y] ☒ DOGAMI

Qtr Sec Map(s) 2430 Zoning R5h

Plan District None

Historic and/or Design District Piedmont Conservation

Neighborhood Piedmont

District Coalition NPNS

Business Assoc Soul District

Related File # RS 21-104773 & INTK 21-103006

**APPLICANT: Complete all sections below that apply to the proposal. Please print legibly.**  
Email this application and supporting documents to: [LandUseIntake@portlandoregon.gov](mailto:LandUseIntake@portlandoregon.gov)

Development Site  
Address or Location 6336 NE Rodney Ave Portland, OR 97211

Cross Street NE Holman St Sq. ft./Acreage 2388/.11

Site tax account number(s)

R 243674 R R

R R R

### Describe project (attach additional page if necessary)

Front Porch - Remove the deck boards, sub-structure, and handrail. Build new pressure treated substructure complete with new Trex deck boards and cedar handrail. New front porch is to mirror the existing front porch at completion.

### Describe proposed stormwater disposal methods

N/A

### Identify requested land use reviews

- **Design & Historic Reviews** - For new development, provide project valuation.

For renovation, provide exterior alteration value.

AND provide total project valuation.

- **Land Divisions** - Identify number of lots (include lots for existing development).

New street (public or private)?

- **Affordable Housing** - For buildings containing five or more dwelling units, will 50% or more of the units be affordable to households with incomes equal to or less than 60% of the median family income for the county or state, whichever is greater?

\$  
\$7602.54  
\$7602.54  
1

☐ yes ☐ no

☐ yes ☐ no ☒ N/A

continued / over

1

## Applicant Information

- Identify the primary contact person, applicant, property owner and contract purchaser. Include any person that has an interest in your property or anyone you want to be notified. Information provided, including telephone numbers and e-mail addresses, will be included in public notices.
- For all reviews, the applicant must sign the Responsibility Statement.
- For land divisions, all property owners must sign the application.

### PRIMARY CONTACT:

Typed Full Name Autumn Freer ☒ I acknowledge this typed name as my signature  
Company/Organization Right Turn, Inc.  
Mailing Address 1205 E. 33rd Street  
City Vancouver State WA Zip Code 98663  
Day Phone 360-574-3387 FAX 360-574-0834 email rightturnconstruction@hotmail.com

Check all that apply ☒ Applicant ☐ Owner ☐ Other

Typed Full Name Lauren Mittelman ☒ I acknowledge this typed name as my signature  
Company/Organization N/A  
Mailing Address 6336 NE Rodney Ave  
City Portland State OR Zip Code 97211  
Day Phone 949-280-6941 FAX N/A email \_\_\_\_\_

Check all that apply ☐ Applicant ☒ Owner ☐ Other

Typed Full Name \_\_\_\_\_ ☐ I acknowledge this typed name as my signature  
Company/Organization \_\_\_\_\_  
Mailing Address \_\_\_\_\_  
City \_\_\_\_\_ State \_\_\_\_\_ Zip Code \_\_\_\_\_  
Day Phone \_\_\_\_\_ FAX \_\_\_\_\_ email \_\_\_\_\_

Check all that apply ☐ Applicant ☐ Owner ☐ Other

Typed Full Name \_\_\_\_\_ ☐ I acknowledge this typed name as my signature  
Company/Organization \_\_\_\_\_  
Mailing Address \_\_\_\_\_  
City \_\_\_\_\_ State \_\_\_\_\_ Zip Code \_\_\_\_\_  
Day Phone \_\_\_\_\_ FAX \_\_\_\_\_ email \_\_\_\_\_

Check all that apply ☐ Applicant ☐ Owner ☐ Other

**Responsibility Statement** As the applicant submitting this application for a land use review, I am responsible for the accuracy of the information submitted. The information being submitted includes a description of the site conditions. I am also responsible for gaining the permission of the owner(s) of the property listed above in order to apply for this review and for reviewing the responsibility statement with them. If the proposal is approved, the decision and any conditions of the approval must be recorded in the County Deed Records for the property. The City of Portland is not liable if any of these actions are taken without the consent of the owner(s) of the property. In order to process this review, City staff may visit the site, photograph the property, or otherwise document the site as part of the review. I understand that the completeness of this application is determined by the Director. By my signature, I indicate my understanding and agreement to the Responsibility Statement.

Name of person submitting this application agrees to the above Responsibility Statement and acknowledges typed name as signature:

Autumn Freer - Office Manager Date: November 17, 2021

Phone number: 360-574-3387

Email this application and supporting documents to LandUseIntake@portlandoregon.gov Submittal of locked or password protected documents will delay intake of your application. **2**





**City of Portland, Oregon**  
**Bureau of Development Services**  
**Land Use Services**  
**FROM CONCEPT TO CONSTRUCTION**

Dan Ryan, Commissioner  
Rebecca Esau, Director  
Phone: (503) 823-7300  
Fax: (503) 823-5630  
TTY: (503) 823-6868  
www.portland.gov/bds

December 3, 2021

Autumn Freer  
RIGHT TURN CONSTRUCTION, INC  
1205 E 33rd St  
Vancouver Wa, 98663

Re: Land Use Review LU 21-107545 HRA – *Porch Rebuild in Piedmont*

Dear Autumn:

The Bureau of Development Services received your application for a Historic Design Tier A located at 6336 NE RODNEY AVE on November 17, 2021. Your case has been assigned to me, Hannah Bryant. In order to continue to review your application, additional information is needed. Once you submit this information, your application will be considered complete, and I will proceed with a full review of your proposal. Up to this point, your application has been reviewed only to determine if all required information has been submitted. The application has not been fully reviewed to determine if it meets the relevant approval criteria, however some issues you may want to consider are identified in Section II below.

**I. Information Necessary to Complete Application**

The following information must be submitted before your proposal can be evaluated:

1. Finished Aesthetic Information – The submitted drawings are quite detailed in their framing and structural details but omit some of the final aesthetic details that I need to include in my review. My review is to determine how the final product will fit within the historic context of the home and its surrounding Conservation District. To that end, I suggest that we schedule a call as early as next week to review the details I need in person. You can hand-write them onto the existing elevation and email the updated drawing to me. Details I'll need include: Final exposed skirt board material (PT is not an acceptable exposed material), final finishes on rail and skirting (paint or stain), any other aesthetic details relevant to the historic review approval criteria.
2. Verify Height of Deck above grade – The stair risers are not dimensioned. While I may assume that they are 6-inch risers, thus necessitating review, it would be ideal to have them dimensioned so the drawings indicate why this review is necessary.
3. Please add a North arrow to each page – It appears that the orientation of some of the drawings may diverge from the site plan. Please add a north arrow to each page.

**II. Time to Complete Application**

The Portland Zoning Code allows you up to 180 days to complete your application. Since the 180-day period began on the day we received the application, the deadline to make your application complete is **Monday May 16, 2022**.

**III. Determination of a Complete Application**

The application will be determined complete when you have submitted:

1. All of the requested information included in Section I, above. If you cannot provide all of the requested information at one time and intend to submit additional information,

please include a written statement with each separate submittal indicating that you still intend to provide the additional missing information by the **Monday May 16, 2022** deadline, **or**

2. Some of the requested information included in Section I, above, and a written statement that no additional information will be provided; **or**
3. A written statement that none of the requested information included in Section I, above, will be provided.

Please be aware that not submitting the requested information may result in your application being denied. The information is needed to demonstrate the approval criteria are met. Once the application is deemed complete, review of your application can proceed using the information you have provided.

Your application will be approved if it meets the relevant land use review approval criteria. It is your responsibility to document how the approval criteria are met. The items listed above will help provide that documentation.

### **Voiding of Application**

If your application is not complete by **Monday May 16, 2022**, it will be voided, and the application fee will not be refunded. The City's land use review procedures are outlined in Chapter 33.730 of the Portland Zoning Code.

Please contact me if you have any questions about this letter. My telephone number is **503-865-6520**, and my e-mail address is [Hannah.Bryant@portlandoregon.gov](mailto:Hannah.Bryant@portlandoregon.gov). Requested information noted above should be emailed to me. Please e-mail me for file dropbox instructions if document or drawing file sizes are greater than 5MB. Please label all correspondence and materials you submit with the case number LU 21-107545.

Sincerely,

Hannah Bryant, Planner  
Land Use Services Division

cc: (deedholder/owner/applicant if different from addressee)  
Application Case File