



HOLST for Home Forward

Type III Design Review, LU 21-111639 HRM AD

Submitted December 03, 2021

TEAM

PROPERTY RE:	1839 NE 14th Ave App. for a Type III Review, LU 21-111639 HRM AD December 3, 2021
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APPENDIX

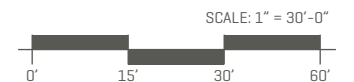
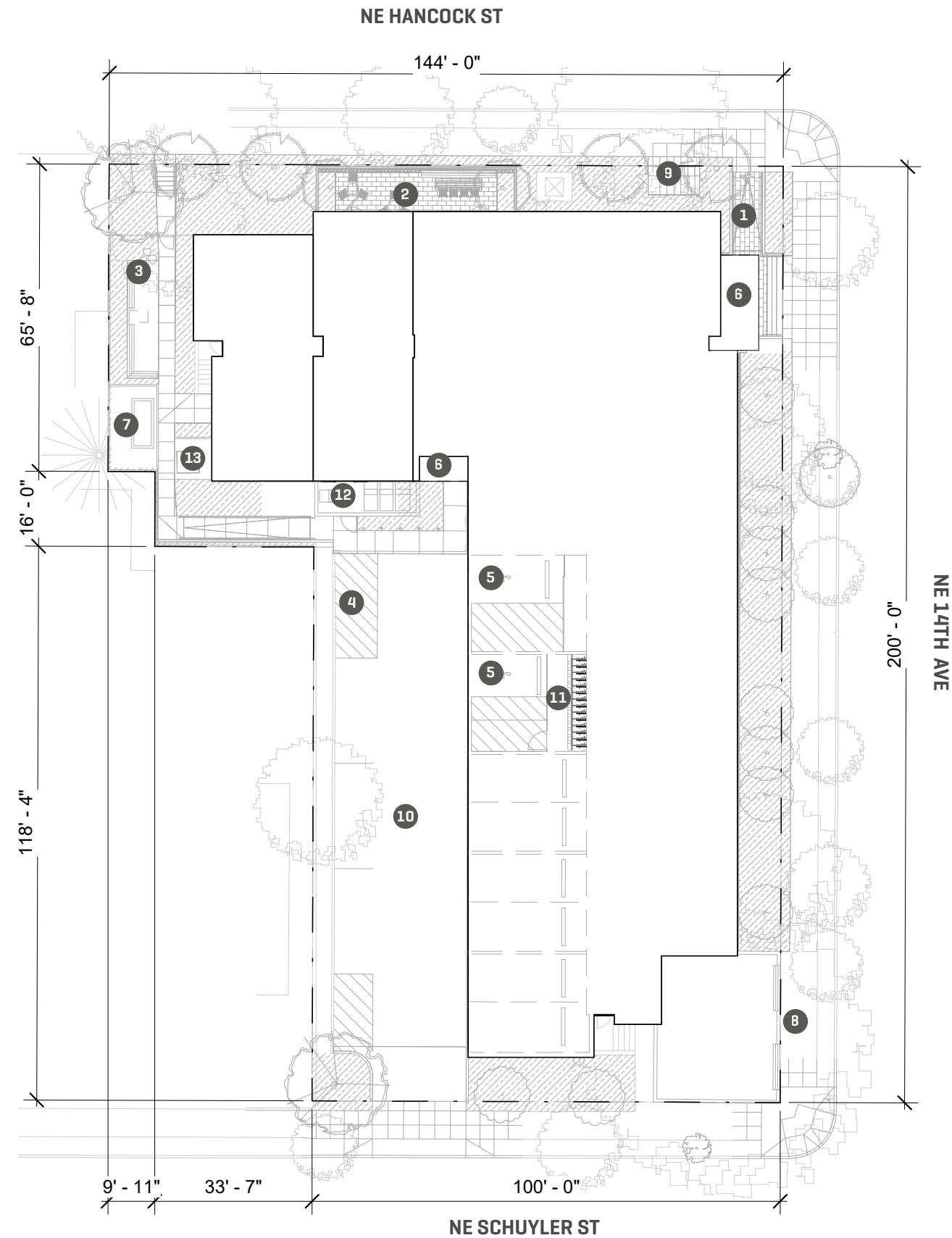
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ZONING SUMMARY

PROPERTY ADDRESS	1839 NE 14TH AVE	
PROPERTY ID	R182582	
COUNTY	MULTNOMAH	
STATE ID	1N1E26CD-09200, -09300, -09400, -09500, -08800	
ZONING MAP	2831	
SITE AREA	23,433 SF [0.54 ACRES]	
LAND USE ZONING	RM3D - RESIDENTIAL MULTI-DWELLING 3 [WITH DESIGN OVERLAY]	
COMP PLAN	MD-U - MULTI-DWELLING - URBAN CENTER	
HISTORIC DISTRICT	IRVINGTON HISTORIC DISTRICT	
CONSERVATION DISTRICT	N/A	
PLAN DISTRICT	N/A	
DESIGN REVIEW	TYPE III	
HISTORIC RESOURCE	NON-CONTRIBUTING	
MIN DENSITY	REQUIRED 1 UNIT PER 1,000 SF SITE AREA	PROVIDED [NO CHANGE TO EXISTING, U.N.O.] 4.1 UNITS PER 1,000 SF [95 UNITS / 23,433 SF]
MAX FAR	2:1 [4:1 W/ AFFORDABLE BONUS]	3.04:1 [71,170 SF /23,433 SF]
BASE HEIGHT	65 FT [75FT W/ BONUS]	50’-8” FT
MIN BUILDING SETBACKS	10’ [FRONT] / 5’ [SIDE/REAR]	FRONT, SIDE AND REAR ARE EXISTING, CONFORMING
MAX BUILDING SETBACKS	20’	[SEE ABOVE]
MAX BUILDING COVERAGE	85%	50% [11,763 SF / 23,433 SF]
MIN LANDSCAPED AREA	15%	18% [4,221 SF / 23,433 SF]
MIN PARKING	0 [FOR AFFORDABLE HOUSING]	11
MAX PARKING	0	[SEE ABOVE]
DRIVE AISLE WIDTH	20’ MIN	SEE MODIFICATION #1
BIKE PARKING - LONG TERM	12 [1 PER 8 UNITS] + 2 [OFFICE] = 14	14
BIKE PARKING - SHORT TERM	5 [1 PER 20 UNITS]	6
LOADING SPACES	1 STANDARD ‘B’ @ 18’ X 9’ X 10’	1 STANDARD ‘B’ @ 18’ X 9’ X 10’
CONDITIONAL USES	NONE	NONE
LANDSCAPE BUFFERS	5’ OF L2/L3 AT PARKING	SEE MODIFICATION #2, #3

*MODIFICATIONS REQUESTED

- 1 ENTRY PLAZA
- 2 NORTH TERRACE
- 3 WEST SENSORY GARDEN TERRACE
- 4 STANDARD 'B' LOADING SPACE
- 5 ADA PARKING
- 6 CANOPY
- 7 PROPOSED EMERGENCY GENERATOR
- 8 SOUTH SEATING
- 9 SHORT-TERM BIKE PARKING - 3 RACKS [6 SPACES]
- 10 PARKING LOT REPAVING
- 11 LONG-TERM BIKE PARKING - 14 RACKS
- 12 PROPOSED MECH CONDENSING UNITS
- 13 EXISTING TRANSFORMER TO REMAIN





LEGEND

- ASSEMBLY / COMMUNITY ROOM
- RESIDENTIAL
- BUSINESS / ACCESSORY USE - OFFICE
- MECH. / B.O.H.





LEGEND

RESIDENTIAL

MECH. / B.O.H.

0'

16'

32'

48'

SCALE: 3/64" = 1'-0"

N



LEGEND

RESIDENTIAL

MECH. / B.O.H.

SCALE: 3/64" = 1'-0"

0' 16' 32' 48'

N

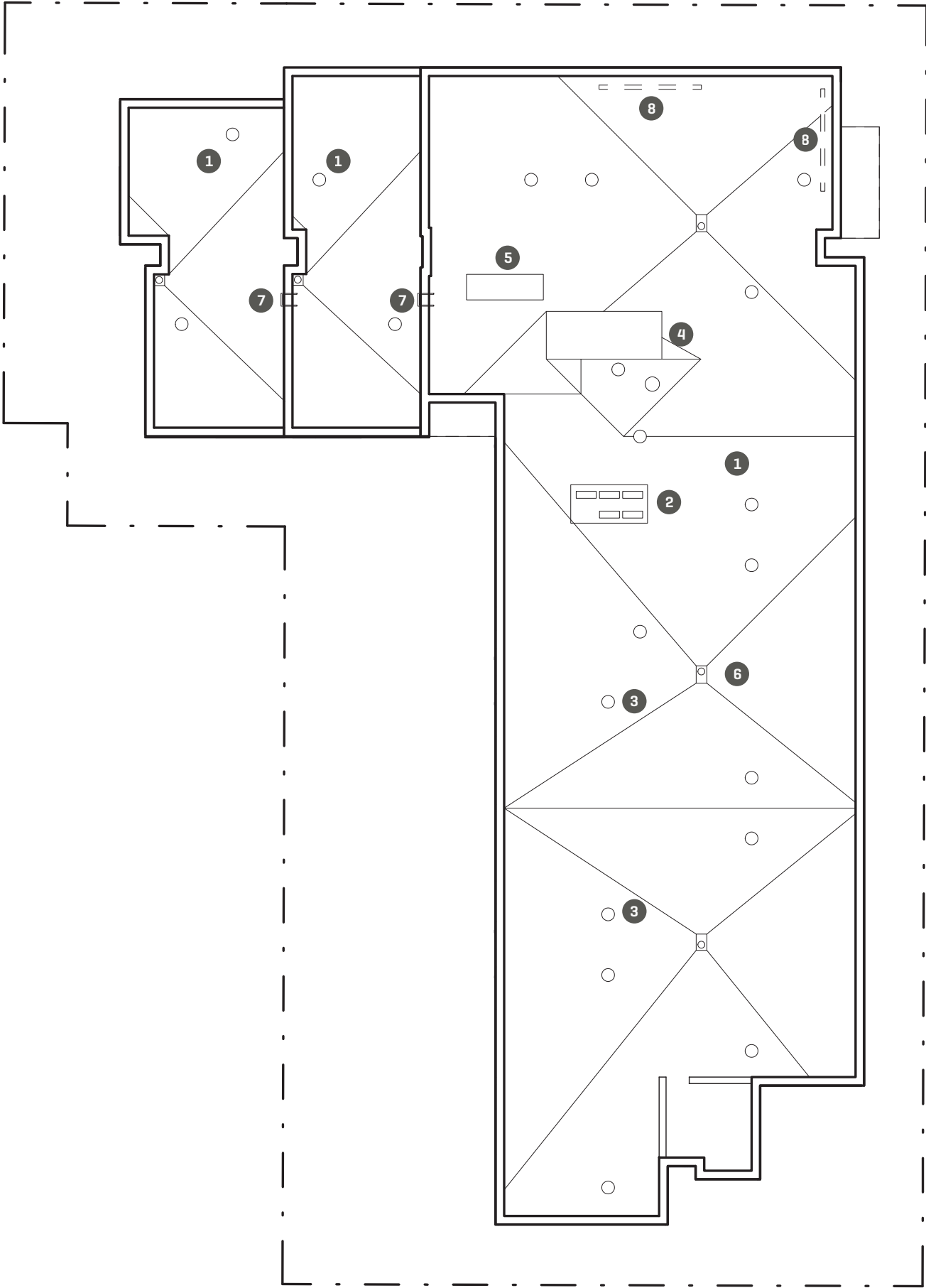


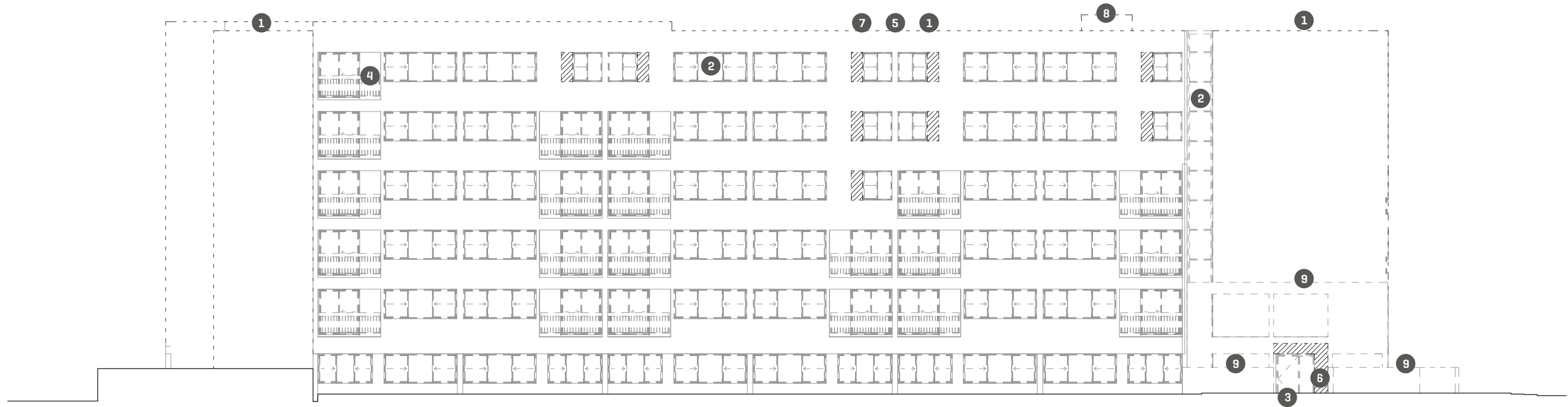
LEGEND

- RESIDENTIAL
- MECH. / B.O.H.



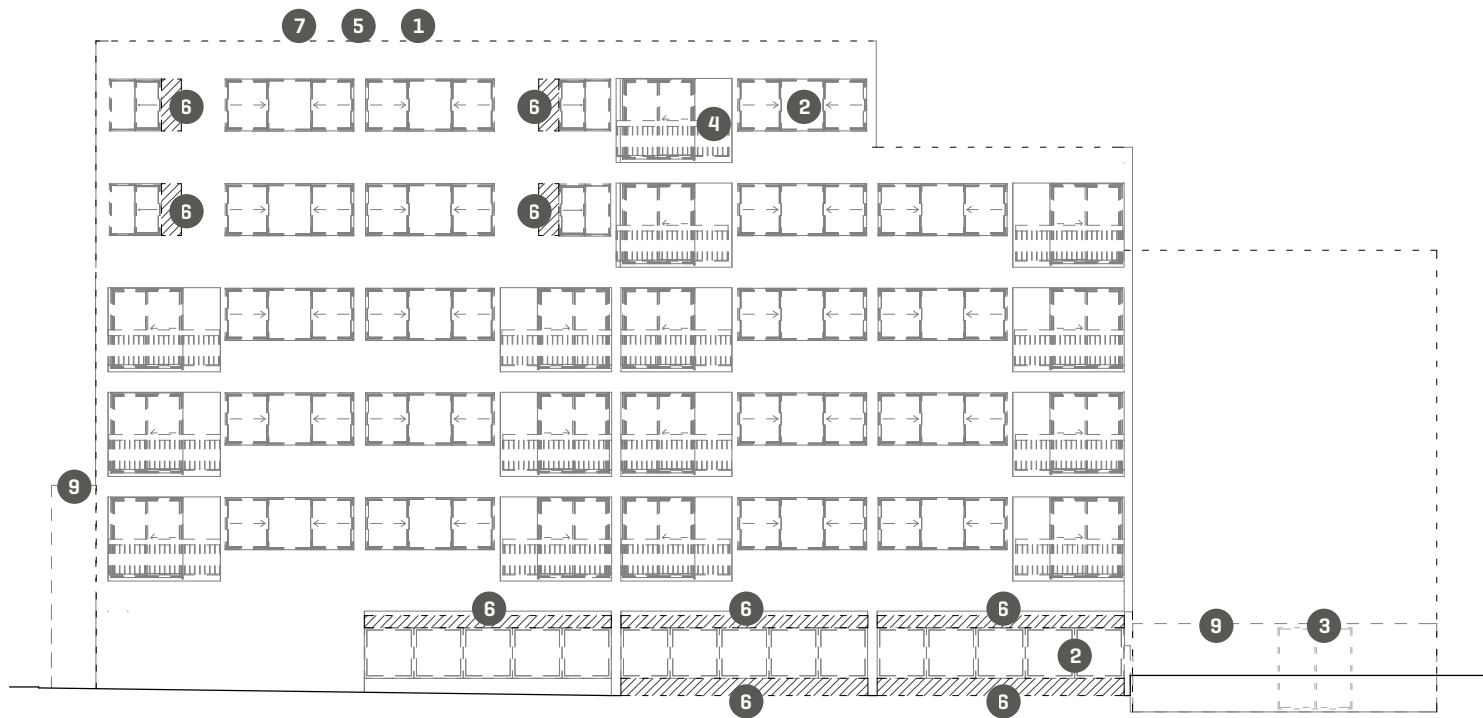
- 1 (N) SBS ROOFING SYSTEM
- 2 (N) HEAT PUMPS
- 3 (E) GRAVITY EXHAUST VENT
- 4 (E) ELEVATOR PENTHOUSE
- 5 (E) ROOF SCUTTLE
- 6 (E) ROOF DRAIN
- 7 (E) ROOF LADDER
- 8 (E) VERIZON EQUIPMENT





DEMOLITION EAST ELEVATION

SCALE: 1/16" = 1'-0"

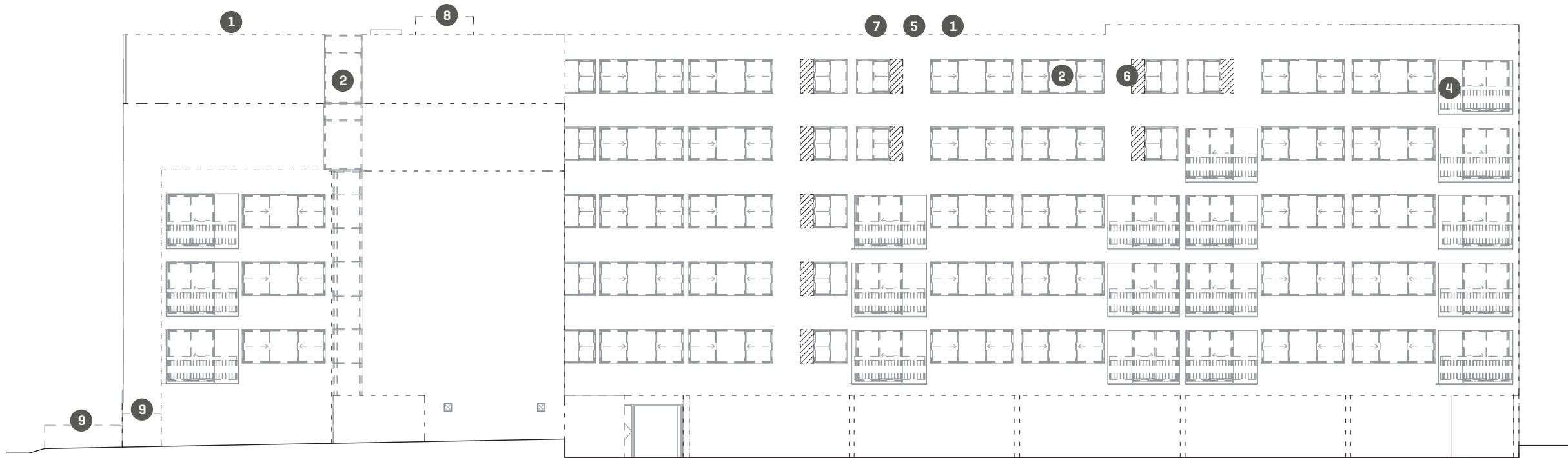


DEMOLITION NORTH ELEVATION

SCALE: 1/16" = 1'-0"

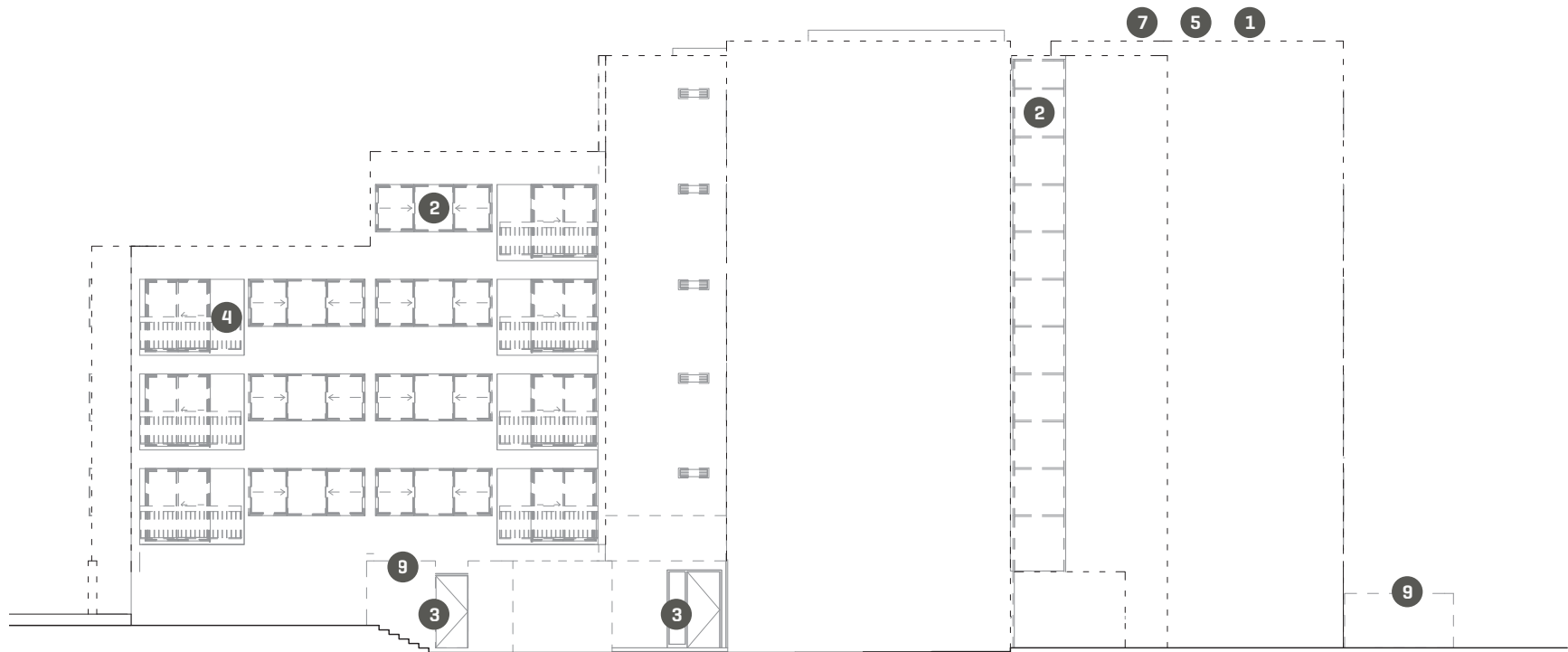
KEYNOTES

- 1 Exterior Cladding: Remove exterior wall cladding, including lath, all fasteners, exterior insulation, sheathing, batt insulation from stud cavities. Existing metal framing, CMU and/or concrete to remain, unless noted otherwise.
- 2 Windows: Remove window units, storefront system or curtainwall and associated flashings and fasteners.
- 3 Doors: Remove door, frame and all associated hardware and anchors.
- 4 Balconies: Remove guardrail and associated fasteners, sliding doors and associated hardware and anchors and balcony sheet metal flashing.
- 5 Parapets: Remove sheet metal coping from parapets.
- 6 New Opening: Remove portion of wall indicated for enlarged window openings.
- 7 Roof: Remove roofing system, including all inclusion, cover boards, and flashings down to existing concrete slab.
- 8 Elevator penthouse: Remove all finishes for new cladding and roofing.
- 9 Wing wall: Demo entire wing wall, cladding and structure. Prep area where attached to building facade for new scope of work.



DEMOLITION WEST ELEVATION

SCALE: 1/16" = 1'-0"

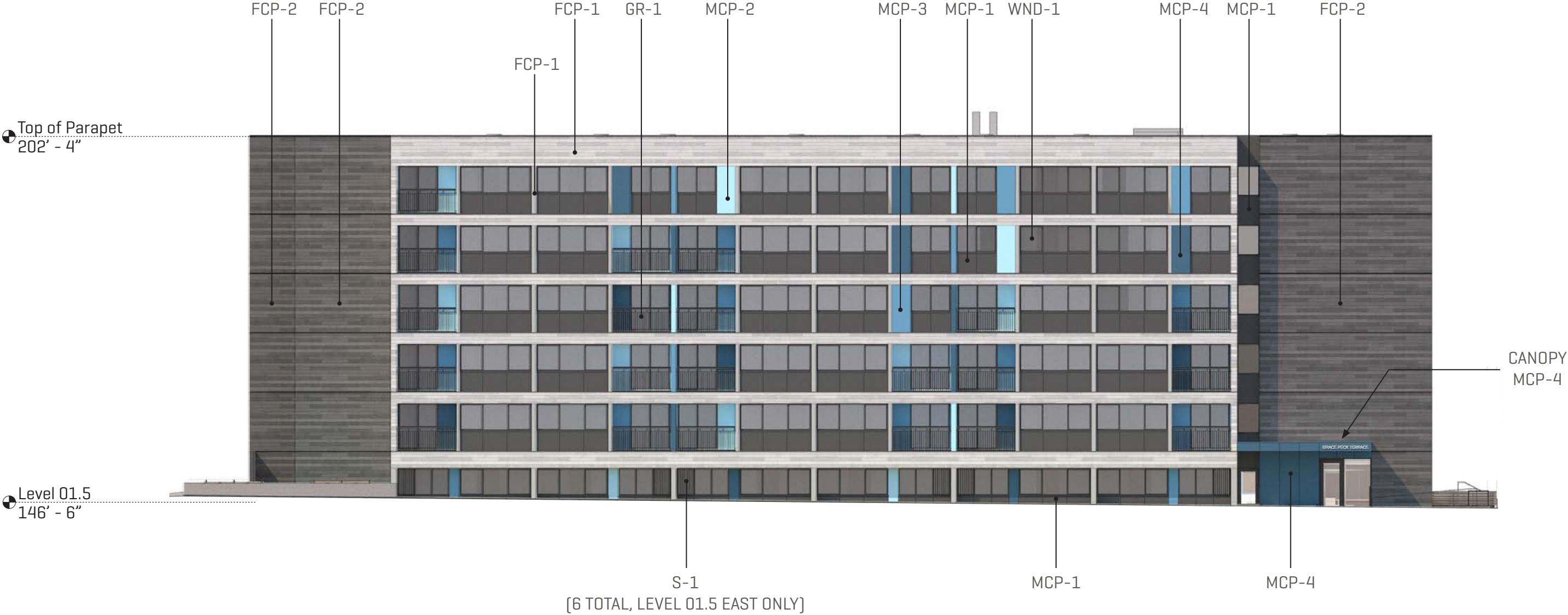
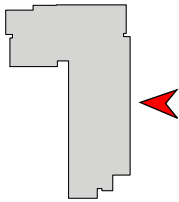


DEMOLITION SOUTH ELEVATION

SCALE: 1/16" = 1'-0"

KEYNOTES

- 1 Exterior Cladding: Remove exterior wall cladding, including lath, all fasteners, exterior insulation, sheathing, batt insulation from stud cavities. Existing metal framing, CMU and/or concrete to remain, unless noted otherwise.
- 2 Windows: Remove window units, storefront system or curtainwall and associated flashings and fasteners.
- 3 Doors: Remove door, frame and all associated hardware and anchors.
- 4 Balconies: Remove guardrail and associated fasteners, sliding doors and associated hardware and anchors and balcony sheet metal flashing.
- 5 Parapets: Remove sheet metal coping from parapets.
- 6 New Opening: Remove portion of wall indicated for enlarged window openings.
- 7 Roof: Remove roofing system, including all inclusion, cover boards, and flashings down to existing concrete slab.
- 8 Elevator penthouse: Remove all finishes for new cladding and roofing.
- 9 Wing wall: Demo entire wing wall, cladding and structure. Prep area where attached to building facade for new scope of work.



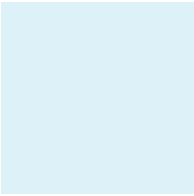
FCP-1
Oko Skin
Panel



FCP-2
Oko Skin
Panel



MCP-1
Aluminum
Composite
Metal Panel



MCP-2
Light Blue



MCP-3
Medium Blue



MCP-4
Dark Blue



WND-1
Vinyl Window



SF-1
Aluminum
Storefront



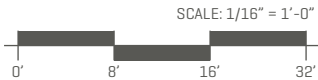
GR-1
Guardrail



S-1
Security
Screens

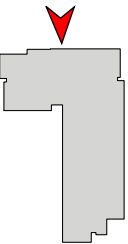


P-1
High-
Performance
Paint



SCALE: 1/16" = 1'-0"

NORTH



1
C.22

Top of Parapet
202' - 4"

Level 01.5
146' - 6"

CANOPY
MCP-4

FCP-1 MCP-2 WND-1 MCP-3 GR-1 FCP-2 MCP-4 FCP-2 WND-1 *

FCP-2 MCP-1 SF-1 SF-1 SF-1 FCP-2



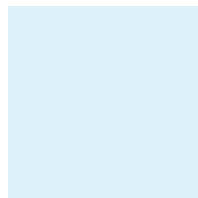
FCP-1
Oko Skin
Panel



FCP-2
Oko Skin
Panel



MCP-1
Aluminum
Composite
Metal Panel



MCP-2
Light Blue



MCP-3
Medium Blue



MCP-4
Dark Blue



WND-1
Vinyl Window



SF-1
Aluminum
Storefront



GR-1
Guardrail



S-1
Security
Screens



P-1
High-
Performance
Paint

* NEW WND-1 UTILIZES
EXISTING WALL OPENING.
REF DEMO ELEVATION, C.10.



SCALE: 1/16" = 1'-0"

HOLST

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GRACE PECK TERRACE

1839 NE 14TH AVE
PORTLAND, OR 97212

DESIGN REVIEW

12.03.2021

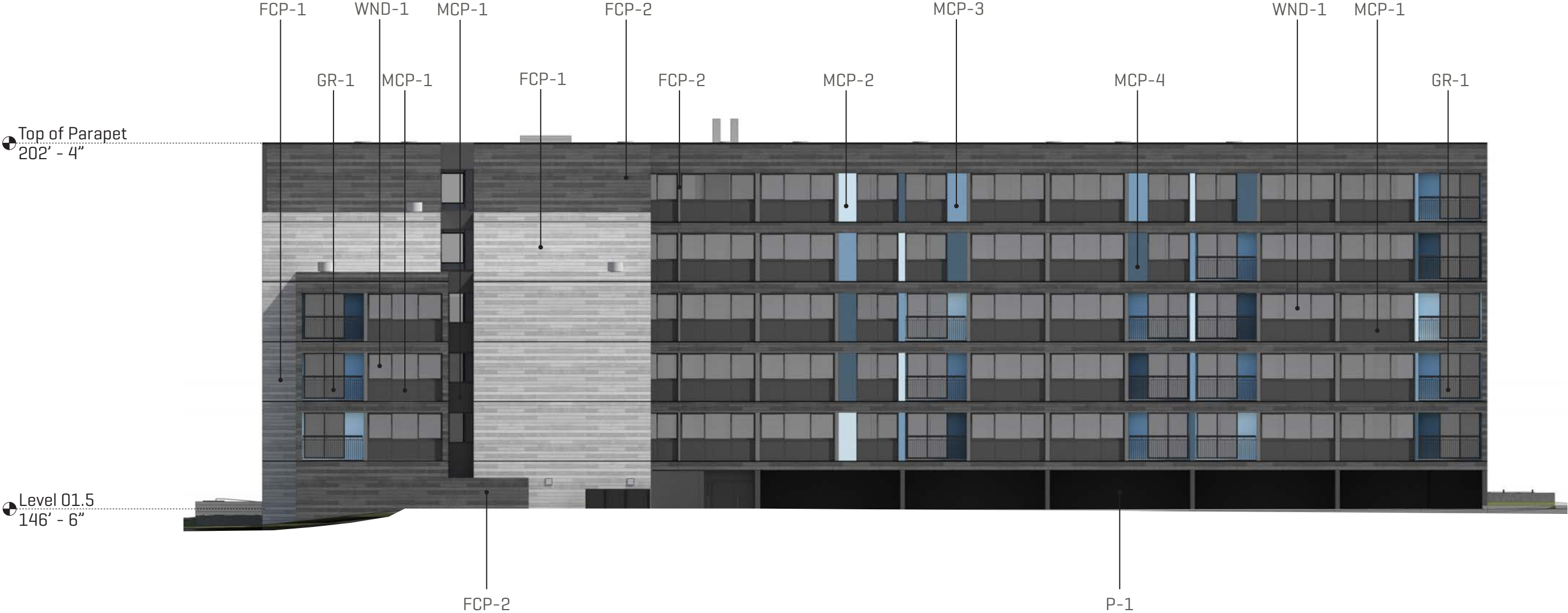
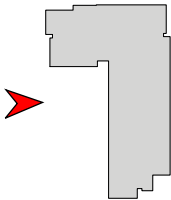
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LU NO.

sheet :

NORTH ELEVATION

LU 21-111639 HRM AD **C.13**



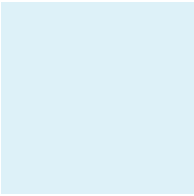
FCP-1
Oko Skin
Panel



FCP-2
Oko Skin
Panel



MCP-1
Aluminum
Composite
Metal Panel



MCP-2
Light Blue



MCP-3
Medium Blue



MCP-4
Dark Blue



WND-1
Vinyl Window



SF-1
Aluminum
Storefront



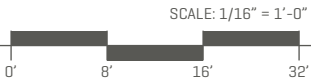
GR-1
Guardrail



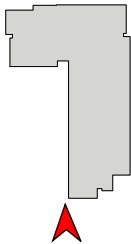
S-1
Security
Screens



P-1
High-
Performance
Paint

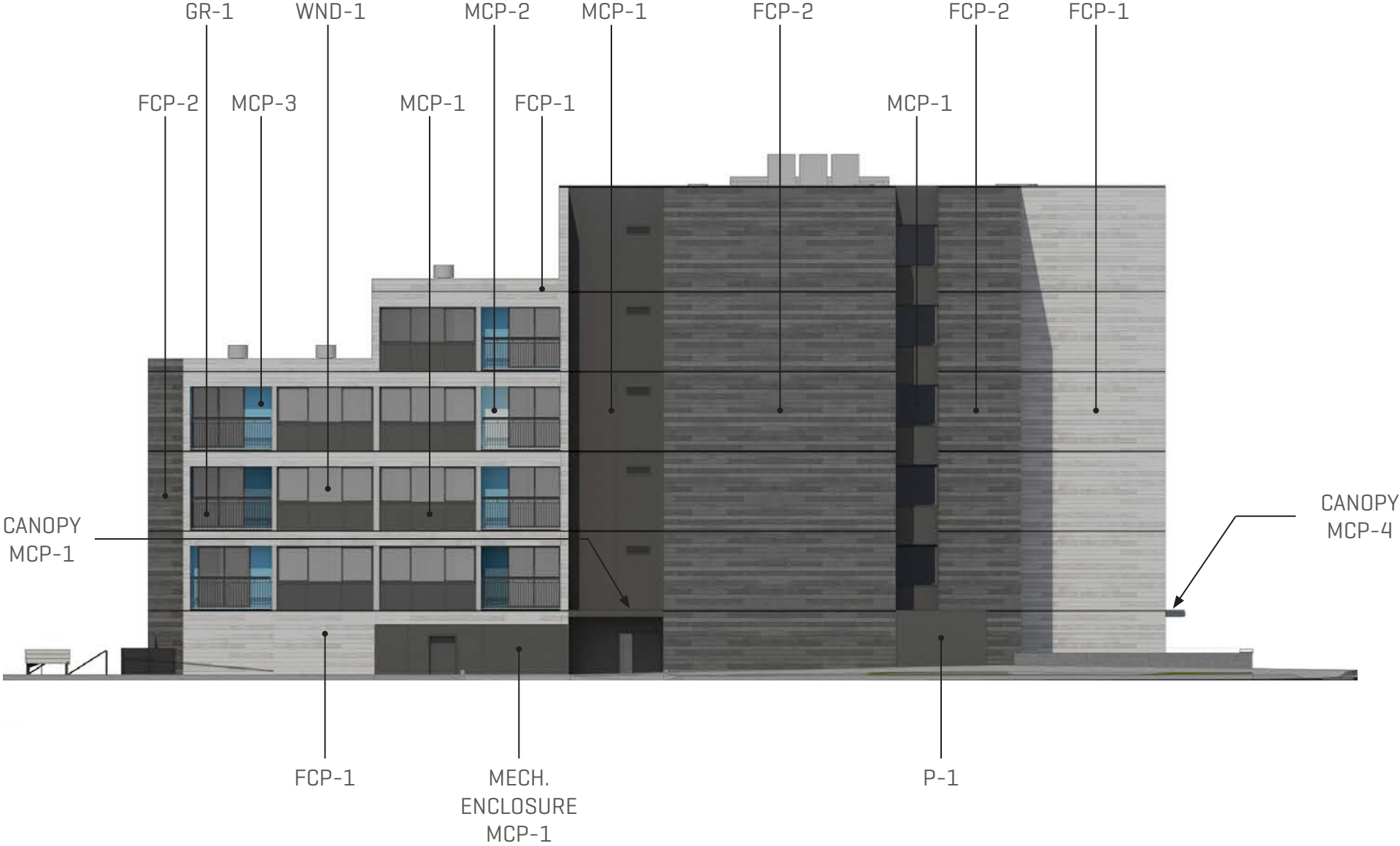


SOUTH



Top of Parapet
202' - 4"

Level 01.5
146' - 6"



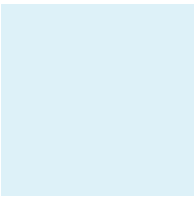
FCP-1
Oko Skin
Panel



FCP-2
Oko Skin
Panel



MCP-1
Aluminum
Composite
Metal Panel



MCP-2
Light Blue



MCP-3
Medium Blue



MCP-4
Dark Blue



WND-1
Vinyl Window



SF-1
Aluminum
Storefront



GR-1
Guardrail



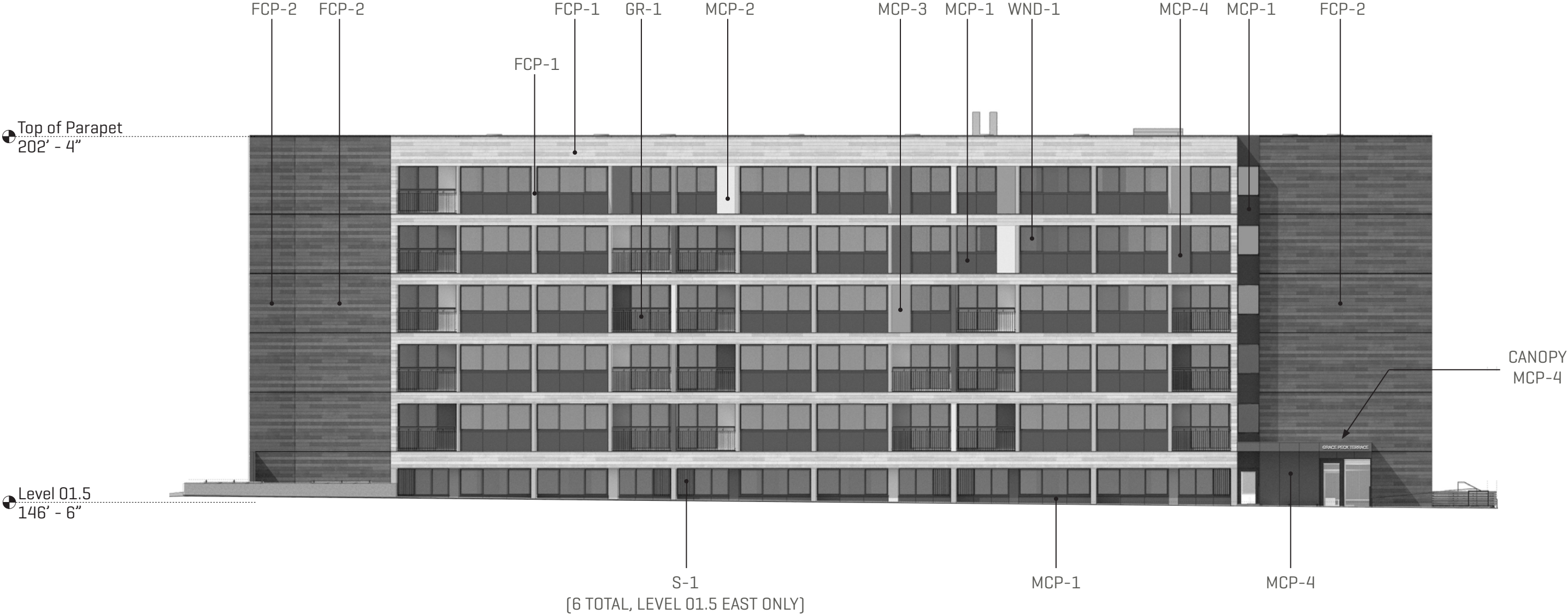
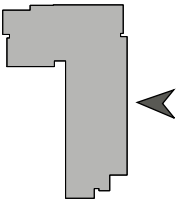
S-1
Security
Screens



P-1
High-
Performance
Paint



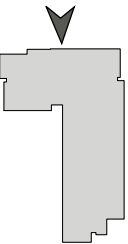
SCALE: 1/16" = 1'-0"



LEGEND			
FCP-1	Oko Skin Panel [Off-white]	MCP-4	Metal Composite Panel [Dark Blue]
FCP-2	Oko Skin Panel [Silver gray]	P-1	High-Performance Paint
GR-1	Guardrail	S-1	Security Screens
MCP-1	Metal Composite Panel [Gray]	SF-1	Aluminum Storefront
MCP-2	Metal Composite Panel [Light Blue]	WND-1	Commercial Vinyl Window
MCP-3	Metal Composite Panel [Medium Blue]		

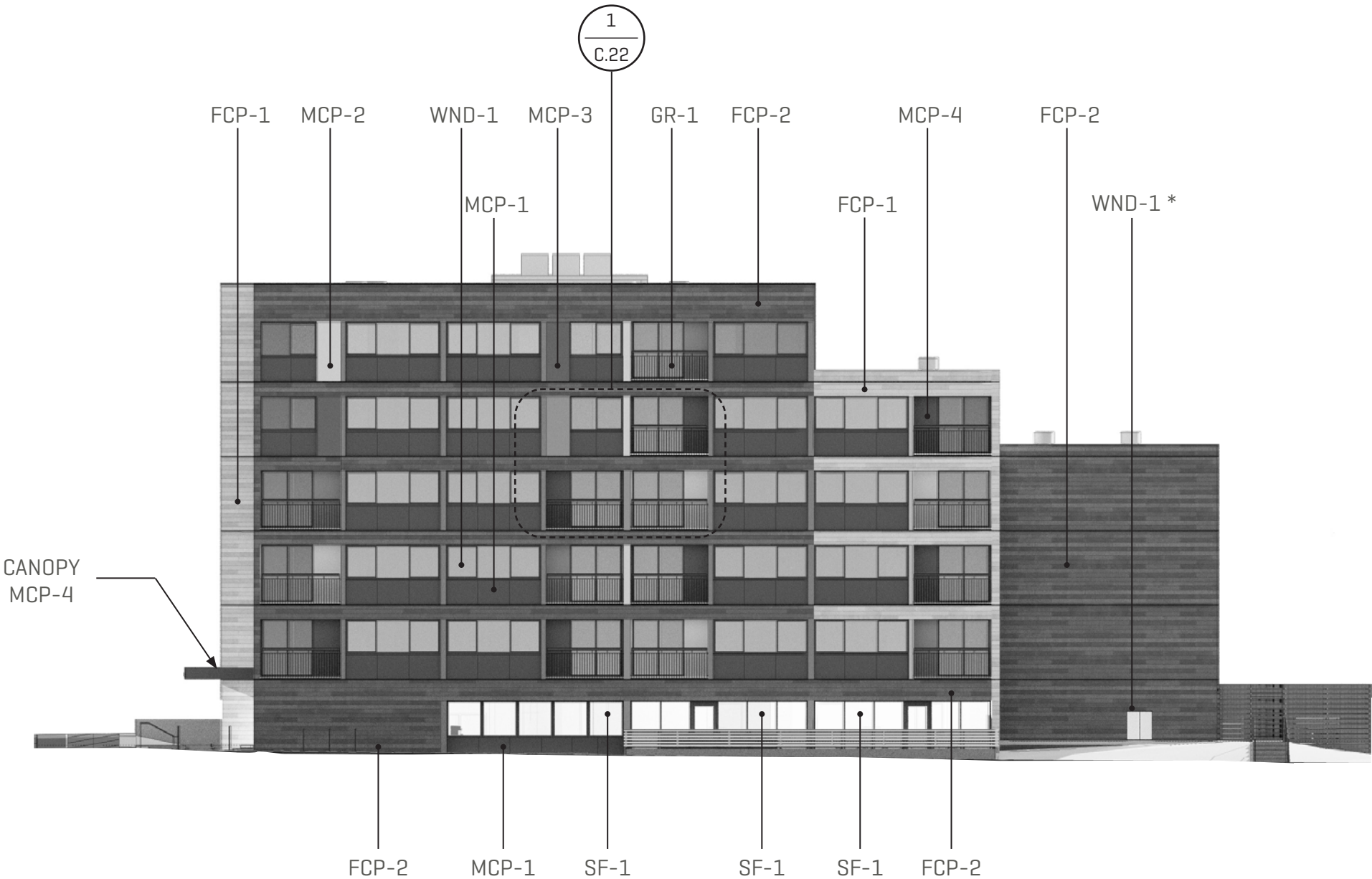


NORTH



Top of Parapet
202' - 4"

Level 01.5
146' - 6"



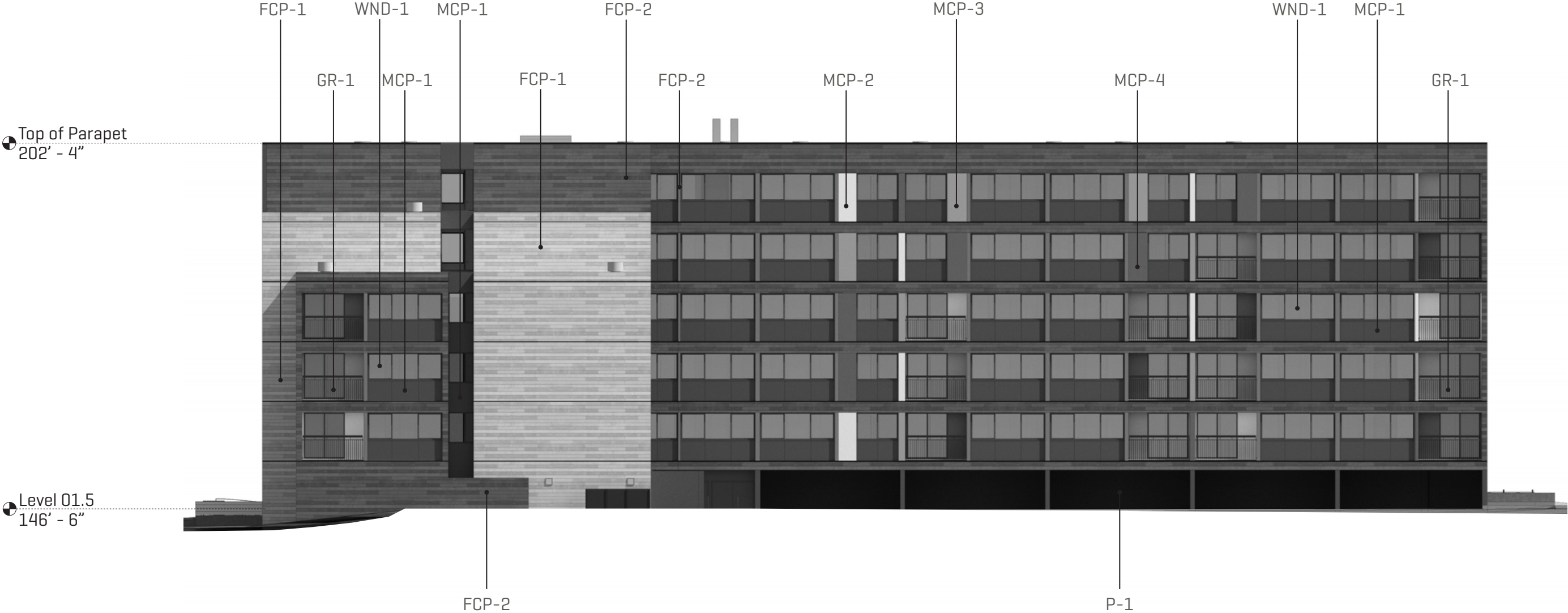
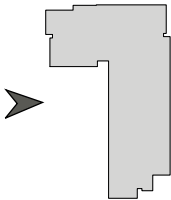
LEGEND

FCP-1	Oko Skin Panel [Off-white]	MCP-4	Metal Composite Panel [Dark Blue]
FCP-2	Oko Skin Panel [Silver gray]	P-1	High-Performance Paint
GR-1	Guardrail	S-1	Security Screens
MCP-1	Metal Composite Panel [Gray]	SF-1	Aluminum Storefront
MCP-2	Metal Composite Panel [Light Blue]	WND-1	Commercial Vinyl Window
MCP-3	Metal Composite Panel [Medium Blue]		

* NEW WND-1 UTILIZES
EXISTING WALL OPENING.
REF DEMO ELEVATION, C.10.

SCALE: 1/16" = 1'-0"

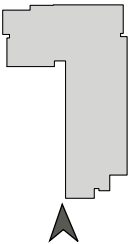




LEGEND			
FCP-1	Oko Skin Panel [Off-white]	MCP-4	Metal Composite Panel [Dark Blue]
FCP-2	Oko Skin Panel [Silver gray]	P-1	High-Performance Paint
GR-1	Guardrail	S-1	Security Screens
MCP-1	Metal Composite Panel [Gray]	SF-1	Aluminum Storefront
MCP-2	Metal Composite Panel [Light Blue]	WND-1	Commercial Vinyl Window
MCP-3	Metal Composite Panel [Medium Blue]		

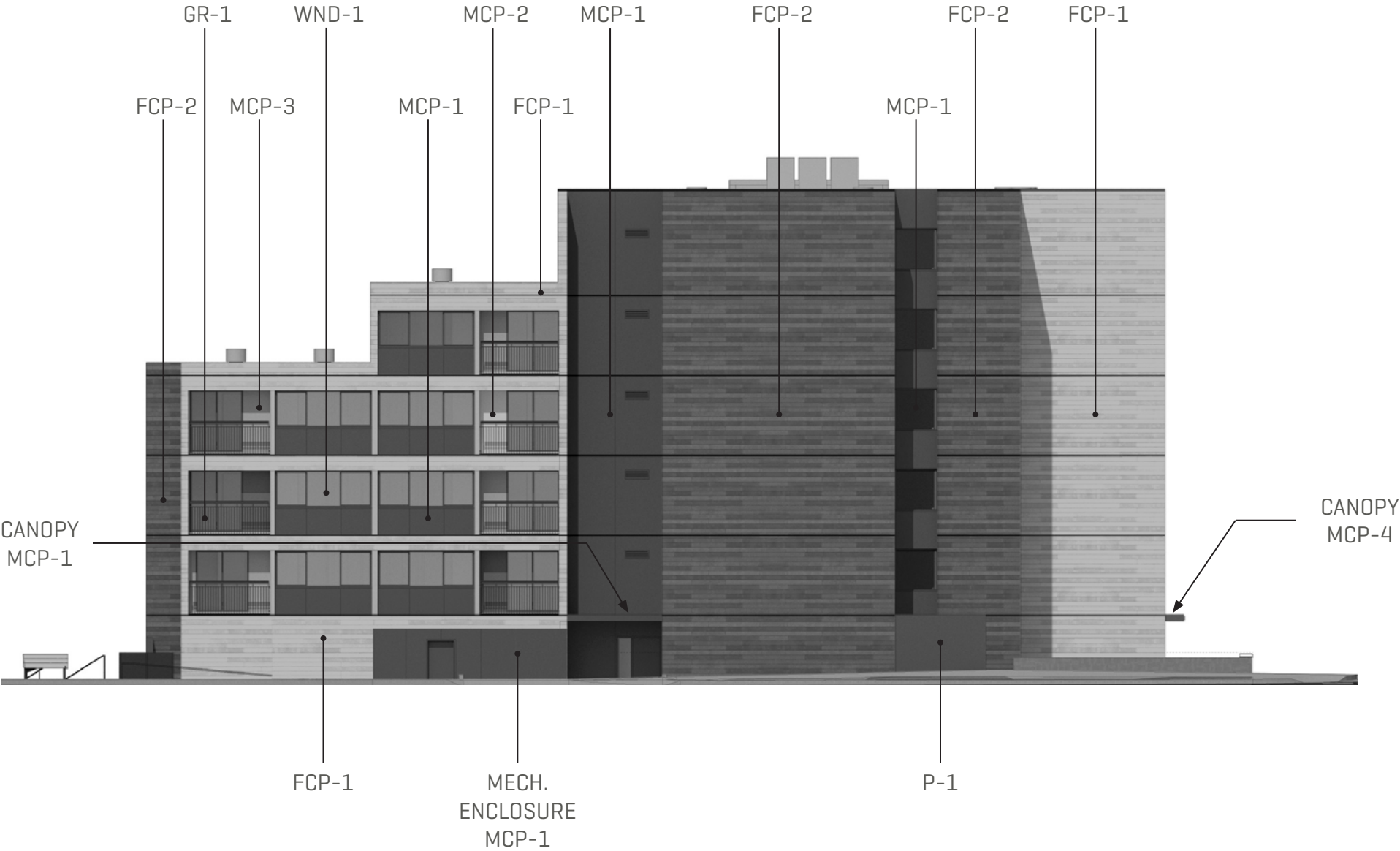


SOUTH



Top of Parapet
202' - 4"

Level 01.5
146' - 6"



LEGEND

FCP-1	Oko Skin Panel [Off-white]	MCP-4	Metal Composite Panel [Dark Blue]
FCP-2	Oko Skin Panel [Silver gray]	P-1	High-Performance Paint
GR-1	Guardrail	S-1	Security Screens
MCP-1	Metal Composite Panel [Gray]	SF-1	Aluminum Storefront
MCP-2	Metal Composite Panel [Light Blue]	WND-1	Commercial Vinyl Window
MCP-3	Metal Composite Panel [Medium Blue]		

SCALE: 1/16" = 1'-0"



HOLST

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DESIGN REVIEW

12.03.2021

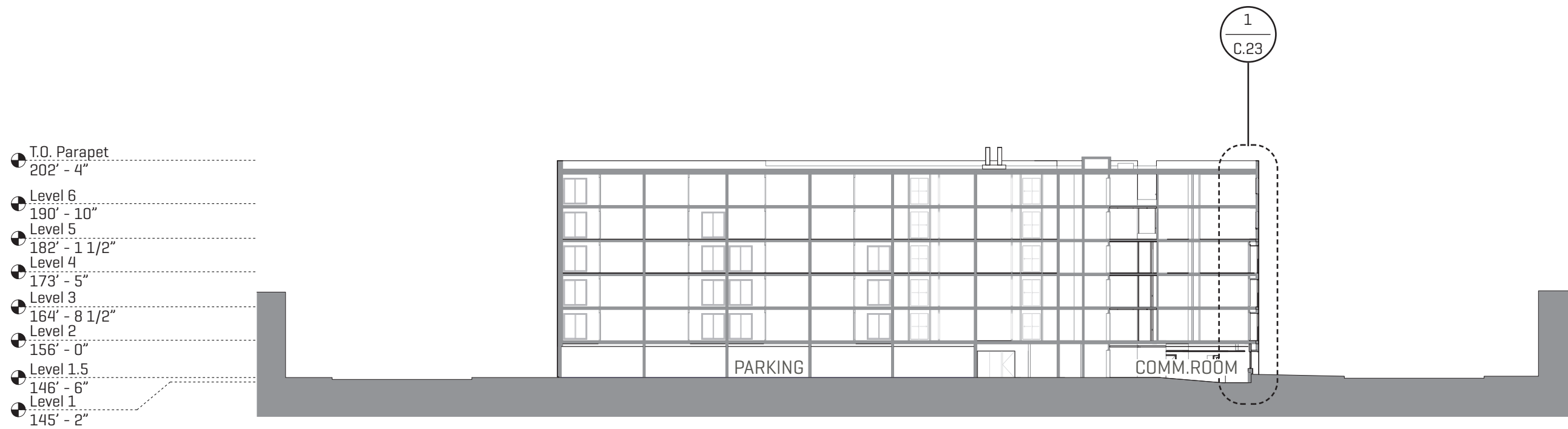
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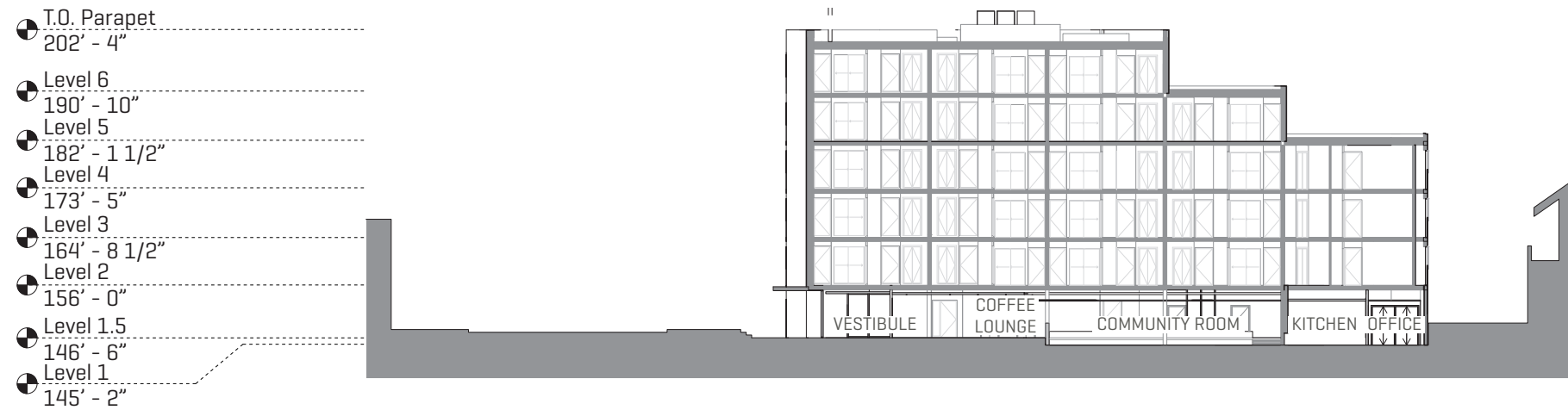
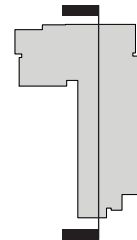
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SOUTH ELEVATION - B&W

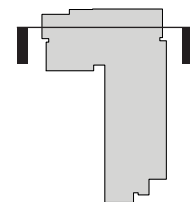
LU 21-111639 HRM AD **C.19**

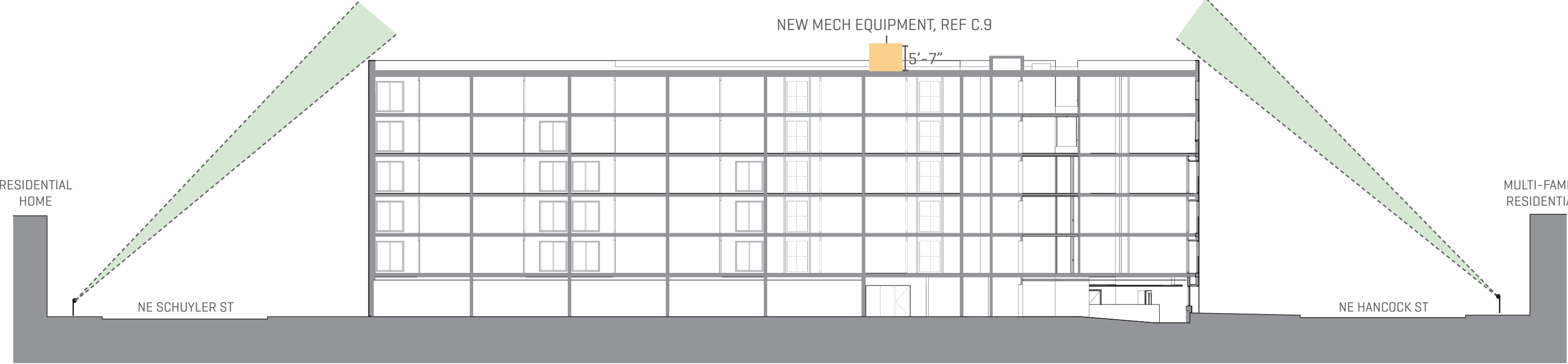


SECTION N-S
SCALE: 1" = 30'-0"

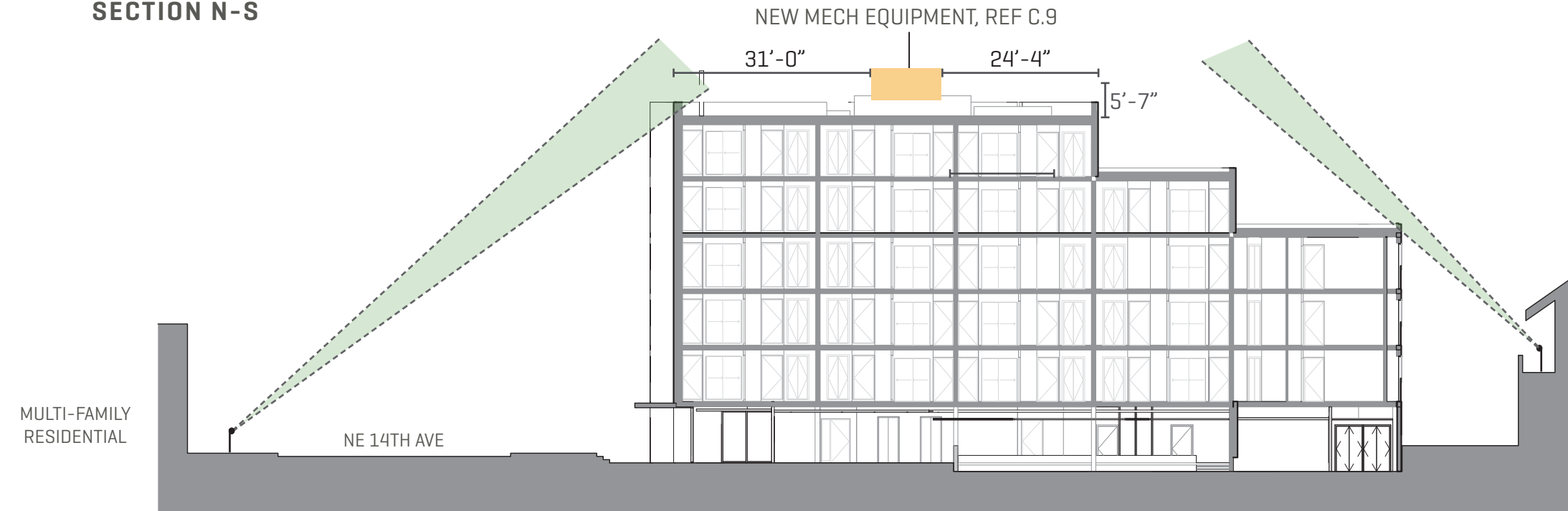


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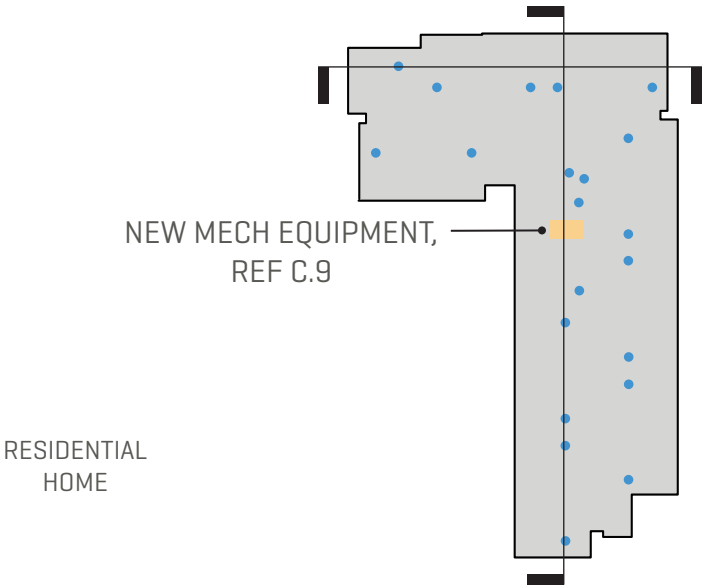




SECTION N-S



SECTION E-W



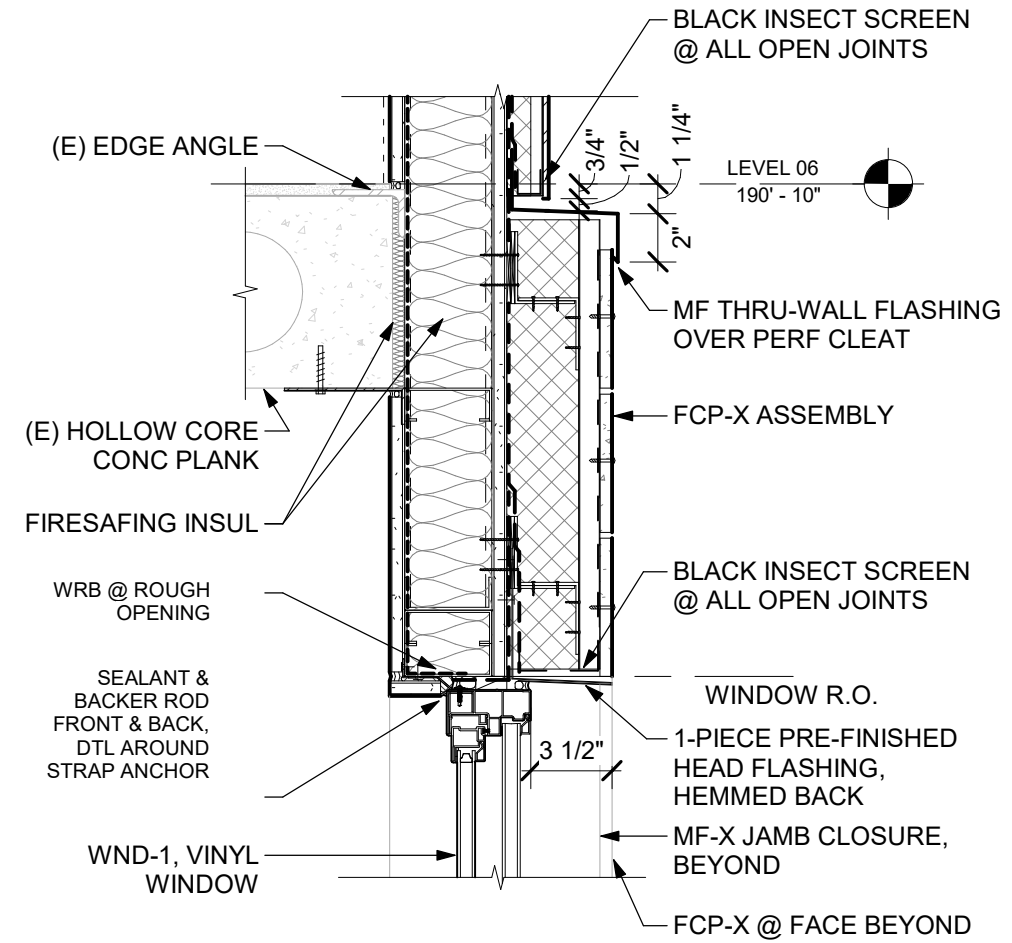
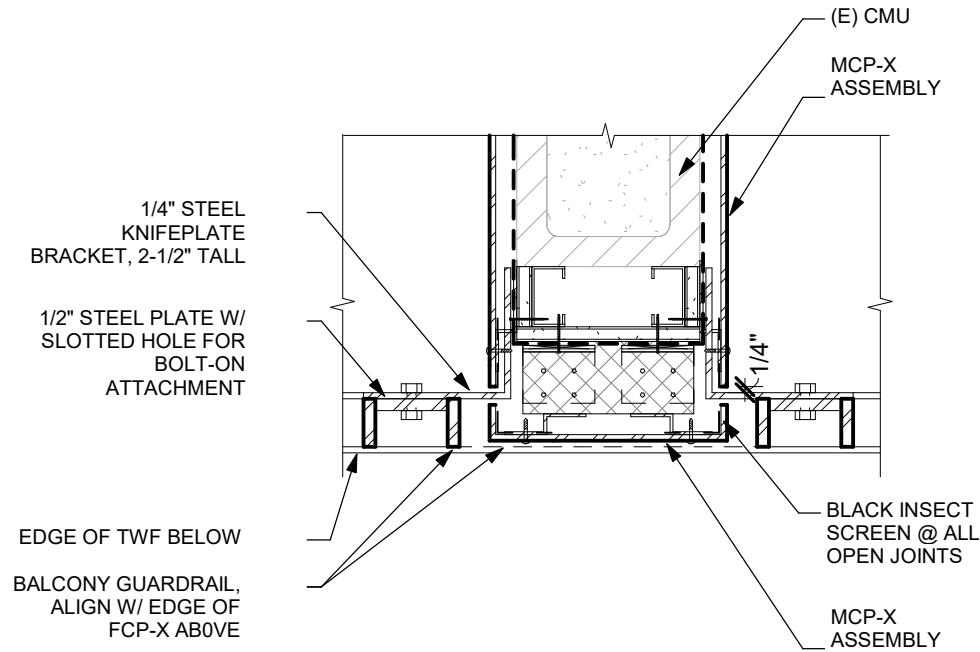
REFERENCE PLAN



LEGEND

- MECHANICAL EQUIPMENT *
- EXHAUST VENTS
- PEDESTRIAN VIEW ANGLE

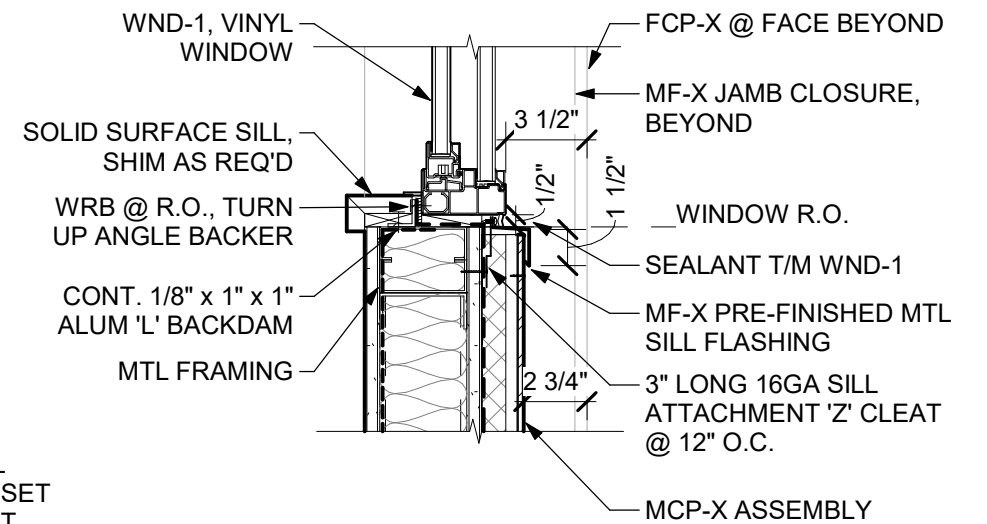
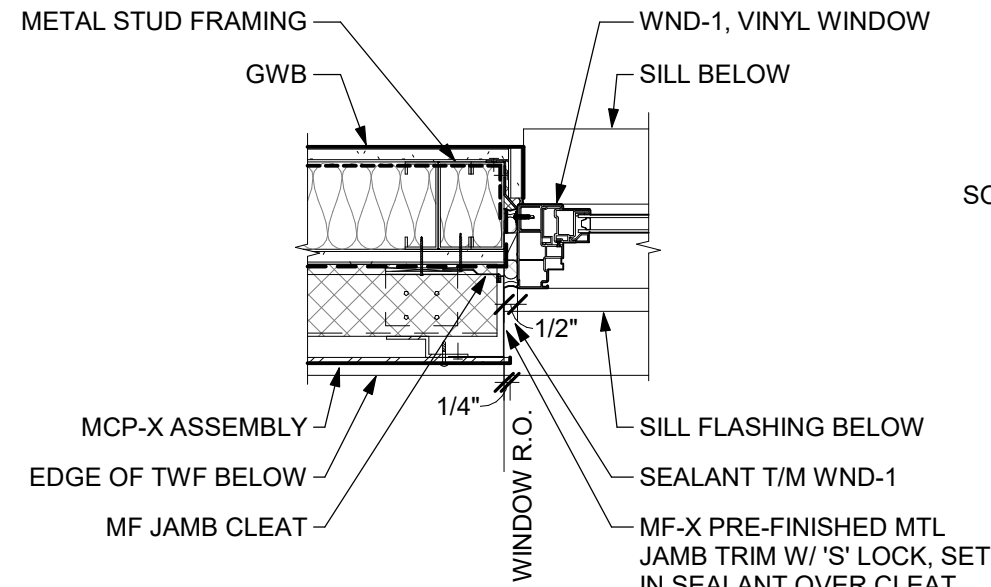
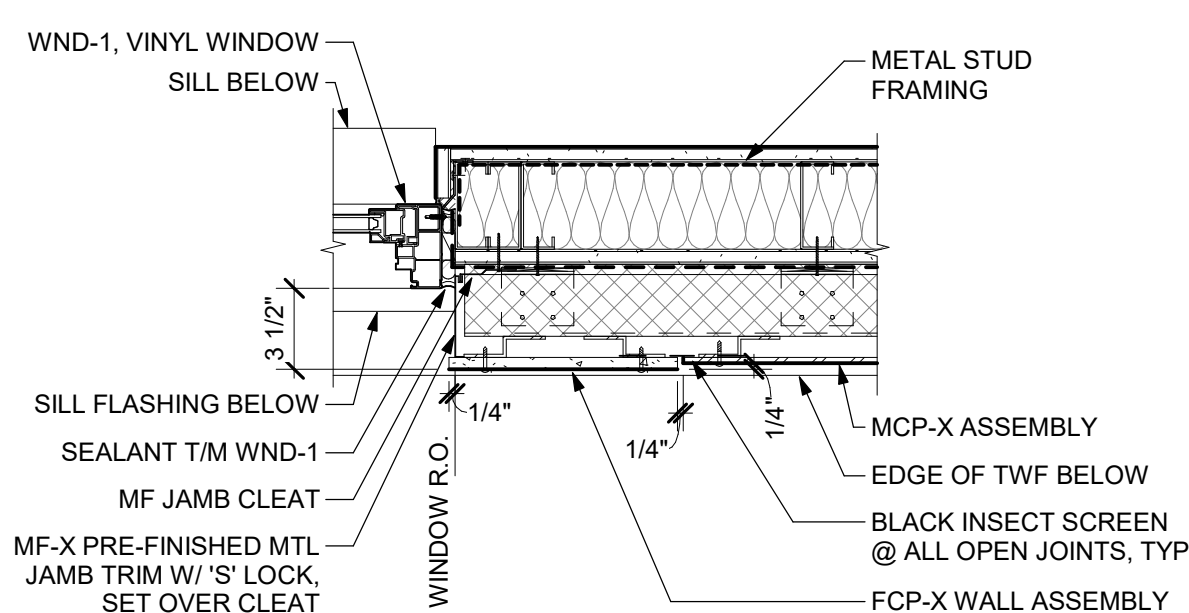
* PER 33.120.215.C.4.b EQUIPMENT MAY
EXTEND UP TO 10' ABOVE HEIGHT LIMIT
WHEN SETBACK 15' MIN AT STREET-
FACING FACADES.



① RENDERING @ VINYL WINDOWS & BALCONIES, TYP

⑤ TYP MCP-X WING WALL @ BALCONIES
SCALE: 1 1/2" = 1'-0"

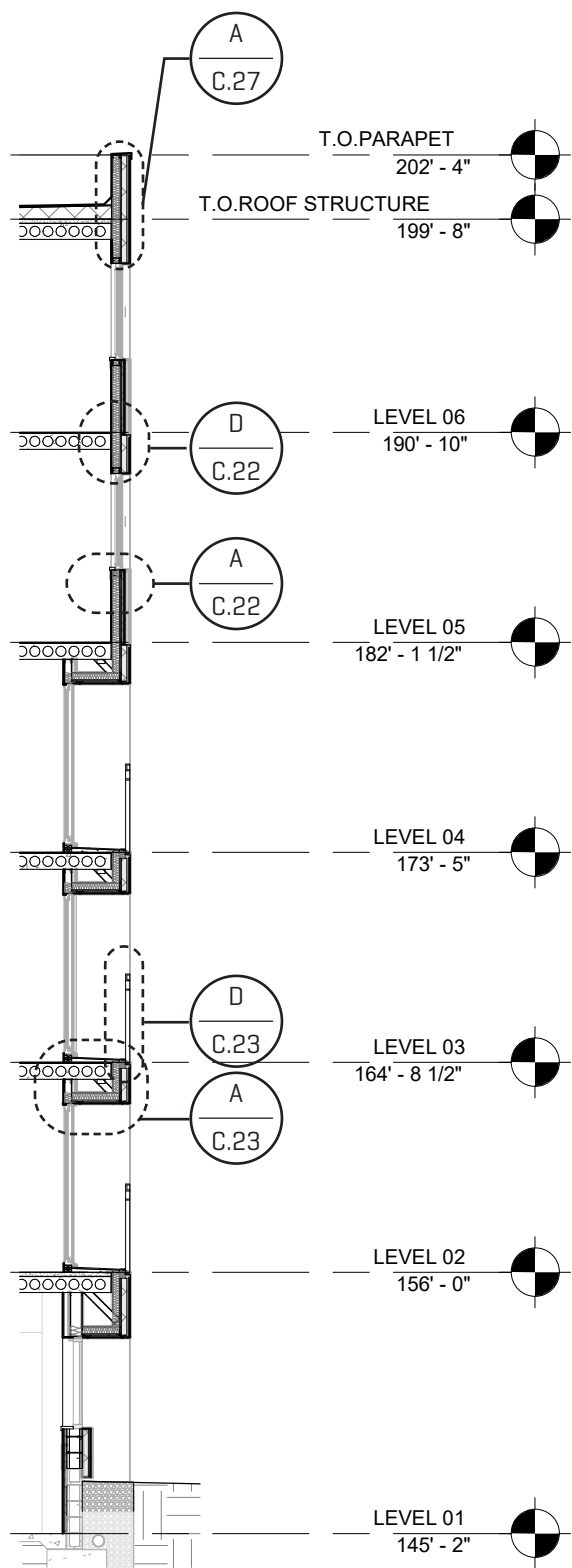
④ TYP WND-1 HEAD @ FCP-X
SCALE: 1 1/2" = 1'-0"



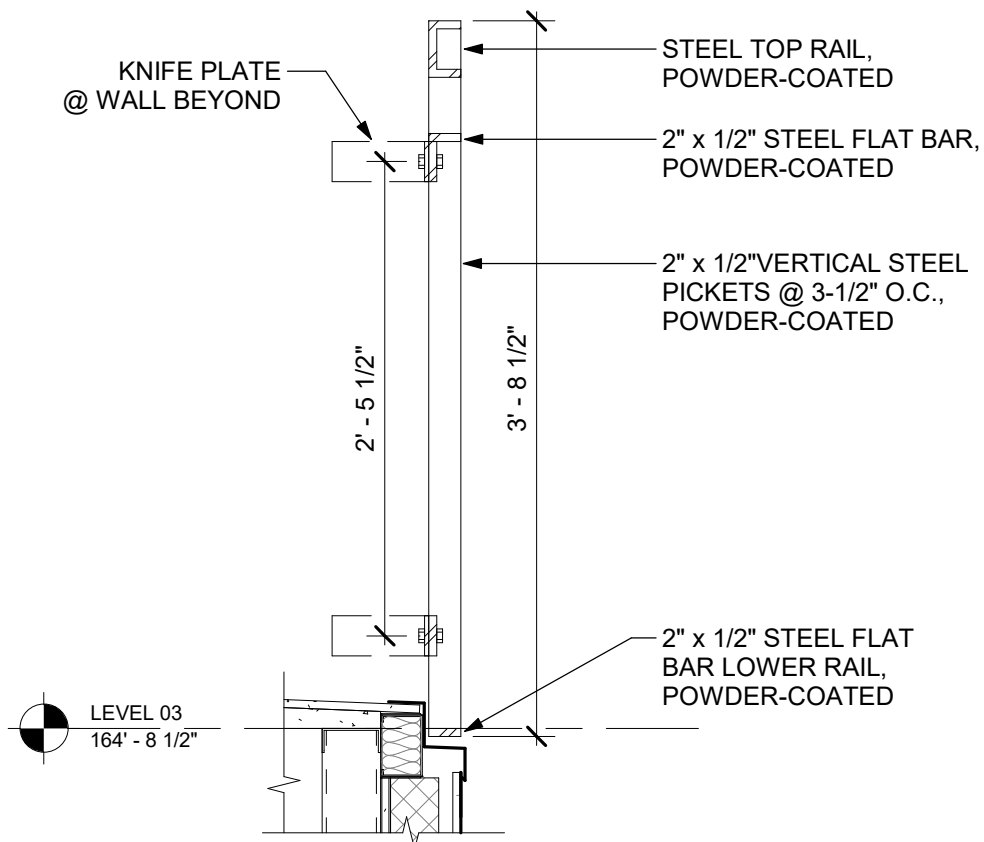
③ TYP WND-1 JAMB @ FCP-X
SCALE: 1 1/2" = 1'-0"

② TYP WND-1 JAMB @ MCP-X
SCALE: 1 1/2" = 1'-0"

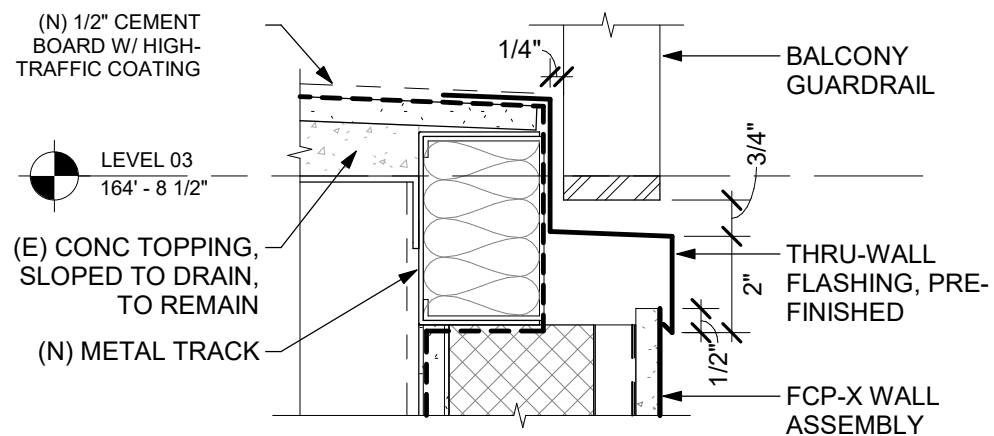
① TYP WND-1 SILL @ MCP-X
SCALE: 1 1/2" = 1'-0"



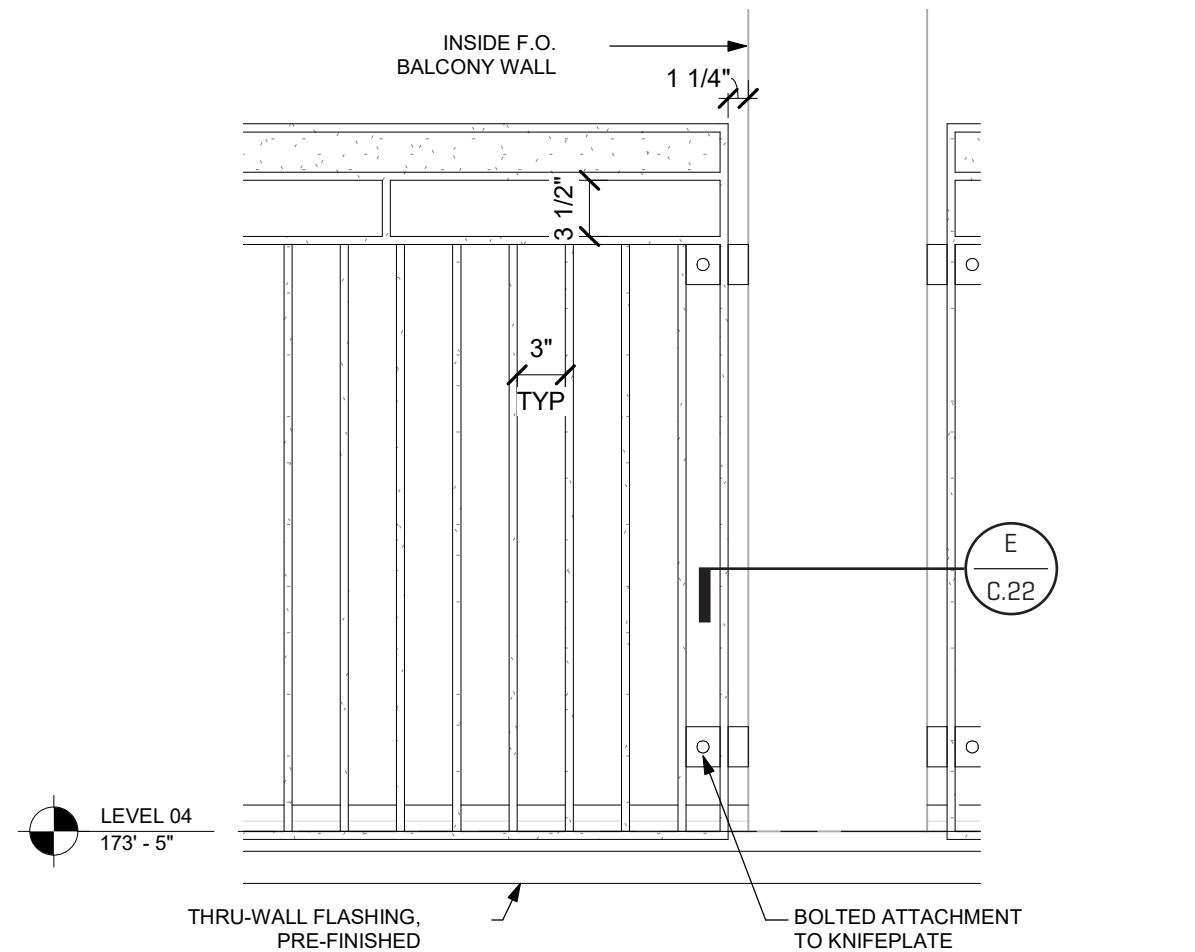
1 TYP BUILDING SECTION @ BALCONIES
 SCALE: 1/8" = 1'-0"



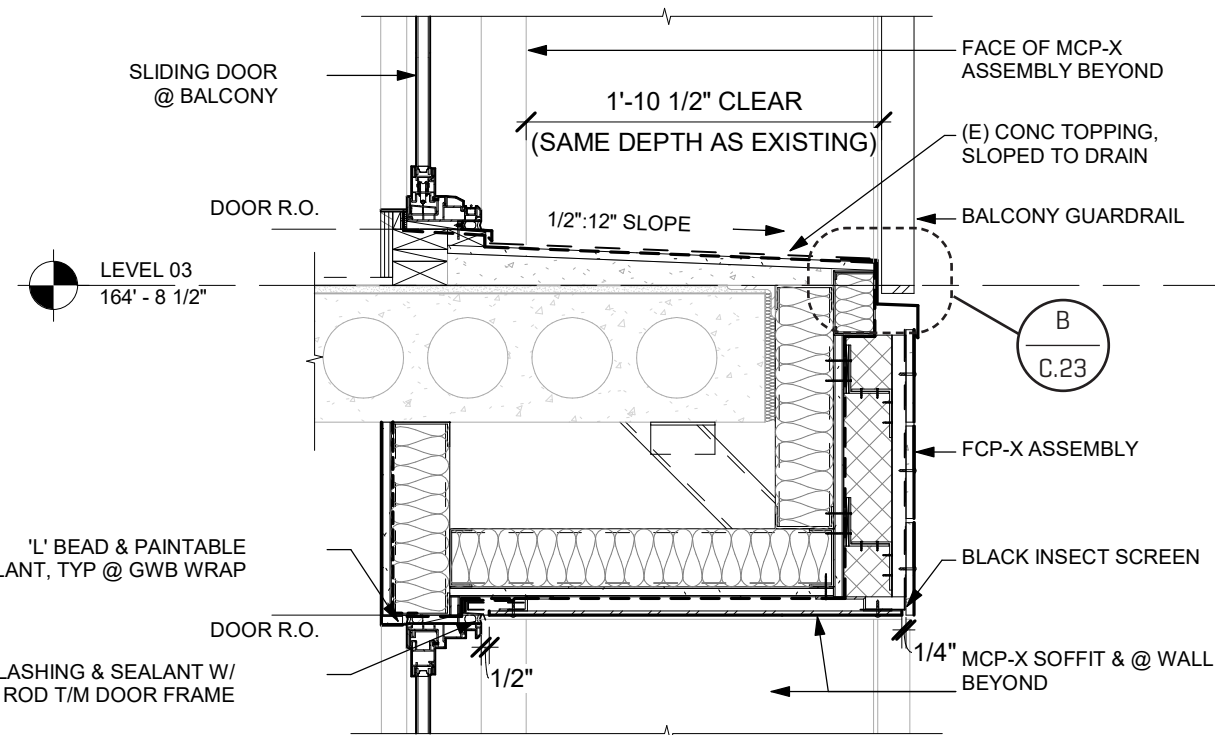
D BALCONY GUARDRAIL SECTION, TYP
 SCALE: 1" = 1'-0"



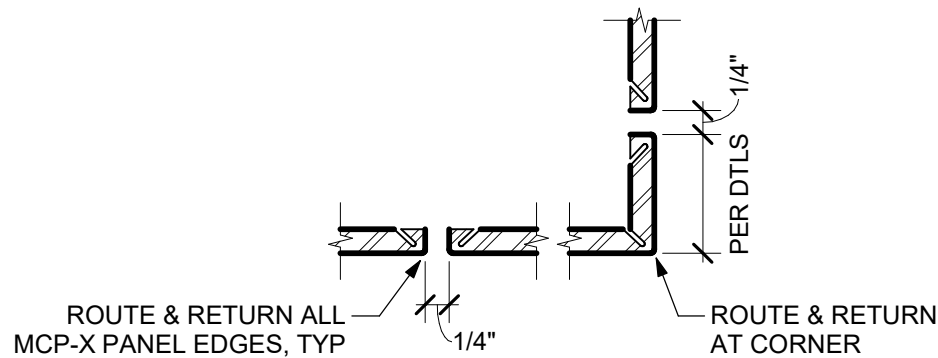
B THRU WALL FLASHING @ GUARDRAIL, TYP
 SCALE: 3" = 1'-0"



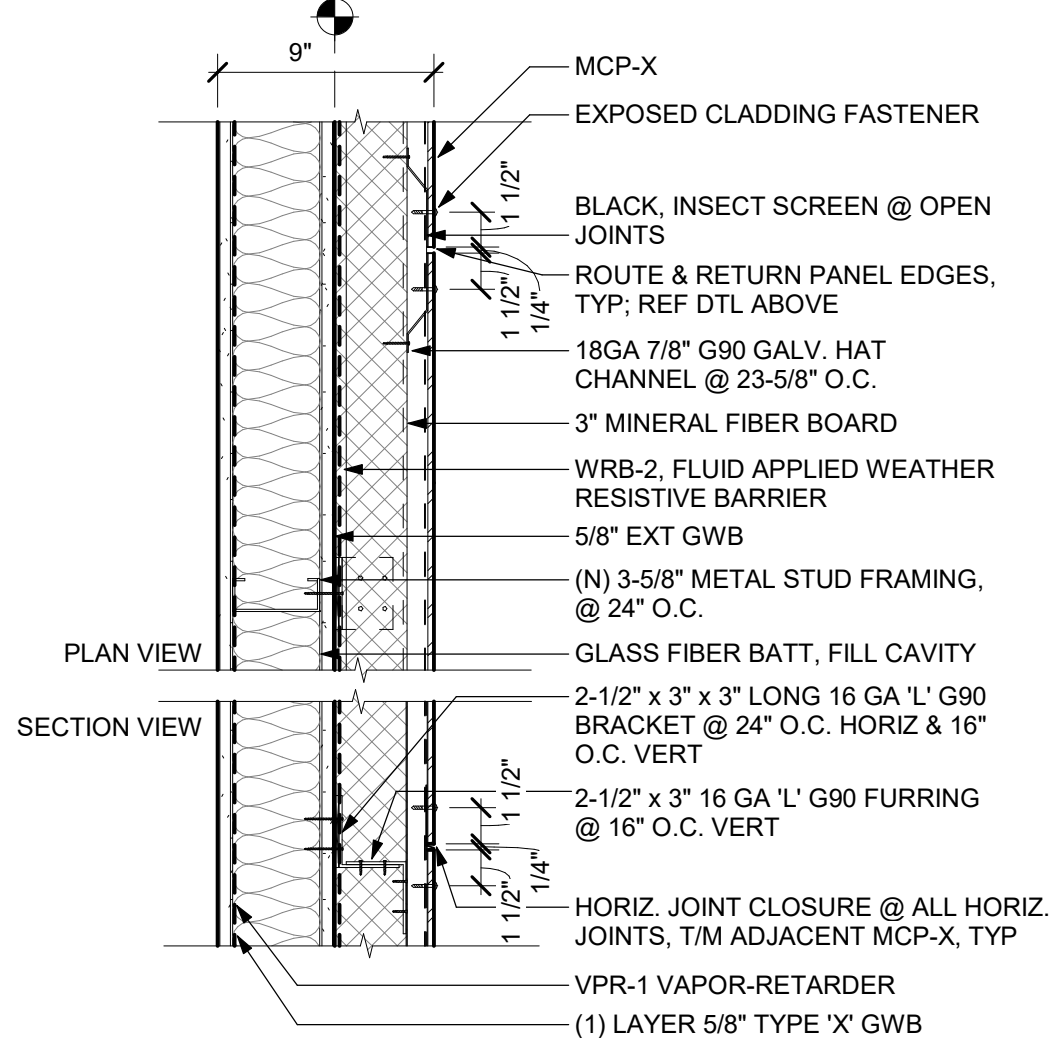
C BALCONY GUARDRAIL PARTIAL ELEV, TYP
 SCALE: 1" = 1'-0"



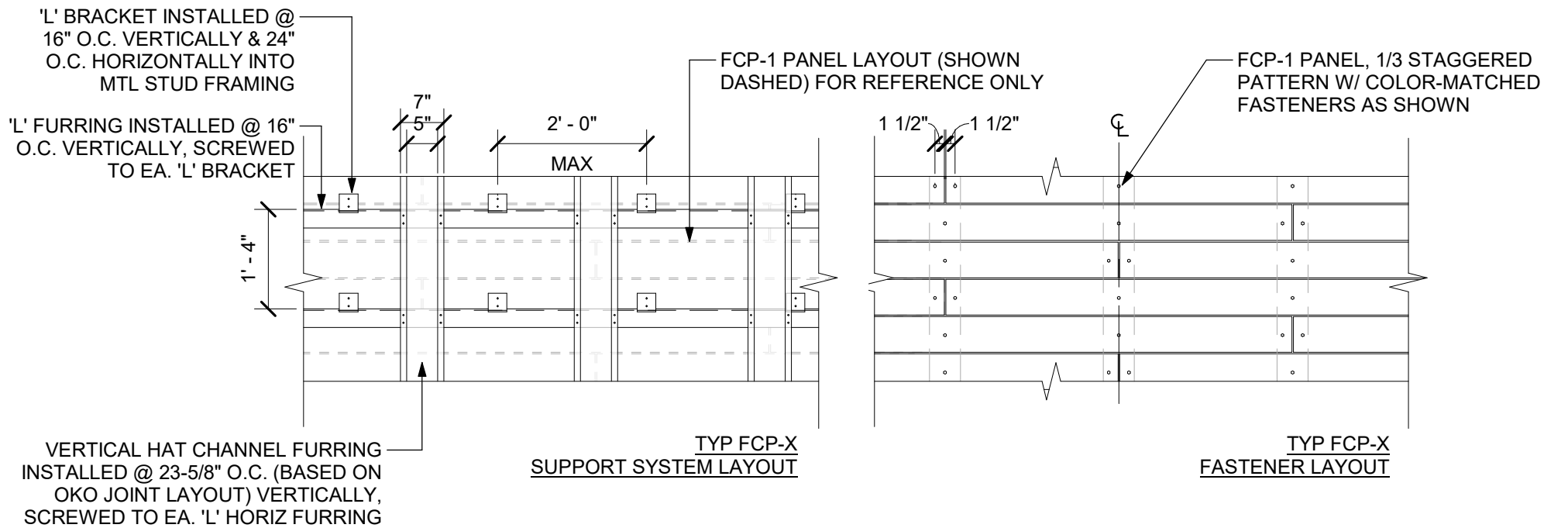
A BALCONY SOFFIT, TYP
 SCALE: 1" = 1'-0"



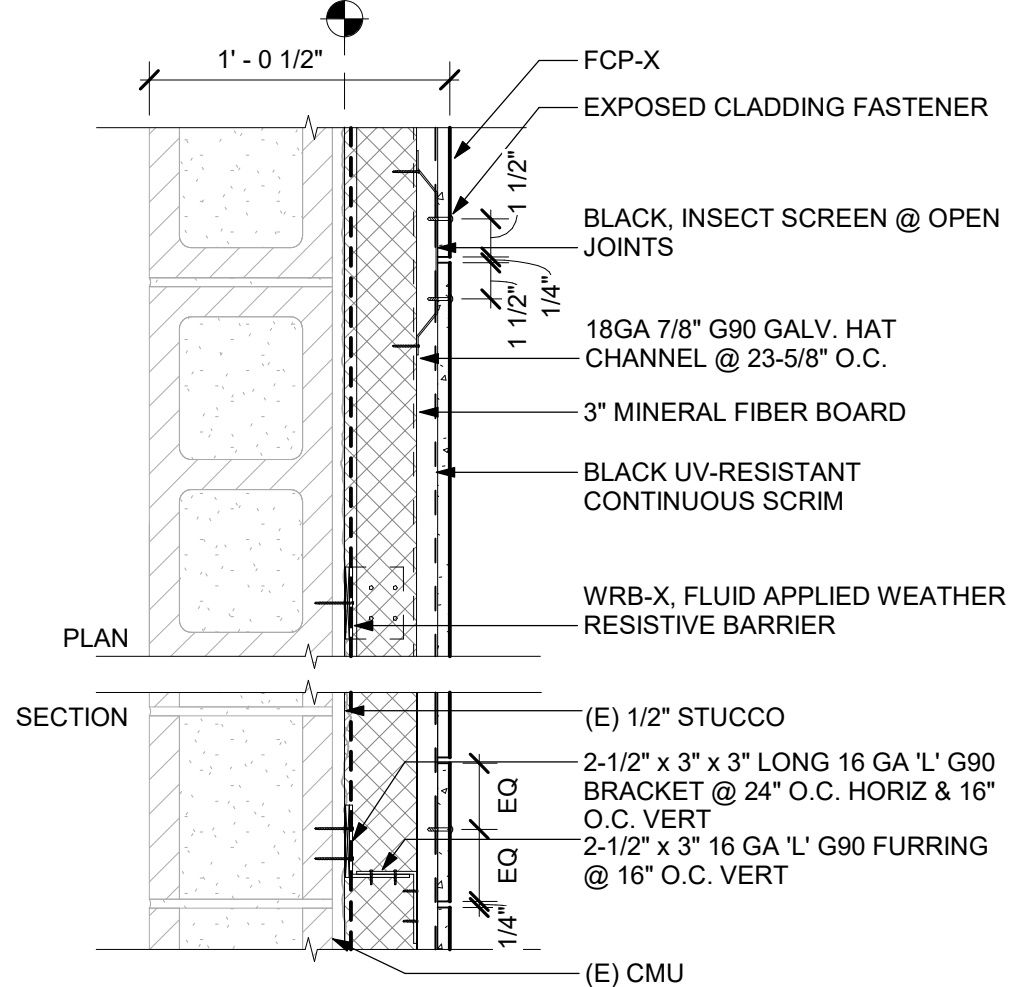
E MCP-X PANEL EDGE - ROUTE & RETURN, TYP
SCALE: 6" = 1'-0"



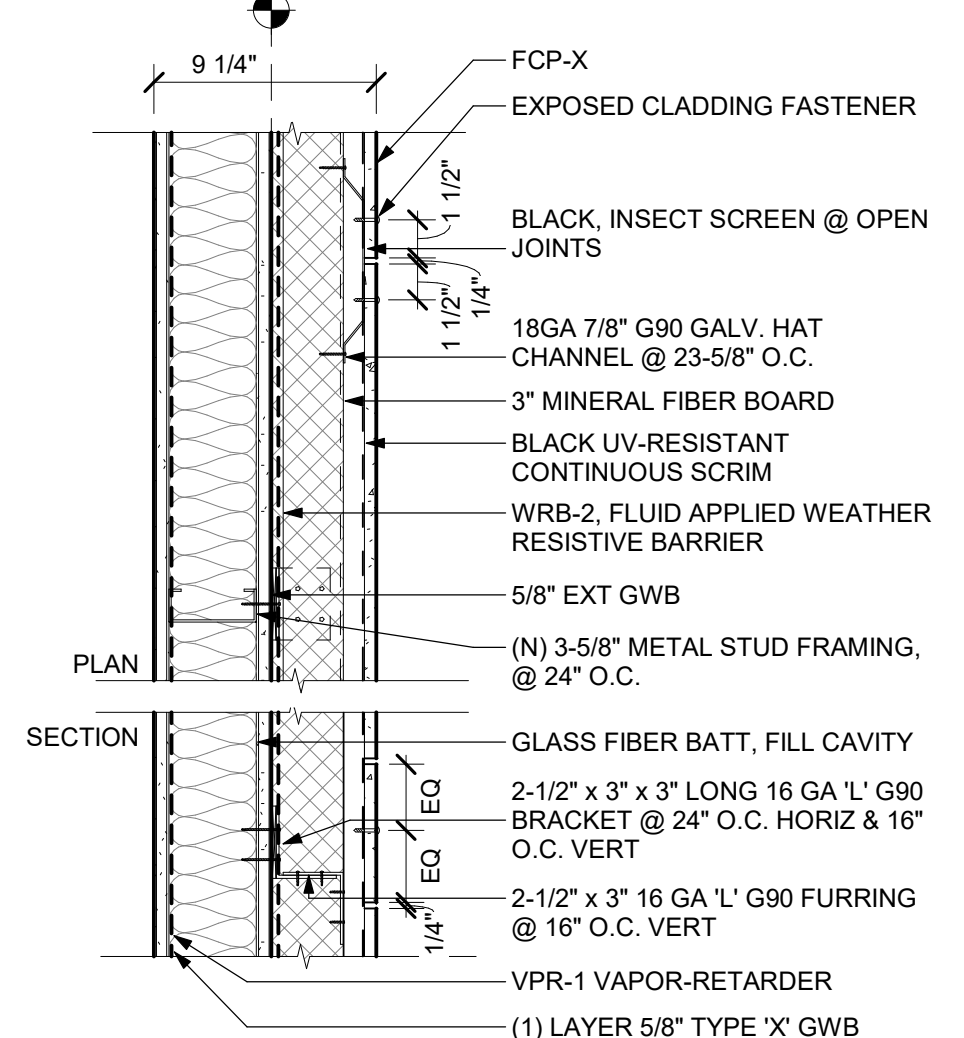
C MCP-X WALL ASSEMBLY @ (N) METAL FRAMING
SCALE: 1 1/2" = 1'-0"



D FCP-X PANEL LAYOUT, TYP
SCALE: 1/2" = 1'-0"



B FCP-X WALL ASSEMBLY @ (E) CMU
SCALE: 1 1/2" = 1'-0"



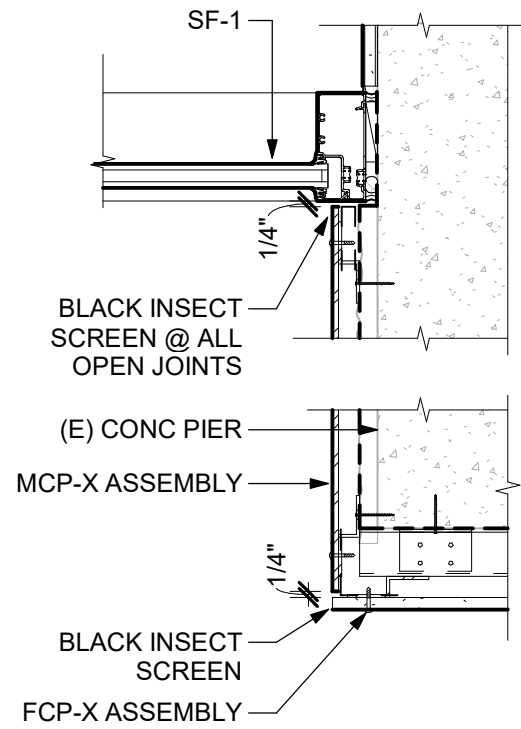
A FCP-X WALL ASSEMBLY @ (N) METAL FRAMING
SCALE: 1 1/2" = 1'-0"



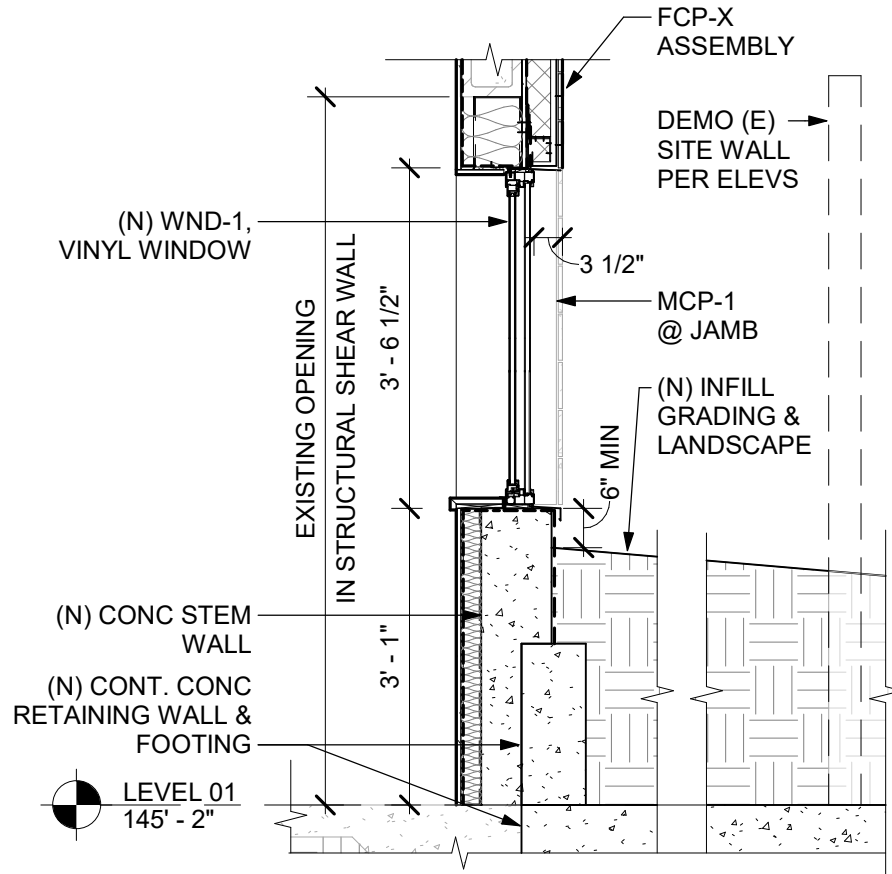
2 RENDERING OF NORTH TERRACE & SF-1 STOREFRONT



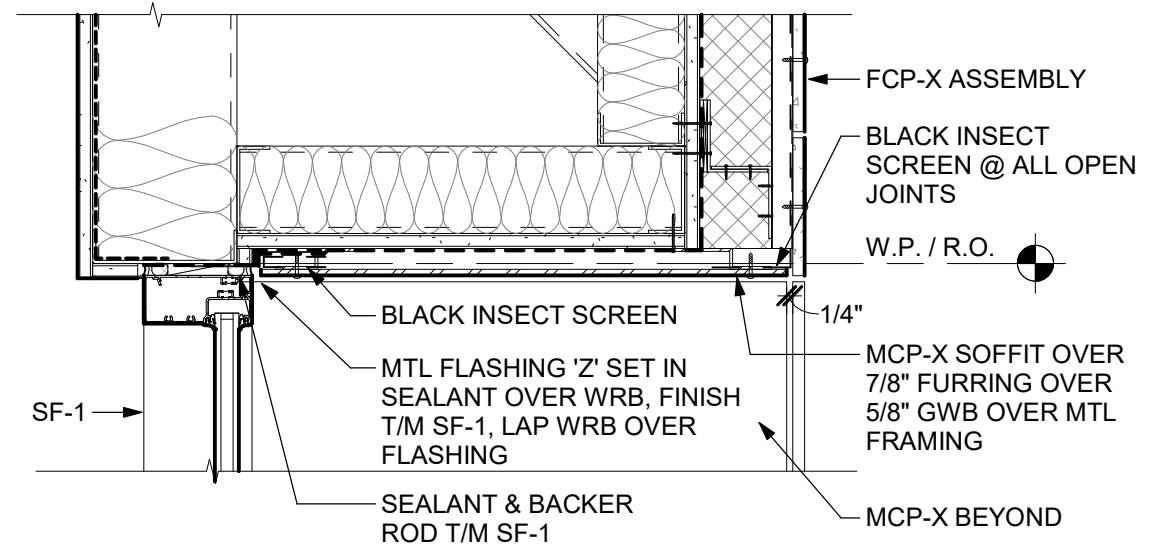
1 RENDERING @ WND-1 OFFICE WINDOW



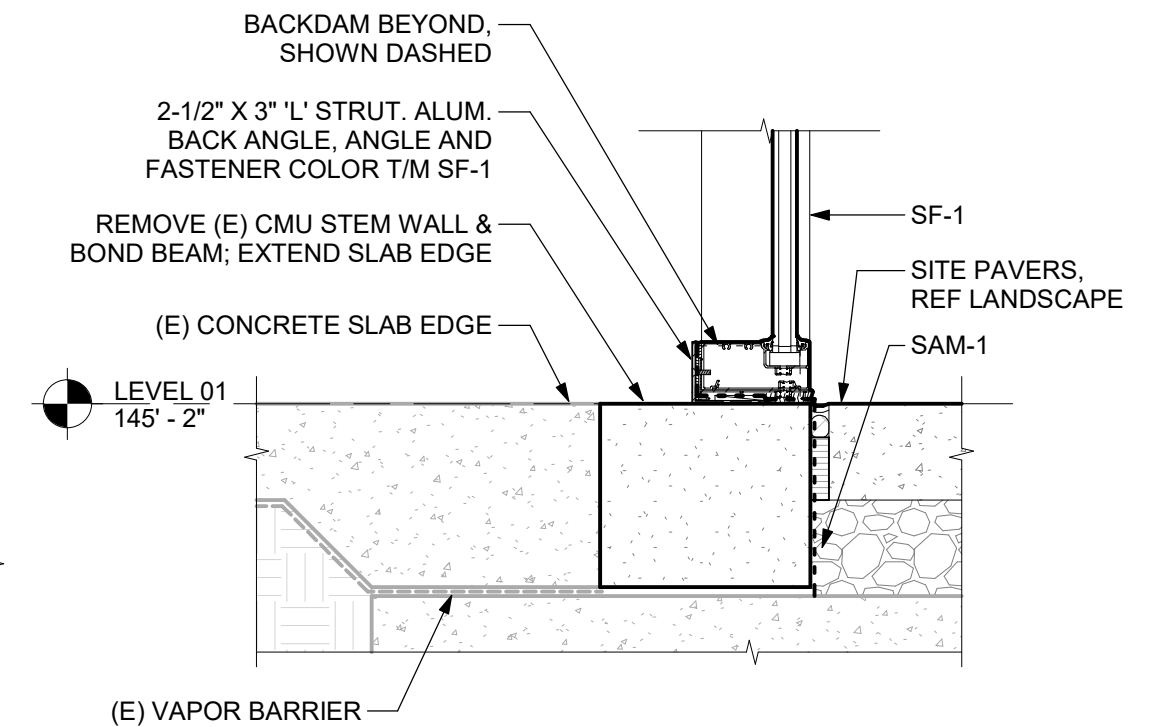
D PLAN DTL @ SF-1 JAMB
SCALE: 1 1/2" = 1'-0"



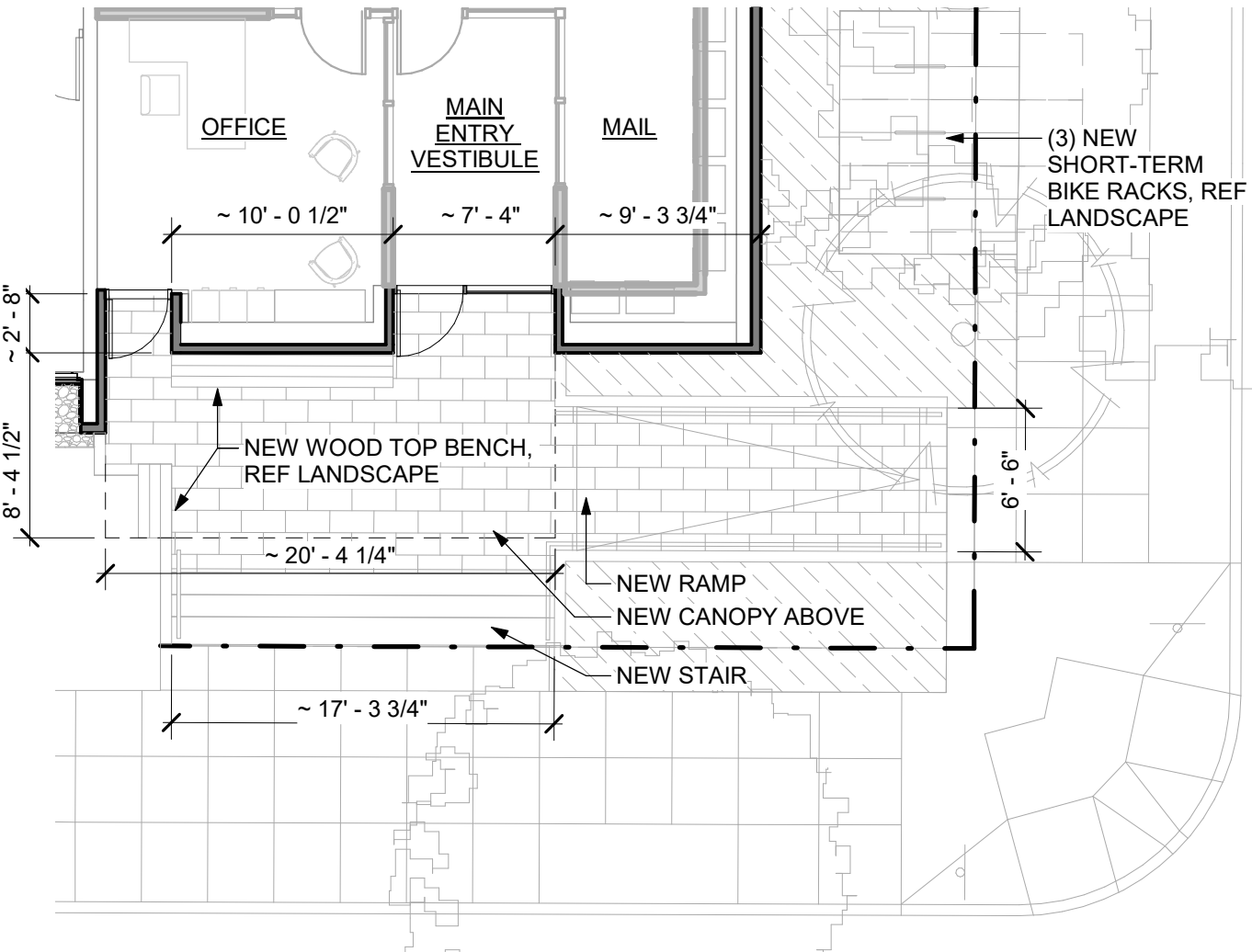
B SECTION DTL @ WND-1 OFFICE
SCALE: 1 1/2" = 1'-0"



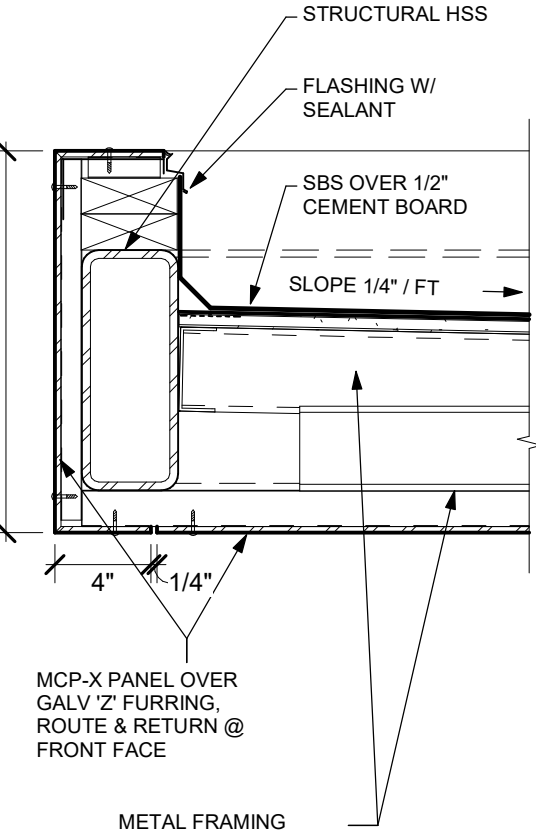
C SECTION DTL @ SF-1 STOREFRONT HEAD
SCALE: 1 1/2" = 1'-0"



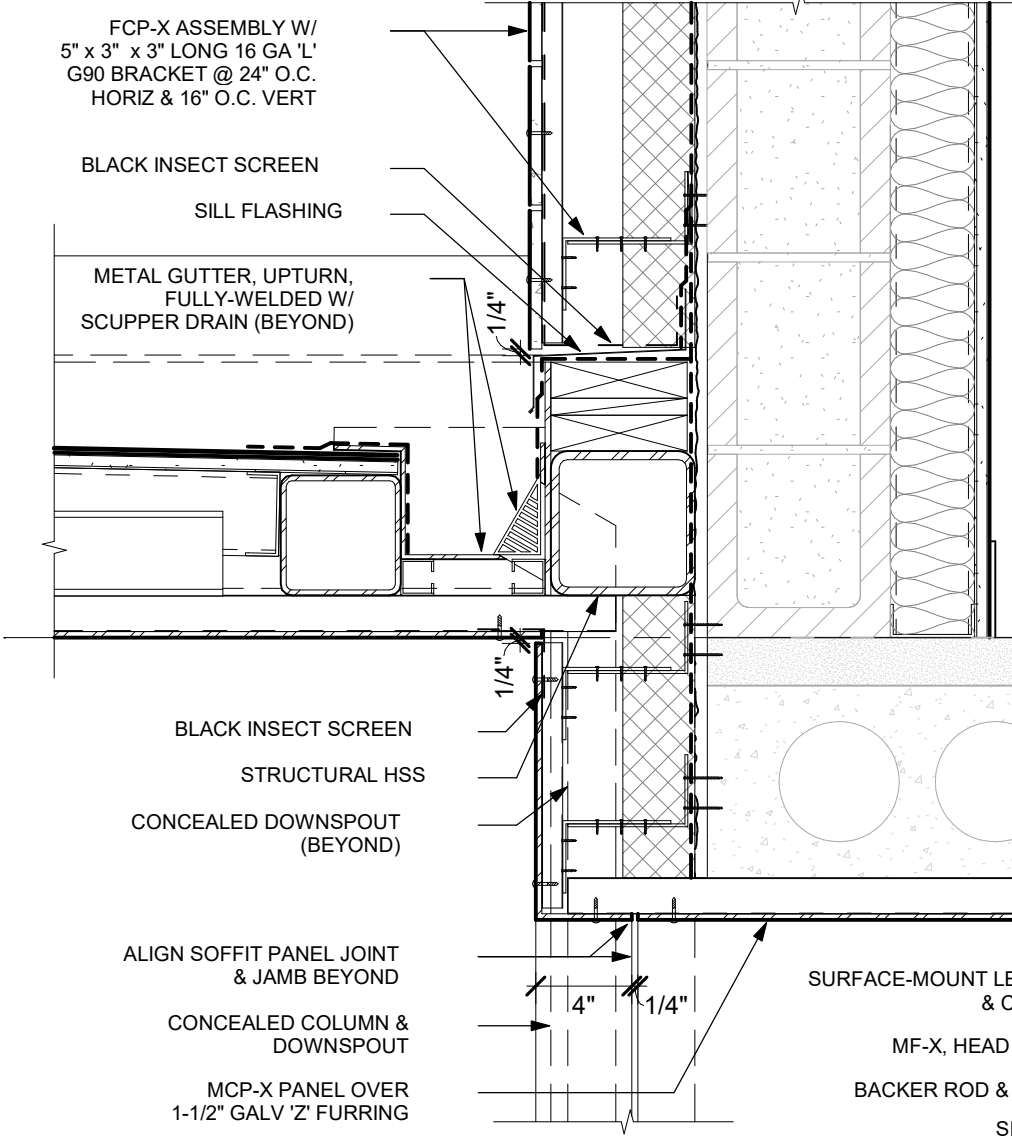
A SECTION DTL @ SF-1 STOREFRONT SILL
SCALE: 1 1/2" = 1'-0"



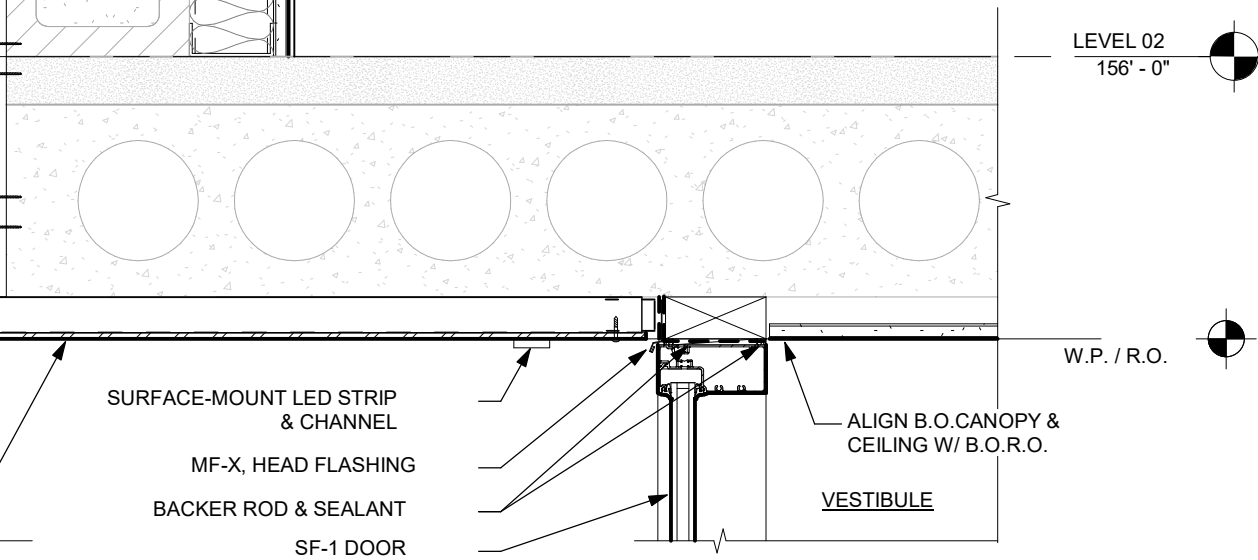
1 MAIN ENTRY RENDERING

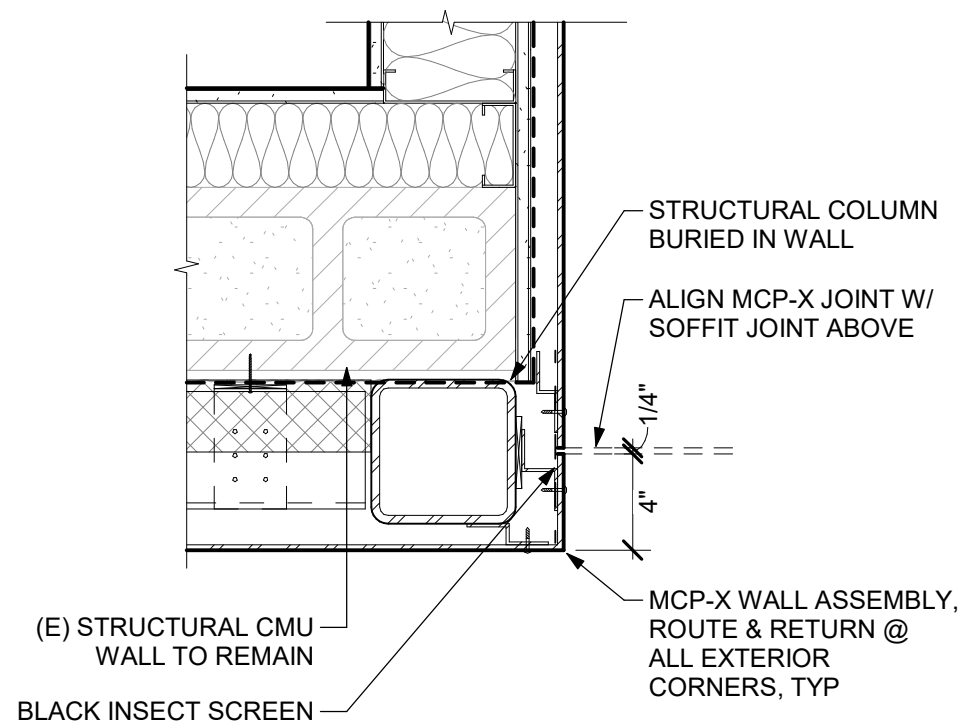


A CANOPY SECTION DETAIL
SCALE: 1-1/2" = 1'-0"

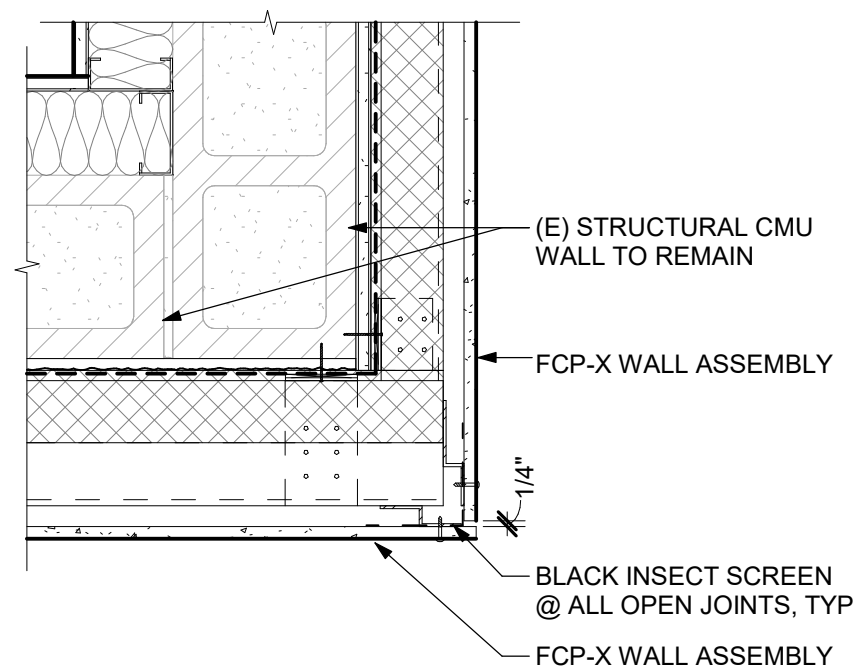


B ENLARGED PLAN MAIN ENTRY
SCALE: 1/8" = 1'-0"

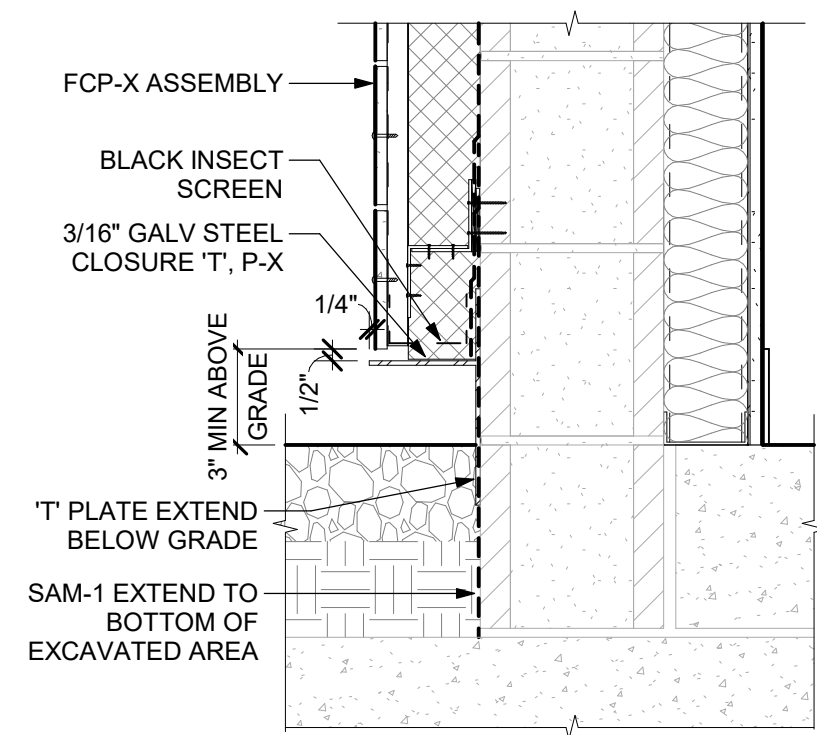




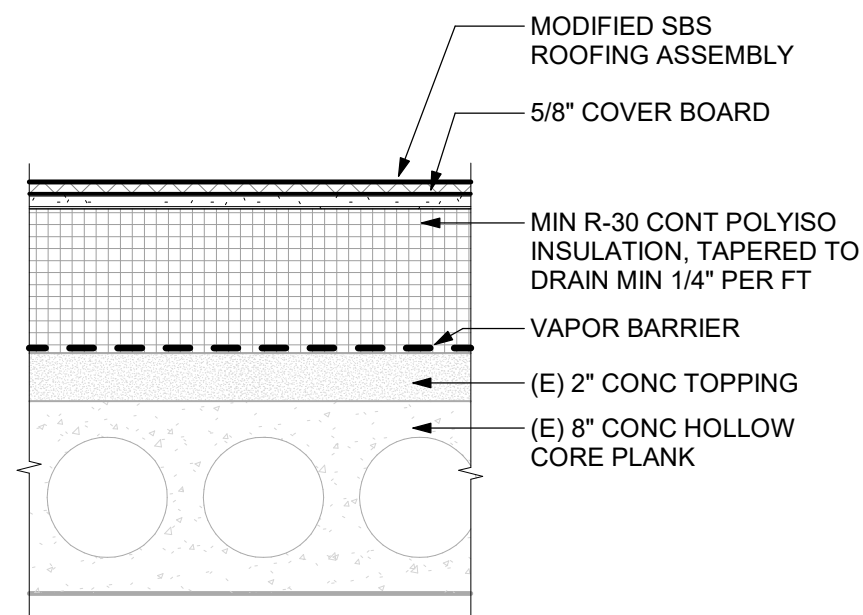
E MCP-X CORNER DETAIL, TYP
SCALE: 1 1/2" = 1'-0"



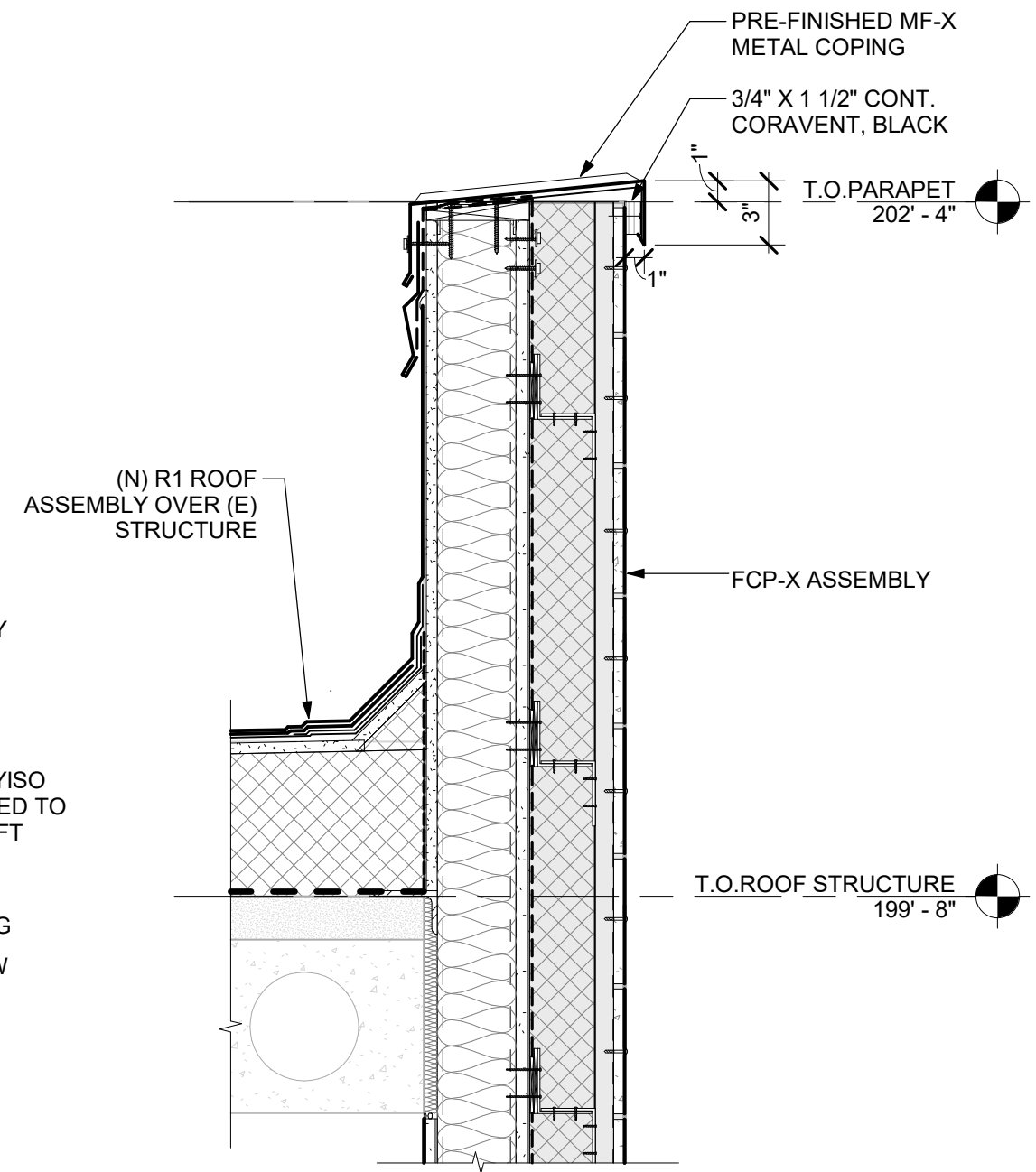
D FCP-X CORNER DETAIL, TYP
SCALE: 1 1/2" = 1'-0"



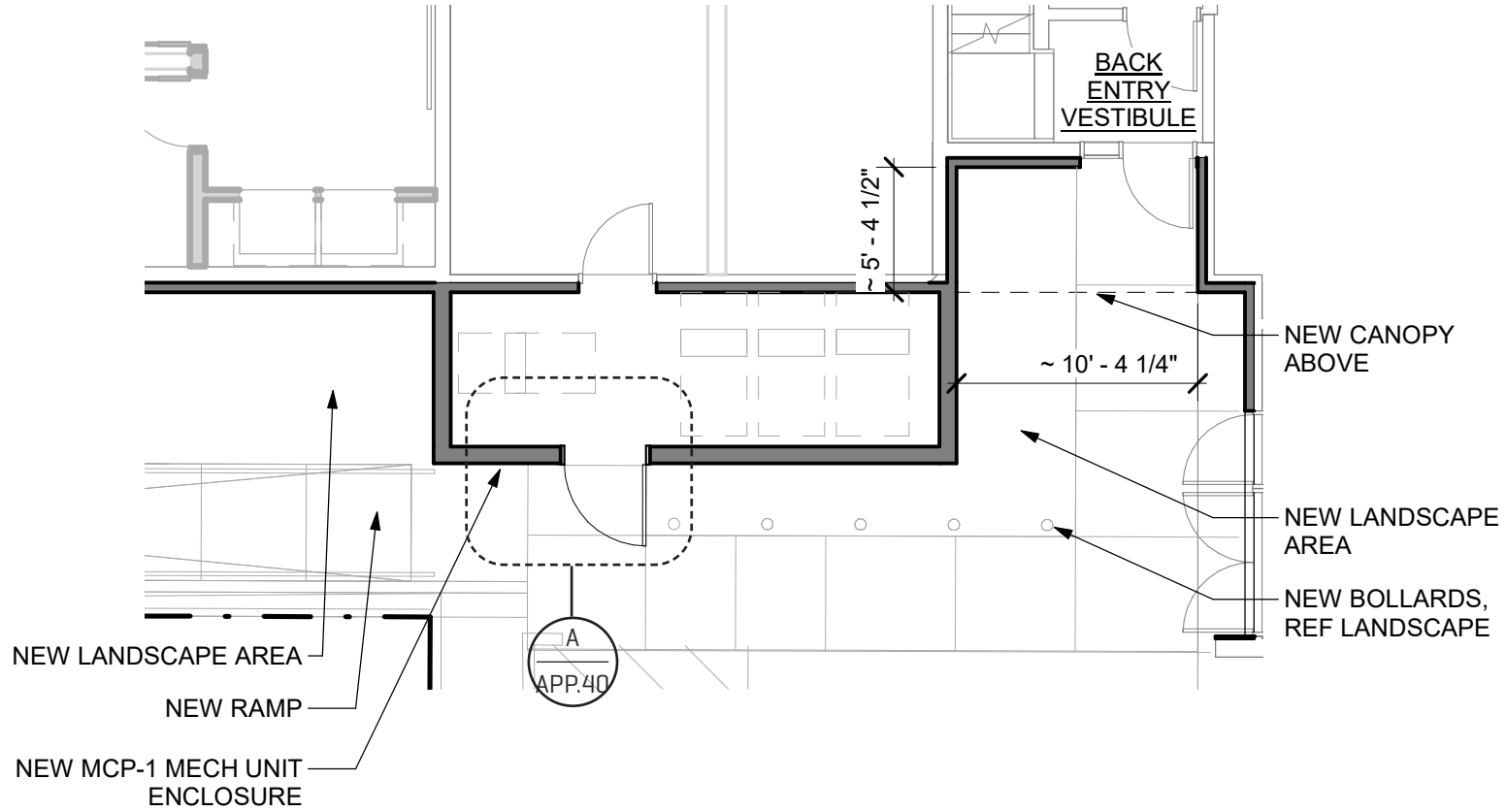
C FCP-X BASE DETAIL, TYP [SIM @ MCP-X]
SCALE: 1 1/2" = 1'-0"



B ROOF ASSEMBLY, TYP
SCALE: 1 1/2" = 1'-0"

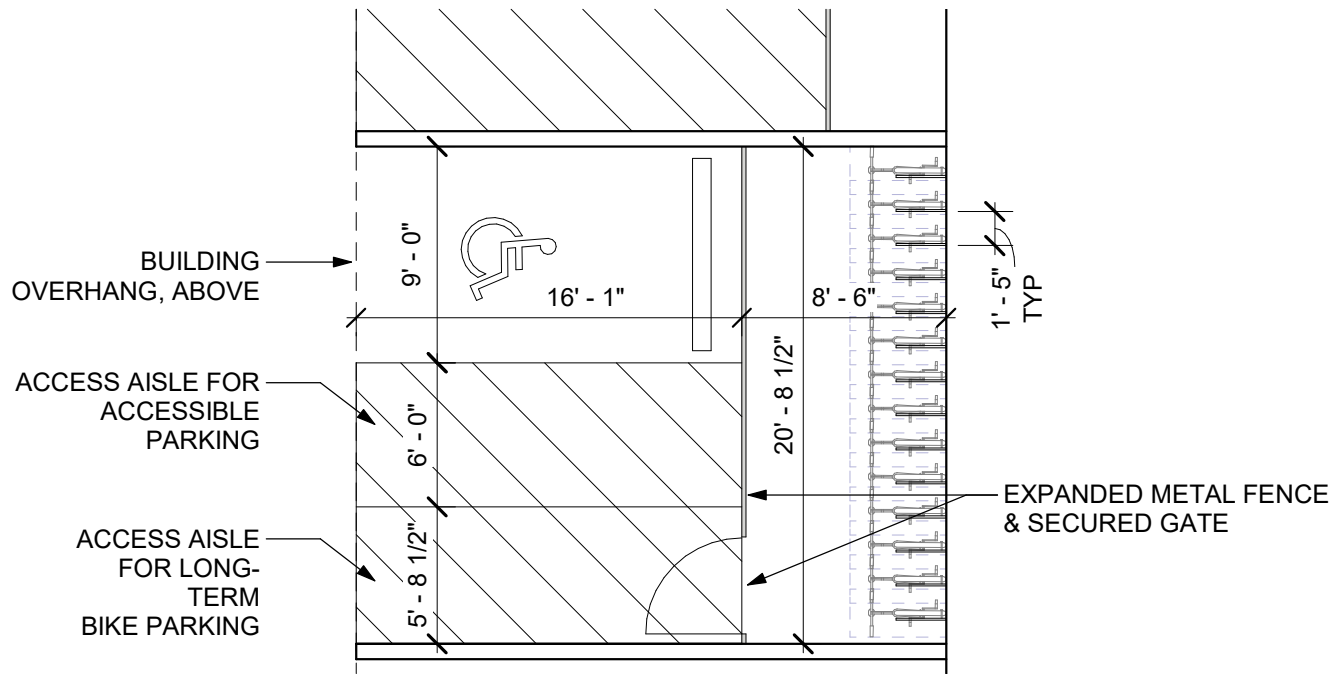


A PARAPET DETAIL @ FCP-X [SIM @ MCP-X]
SCALE: 1 1/2" = 1'-0"

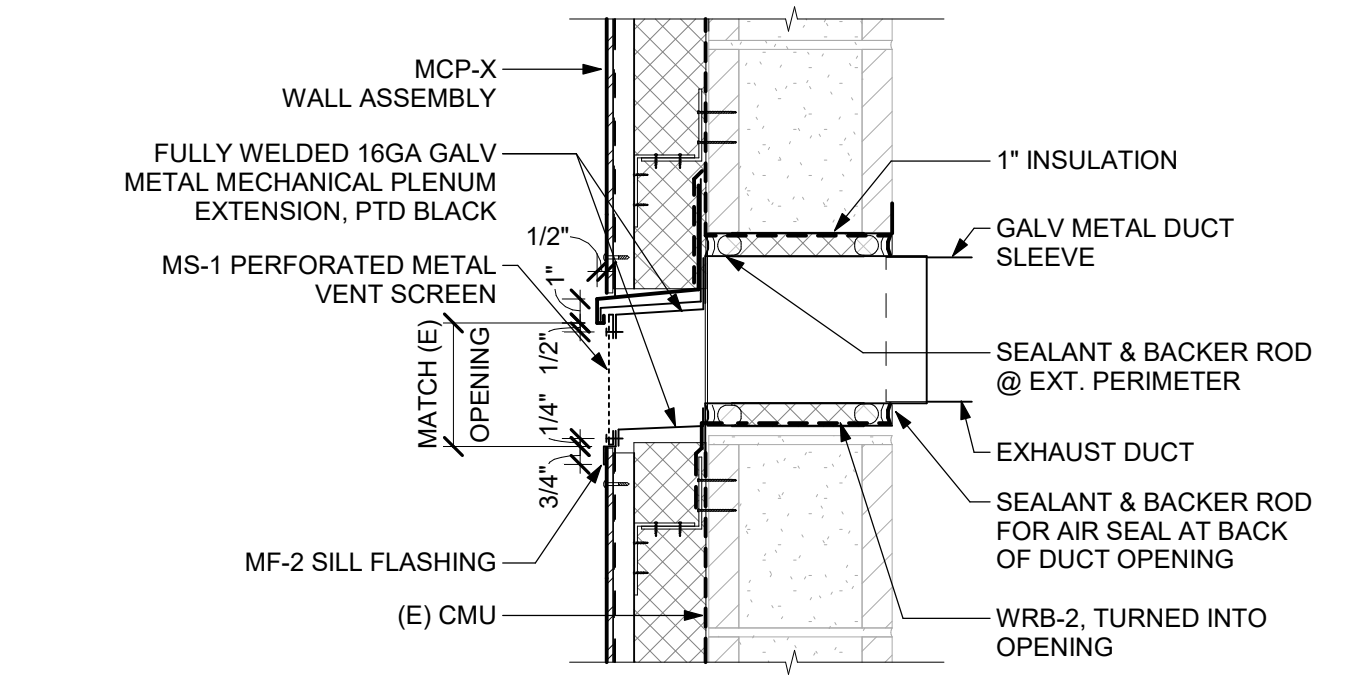


1 BACK ENTRY RENDERING

B ENLARGED PLAN BACK ENTRY
SCALE: 1/8" = 1'-0"



C LONG-TERM BIKE PARKING ENLARGED PLAN
SCALE: 1/8" = 1'-0"



A LOUVRE DETAIL, TYP
SCALE: 1 1/2" = 1'-0"

A

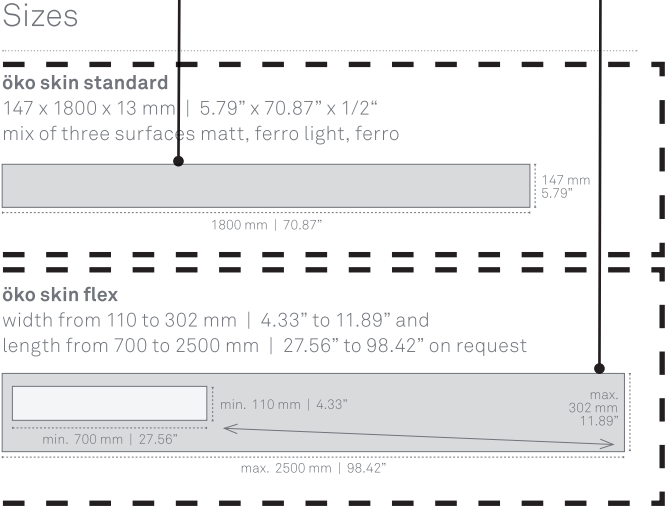
OKO SKIN PANEL, FCP-1,FCP-2
RIEDER



Private residence Toronto | Diamond Schmitt Architects | liquid black, two surfaces, face fastened

AT 1/3 STAGGERED,
HORIZONTAL PATTERN

AT VERTICAL
BANDS

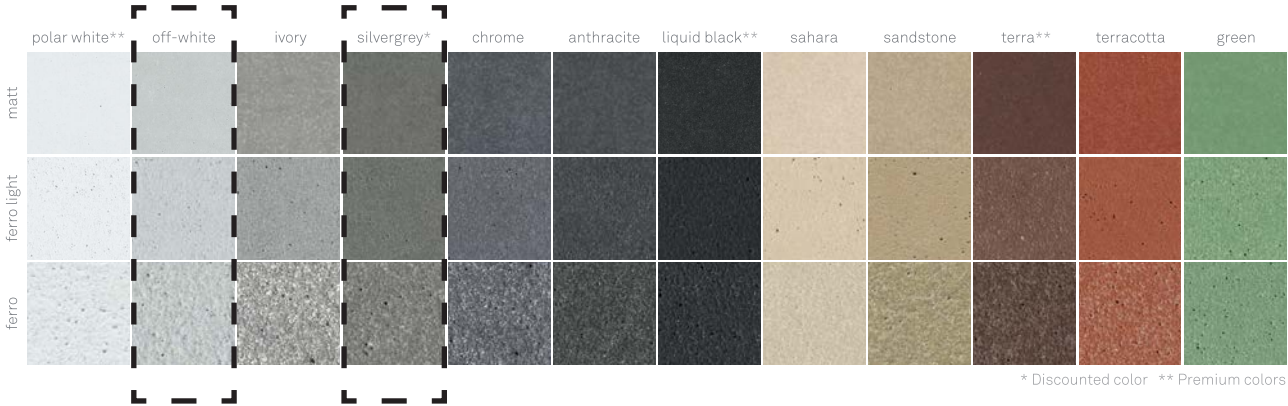


The slats can be cut to size and holes can be drilled by the craftsmen directly on site. Edges don't require sealing after cutting the slats.

Colors and surfaces

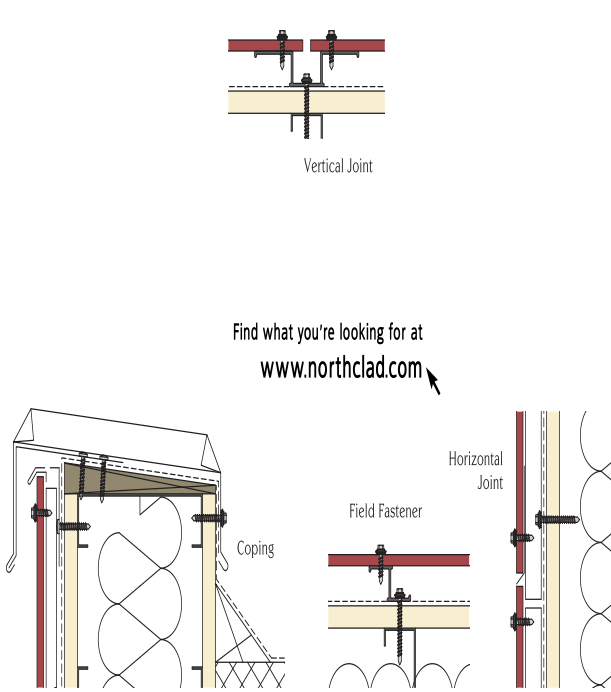
oko skin is through-colored including iron oxide and natural additives. The authentic colors of oko skin fit well in landscapes and blend with nature and the environment. Each palette includes three textures

ferro, ferro light and matt which create a naturally varied and vivid surface. The play of colors within a certain color shade is intentional and enhances the character of concrete.



B

ALUMINUM COMPOSITE METAL PANEL, MCP-1, MCP-2, MCP-3, MCP-4
NORTHCLAD



NorthClad® Rainscreen Solutions
11831 Beverly Park Road, Building C
Everett, WA 98204

Phone: (425) 740-3702
Fax: (425) 485-3503

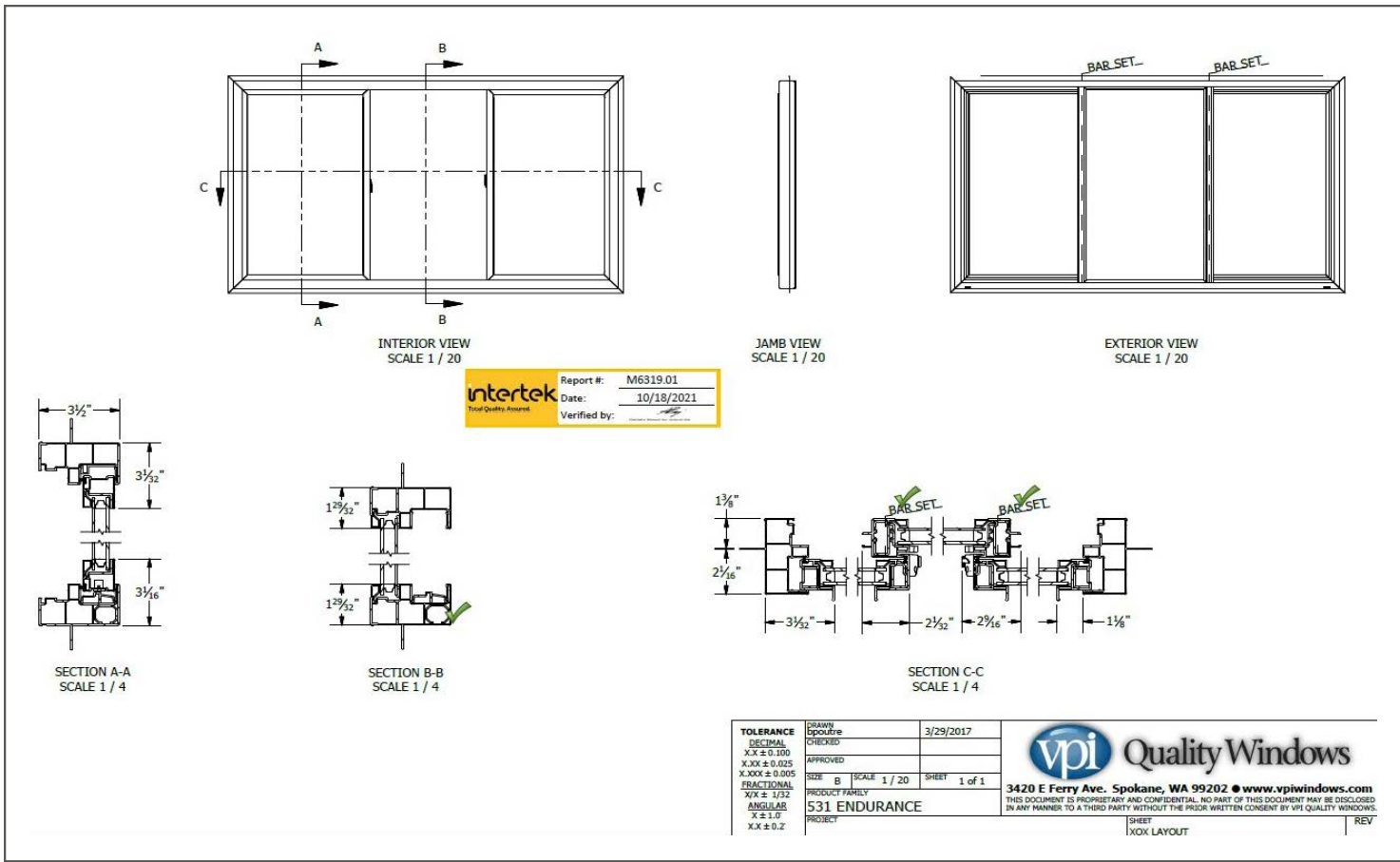
www.northclad.com



Visit www.northclad.com today to review the entire NorthClad® line of products.



VINYL WINDOW, WND-1
VPI WINDOWS



STOREFRONT, SF-1
KAWNEER

12

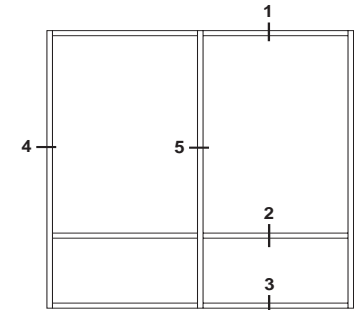
Trifab® VersaGlaze® 451/451T Framing System

FEBRUARY, 2021

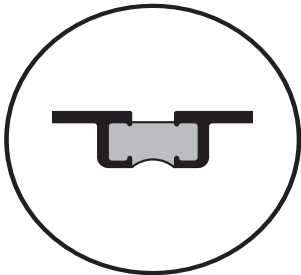
BASIC FRAMING DETAILS (CENTER - Outside Glazed - Stops Down)

EC 97911-243

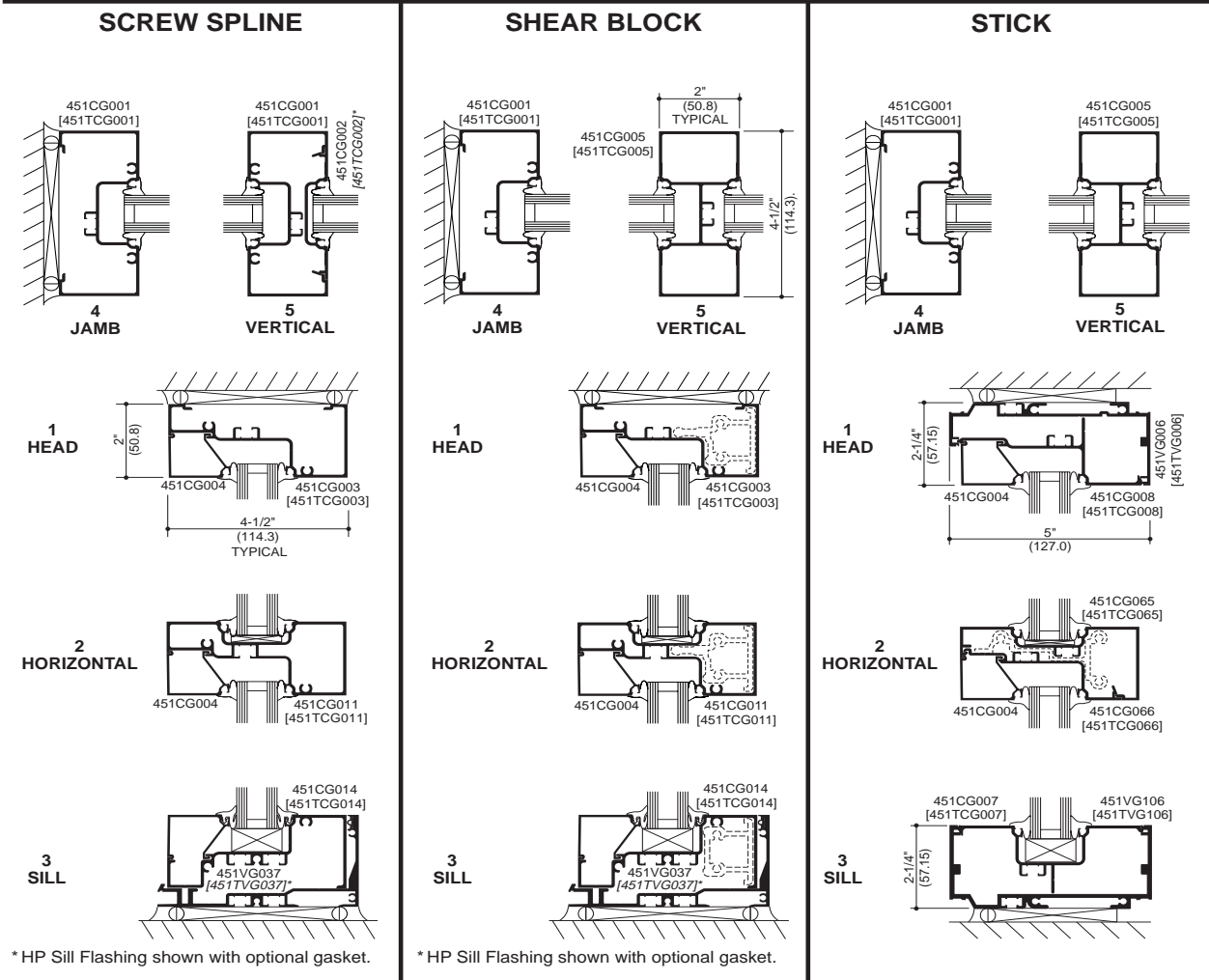
Additional information and CAD details are available at www.kawneer.com



ELEVATION IS NUMBER KEYED TO DETAILS



NUMBERS IN BRACKETS ARE THERMALLY BROKEN MEMBERS



ADMC040EN

kawneer.com

Laws and building and safety codes governing the design and use of Kawneer products, such as glazed entrance, window, and curtain wall products, vary widely. Kawneer does not control the selection of product configurations, operating hardware, or glazing materials, and assumes no responsibility therefor.

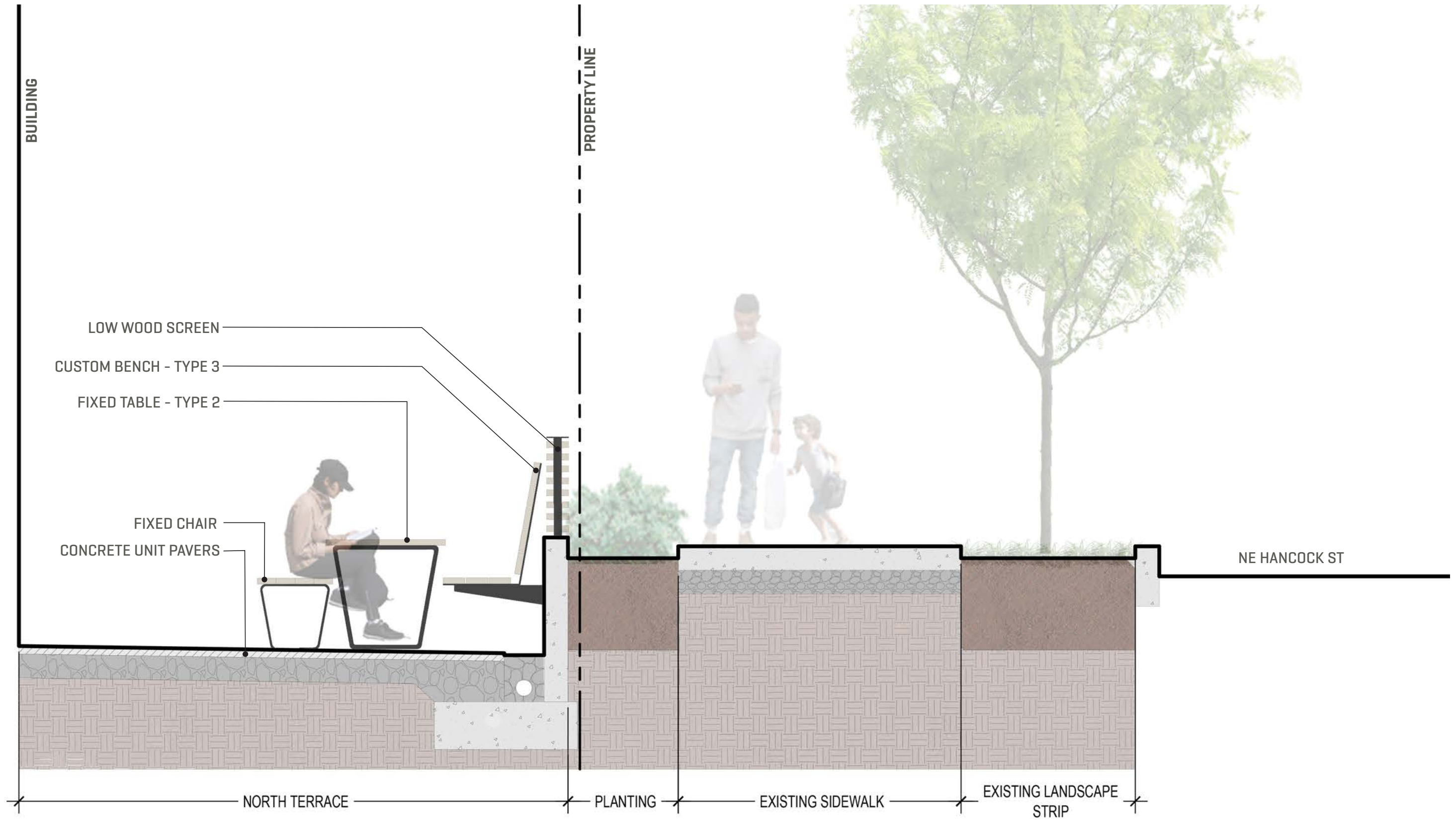
Kawneer reserves the right to change configuration without prior notice when deemed necessary for product improvement.

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LEGEND

- 01 Improved Entry
- 02 North Terrace
- 03 Gated Garden Entry
- 04 Sensory Garden Terrace
- 05 New Paving and Striping, per Civil
- 06 Integrated Seating at Existing Wall
- 07 Bike Parking [3 Racks]
- 08 Utility Enclosure
- 09 Existing Tall Evergreen Screen to Remain
- 10 Long Term Bike Storage [14 Racks]
- 11 Proposed Generator
- 12 Existing Transformer to Remain



REQUIRED LANDSCAPE AREA

[PER TABLE 120-3]

TOTAL SIZE OF SITE (SF): 23,443 SF
MINIMUM LANDSCAPE REQUIRED: 15% [3,516 SF]
LANDSCAPE AREA PROPOSED: 18% [4,221 SF]

LANDSCAPING AND SCREENING: FRONTAGES

TREES SIZES PER LENGTH OF FRONTAGE:
1-LARGE / 30'; 1-MEDIUM / 22'; 1-SMALL / 15';
EXISTING TREE: 64" DBH [10 MEDIUM TREES EQUIVALENT]

NE HANCOCK ST
LENGTH OF FRONTAGE: 140'
REQUIRED PLANTING TYPE: L1 BUFFER, 10' MIN. DEPTH
TREES SIZES PROVIDED: 1 LARGE, 4 MEDIUM, 2 SMALL
FRONTAGE ACCOUNTED FOR: 148'

NE 14TH AVE
LENGTH OF FRONTAGE: 200'
FRONTAGE SCREENING: L1 BUFFER, 10' MIN. DEPTH
TREES SIZES PROVIDED: *5 MEDIUM, 8 SMALL,
FRONTAGE ACCOUNTED FOR: 230'
* 2 EXISTING MEDIUM TREES APPLIED

NE SCHUYLER ST
LENGTH OF FRONTAGE: 100'
FRONTAGE SCREENING: L1 BUFFER, 10' MIN. DEPTH
TREES SIZES PROVIDED: 1 LARGE, *2 MEDIUM, 2 SMALL
FRONTAGE ACCOUNTED FOR: 104'
* 2 EXISTING MEDIUM TREES APPLIED

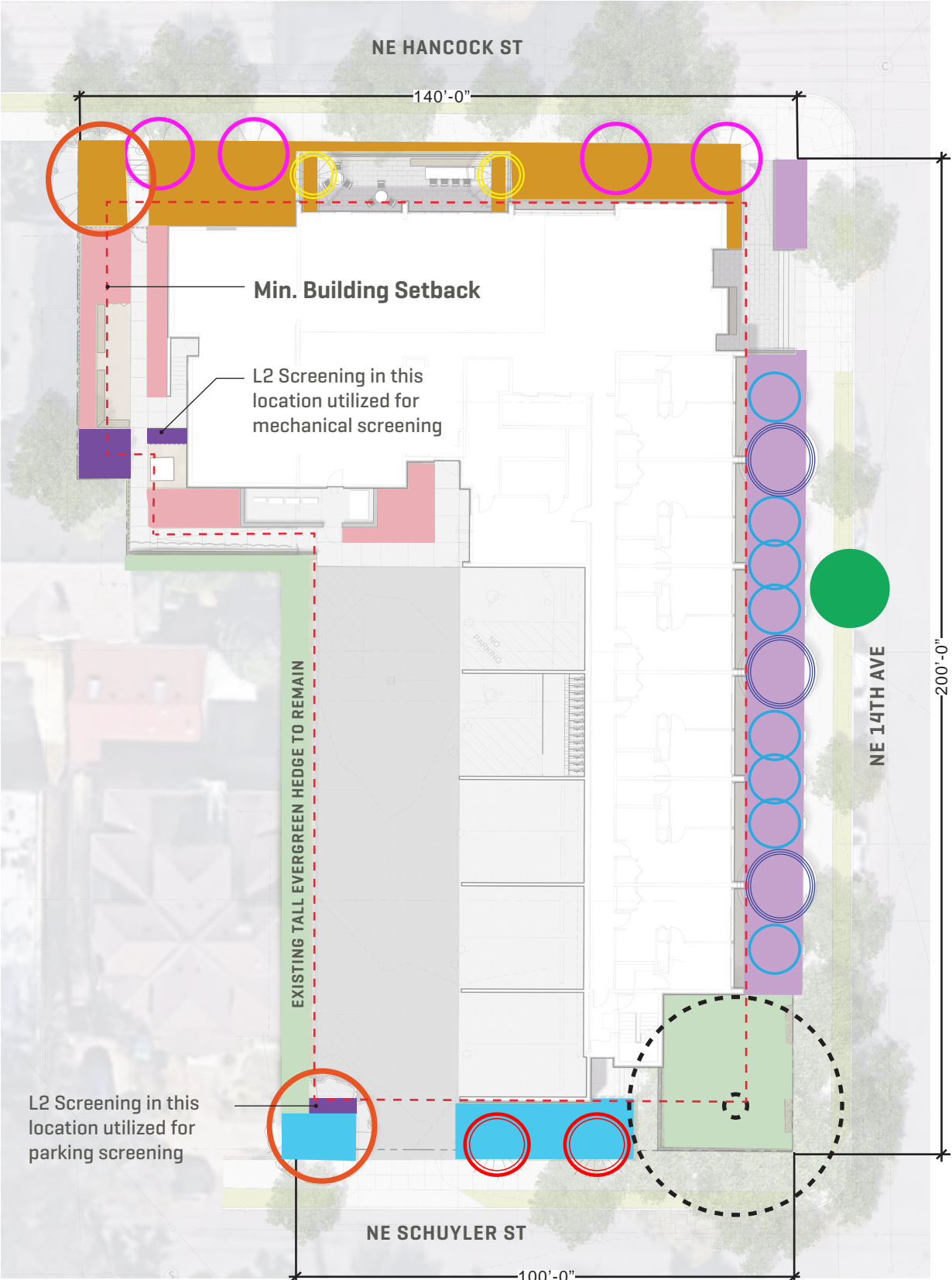
LANDSCAPE IN BUILDING SETBACK

ALL LANDSCAPING WITHIN THE MIN. BUILDING SET BACK IS PLANTED TO MIN. L1-STANDARD EXCEPT FOR AREAS OF PASSIVE RECREATION AND PEDESTRIAN USAGE ALLOWED BY CODE 33.120.235.B.1.b

REQUIRED PARKING LANDSCAPE

P1 PARKING LOT INTERIOR LANDSCAPE
SITE IS EXEMPT FROM P1 REQUIREMENTS
CONSIDERING THERE IS FEWER THAN 10 PARKING SPACES [PER 33.266.G.3.a]

L2 LOW SCREENING
5' DEPTH PROVIDED AT SOUTHWEST CORNER OF PARKING LOT



L2 SCREENING
PLANTING TYPE 1 - NORTH FRONTAGE
PLANTING TYPE 2 - EAST FRONTAGE
PLANTING TYPE 3 - SOUTH FRONTAGE
PLANTING TYPE 4 - SENSORY GARDEN
EXISTING TO REMAIN

Street Tree

On-Site Trees

Pistachia chinesis
[Chinese Pistache]
2.5" Caliper

Cladrastis kentukea
[Yellow Wood]

Cercis canadensis
[Eastern Redbud]

Lagerstroemia x 'natchez'
[Natchez Crape myrtle]

Rhamnus purshiana
[Cascara Tree]

Cercidiphyllum japonicum
[Katsura Tree]

Magnolia Kobus
[Kobus Magnolia]

Existing To Remain

ON-SITE TREE DENSITY CHART

PROPOSED ON-SITE TREES: (300 SF/SMALL TREE, 500 SF/MED. TREE, 1,000 SF/LG. TREE)
EXISTING TREES: TREES THAT ARE 6 INCHES OR LARGER IN DIAMETER COUNT AS ONE MEDIUM CANOPY SIZE TREE FOR EACH FULL INCREMENT OF 6 DIAMETER INCHES.

SYM.	BOTANICAL NAME COMMON NAME	DBH	SIZE	QTY	CANOPY FACTOR	AREA
X1	TILIA CORDATA LITTLE LEAF LINDEN	64	MED.	10	500	5000 SF
CK	CLADRASTIS KENTUKEA AMERICAN YELLOWWOOD	1.5	LG.	2	1000	2000 SF
CC	CERCIS CANADENSIS EASTERN REDBUD	1.5	SMALL	3	300	900 SF
LN	LAGERSTROEMIA X 'NATCHEZ' CRAPE MYRTLE	1.5	SMALL	8	300	2400 SF
RP	RHAMNUS PURSHIANA CASCARA TREE	1.5	SMALL	2	300	600 SF
CJ	CERCIDIPHYLLUM JAPONICUM KATSURA TREE	1.5	SMALL	2	300	600 SF
MK	MAGNOLIA KOBUS KOBUS MAGNOLIA	1.5	MED.	4	500	2000 SF

TOTAL SITE AREA = 23,522 SF
TOTAL DENSITY REQUIRED FOR SITE (20% OF TOTAL SITE) = 10,703 SF
TOTAL TREE AREA PROPOSED = 13,500 SF, EXCEEDS STANDARD

PLANTING TYPE 1
NORTH FRONTAGE



Rhododendron x 'Cunningham's'
[Cunningham's White Rhododendron]



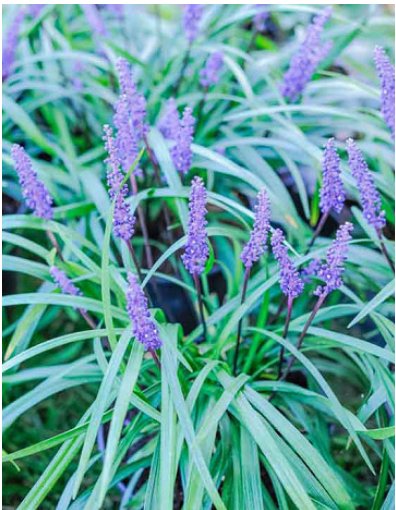
Ilex Crenata 'Compacta'
[Compact Japanese Holly]



Astilbe x arendsii 'Snowdrift'
[False Spirea]



Polystichum munitum
[Western Sword Fern]



Liriope Muscari
[Royal Purple Lily Turf]

PLANTING TYPE 2
EAST FRONTAGE



Lonicera pileata
[Privet Honeysuckle]



Ilex Glabra 'Shamrock'
[Compact Inkberry]



Viburnum davidii
[Davids Viburnum]



Anemone x hybrida
[Honorine Jobert Anemone]



Carex Oshimensis 'Everillo'
[Everillo Sedge]



Liriope Muscari
[Royal Purple Lily Turf]

PLANTING TYPE 3
SOUTH FRONTAGE



Viburnum davidii
[Davids Viburnum]



Liriope Muscari
[Royal Purple Lily Turf]



Viburnum davidii
[Davids Viburnum]



Liriope Muscari
[Royal Purple Lily Turf]



Arbutus unedo 'Compacta'
[Dwarf Strawberry Madrone]



Echinacea purpurea 'magnus'
[Magnus Coneflower]



Deschampsia cespitosa
[Tufted Hair Grass]



Lavendula hidcote
[English Lavender]



Sarccoccoca confusa
[Sweet Box]



Carex oshimensis 'Everillo'
[Everillo Sedge]



Anemone x hybrida
[Honorine Jobert Anemone]



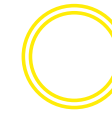
Lagerstroemia x 'Natchez'
[Natchez Crape]



Cercis canadensis
[Eastern Redbud]



Rhamnus purshiana
[Cascara Tree]



Magnolia Kobus
[Kobus Magnolia]



Cladrastis kentukea
[Yellowwood Tree]

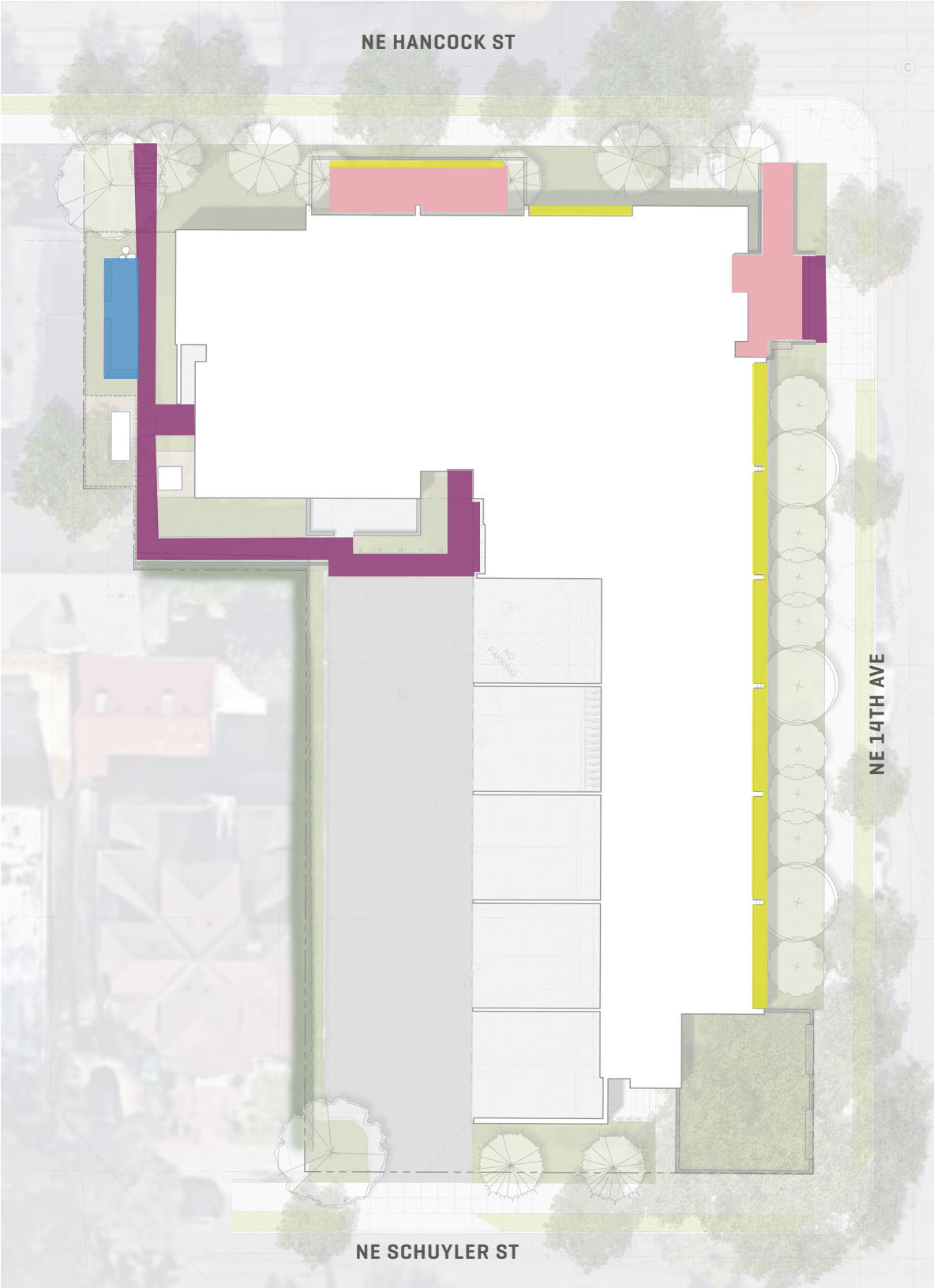


Pistachia chinensis
[Pistache Tree]



Cercidiphyllum japonicum
[Katsura Tree]



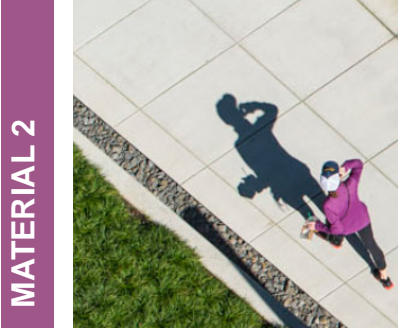


SCALE: 1" = 30' - 0"

SITE MATERIALS



Concrete Unit Pavers
Pre-Cast Pavers 12" x 24"



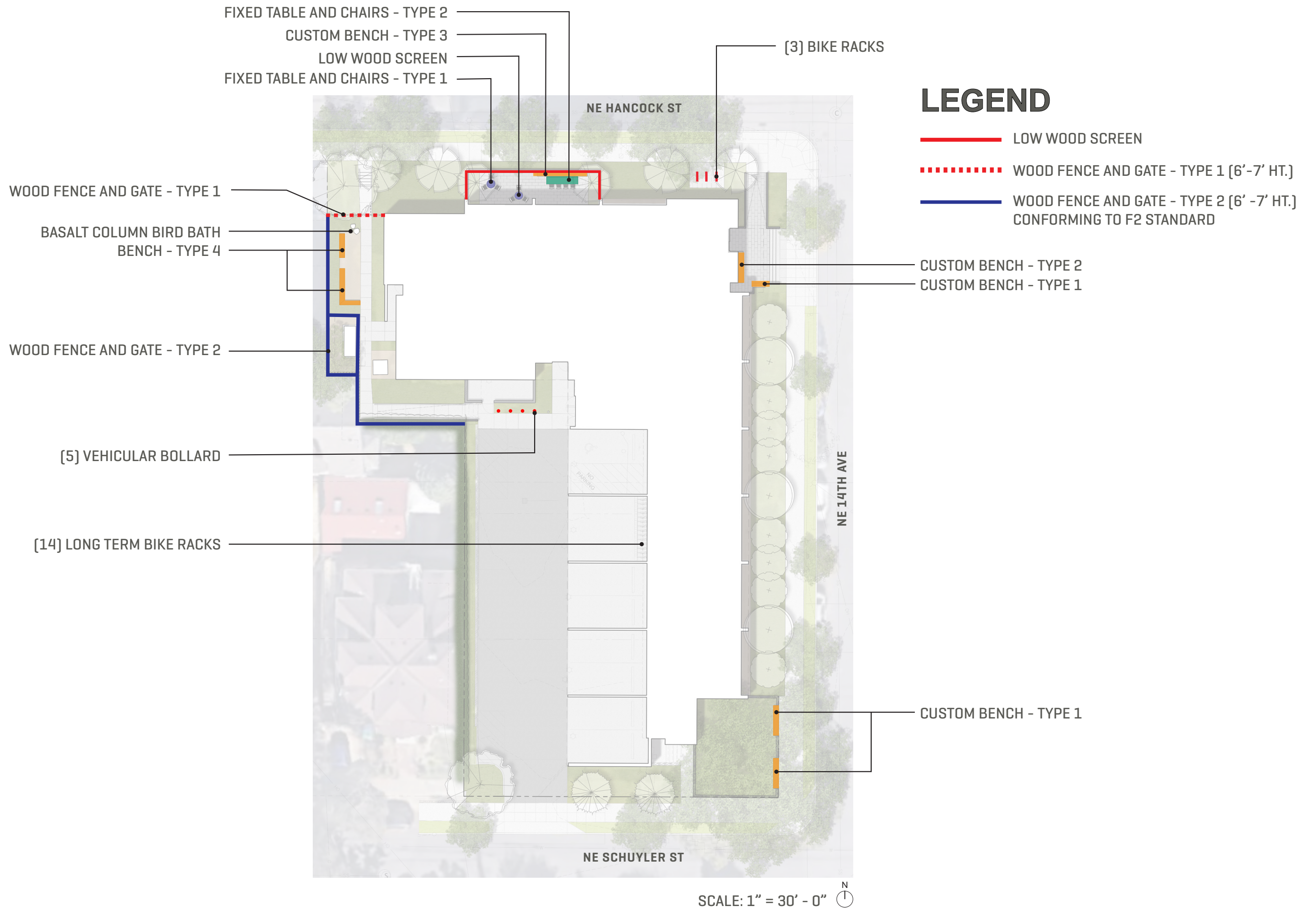
Concrete Paving
Light Broom Finish



Crushed Stone Paving
Stabilized 1/4" minus basalt



Drainage Strip
Decorative River Rock





Custom Bench - Type 1
Custom Fabrication - Conceptual Visualization



Custom Bench - Type 3
Custom Fabrication - Conceptual Visualization



Custom Bench - Type 2
Custom Fabrication - Conceptual Visualization



Custom Bench - Type 4
Custom Fabrication - Conceptual Visualization



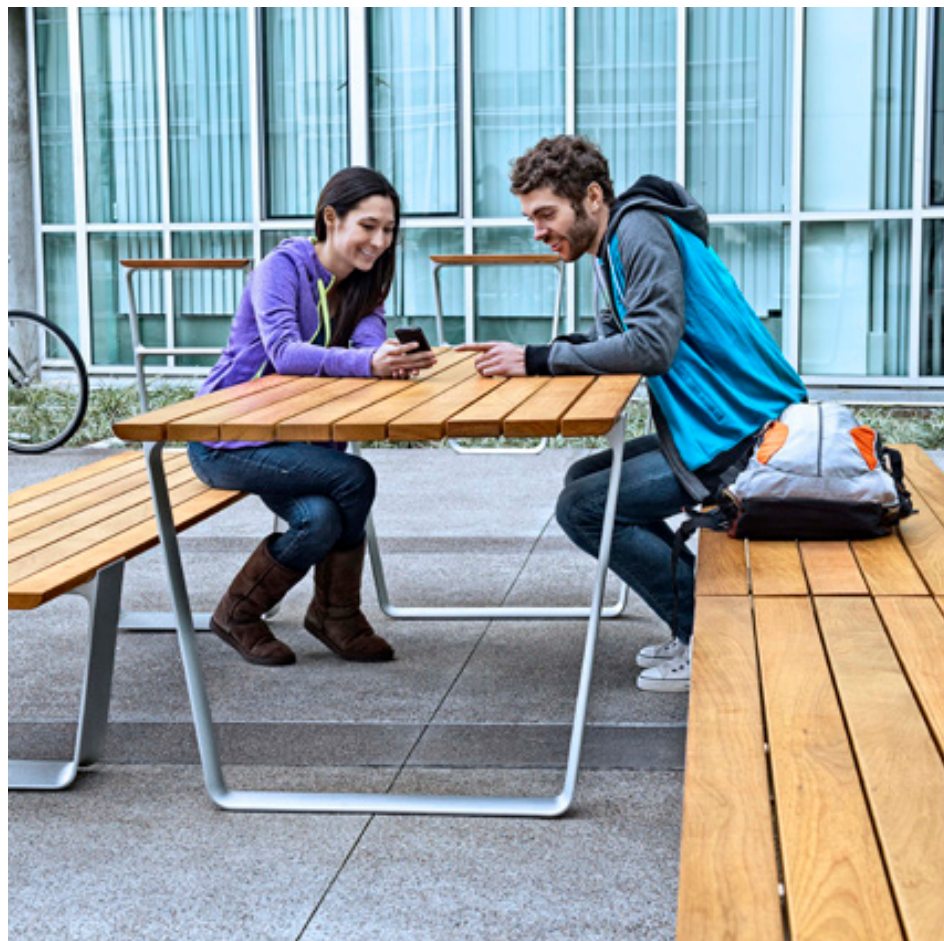
Bird Baths

Basalt Column - Conceptual Imagery



Vehicular Bollards

Forms and Surface - Helio Bollard



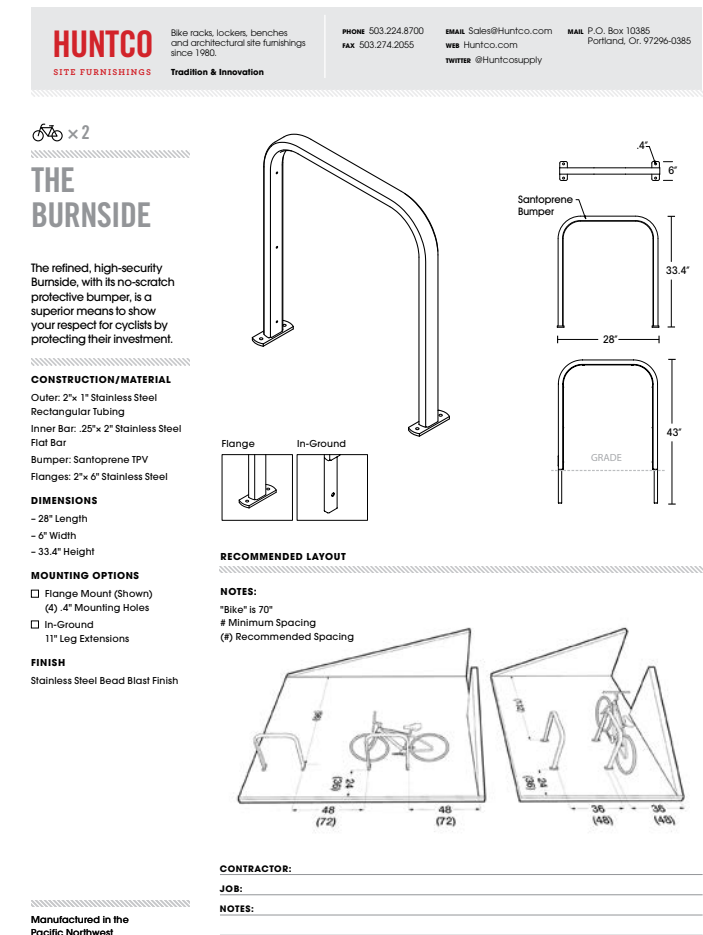
Fixed Table and Chair - Type 2

Conceptual Imagery



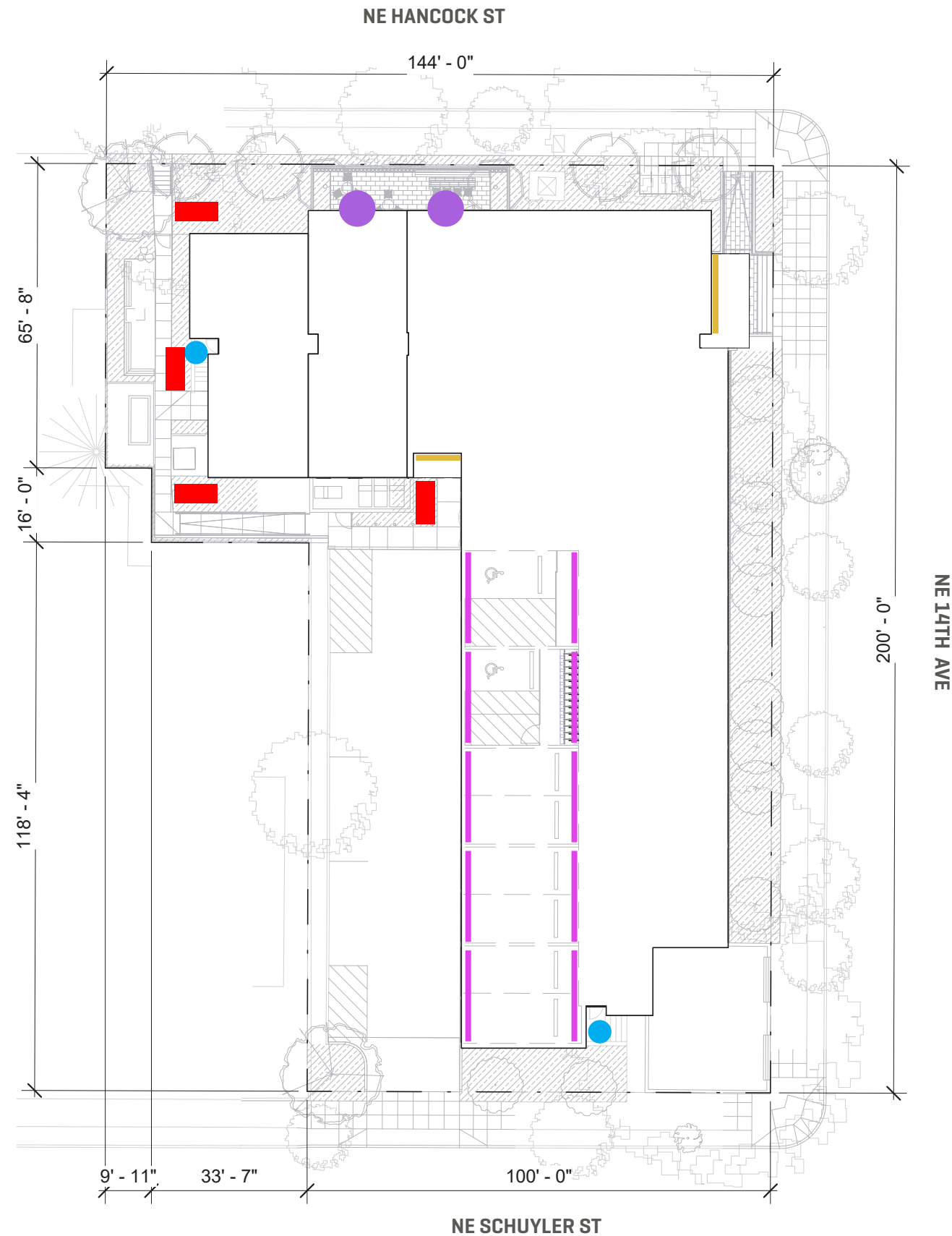
Fixed Tables and Chairs - Type 1

Conceptual Imagery

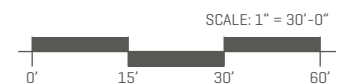


Bike Rack

Huntco - Burnside Bike Rack



- 1**  **BEGA, 77237**
GARDEN AND PATHWAY BOLLARD 
- 2**  **INFINA, DL-AC-FLEX**
FLEXIBLE LED LINEAR STRIP
[UNDERSIDE OF PARKING SOFFIT] 
- 3**  **LITHONIA, WDGE1 LED**
EXTERIOR SCNCE 
- 4**  **LITHONIA LIGHTING, LDN6**
6" OPEN AND WALLWASH LED,
NEW CONSTRUCTION
DOWNLIGHT 
- 5**  **NULITE REGOLO RXT-R**
SURFACE MOUNT WITH FLUSH LENS
[UNDERSIDE OF CANOPIES]



BEGA, 77237
GARDEN AND PATHWAY BOLLARD

LED garden and pathway bollard

Post construction: One piece extruded aluminum. All aluminum in the construction is marine grade and copper free.

Lamp Enclosure: One piece die cast aluminum housing attached to post by two (2) stainless steel set screws. Matte safety glass lens. Fully gasketed using a one piece molded silicone gasket.

Electrical: 2.1W LED luminaire, 3.4 total system watts, -30°C start temperature. Integral 12V AC driver provided must be operated using remote magnetic transformer. Standard LED color temperature is 3000K with a >90 CRI.

Note: LEDs supplied with luminaire. Due to the dynamic nature of LED technology, LED luminaire data on this sheet is subject to change at the discretion of BEGA-US. For the most current technical data, please refer to www.bega-us.com.

Anchor base: Anchor post provided made of galvanized steel. Bollards are secured to post using two (2) stainless steel set screws.

Finish: Available in four standard BEGA colors: Black (BLK); White (WHT); Bronze (BRZ); Silver (SLV). To specify, add appropriate suffix to catalog number. Custom colors supplied on special order.

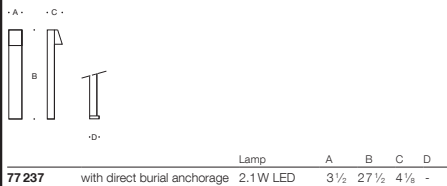
Please note: BEGA's approach to product design is to innovate, not follow. With a steadfast commitment to quality, each product is conceived to satisfy a general or specific lighting task as defined by its architectural or exterior surroundings. The Home and Garden Collection is designed specifically for use in Residential and Light Commercial applications. Please reference our standard BEGA portfolio when mounting provisions for the rigorous demands of high-use commercial and/or vandal prone settings are required.

CSA certified to U.S. and Canadian standards, suitable for wet locations. Protection class IP65

Weight: 6.3 lbs.

Luminaire Lumens: 136

Type:
BEGA Product:
Project:
Voltage:
Color:
Options:
Modified:



	Lamp	A	B	C	D
77237	with direct burial anchorage 2.1W LED	3 1/2	27 1/2	4 1/8	-

BEGA 1000 BEGA Way, Carpinteria, CA 93013 (805) 684-0533 FAX (805) 566-9474 www.bega-us.com
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INFINA, DL-AC-FLEX
FLEXIBLE LED LINEAR STRIP



DL-AC-FLEX
INFINA® LED FLEXIBLE LINEAR
AC FLEXIBLE LINEAR STRIP
PATENT NO.: 9,671,075
PATENT NO.: 9,746,144

Type	
Project	
Catalog No.	



DESCRIPTION

INFINA® is the next generation of high lumen output, specification grade, flexible lighting system that incorporates JESCO's exclusive, patented, constant current, Driverless AC LED technology** which operates directly off of line voltage - no additional power source required and no drivers to hide. With a run length of 150', the product can be dimmed with an ELV dimmer***. The product is mounted either in a channel or with snap-in mounting clips. INFINA® is designed for dry, damp and wet locations. The LEDs are imbedded within a patented, flexible, optically clear thermoplastic jacket. For easy installation, JESCO offers a full complement of connectors.

FEATURES

- Provides up to 555 lm from 4.95W with an efficacy of 112 lm/W
- Patented constant current IC's provide uniform intensity over the entire run
- 3 Step Mac Adam LEDs
- JESCO's exclusive Driverless AC LED** technology incorporated within our patented, flexible, optically clear thermoplastic jacket provides for true 50,000 hours of operation with 70% lumen maintenance
- Line voltage - No power supplies to hide
- Run length of 150 feet (4" increments)
- Rated for Indoor and Outdoor applications
- High CRI of 80+
- Available in 2400K, 2700K, 3000K, 3500K, 4000K, 5000K.*
- Multiple mounting options available

SERIES	COLOR	
DL-AC-FLEX		+ Input Termination Options: Indoor Hard Wire Pg. 2 Outdoor Hard Wire Pg. 3 Indoor Plug & Play Pg. 4 Outdoor Plug & Play Pg. 5
	24 - 2400K	
	27 - 2700K	
	40 - 4000K	
	50 - 5000K	

EXAMPLE: DL-AC-FLEX-40

For 3000K and 3500K please check DL-AC-FLEX2-UT series

PER UL AND ETL SAFETY STANDARDS,
ALL AC LED STRIPS ARE NOT FIELD
CUTTABLE.

Field cutting will result in voiding the product
warranty, possible electrical shock and
damaging of the product.

Factory custom cut in precise 4" increments.
Product is assembled to order and shipped ready
for installation.

♦ A 5 YEAR LIMITED WARRANTY for applications that necessitate up to 16 consecutive operational hours per 24 hour period.
A 2 YEAR LIMITED WARRANTY for applications that necessitate more than 16 consecutive operational hours per 24 hour period.

JESCO
LIGHTING GROUP
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www.jescolighting.com
support@jescolighting.com
Tech Support: 855.592.0029

15 Harbor Park Drive
Port Washington, NY 11050
Main Line: 800.527.7796
Fax Line: 855.265.5768

219 South 6th Ave
City of Industry, CA 91746
Main Line: 855.654.0110
Fax Line: 626.333.2955



Refer to Page 8 for all cautions



DL-AC-FLEX (INFINA®)
Order Calculations Sheet



* Contact factory for custom colors
** Powered by Mag-LED
*** Never exceed dimmer max wattage, effectively dim down to 10%
For dimming options, see page 10 for detail.
† TM-21 calculation based on LM80 report
♦ Nominal

LITHONIA, WDGE1 LED
EXTERIOR SCONCE

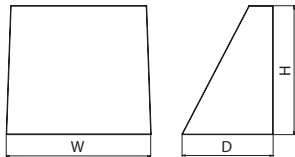


WDGE1 LED
Architectural Wall Sconce



Specifications

Depth: 5.5"
Height: 8"
Width: 9"
Weight: 9 lbs
(without options)



Catalog Number	
Notes	
Type	

Hit the Tab key or mouse over the page to see all interactive elements.

Introduction

The WDGE LED family is designed to meet specifier's every wall-mounted lighting need in a widely accepted shape that blends with any architecture. The clean rectilinear design comes in four sizes with lumen packages ranging from 1,200 to 25,000 lumens, providing true site-wide solution.

WDGE1 delivers up to 2,000 lumens with a soft, non-pixelated light source, creating a visually comfortable environment. The compact size of WDGE1, with its integrated emergency battery backup option, makes it an ideal over-the-door wall-mounted lighting solution.

WDGE LED Family Overview

Luminaire	Standard EM, 0°C	Cold EM, -20°C	Sensor	Lumens (4000K)					
				P1	P2	P3	P4	P5	P6
WDGE1 LED	4W	--	--	1,200	2,000	--	--	--	--
WDGE2 LED	10W	18W	Standalone / nLight	1,200	2,000	3,000	4,500	6,000	--
WDGE3 LED	15W	18W	Standalone / nLight	7,500	8,500	10,000	12,000	--	--
WDGE4 LED	--	--	Standalone / nLight	12,000	16,000	18,000	20,000	22,000	25,000

Ordering Information

EXAMPLE: WDGE1 LED P2 40K 80CRI VF MVOLT PE DDBXD

Series	Package	Color Temperature	CRI	Distribution	Voltage	Mounting
WDGE1 LED	P1	27K 2700K	80CRI	VF Visual comfort forward throw	MVOLT 347 ²	Shipped included SRM Surface mounting bracket Shipped separately AWS 3/8inch Architectural wall spacer BBW Surface-mounted back box PBBW Premium surface-mounted back box (top, left, right conduit entry)
	P2	30K 3000K 35K 3500K 40K 4000K 50K ¹ 5000K	90CRI	VW Visual comfort wide		

Options		Finish	
E4WH ³	Emergency battery backup, (CEC compliant (4W, 0°C min))	DDBXD	Dark bronze
PE ⁴	Photocell, Button Type	DBLXD	Black
DS	Dual switching (comes with 2 drivers and 2 light engines; see page 3 for details)	DNAXD	Natural aluminum
DMG	0-10V dimming wires pulled outside fixture (for use with an external control, ordered separately)	DWHXD	White
BCE	Bottom conduit entry for premium back box (PBBW). Total of 4 entry points.	DSSXD	Sandstone

Accessories

WDGEAWS DDBXD U WDGE 3/8inch Architectural Wall Spacer (specify finish)
WDGEPBBW DDBXD U WDGE1 Premium surface-mounted back box (specify finish)
WSSBBW DDBXD U Surface-mounted back box (specify finish)

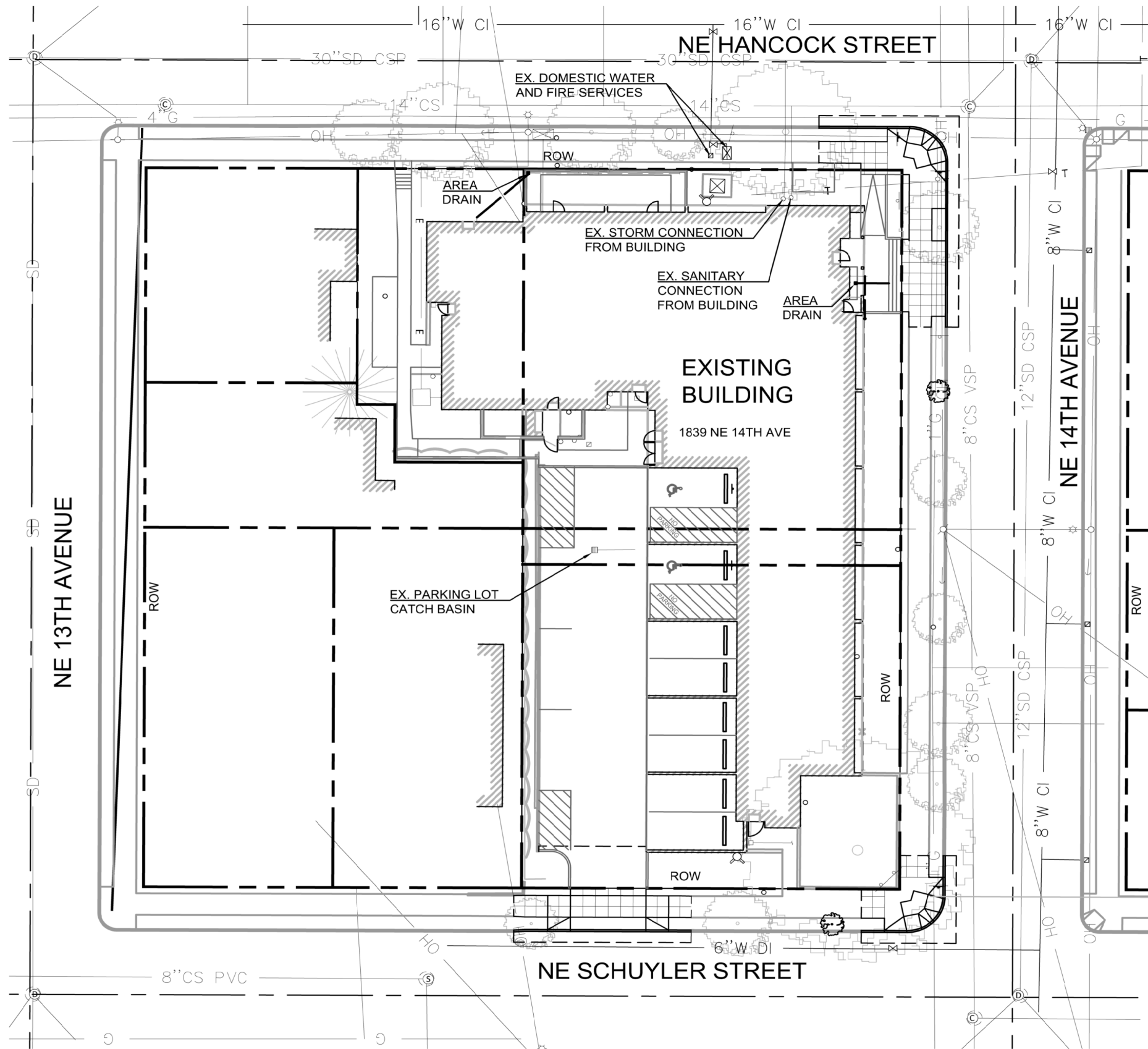
NOTES
1 50K not available in 90CRI.
2 347V not available with E4WH, DS or PE.
3 E4WH not available with PE or DS.
4 PE not available with DS.



COMMERCIAL OUTDOOR

One Lithonia Way • Conyers, Georgia 30012 • Phone: 1-800-705-SERV (7378) • www.lithonia.com
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WDGE1 LED
Rev. 01/07/20



STORMWATER NARRATIVE

PRIVATE SITE

STORMWATER MANAGEMENT IS TRIGGERED BY THE NEWLY CONSTRUCTED IMPERVIOUS AREA OF 2,025 SF, BUT AN ADEQUATE MANAGEMENT FACILITY CANNOT BE PROVIDED SO A SPECIAL CIRCUMSTANCES FORM WILL BE SUBMITTED REQUESTING A FEE-IN-LIEU.

PUBLIC STREET IMPROVEMENTS

STORMWATER MANAGEMENT IS NOT REQUIRED FOR THE IMPROVEMENTS TO THE PUBLIC RIGHT OF WAY. THE EXISTING STORMWATER DRAINAGE FOR THE RIGHT OF WAY WILL BE PROTECTED DURING CONSTRUCTION.

UTILITY CONTACTS

ELECTRICAL

JOHN MOUDY
PORTLAND GENERAL ELECTRIC
JOHN.MOUDY@PACIFICORP.COM
503-880-1479
WORK ORDER NO. 8068154

GAS

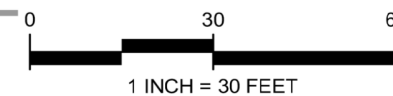
JEREMY LORENCE
NORTHWEST NATURAL GAS
JEREMY.LORENCE@NWNATURAL.COM
503-610-7693

WATER

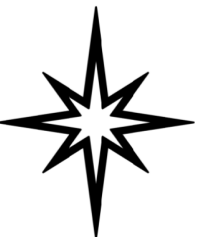
BEN KERSENS
PORTLAND WATER BUREAU
BEN.KERSENS@PORTLANDOREGON.GOV
503-823-3805

STORM/SANITARY

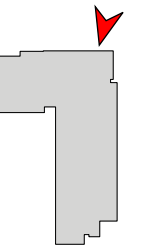
ELLA INDARTA
PORTLAND BUREAU OF ENVIRONMENTAL SERVICES
ELLA.INDARTA@PORTLANDOREGON.GOV
503-823-2073



VEGA
CIVIL ENGINEERING LLC
503.662.1901 | WWW.VEGACIVIL.COM



APPENDIX



HOLST

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GRACE PECK TERRACE

1839 NE 14TH AVE
PORTLAND, OR 97212

DESIGN REVIEW

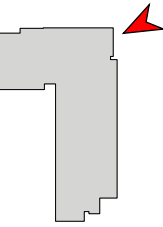
12.03.2021

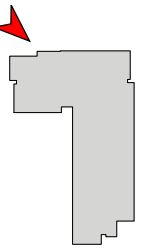
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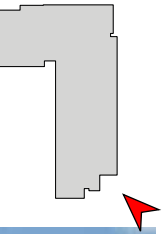
LU NO.

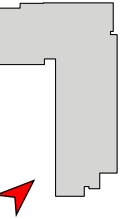
sheet :

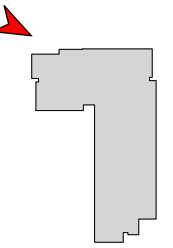
VIEW OF N CORNER LU 21-111639 HRM AD **APP.2**

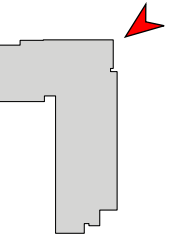


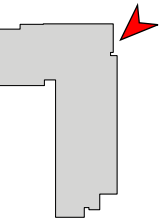


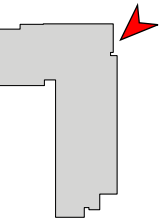


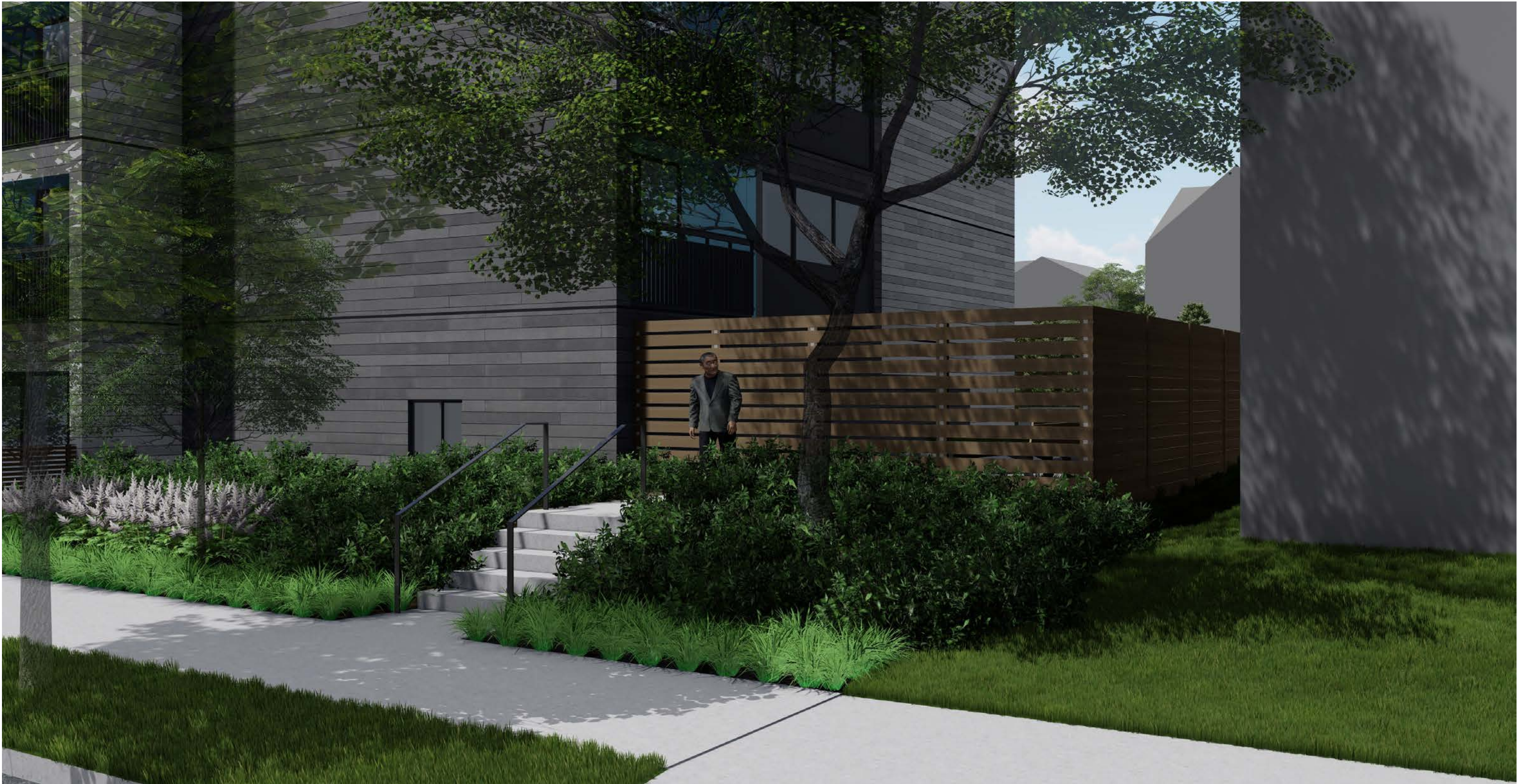
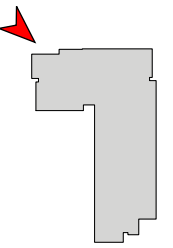


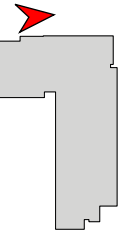


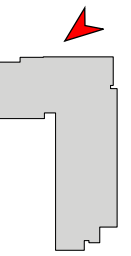


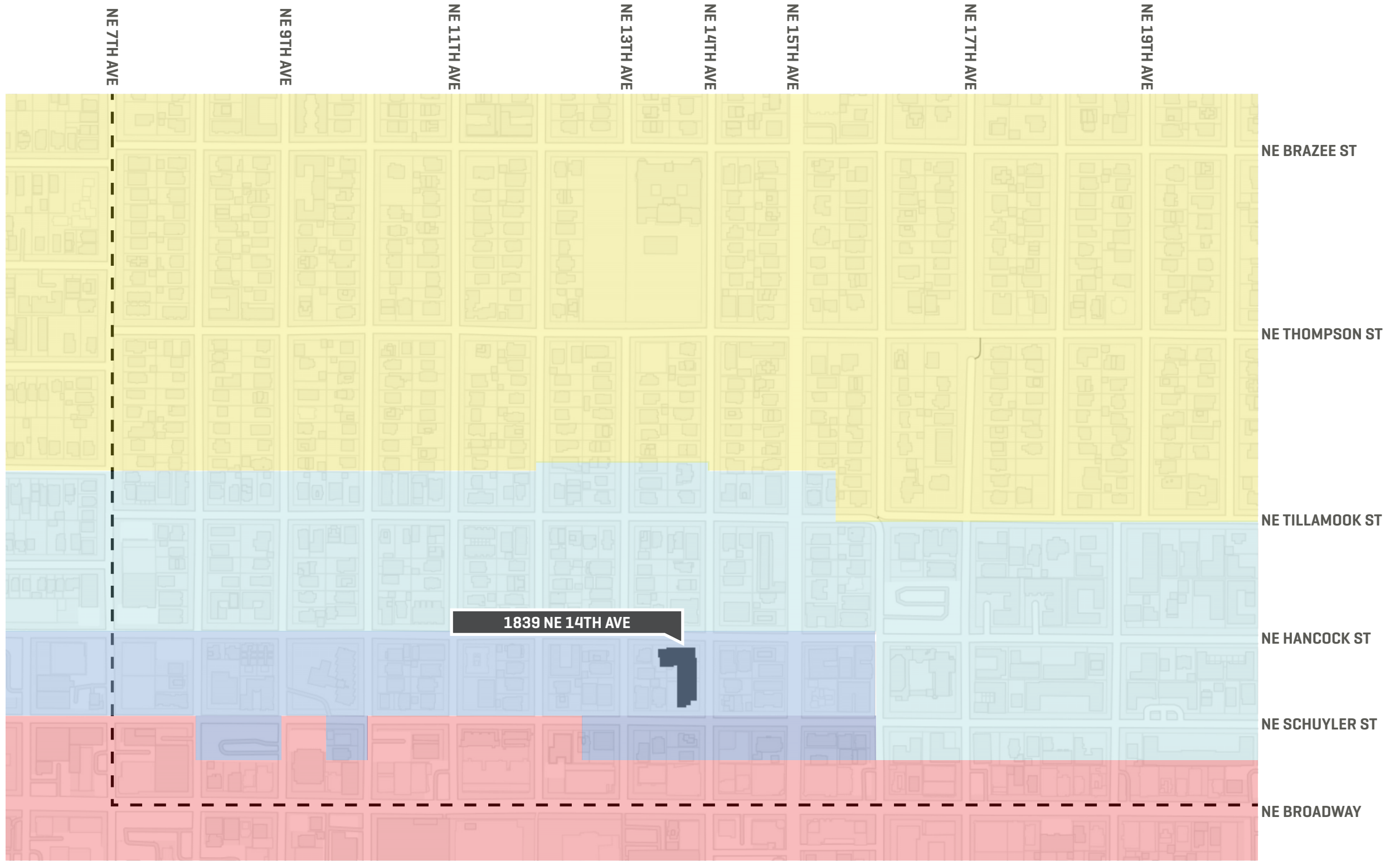


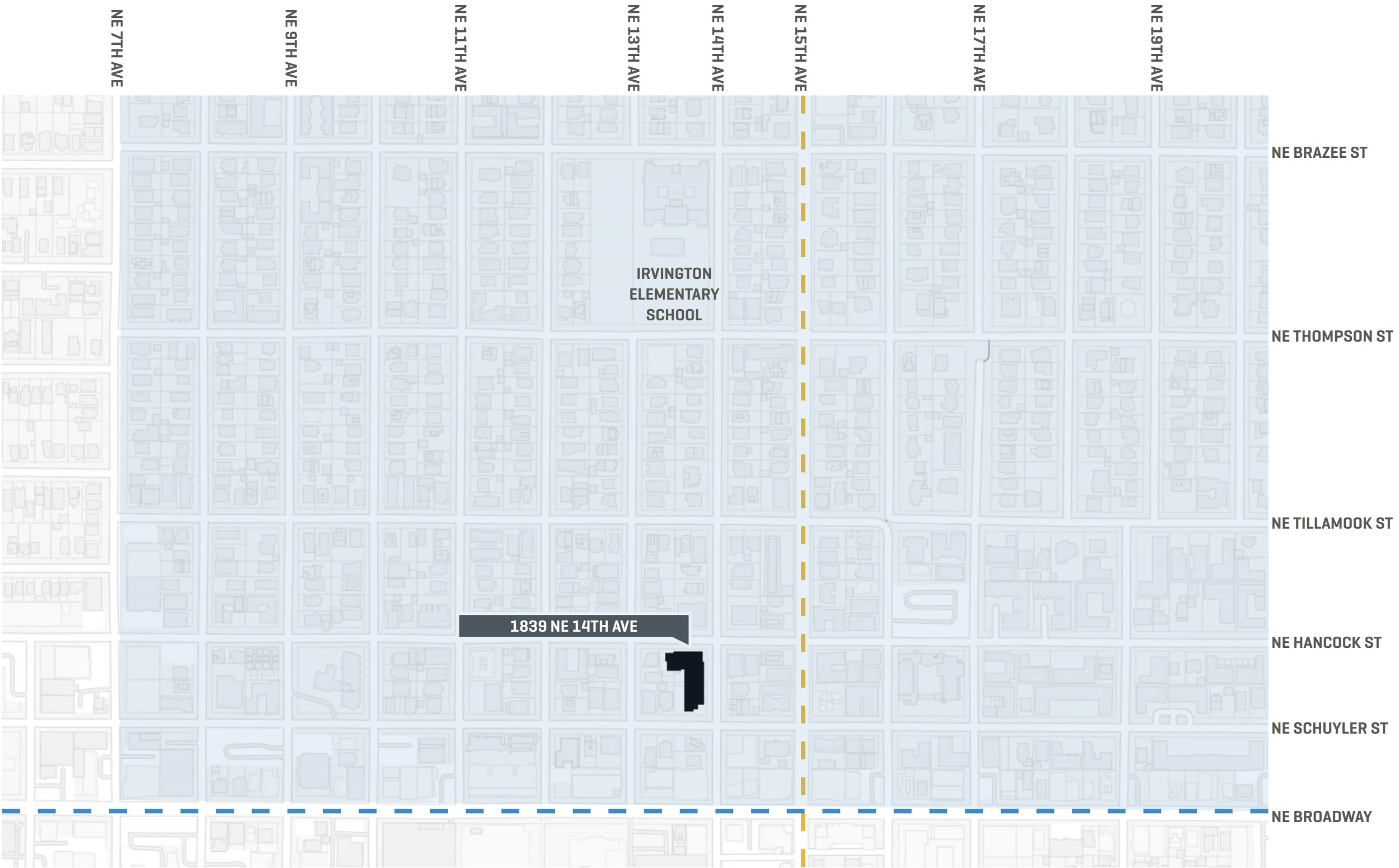








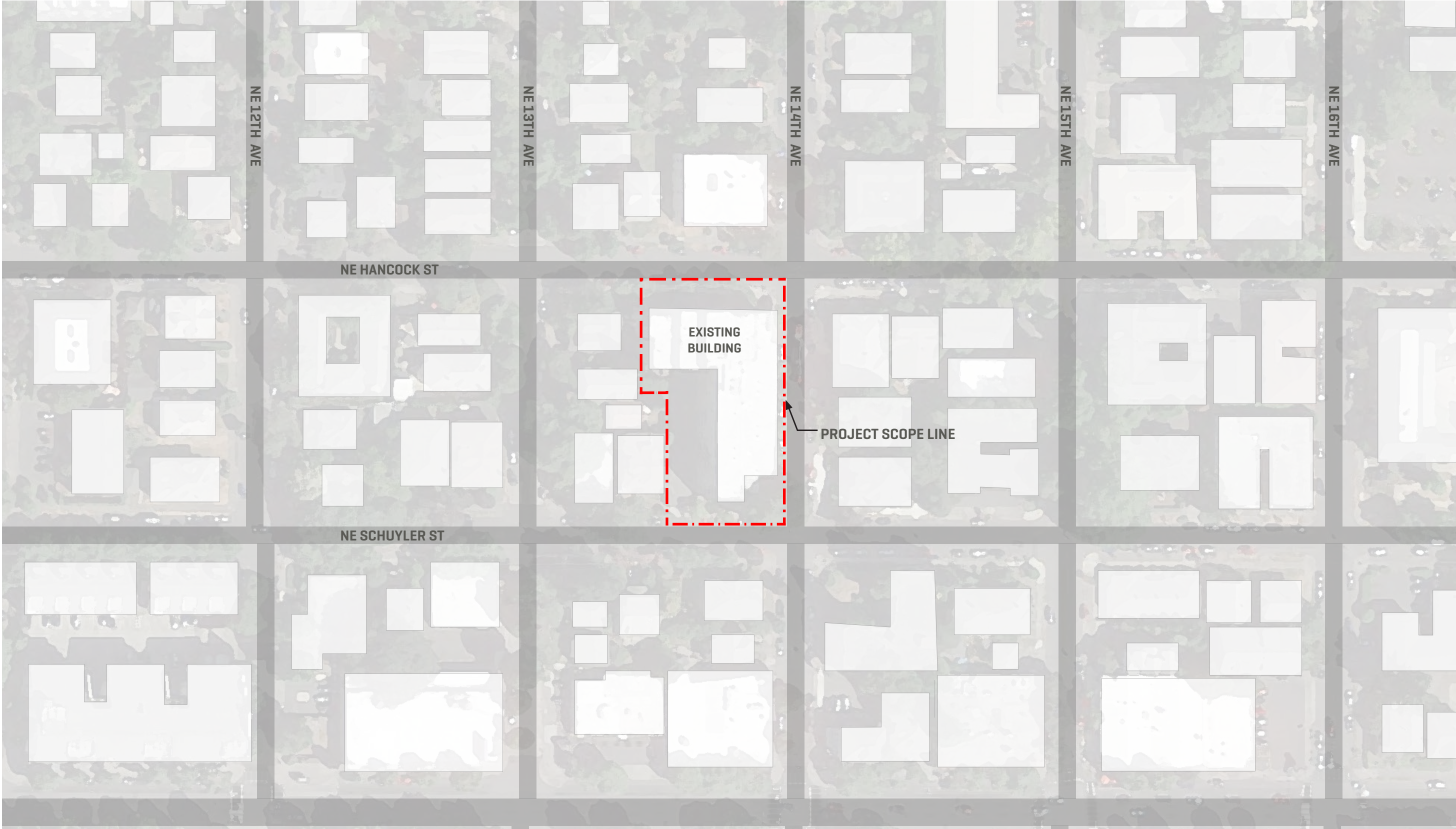


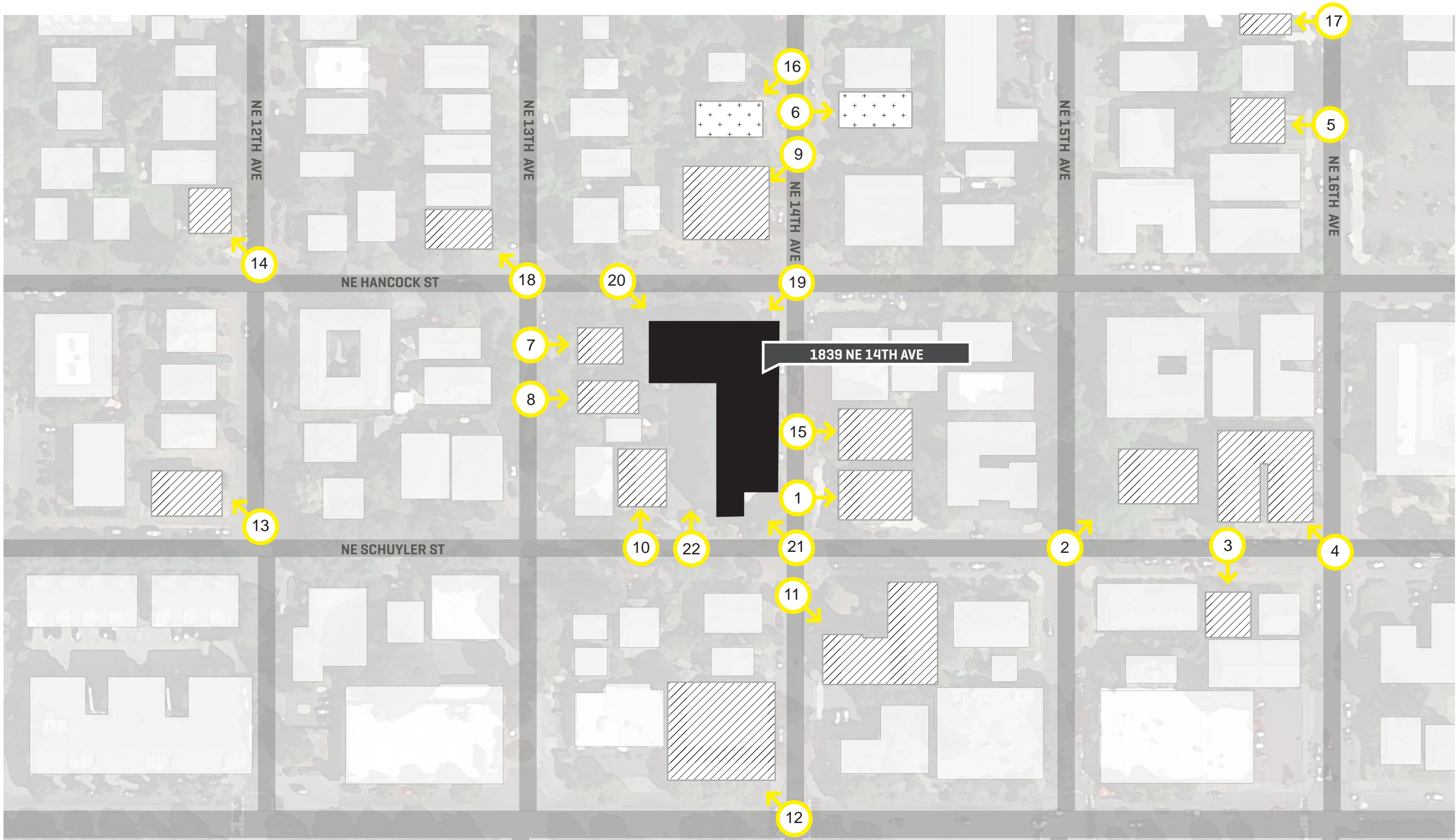


LEGEND

- — — BUS ROUTE 17 AND 77
- — — BUS ROUTE 8
- IRVINGTON HISTORIC DISTRICT





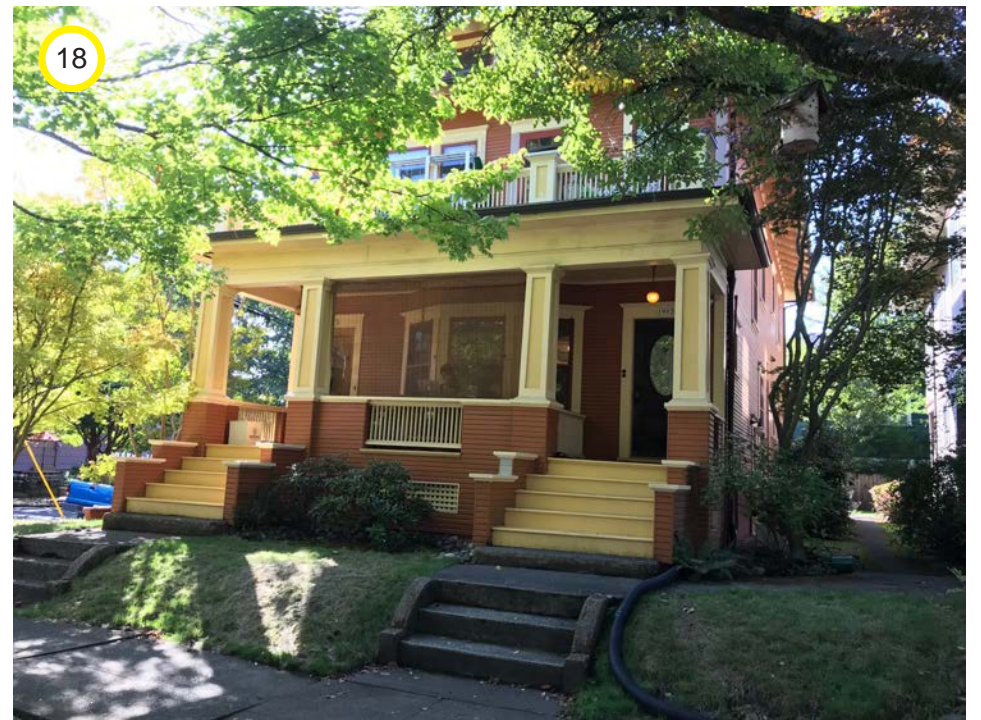


\\\\\\\\\\\\\\\\\\\\ CONTRIBUTING BUILDING + + + + + NON-CONTRIBUTING BUILDING











VIEW OF NE CORNER FROM NE 14TH AVE. AND NE HANCOCK ST



VIEW OF NW CORNER FROM NE HANCOCK ST

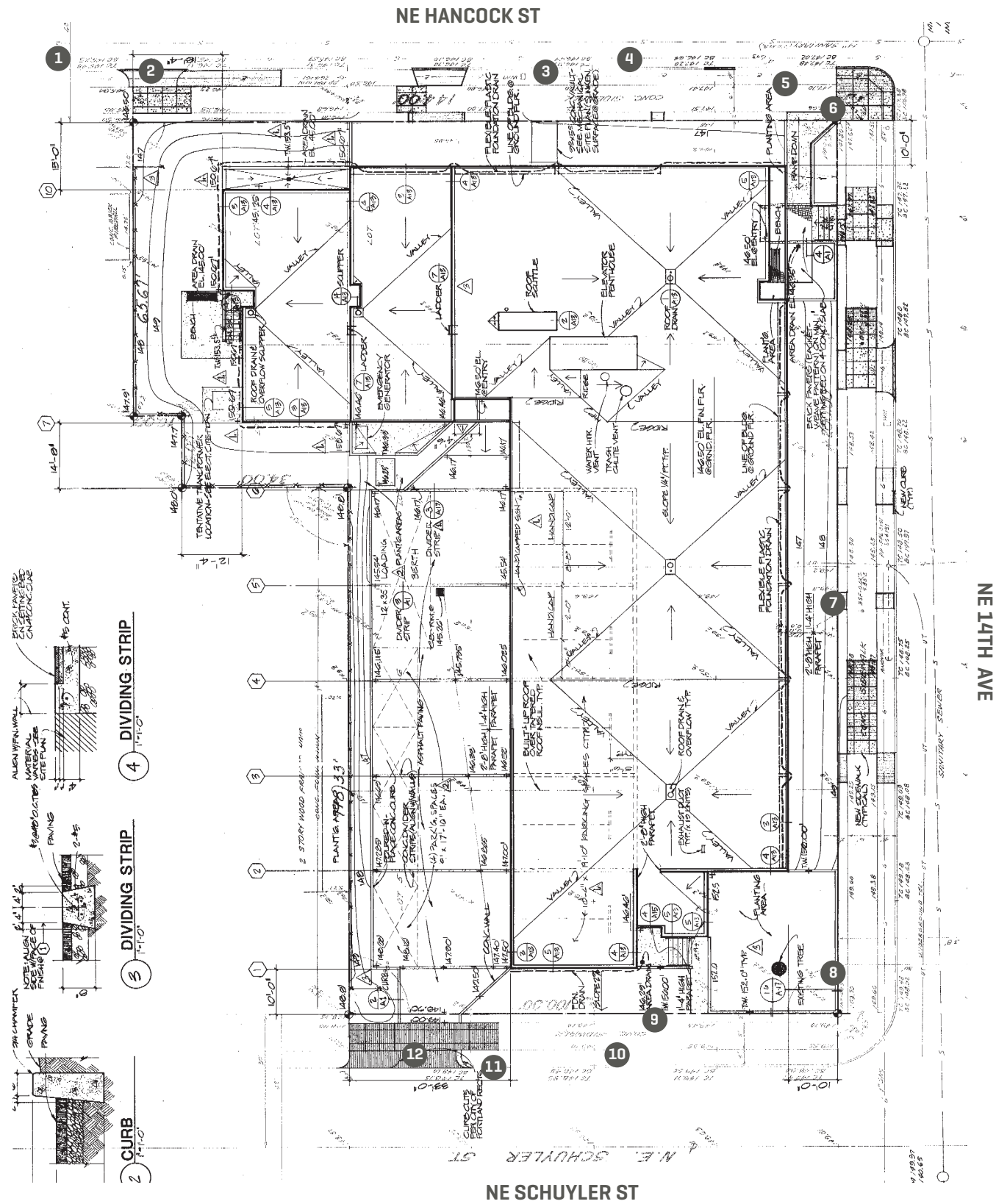


VIEW OF SE CORNER FROM NE SCHUYLER ST. AND NE 14TH AVE.



VIEW OF SW CORNER FROM NE SCHUYLER ST.

IMAGE KEY



1. NORTH FACADE



5. BUILDING ENTRY



9. BUILDING EXIT NE SCHUYLER ST



2. NORTH LOOKING AT GARDEN SPACE



3. NE HANCOCK ST COMMUNITY ROOM WINDOWS



4. TYPICAL BALCONY



6. EXISTING BUILDING ENTRY NE 14TH AVE



7. EAST FACADE



8. TYPICAL BALCONY



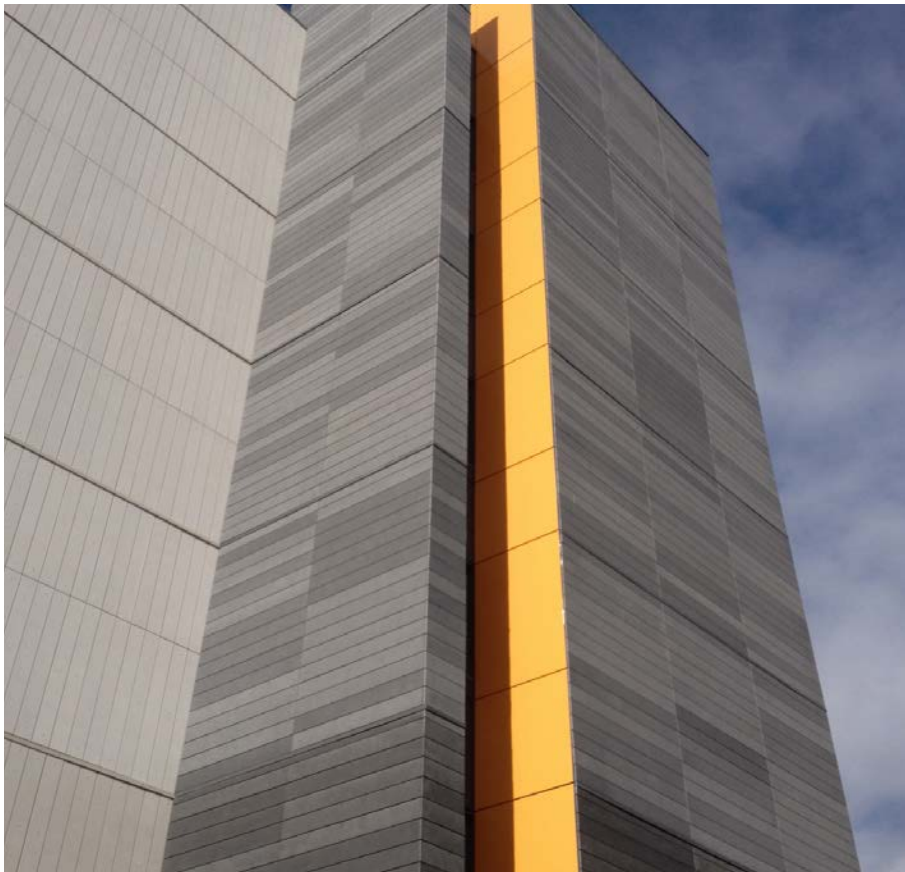
10. CURTAIN WALL



11. PARKING COURT



12. WEST FACADE



PROJECT: Lifeworks/Beech St Apts, Holst Architecture
 MATERIAL: Oko Skin Glass Fiber Wall Panel w/ exposed screws

PROJECT: Home Forward Gallagher Plaza, Portland OR, Holst Architecture
 MATERIAL: Oko Skin Glass Fiber Wall Panel w/exposed screws
 ENTITLEMENTS: Type III Historic Resource Review

PROJECT: Hotel Eastlund, Holst Architecture
 MATERIAL: ACM route & return panel w/ concealed attachment

MODIFICATION #1:

33.266.130.F.2 Parking Aisle Dimensions

Adjustment requested for section 33.266.130.F.2, to provide less than the required minimum width for the area of the drive aisle adjacent to the Standard 'B' loading space. This Adjustment is necessary for the following reasons:

- Existing dimensions at this location on the site prohibit providing a full 20' wide drive aisle in addition to meeting the minimum width requirements of the Standard 'B' loading space.
- Propose maintaining required minimum width at Standard 'B' loading space, which reduces the allowable width of the drive aisle at that location to approximately 19'-4" wide.

MODIFICATION #2:

33.266.130.G.2.D.2 Perimeter Landscaping at Parking Areas

Modification requested to the minimum allowable L3 perimeter landscape at a lot line abutting an 'R' zone lot line. This modification is necessary for the following reasons:

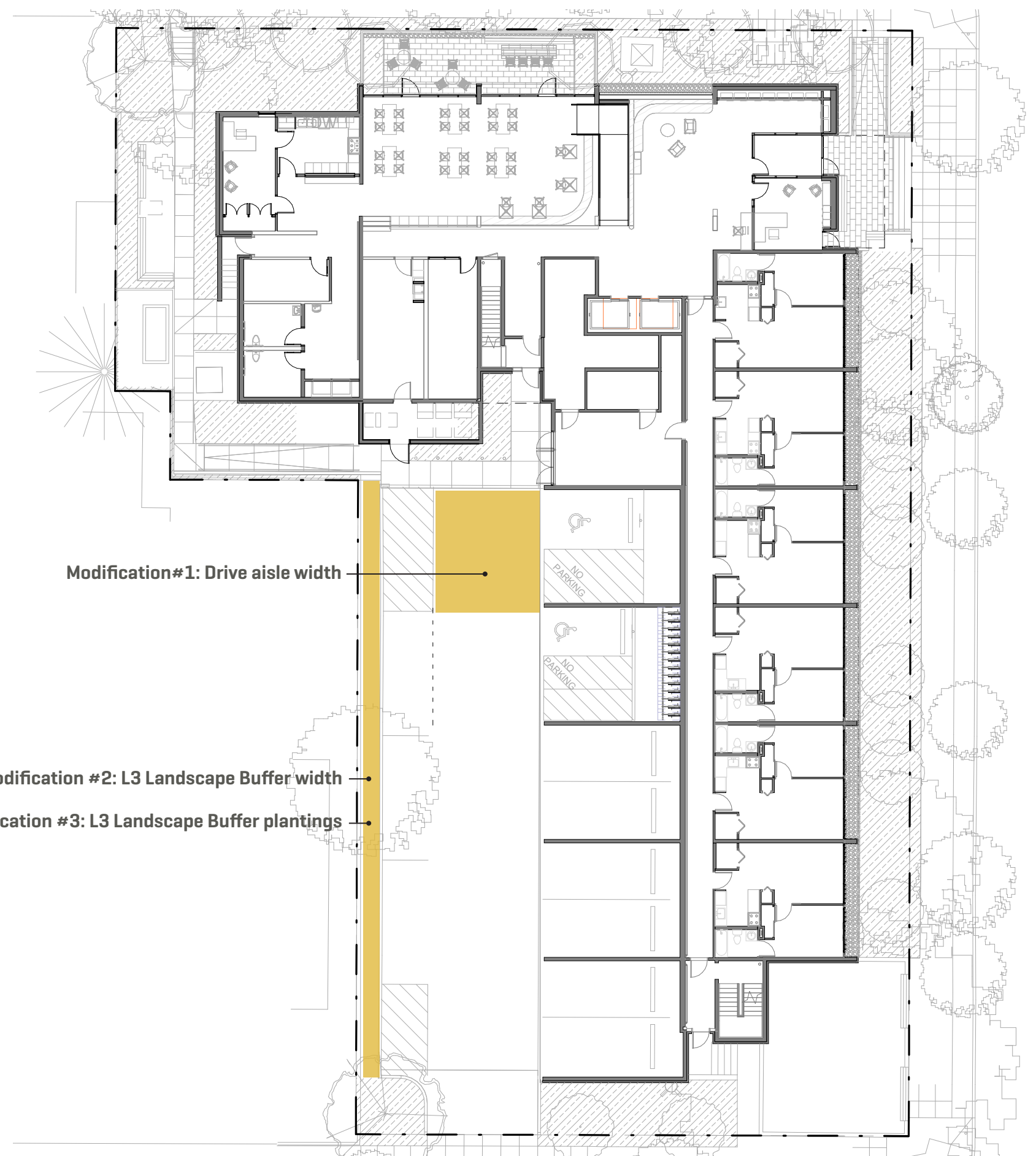
- Per Table 266-5, the minimum allowable perimeter landscape at a lot line abutting an 'R' zone lot line is 5 ft of L3.
- The existing drive aisle and loading area widths do not allow for expansion of the existing landscape buffer to the required 5' minimum width without impacting the minimum required dimensions for the drive aisle and loading area.

MODIFICATION #3:

33.266.130.G.2.D.2 Perimeter Landscaping at Parking Areas

Modification requested for the elimination of the requirement for trees at a lot line abutting an 'R' zone lot line. This modification is necessary for the following reasons:

- Existing perimeter landscaping is a tall arborvitae evergreen (shrub) hedge without trees.
- Modification proposes to leave existing arborvitae evergreen (shrubs) and not provide the required trees per lineal foot, as existing shrubs create a tall, continuous screening hedge that meets the requirement of its use to "promote compatibility between land uses by reducing the visual, noise, and lighting impacts of specific development on users of the site and abutting uses".





DAR

The original design proposed two cladding options, oko skin and thin brick, to fit into the context of the historic district and included removal of balconies, an improved main entry and new north patio adjacent to the existing Community Room.

Executive Summary from the DAR included the Commission:

- SUPPORTING REPLACEMENT OF CLADDING, WITH A MAJORITY PREFERRING OKO SKIN TO THIN BRICK
- AGREEING THAT REMOVAL OF BALCONIES SHOULD BE AVOIDED
- ENCOURAGING DEVELOPMENT OF ANOTHER COMMON OUTDOOR AREA IN ADDITION TO THE NORTH PATIO WHICH IS PRIMARILY IN SHADE
- BEING AMENABLE TO NEW VINYL WINDOWS TO REPLACE EXISTING
- BEING AMENABLE TO POSSIBLE MODIFICATIONS, IF NECESSARY, DEPENDING ON LIMITS OF BUILDING/ SITE AND PROPOSAL



RESPONSE TO DAR

CLADDING, BALCONIES & COLOR

0 DAR PROPOSAL CLADDING, BALCONIES & COLOR



EAST ELEVATION - DAR

CLADDING, BALCONIES & COLOR

SUMMARY OF COMMENTS:

There was an overall preference for the oko skin cladding option as this cementitious material was seen as more true/honest and in-line with the existing stucco material. Although some supported the option for thin brick, as well.

There was an agreement that removal of balconies should be avoided.

There were some concerns about the amount and randomness of color on the oko skin option and a comment that less color would be more appropriate to the historic context.

RESPONSE:

New design proposes to move forward with a two-toned oko skin facade in a 1/3 staggered pattern and keep all existing balcony locations and same depth of balconies.

Alumimum composite metal panel accent colors are strategically used to highlight the vertical pattern of the balcony zones and highlight those as dominant elements of the facade, similar to the shift in stucco color at the existing balconies. This color line tracks up the facade and reduces the otherwise strong horizontal reading where originally-narrow windows become wider at upper level bedrooms. Three tones of blue are used as a subtle play of calming colors that compliment the oko skin material.

Balcony guardrails have a similar vertical picket design and dark color strategy that allows maximum light through and allows the entire balcony area to read as a punched opening in the facade.

N NEW LUR CLADDING, BALCONIES & COLOR



EAST ELEVATION - NEW



EAST ELEVATION - DEMOLITION

ACCENT COLORS ACCENTUATE VERTICAL PATTERN OF BALCONIES



EXISTING BALCONIES



PROPOSED DESIGN

RESPONSE TO DAR

WINDOW OPENINGS

0 DAR PROPOSAL WINDOW OPENINGS



EAST ELEVATION - DAR

WINDOW OPENINGS

SUMMARY OF COMMENTS:

Previous design proposed narrow windows to break up patterning of the facade into smaller modules, while providing multiple windows into every unit. Commission was not in favor of random pattern. Some feedback was in favor of the stronger horizontal reading of the windows from the thin brick option, as well. Window sills were also proposed to be at 24” A.F.F., which would have required limiters per Code.

Commissioners were accepting of replacement windows being vinyl due to existing windows being vinyl. They were not accepting of fixed windows in previous oko skin option due to their inability to be opened by residents and felt they should have a “punch” or shadow line to give the elevations depth.

RESPONSE:

All new windows to be vinyl with operable sliders. Depth of window into opening is limited by depth of wall framing and structural capacity of building, but is set as deep as possible. Reference proposed details.

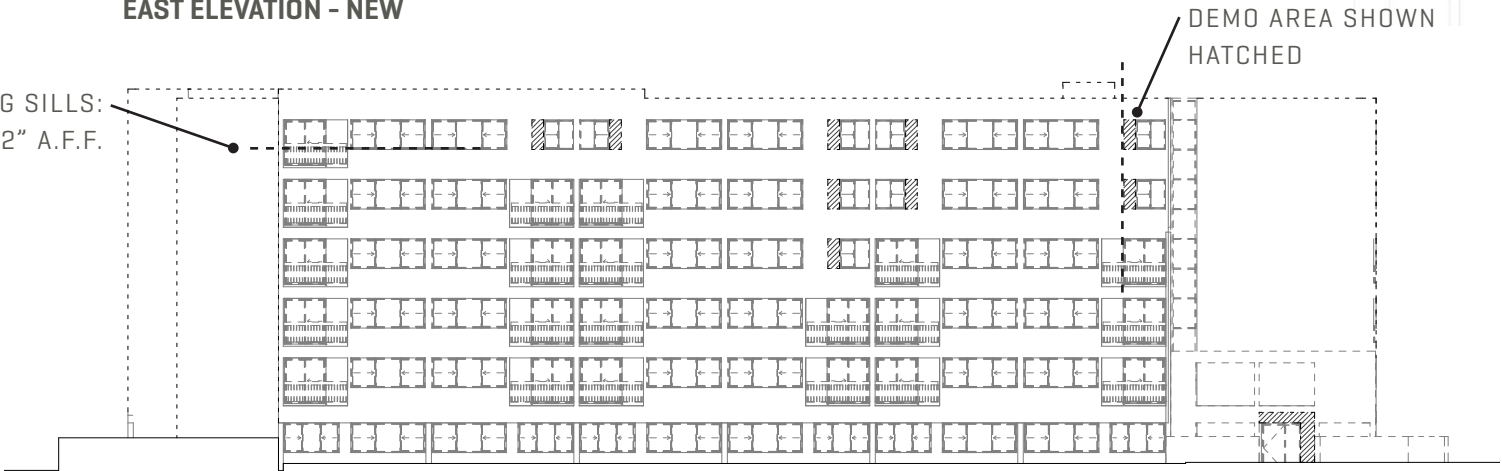
Design development proposes to raise all window sill heights from 32” to 36” above finished floor in order to avoid having to provide limiters on new vinyl sliding windows and to provide slightly more visual privacy to residential units while maintaining existing 7’-0” head height and full width across residential units to maximize views and daylight into units.

Existing bedroom windows at upper level units are narrow and are proposed to be widened to 6’-0” to provide more daylight into those units and align window jamb with new sliding doors at balconies below. This also speaks more to the idea of the stronger horizontal reading of the windows, similar to the previous thin brick option, while simultaneously allowing the accent color panels to track as a vertical element up the facade to emphasize the vertical patterning of the balconies.

N NEW LUR WINDOW OPENINGS



EAST ELEVATION - NEW



EAST ELEVATION - DEMOLITION



EXISTING FACADE



PROPOSED DESIGN

RESPONSE TO DAR

OUTDOOR AREAS

DAR PROPOSAL OUTDOOR AREAS



NORTH PATIO - DAR

NEW LUR OUTDOOR AREAS



NORTH PATIO - NEW

OUTDOOR AREAS

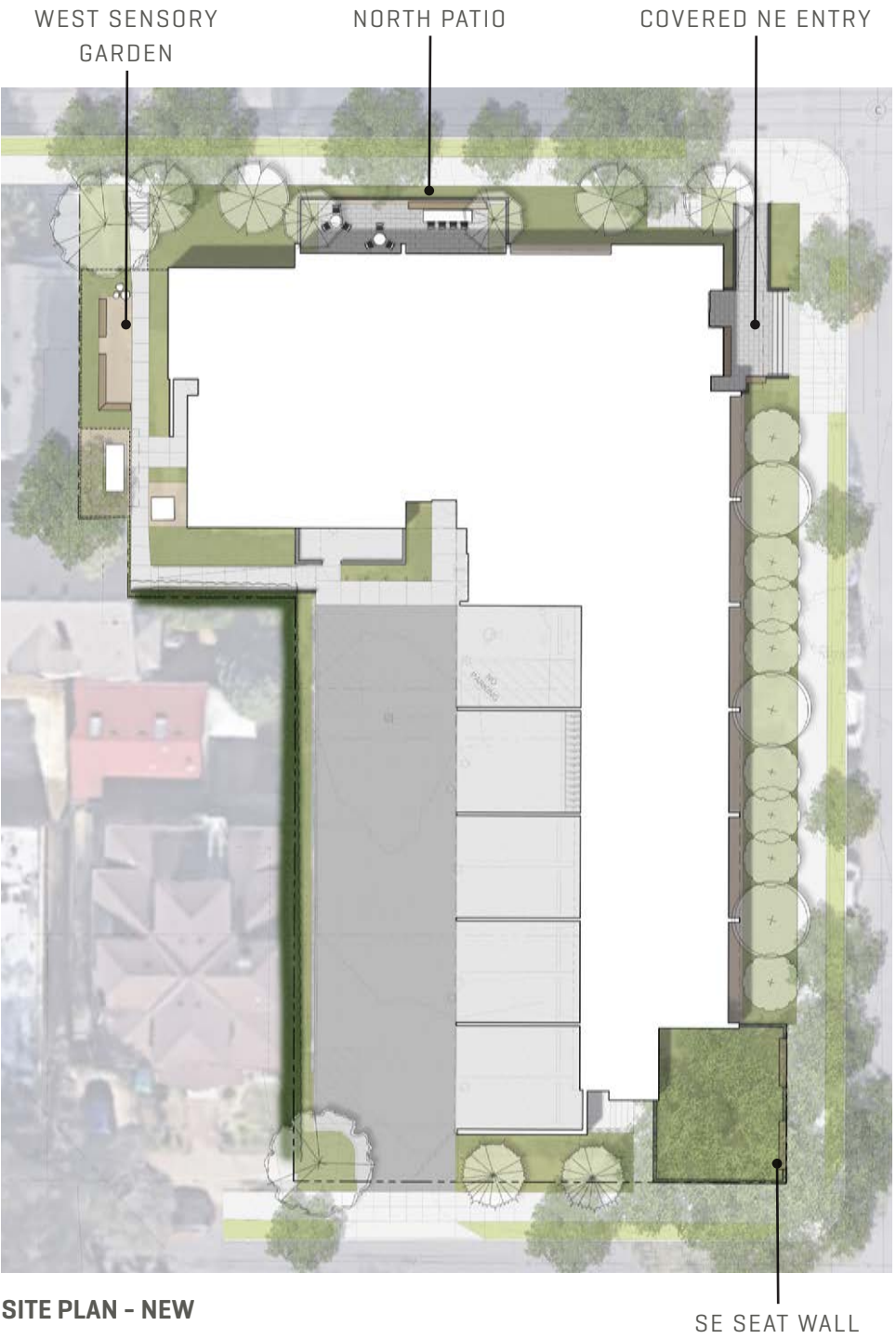
SUMMARY OF COMMENTS:
The Commission recognized the benefit of having the north patio adjacent to the existing Community Room, but felt that due to it being in shade most of the year and with the removal of the balconies in the previous design that another shared outdoor space with improved solar impact was needed.

RESPONSE:
Per a discussion with Art Graves (City Planner) on 11.23.21, maintaining the existing balcony locations in the new design precludes it from going out-of-conformance with the overall outdoor area and, therefore, does not need to meet the request to provide an additional outdoor space with improved solar impact or to meet the outdoor area requirements of the Zoning Code.

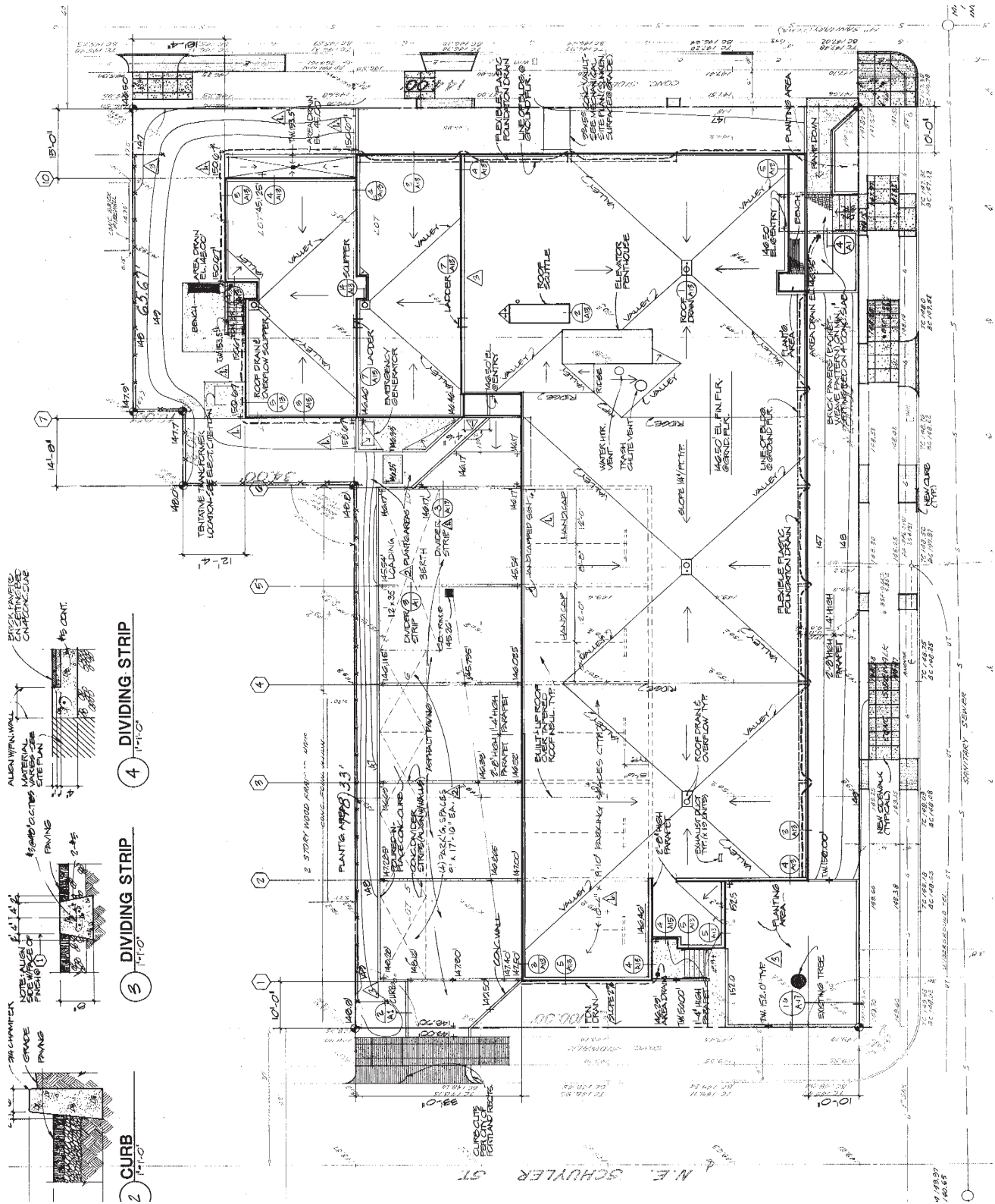
With that being said, the new design takes advantage of multiple areas of the site to provide varying outdoor amenities for the residents to include: an improved NE entry with covered seating, screened north patio, west sensory garden terrace and seating at the existing low wall at the SE corner of the site. Reference site plans for more information.

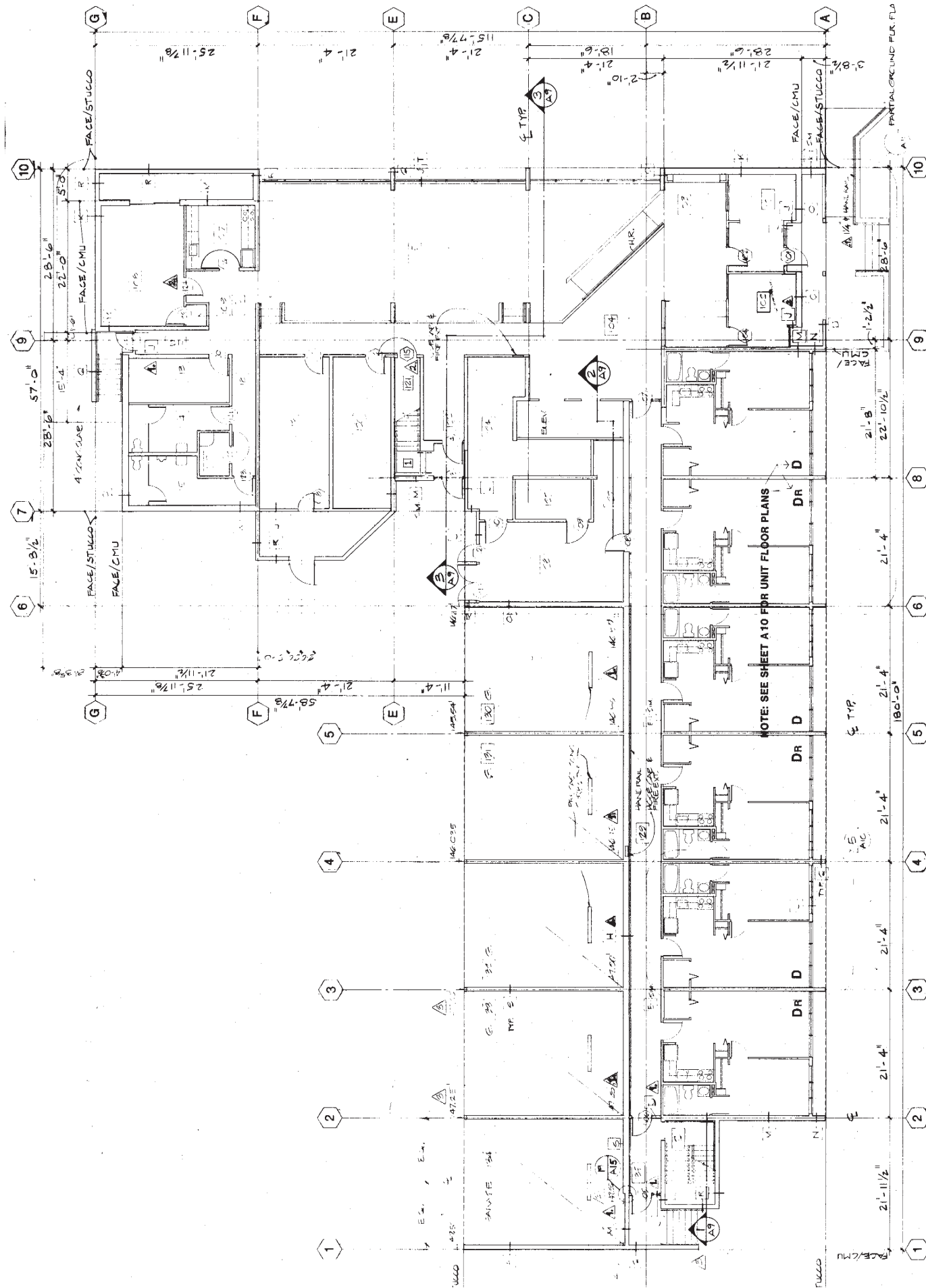


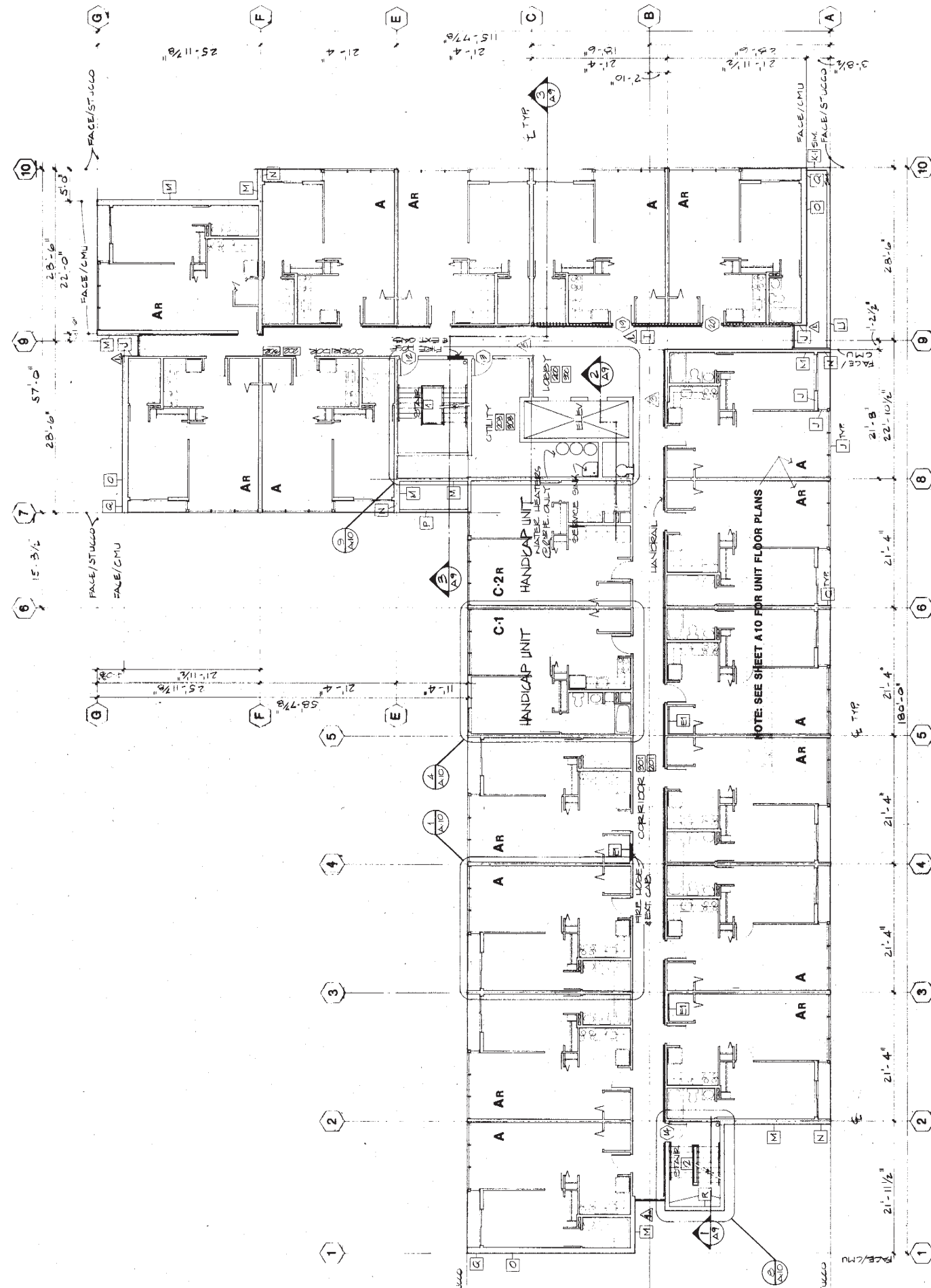
WEST SENSORY GARDEN - NEW

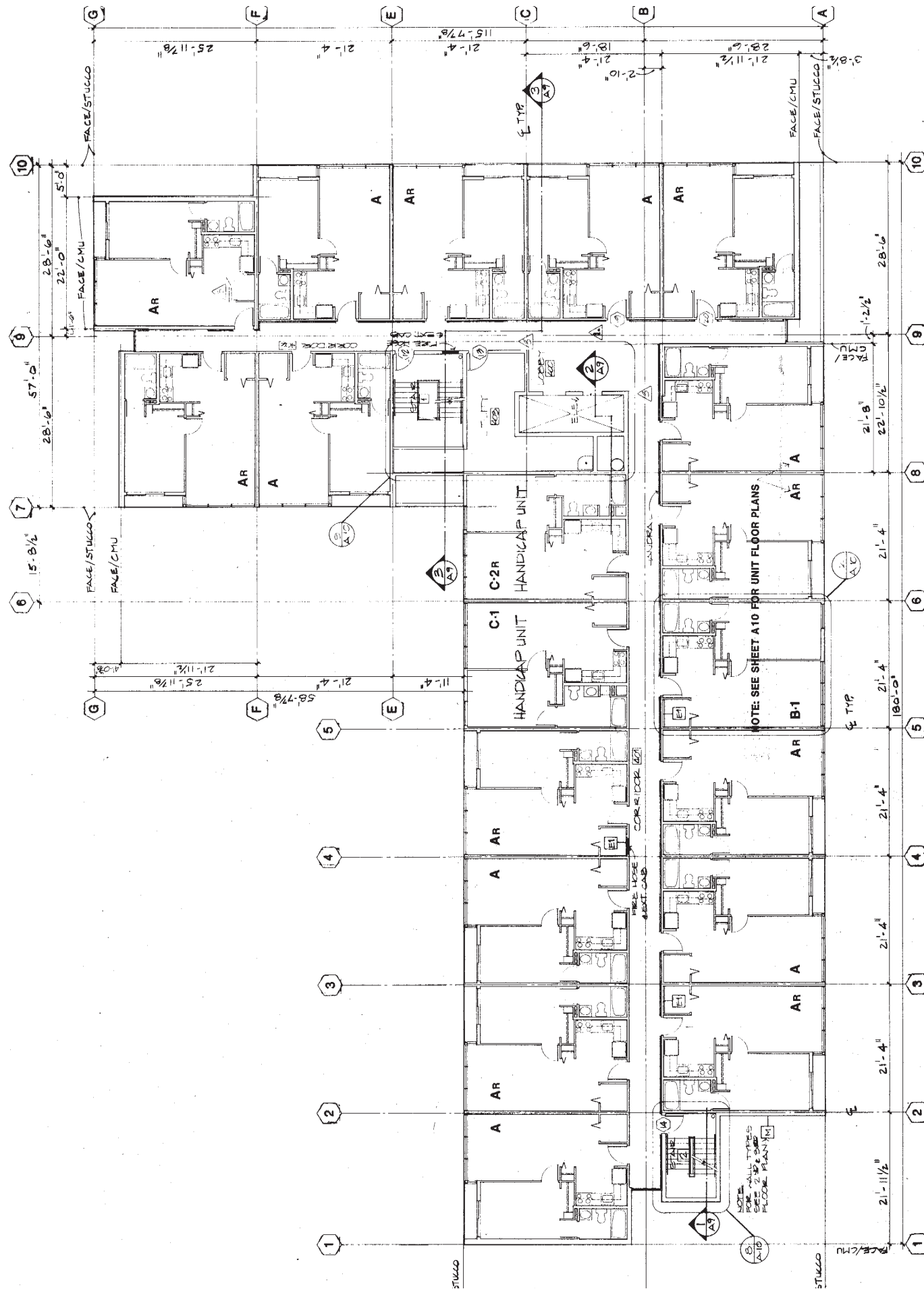


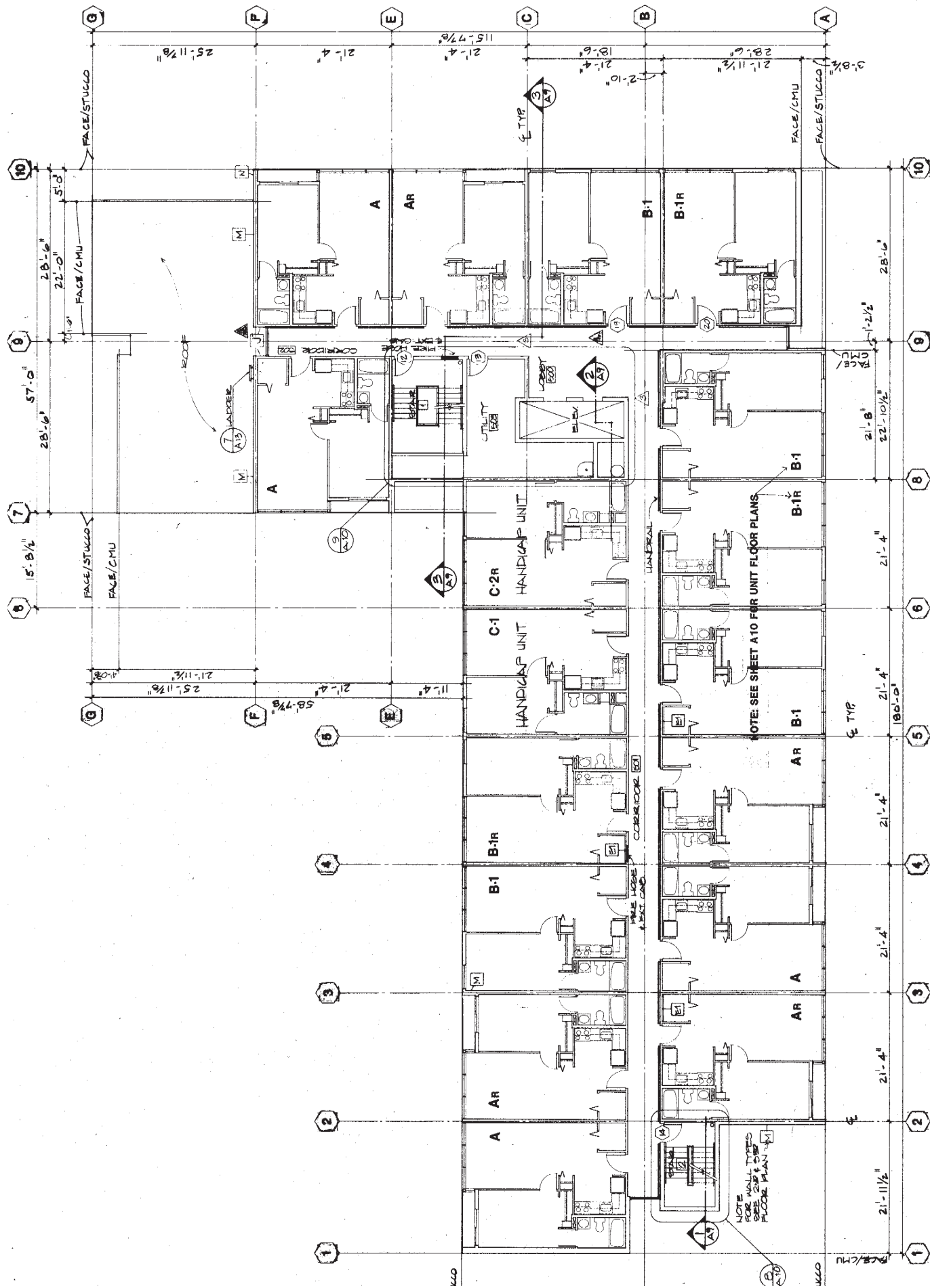
SITE PLAN - NEW

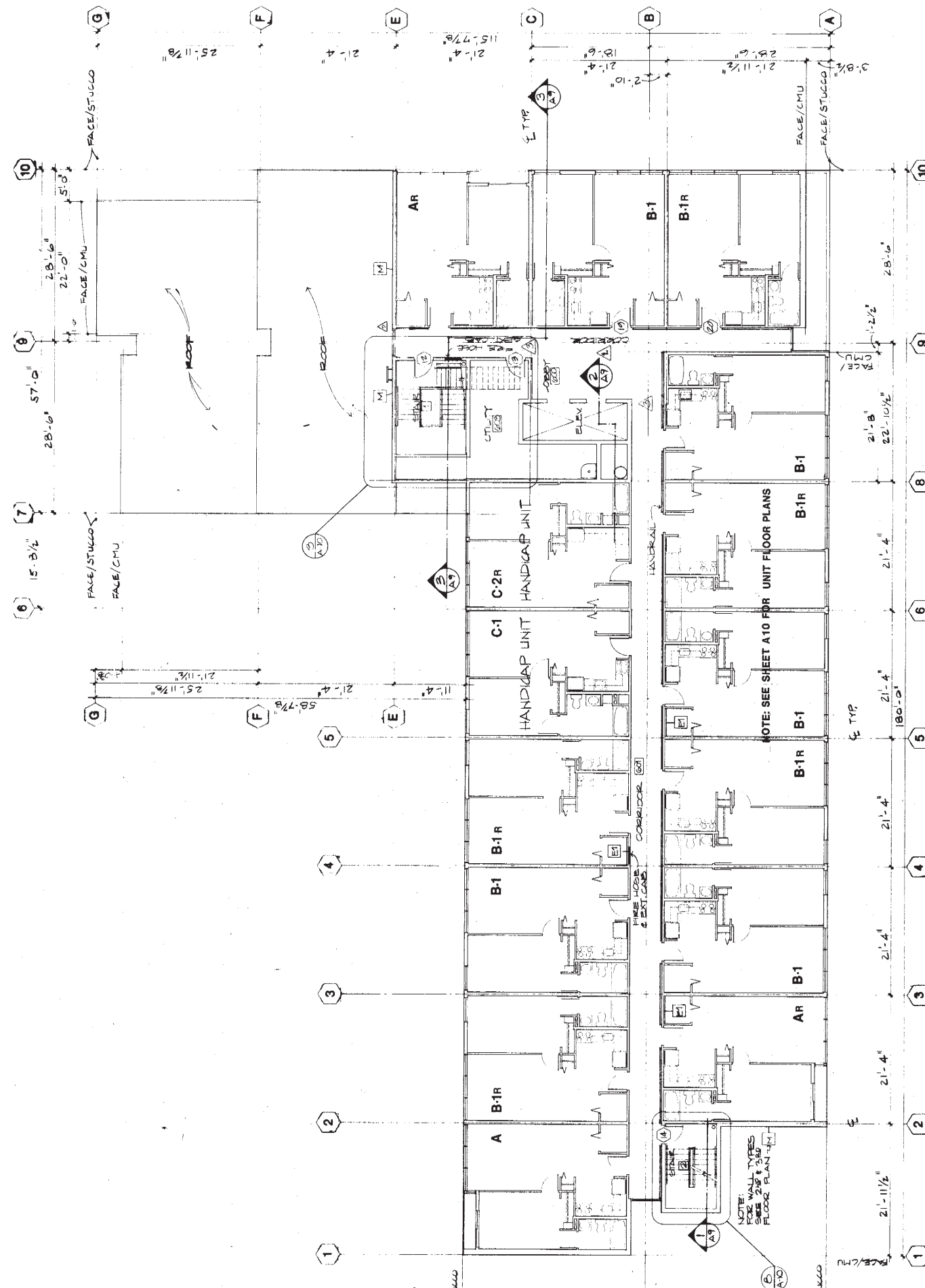


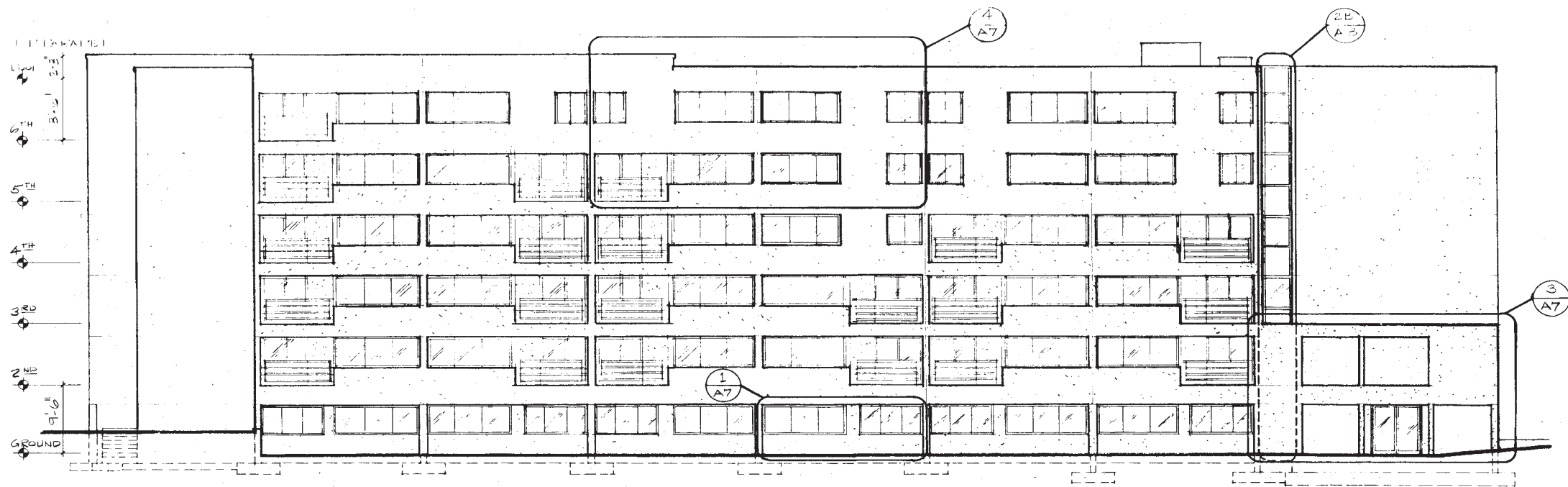




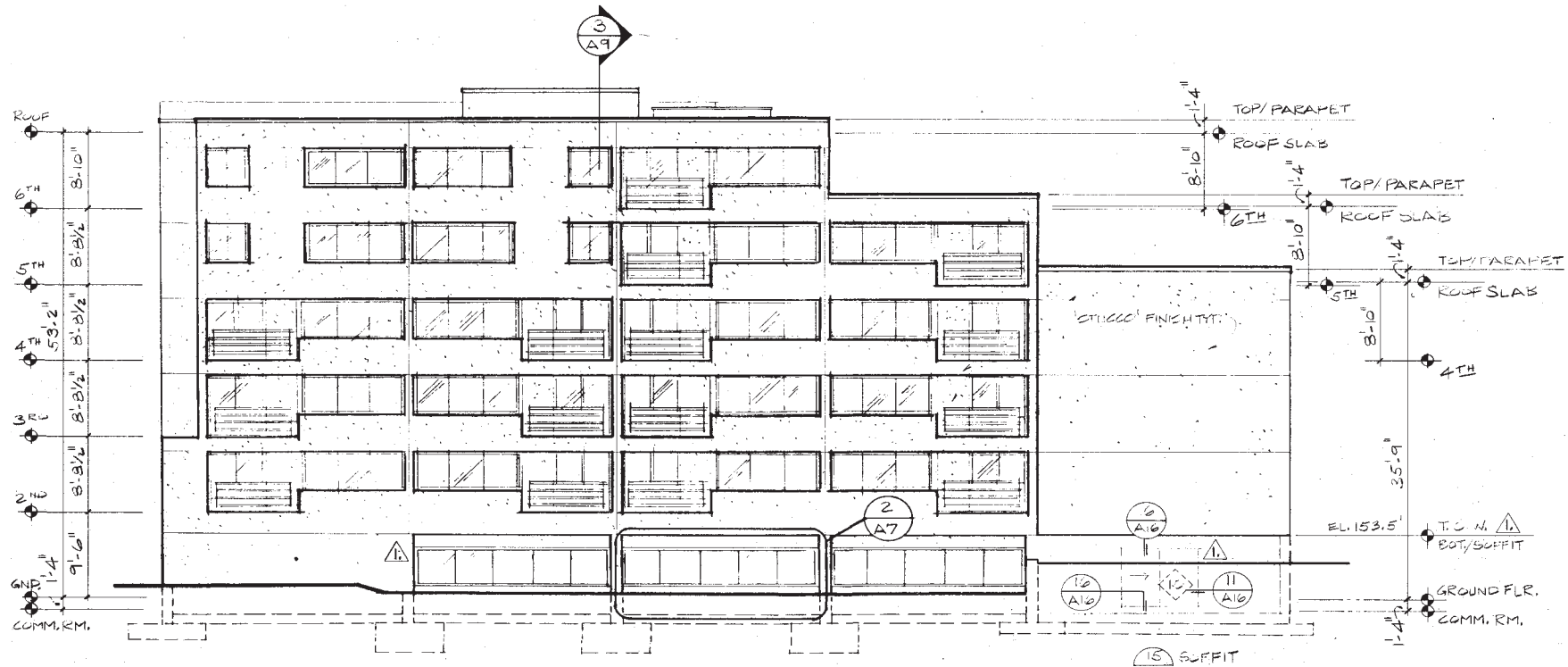




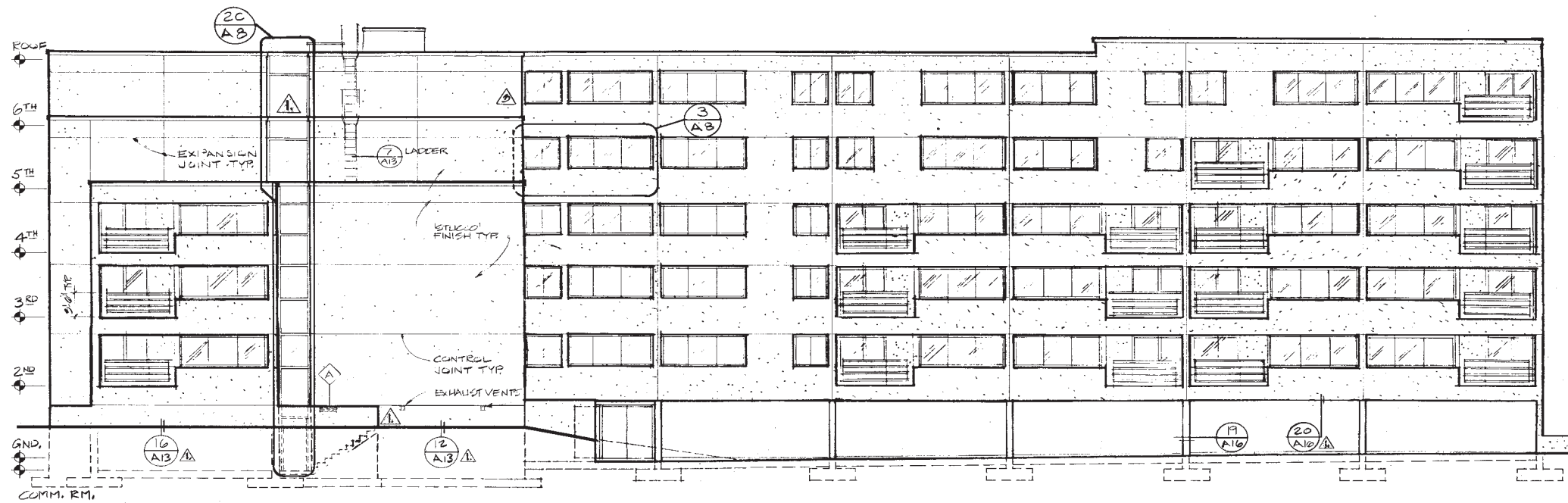




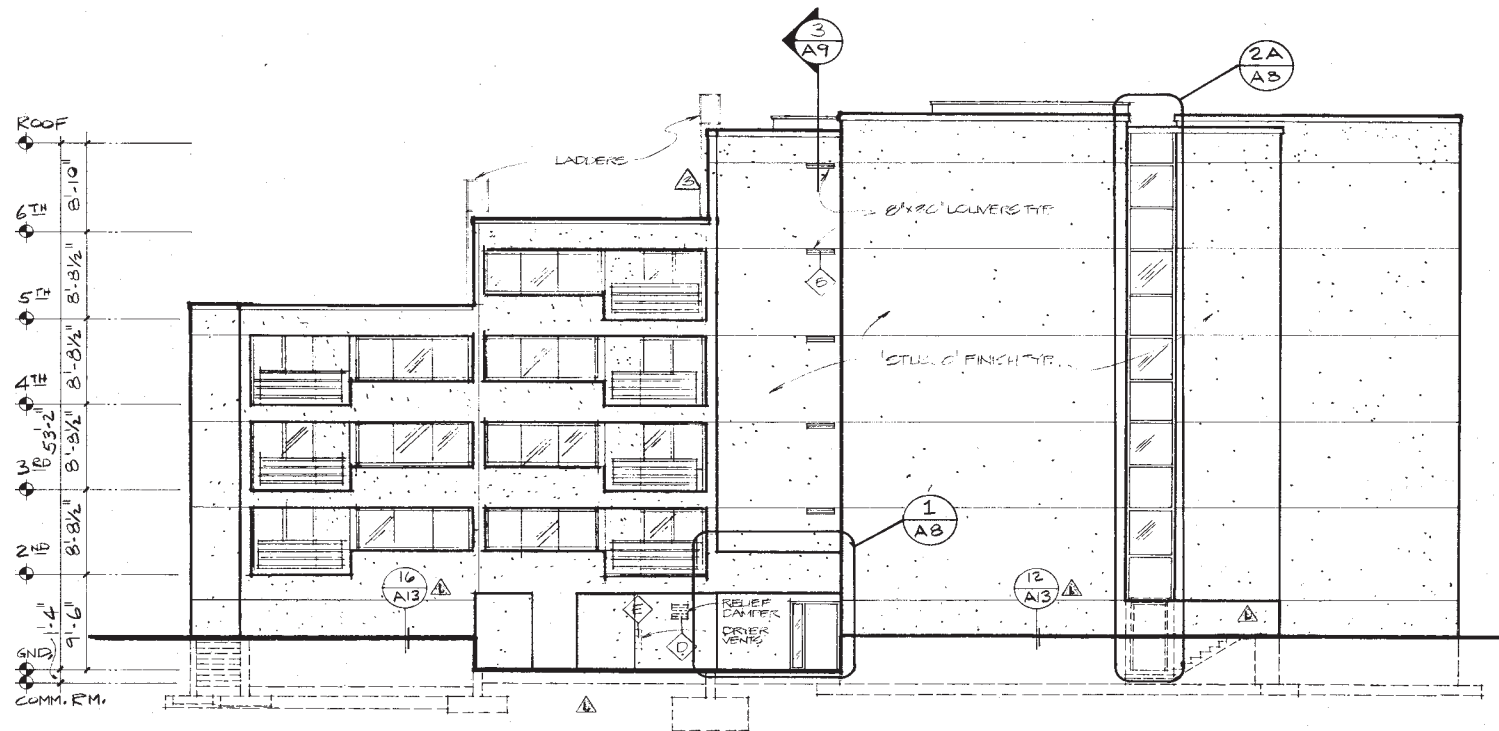
EAST ELEVATION
SCALE: 1/16" = 1'-0"



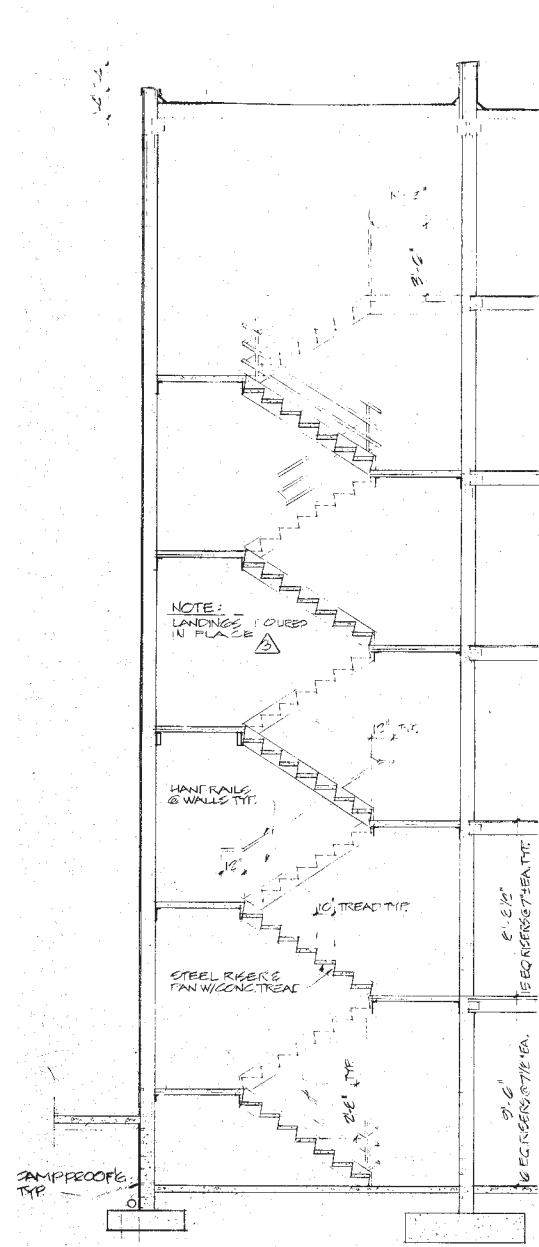
NORTH ELEVATION
SCALE: 1/16" = 1'-0"



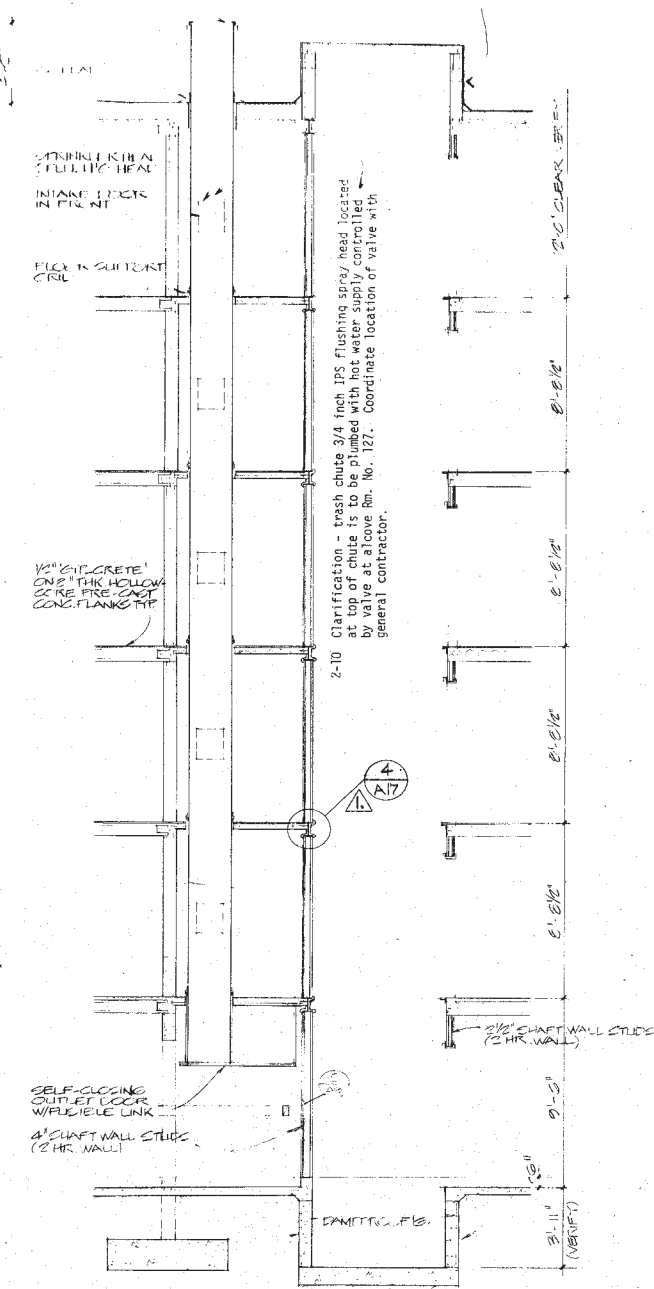
WEST ELEVATION
SCALE: 1/16" = 1'-0"



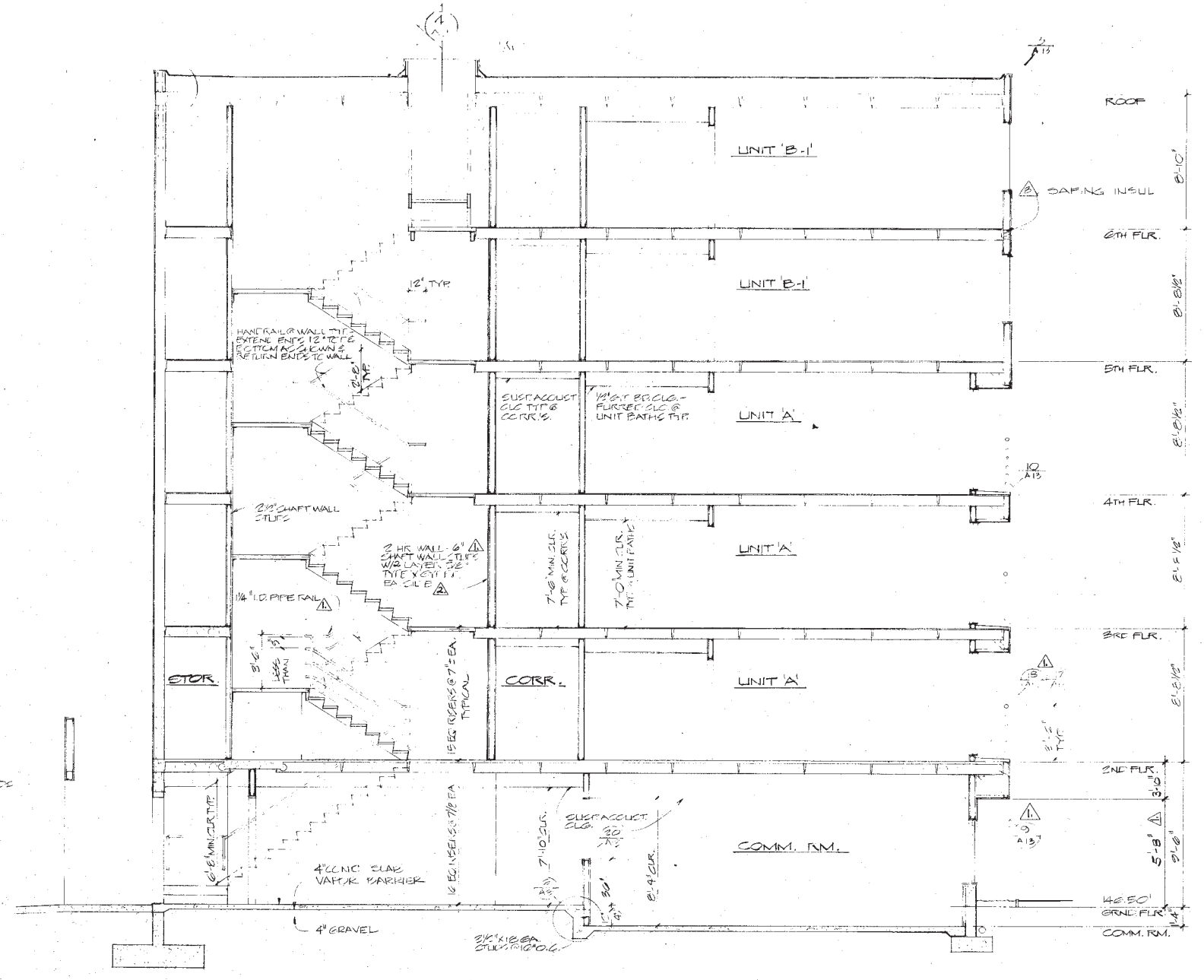
SOUTH ELEVATION
SCALE: 1/16" = 1'-0"



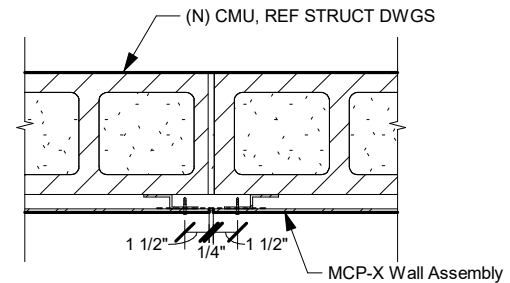
SECTION AT STAIR
SCALE: 1/8" = 1'-0"



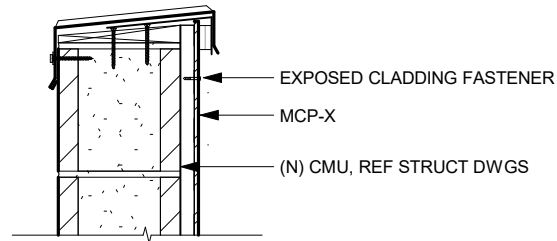
SECTION AT ELEVATOR
SCALE: 1/8" = 1'-0"



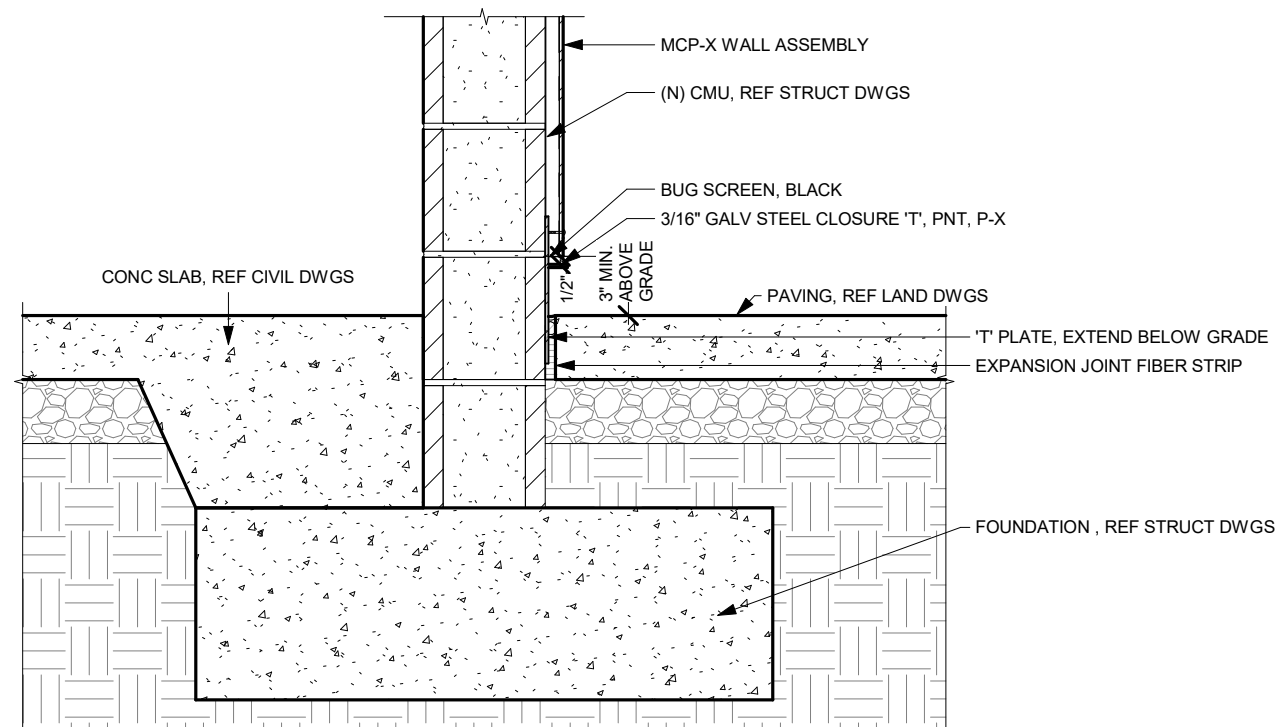
BUILDING SECTION
SCALE: 1/8" = 1'-0"



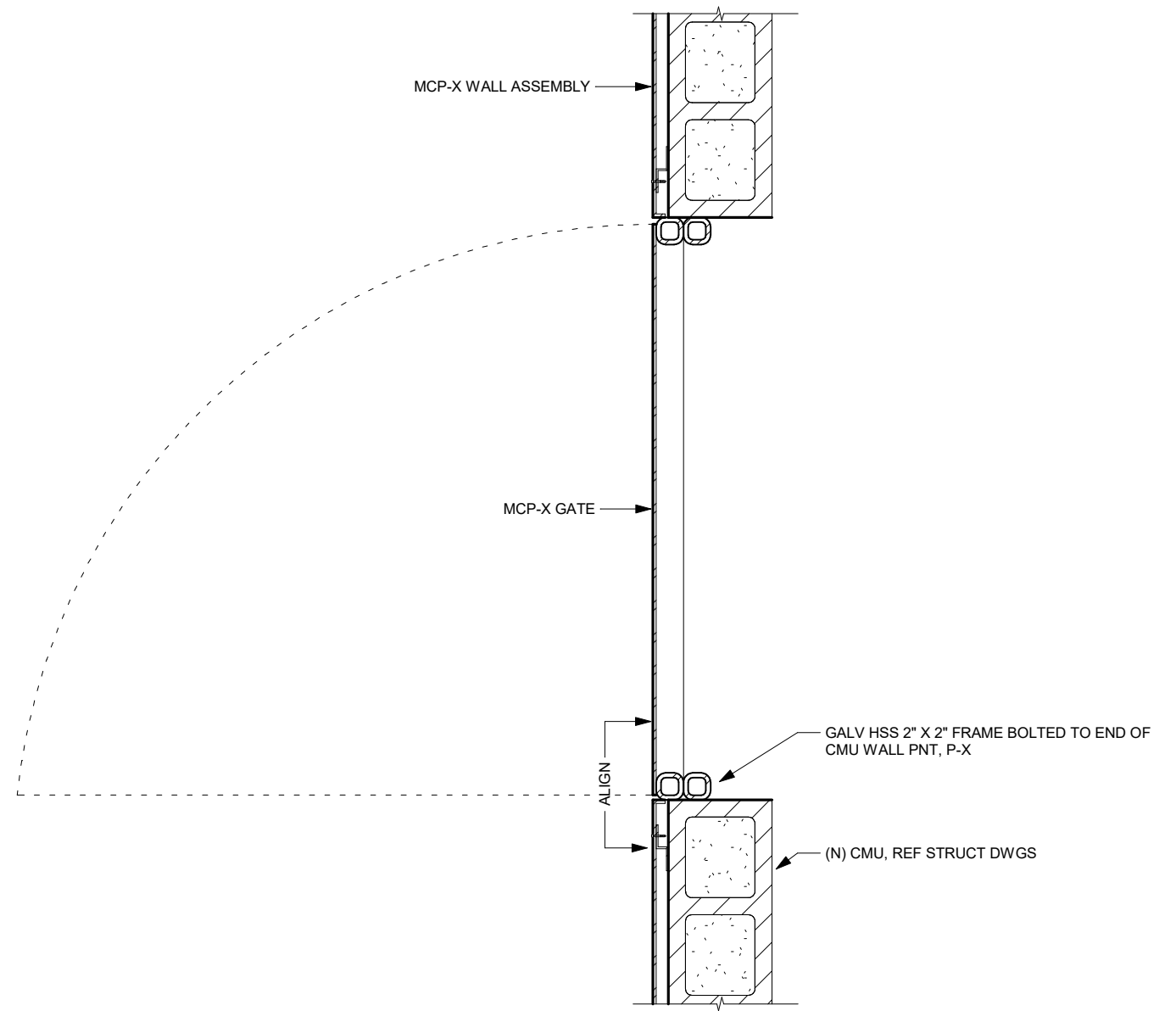
(C) ENCLOSURE WALL ASSEMBLY DETAIL
SCALE: 1 1/2" = 1'-0"



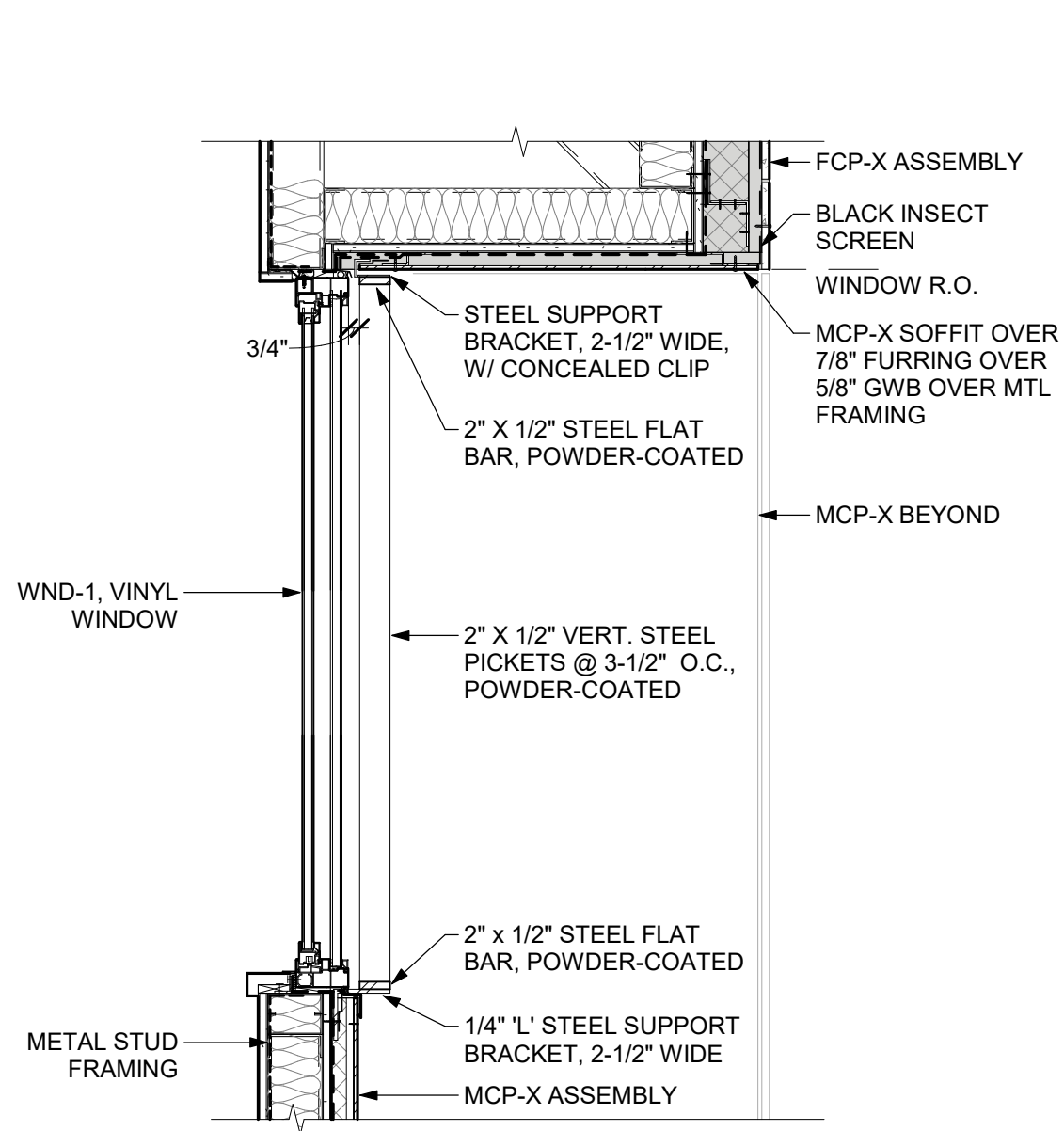
(D) ENCLOSURE SECTION @ PARAPET
SCALE: 1 1/2" = 1'-0"



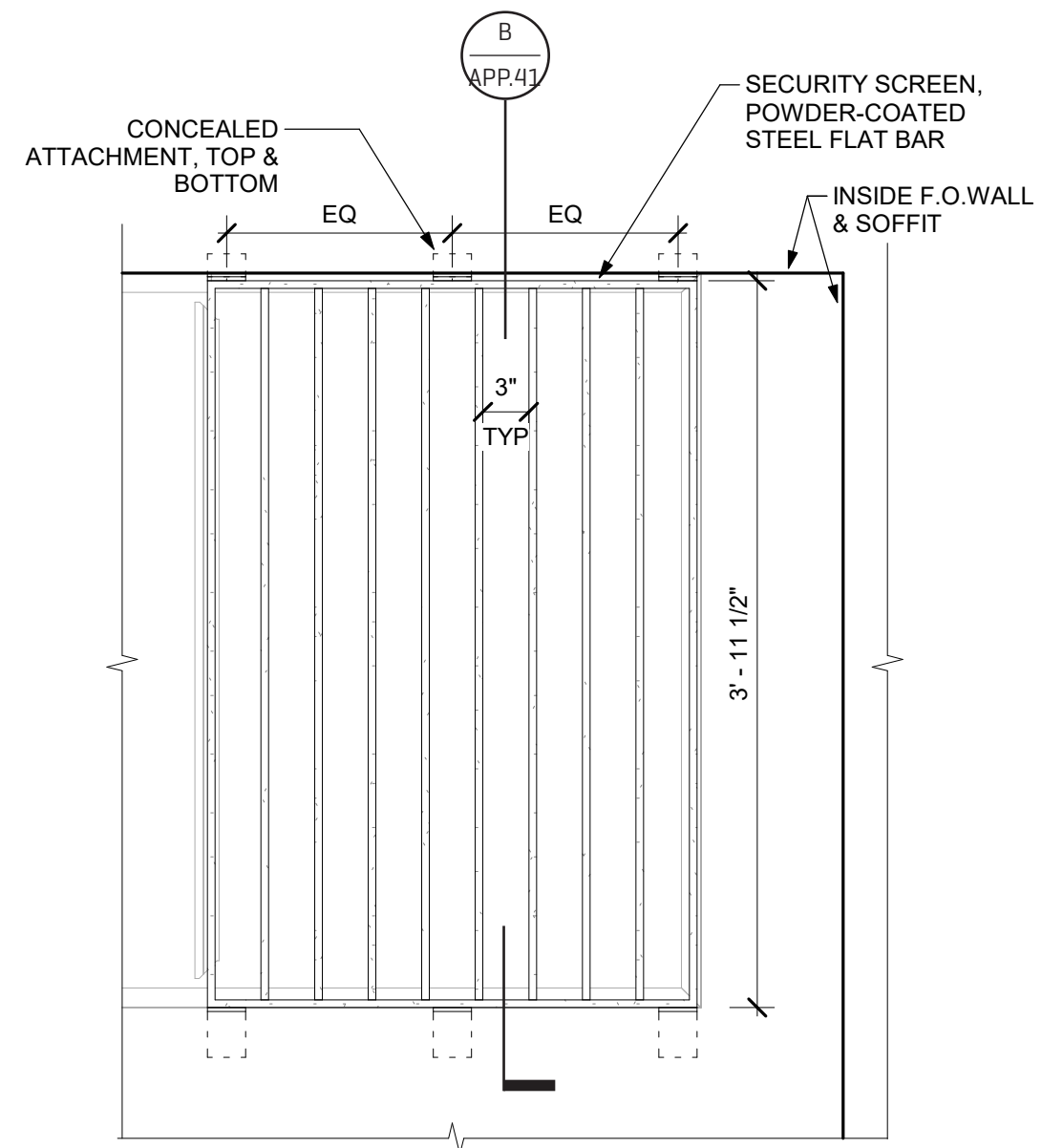
(B) ENCLOSURE SECTION @ BASE
SCALE: 1 1/2" = 1'-0"



(A) ENCLOSURE GATE DETAIL
SCALE: 1 1/2" = 1'-0"



B SECURITY SCREEN ATTACHMENT, TYP
SCALE: 1" = 1'-0"



A SECURITY SCREEN ELEVATION, TYP
SCALE: 1" = 1'-0"