

TRIATO RESIDENCE

DORMER & BATHROOM ADDITION

City Of Portland

REVIEWED FOR
CODE COMPLIANCE

Date: 01/27/22

Permit #:

21-085619-REV-01-RS

Drawn By:

PRECISION LINE DRAFTING
STEPHANIE WHITE
286 NE 61ST PLACE
HILLSBORO, OR 97124

Stamp:

TRIATO RESIDENCE
DORMER & BATHROOM ADDITION
7326 N KELLOGG ST.
PORTLAND, OR 97203

21-085619 RS REV 01

N KELLOGG ST.

SIDEWALK

PROPERTY LINE

GARAGE

EXISTING HOUSE

PROPERTY LINE

A SITE PLAN
1" = 100'

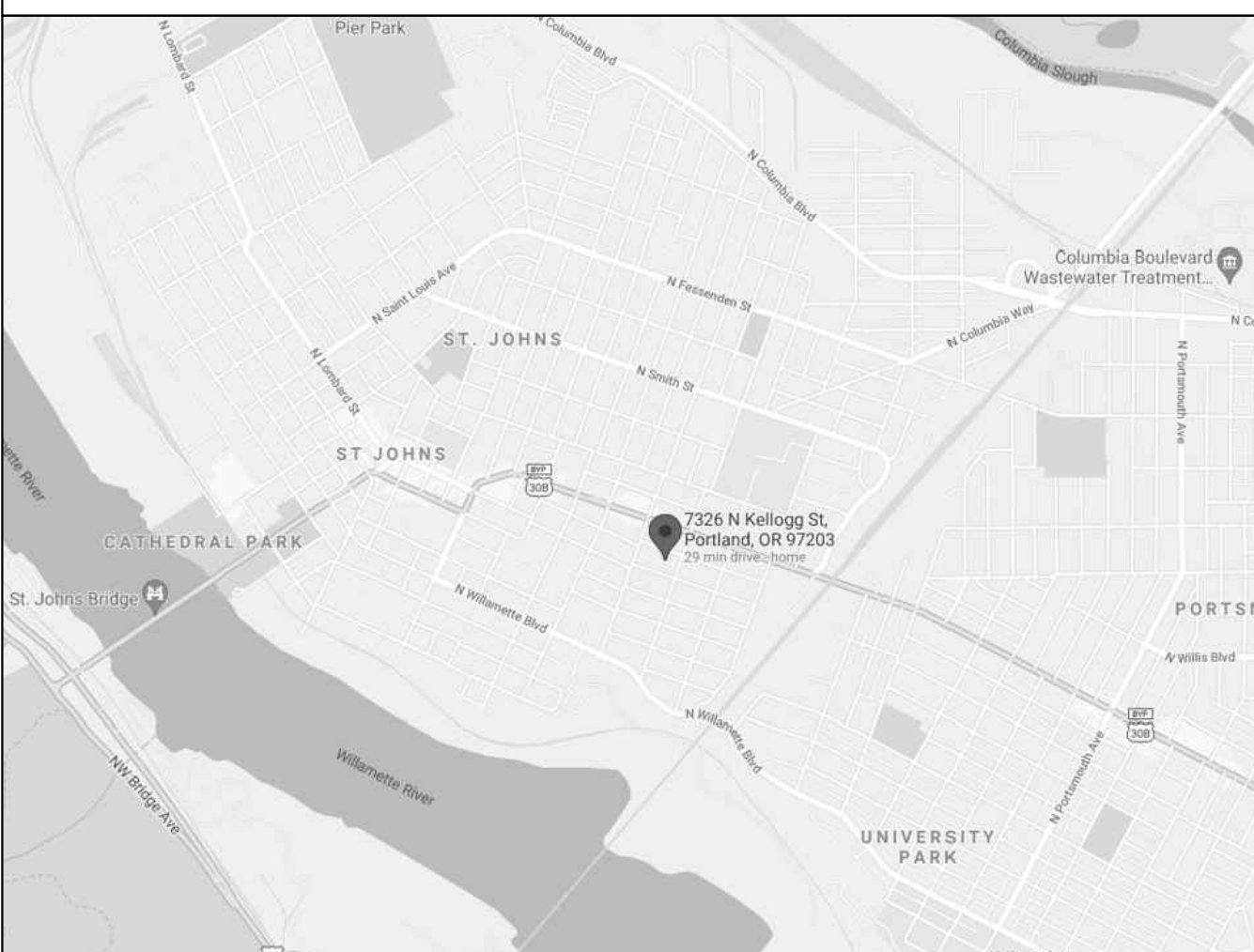
GENERAL CONTRACT NOTES

- DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALED DIMENSIONS. ALL DIMENSIONS SHALL BE FIELD VERIFIED AND COORDINATED WITH ALL OF THE WORK OF ALL TRADES.
- DIMENSIONS SHOWN ON PLANS ARE TO FACE OF EXTERIOR WALL, CENTERLINE OF STRUCTURE, AND FACE OF STUDS UNLESS OTHERWISE NOTED.
- SHOULD THE DRAWINGS DISAGREE IN THEMSELVES OR WITH THE SPECIFICATIONS OR SHOULD THE SPECIFICATIONS DISAGREE IN THEMSELVES, THE BETTER QUALITY AND/OR GREATER QUANTITY OF WORK OR MATERIAL SHALL BE ESTIMATED UPON AND UNLESS OTHERWISE ORDERED IN WRITING SHALL BE FURNISHED AND INSTALLED.
- SAFETY: ALL CONDUCT, WORK EQUIPMENT, AND MATERIALS SHALL BE IN FULL ACCORDANCE WITH THE LATEST SAFETY RULES AND REGULATIONS OF ALL AUTHORITIES AND AGENCIES HAVING JURISDICTION OVER THE WORK.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR AND OBTAINS ALL PERMITS, LICENSES, AND PAY REQUIRED FEES.

A. PRIOR TO THE ISSUANCE OF A BUILDING PERMIT, THE CONTRACTOR SHALL HAVE EVIDENCE OF CURRENT WORKMAN'S COMPENSATION INSURANCE COVERAGE ON FILE WITH THE DEPARTMENT IN COMPLIANCE WITH THE DEPARTMENT IN COMPLIANCE WITH THE LOCAL LABOR CODE.

B. ALL REQUIRED PERMITS MUST BE OBTAINED FROM THE REQUIRED GOVERNING AGENCIES BEFORE BUILDINGS ARE OCCUPIED.
- EACH CONTRACTOR SHALL LEAVE THE SITE IN A NEAT, CLEAN, AND ORDERLY CONDITION UPON CONCLUSION OF HIS WORK. ALL WASTE, RUBBISH, AND EXCESS MATERIALS SHALL BE REMOVED FROM THE SITE PROPERLY.

VICINITY MAP



PROJECT DIRECTORY

OWNER	STRUCTURAL ENGINEER
SUMMER TRIATO	LAUREN THOMAS
7326 N KELLOGG ST.	10372 SW BONANZA WAY.
PORTLAND, OR 97203	TIGARD, OR 97224
	LTSTRUCTURAL@GMAIL.COM
	PHONE: 503.317.1023

PROJECT SUMMARY

ADDITION OF SMALL DORMER FOR BEDROOM AND ADDING NEW BATHROOM
(2 TOILETS)

BUILDING INFORMATION

LEGAL DESCRIPTION	OCCUPANCY
7326 N. KELLOGG ST.	R5 - RESIDENTIAL
PORTLAND, OR 97203	
JOB ADDRESS	NO. OF STORIES
7326 N KELLOGG ST.	2-STORY
PORTLAND, OR 97203	
CONSTRUCTION TYPE	BUILDING CODES
TYPE V-B	2019 OREGON RESIDENTIAL
	SPECIALTY CODE
ENERGY PATH	SEISMIC
NOT APPLICABLE	NOT APPLICABLE

ZONING SUMMARY

ZONING INFORMATION
ZONE: R-5
SETBACKS:
FRONT: 15'
REAR: 15'
SIDE: 5'

MAX. BUILD HT.: 2 1/2' STORIES OR 35'

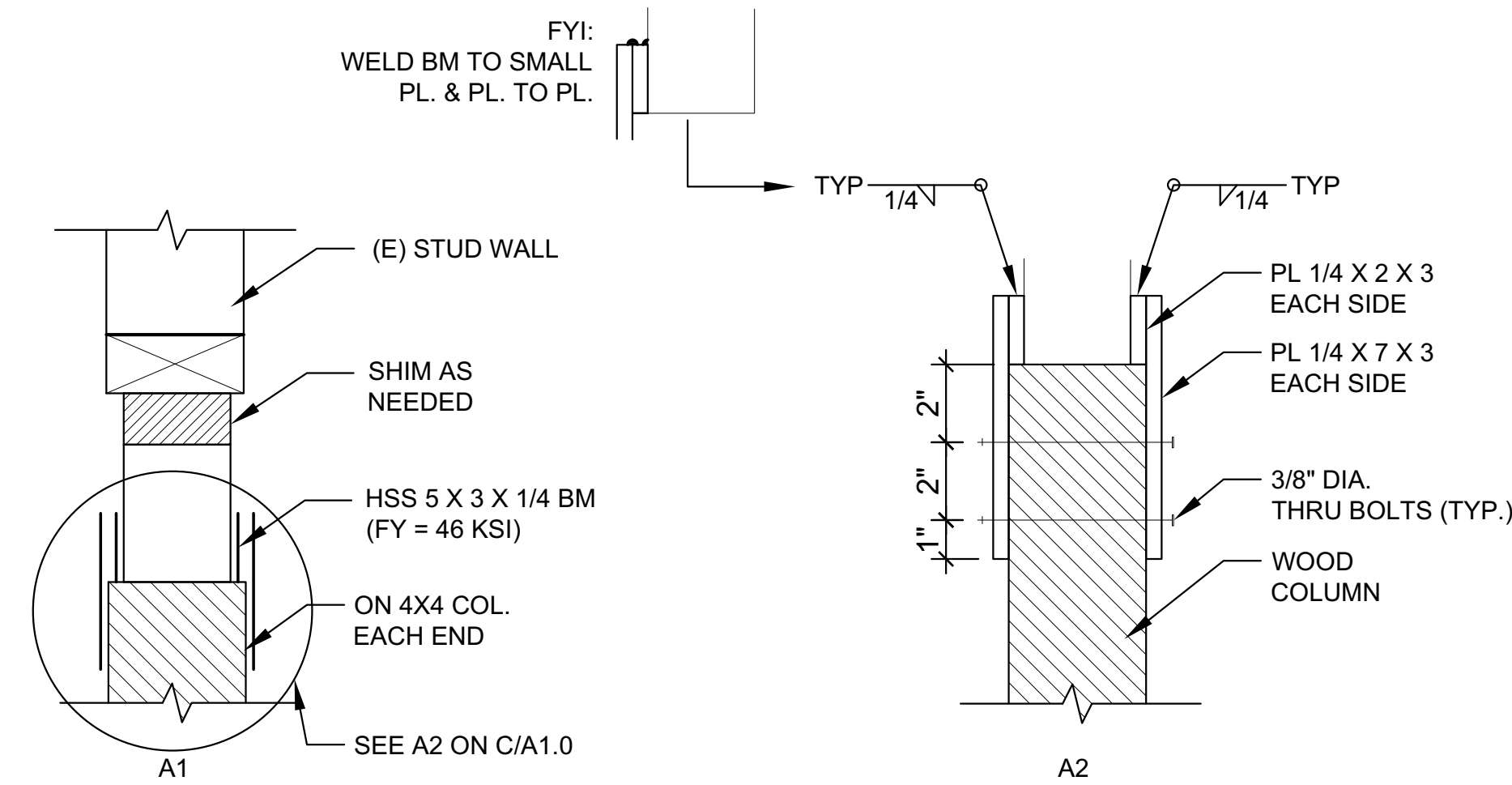
LOT COVERAGE
LOT AREA: 7500 SF
BUILDING AREA: 1486 SF
ADDITIONAL SQ FT ADDED: 120.37 SF

DRAWING INDEX

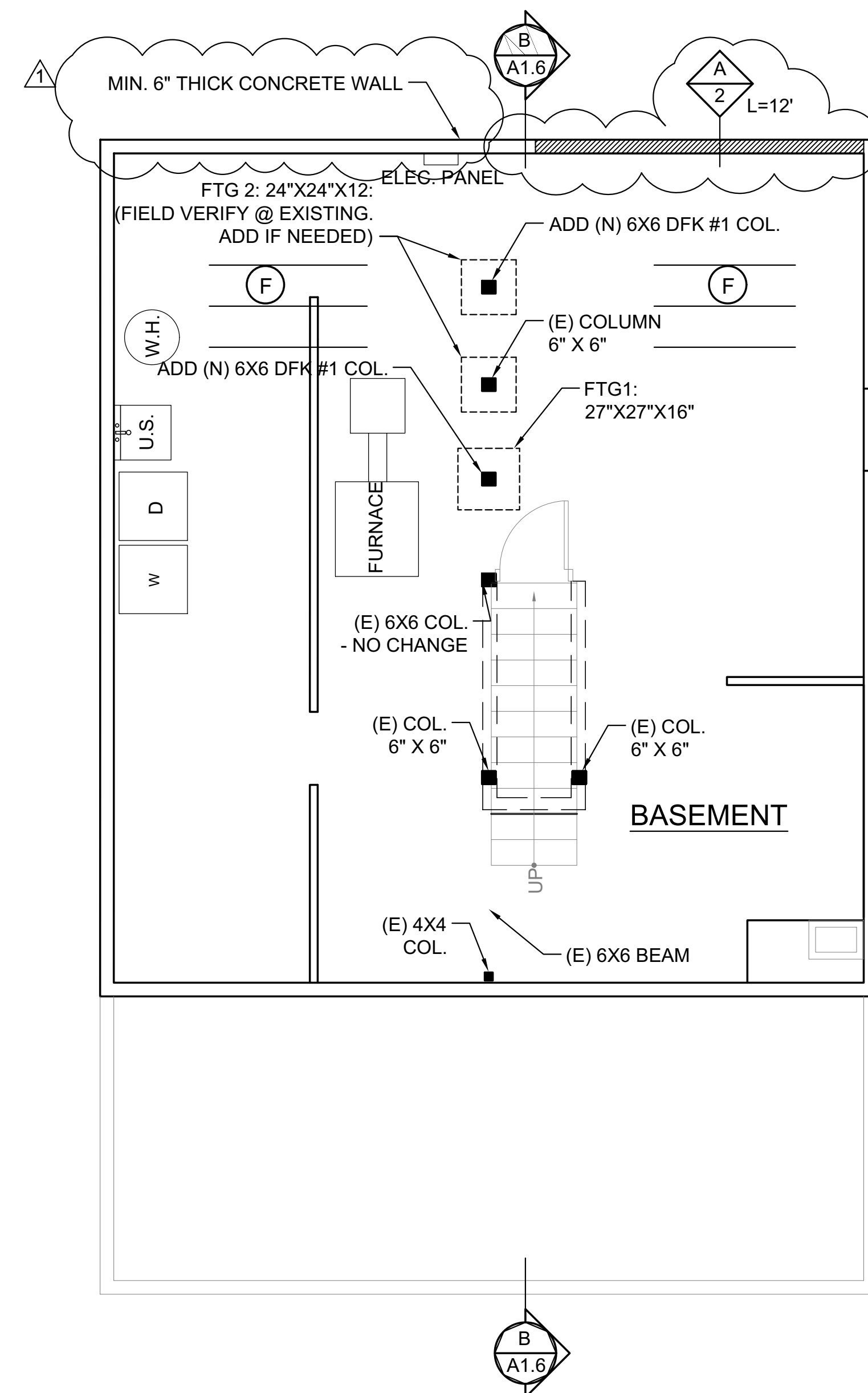
ARCHITECTURAL
G0.0 COVER SHEET
A0.1 EXISTING & DEMO FLOOR PLANS
A1.0 NEW FLOOR PLANS & DETAILS
A1.1 DEMO FLOOR FLOOR PLAN & ROOF PLAN
A1.2 NEW FLOOR & ROOF PLAN
A1.3 EXISTING FRAMING PLANS
A1.4 NEW FLOOR FRAMING PLANS
A1.5 EXISTING ROOF FRAMING PLAN & SECTION & DETAILS
A1.6 NEW ROOF FRAMING PLAN & SECTION & DETAIL
A1.7 EXISTING RCP
A1.8 NEW RCP
A1.9 SHEATHING SHEDULE & DETAIL

SUBMITTED 12.7.2021

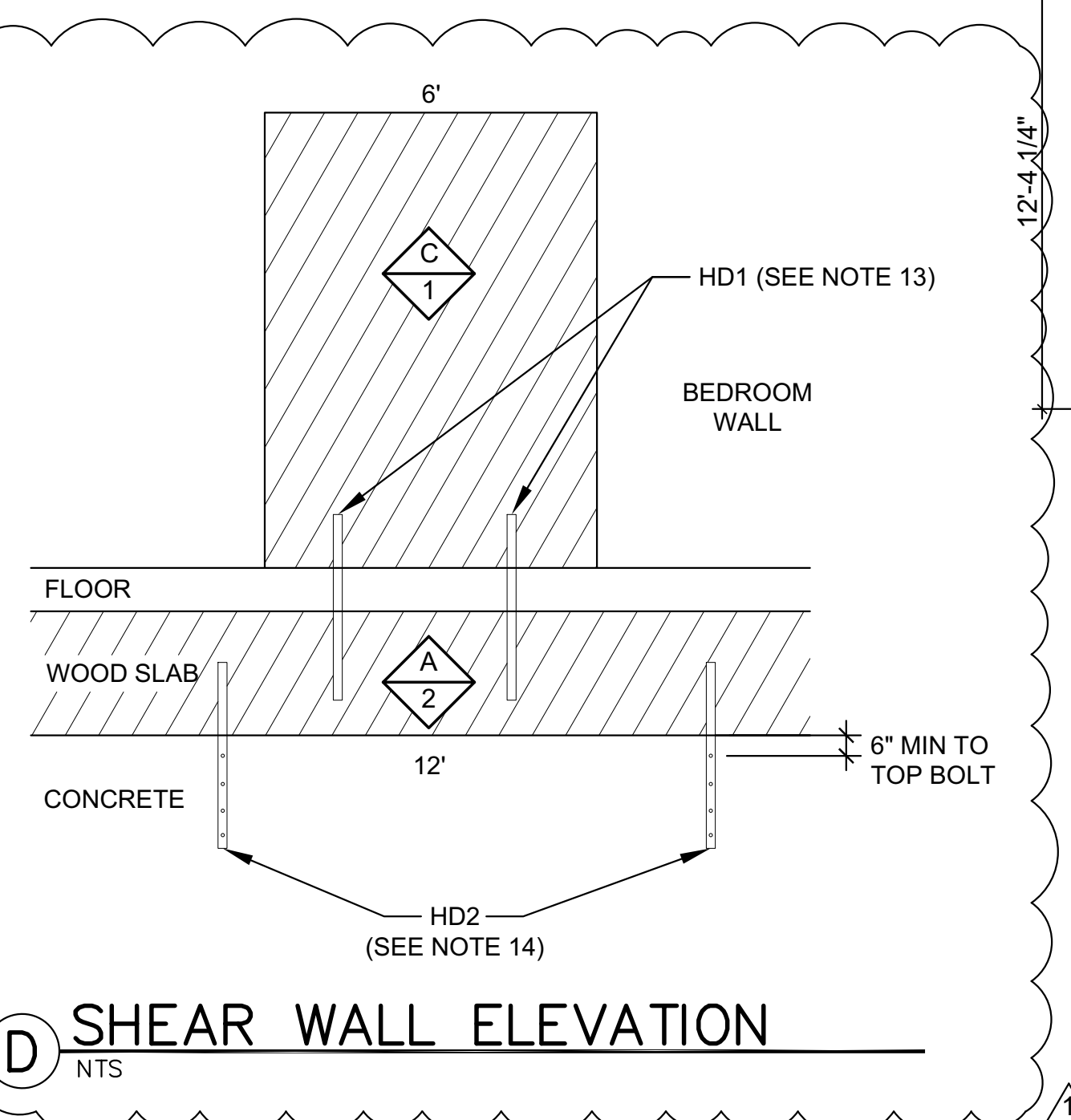
1. FIELD VERIFY ALL (E) CONDITIONS. CONTACT ENGINEER OR RECORD IF DIFFERENT.
2. FIELD VERIFY PERIMETER FOUNDATION MIN. 6" THICK SOLID CONCRETE IN GOOD CONDITION
3. (F) ADD 1.75"x7.25" 1.9E ML LVL AT 18" O.C. (IN BETWEEN (E) FLOOR JOISTS) - EXISTING BM TO CONCRETE WALL
4. ALL FOOTINGS TO HAVE #4 @ 12" O.C. 3" CLEAR BOTTOM TYP.
5. USE PB66 COL. TO NEW FOOTING TYP.
6. A-FRAME TO STUD WALL: H2.5A TYP.
7. BM TO COL. PL TYPE UNLESS NOTES OTHERWISE (U.N.O.)
8. COL. BASE: A35 EACH SIDE TO SILL.
9. ADD BLOCKING AT 36" O.C. BETWEEN ALL (N)/(E) FLOOR JOISTS ALL LEVELS @ DORMER FOOT PRINT.
10. ALL JOISTS @ BEAMS BOTTOM BEARING U.N.O.
- ~~11. ALL NEW WINDOWS HAVE A U-VALUE OF 0.2, NEW DOORS HAVE A U-VALUE OF 0.43.~~
12. CONFIRM CONCRETE FOUNDATION IN ADEQUATE CONDITION FOR ADDITIONAL LOADS.
13. HD1: MST 60 ON 4X4 POST TO PONY WALL BELOW (4X4 TYP) FULLY NAILED.
14. HD2: MST 60 W/(4) 1/2" Ø. ALL THREADROD INTO SIMPSON SET-XP EPOXY (4" EMB) - FULLY NAIL ON 4X4 WALL (SPECIAL INSPECTION REQ'D).



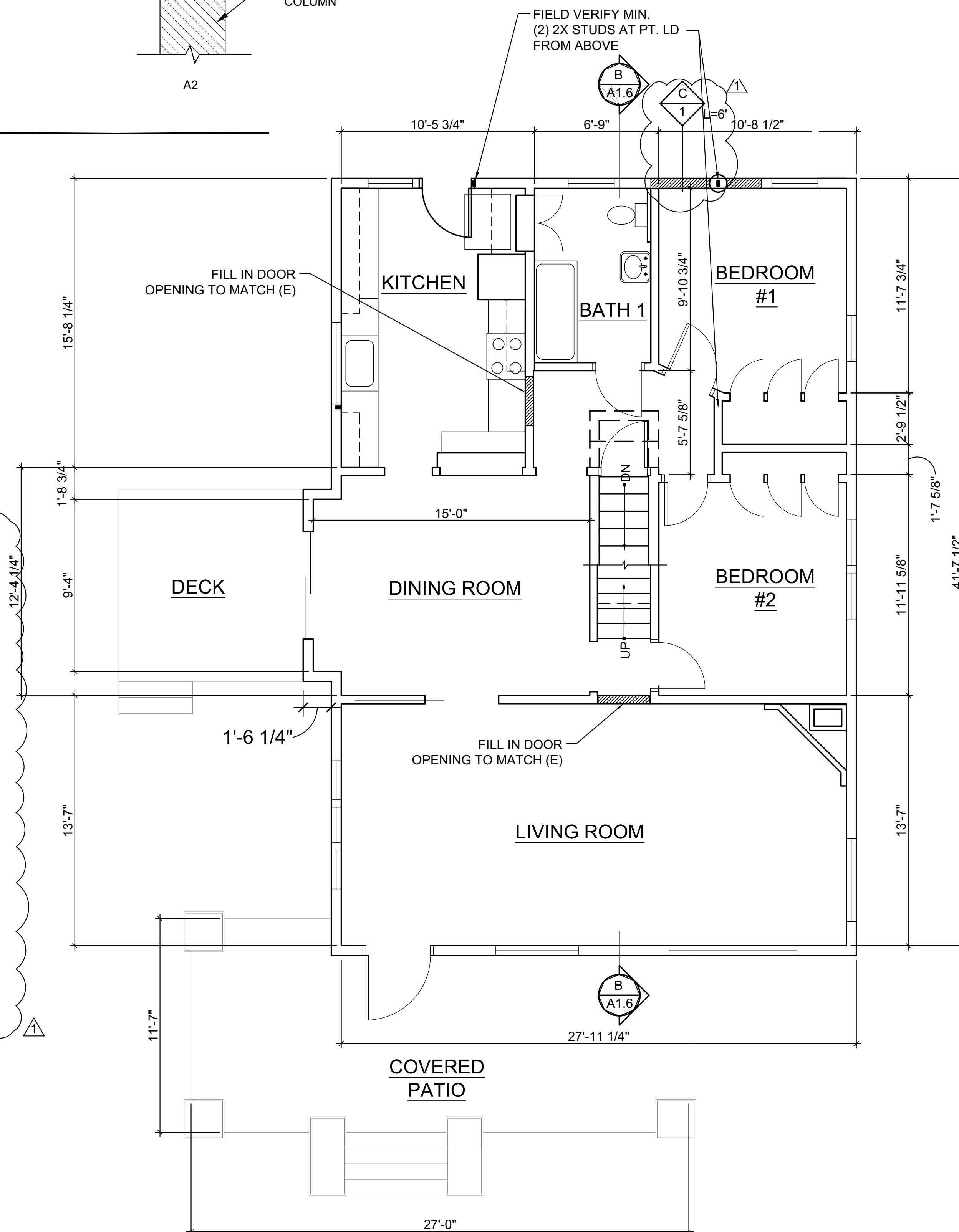
C COLUMN DETAIL
3" = 1'-0"



(A) BASEMENT PLAN (N)
1/4" = 1'-0"



(D) SHEAR WALL ELEVATION
NTS



(B) 1ST FLOOR PLAN (N)
1/4" = 1'-0"

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12-07-2021	REVISION 1
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Project Number:

Plan Series:

Property Number:

Sheet Title:

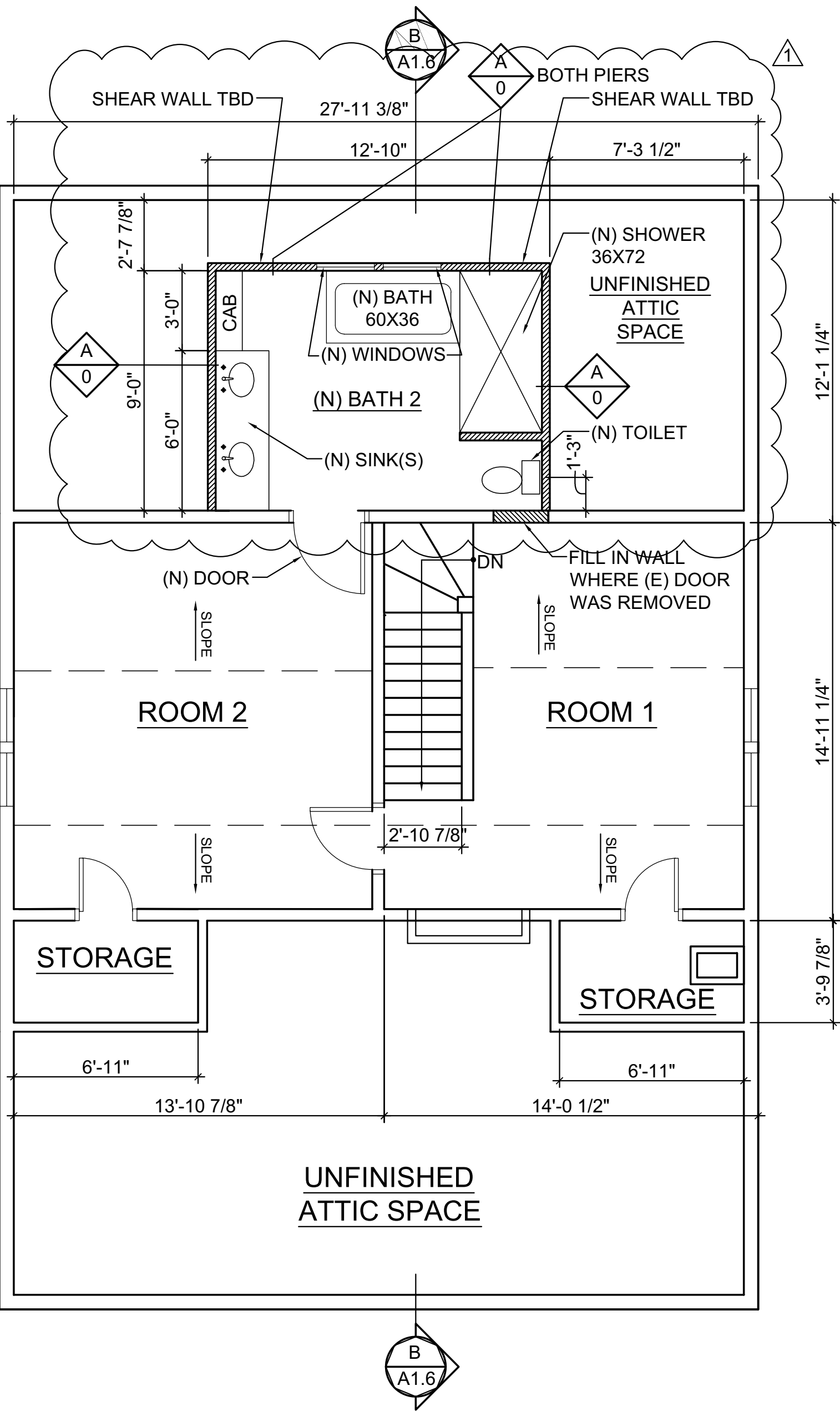
NEW FLOOR
PLANS &
DETAIL

Sheet:

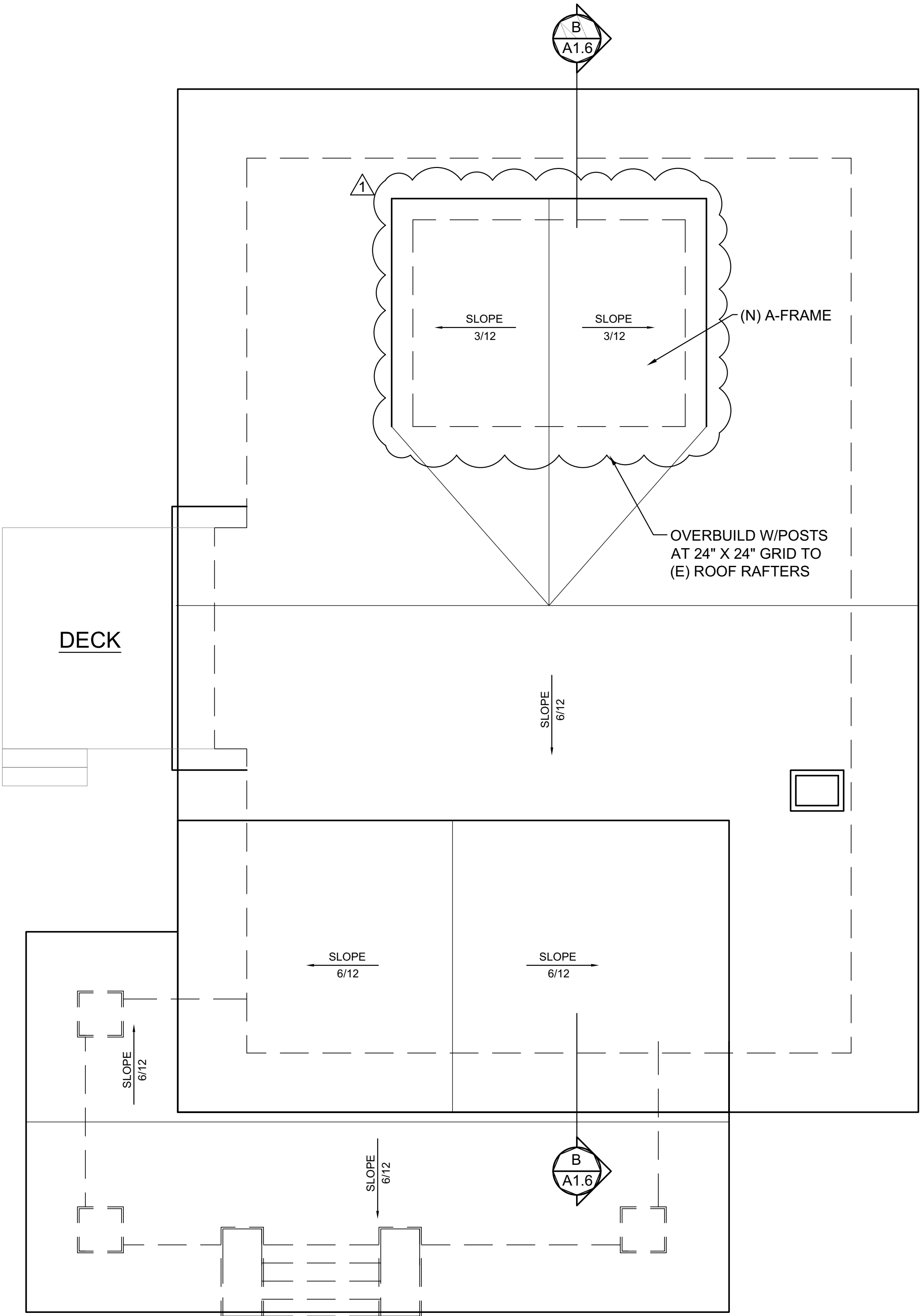
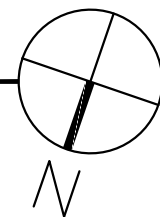
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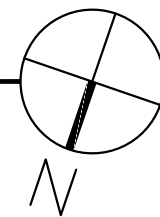
- NOTES:
- 1. AFRAME TO STUD WALL: H2.5A TYP.
 - 2. BM TO COL. PL TYPE UNLESS NOTES OTHERWISE (U.N.O.)
 - 3. COL. BASE: A35 EACH SIDE TO SILL
 - 4. ADD BLOCKING AT 36" O.C. BETWEEN ALL (N)/(E) FLOOR JOISTS ALL LEVELS @ DORMER FOOT PRINT
 - 5. ALL JOISTS @ BEAMS BOTTOM BEARING U.N.O.



A 2ND FLOOR PLAN (N)
1/4" = 1'-0"



B ROOF PLAN (N)
1/4" = 1'-0"



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1	12-07-2021		

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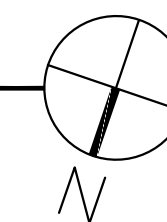
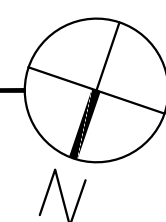
Plan Series:

Property Number:

Sheet Title:
NEW FLOOR
PLAN &
ROOF PLAN

Sheet:

A1.2



NAILING - TBD
(SEE A1.9 SHEAR WALL SCHEDULE)
=
TO BE DETERMINED

**REVIEWED FOR
CODE COMPLIANCE**

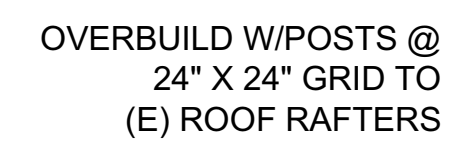
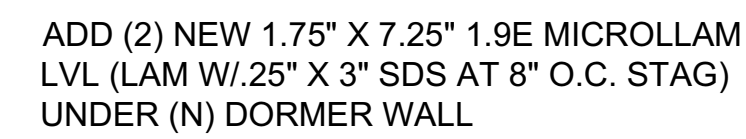
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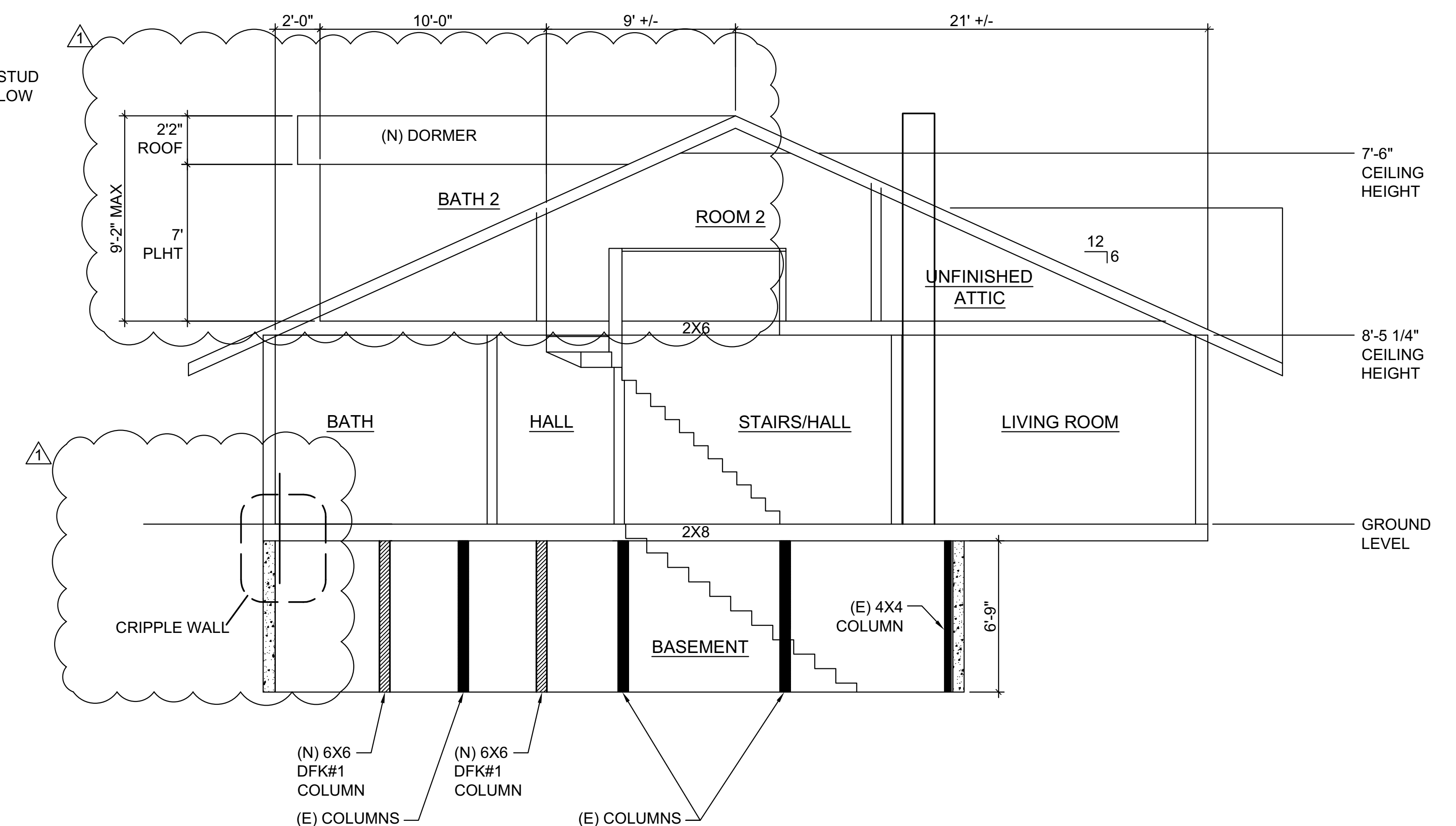
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NEW ROOF FRAMING PLAN & SECTION & DETAIL

A1.6



(A) ROOF FRAMING PLAN (N)
1/4" = 1'-0"



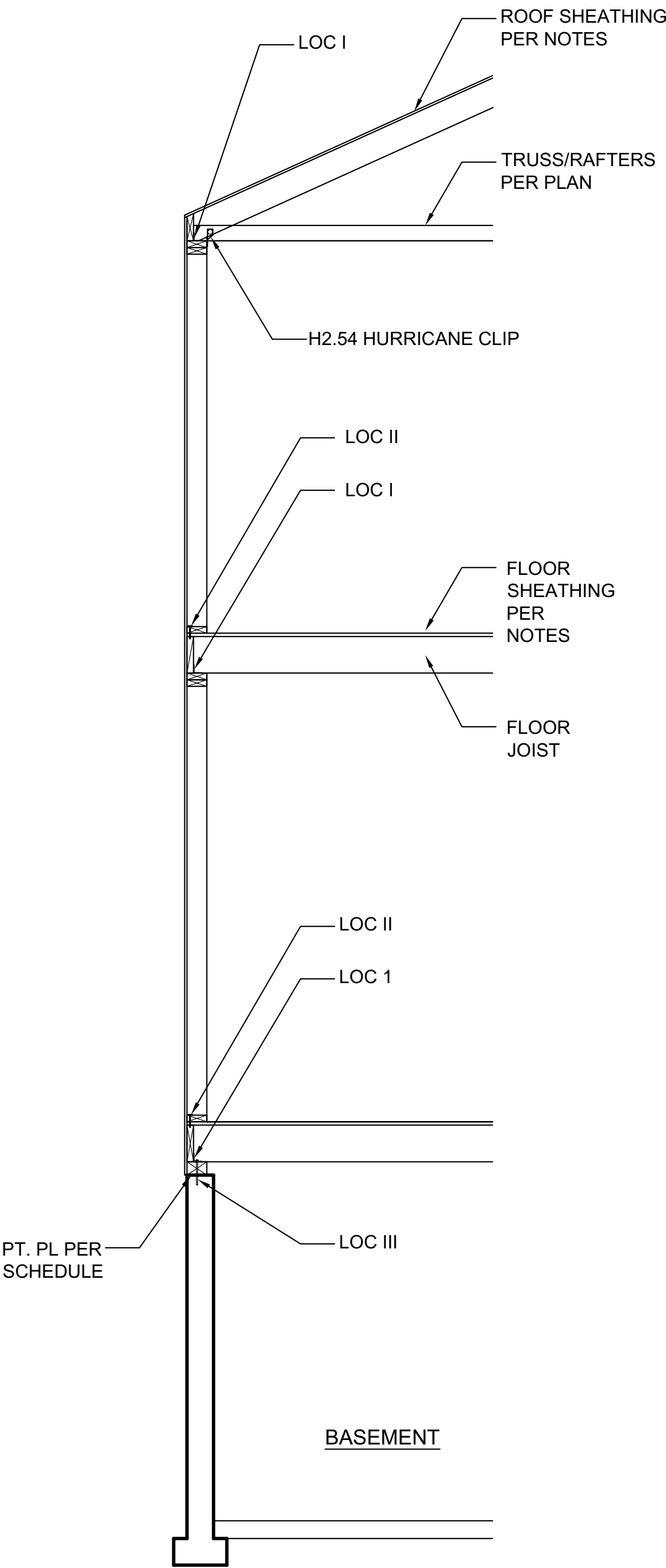
SECTION (N)
1/4" = 1'-0"

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SHEATHING SCHEDULE

DATA/ MARK	SHEATHING	NAIL SIZE	PANEL EDGE NAIL SPACING	FIELD NAIL SPACING	LOC I RIM TO DBL TOP PLATE (A35)	LOC II PLATE NAILING	LOC III SILL PLATE TO FOUNDATOIN (SIMPSON TITEN HD ANCHOR (W/3 1/2" EMB) (SEE NOTE 4)	NOTES
A	15/32" APA RATED SHTG, OS	8Ø	6" O.C.	12" O.C.	32" O.C.	16Ø @ 12"	5/8" @ 32"	ALT LOC 3 URFP W/(2) 1/2" DIA. TITEN HD
B	15/32" APA RATED SHTG, OS	8Ø	4" O.C.	12" O.C.	16" O.C.	16Ø @ 8"	5/8" @ 16"	
C	15/32" APA RATED SHTG, OS	8Ø	3" O.C.	12" O.C.	16" O.C.	16Ø @ 6"	5/8" @ 16"	3X PLATE REQ'D, SEE NOTE 6
D	15/32" APA RATED SHTG, ES	8Ø	6" O.C.	12" O.C.	16" O.C.	16Ø @ 6"	5/8" @ 16"	3X PLATE REQ'D, SEE NOTE 6
E	15/32" APA RATED SHTG, ES	8Ø	4" O.C.	12" O.C.	8" O.C.	16Ø @ 4"	1/2" @ 8"	3X PLATE REQ'D, SEE NOTE 6
F	15/32" APA RATED SHTG, OS	10Ø	3" O.C.	8" O.C.	8" O.C.	16Ø @ 4"	1/2" @ 8"	4X PLATE REQ'D, SEE NOTE 6
G	15/32" APA RATED SHTG, ES	10Ø	4" O.C.	8" O.C.	8" O.C.	16Ø @ 3"	1/2" @ 6"	4X PLATE REQ'D, SEE NOTE 6
								(3 1/2" EMB) @ 32" O.C.

- NOTES:
1. O.S. = ONE SIDE OF WALL.
. E.S. = BOTH SIDES OF WALL.
2. ALL NAILS TO BE COMMON.
3. PLACE PLYWOOD/SHEATHING ON EITHER SIDE AS SYMBOL.
4. ANCHOR BOLTS TO INCLUDE 0.229" X 3" X 3" STEEL PLATE WASHERS BETWEEN SILL PLATE AND NUT PER 2305.3.11.
5. UNLESS INDICATED ON THE PLANS, MINIMUM WALL SHEATHING TO BE 15X32" PWD W/1 1/2" 16 GAGE STAPLES AT 6" ALL PANEL EDGES.
6. OFFSET PANEL JOISTS OR USE 3X MEMBER AT ADJOINING PANEL EDGES.
7. TRUE 3X AND 4X PLATES REQUIRED/CANNOT USE DOUBLE 2X PLATES OR BUILT UP SECTIONS.



A SHEAR WALL DETAIL
1/2" = 1'-0"

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SHEATHING
SCHEDULE &
DETAIL

Sheet:

A1.9