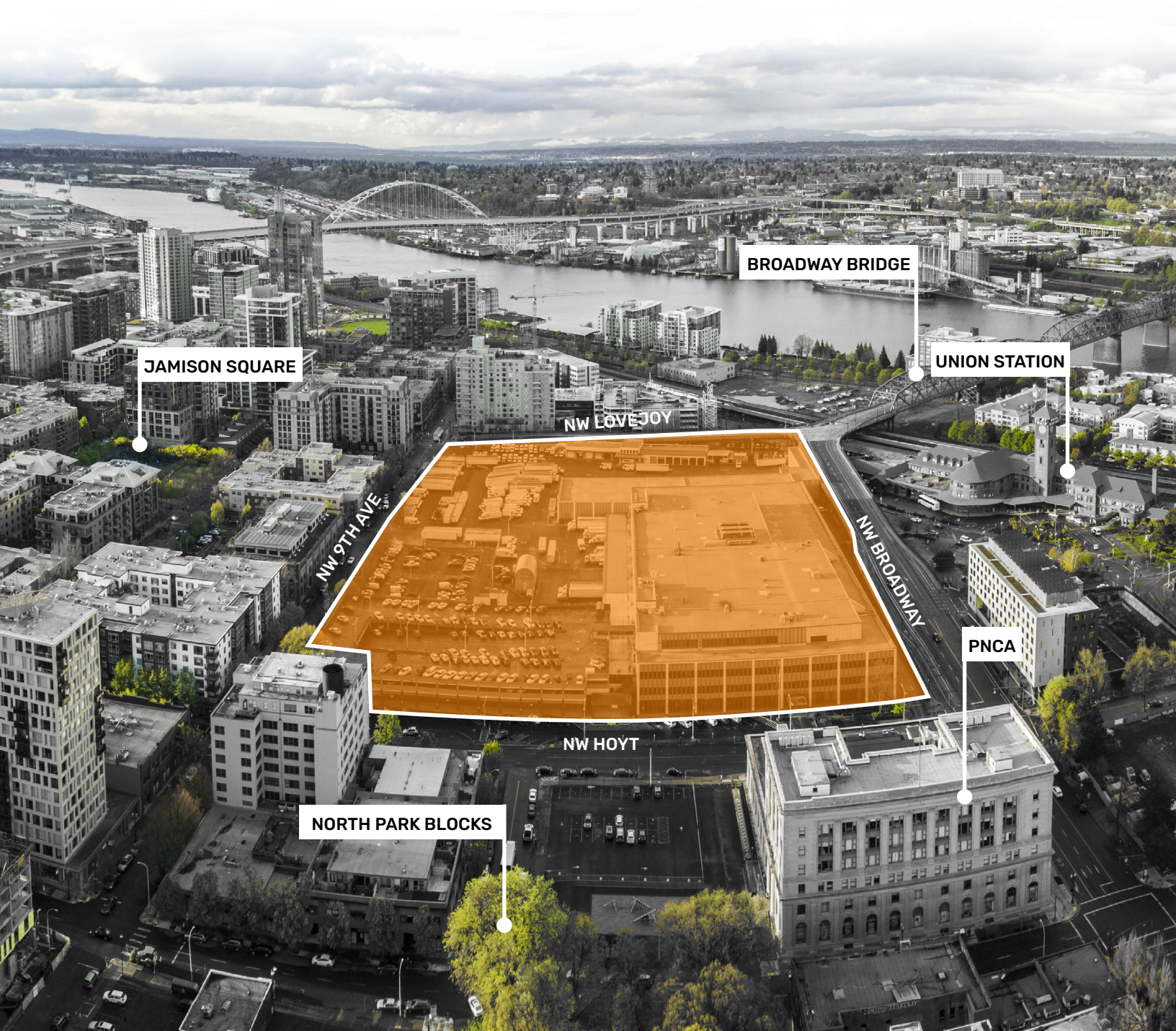


USPS MASTER PLAN

AUGUST 20, 2020

LU 19-246279 CCMS AD



CONTENTS

01 PREFACE

Purpose	4
Title 33.510.255 Response Index	5

02 INTRODUCTION

Vision	8
The Big Moves	11

03 EXISTING SITE

Conditions	12
Location	13
Existing Site	15

04 MASTER PLAN COMPONENTS

* Chapter 4 addresses the codified components of the Central City Master Plan under Title 33, chapter 33.510.255G and is followed by supplemental information providing the rationale and findings supporting the approval criteria and greater vision

Overview	18
Building Massing Overview	21
Development GSF	27
Building Massing	29
Circulation	47
Open Areas	59
Phasing	61

05 SUPPORTIVE MASTER PLAN MATERIALS

Overview	64
Open Areas	67
Circulation	89
Building Orientation & Massing	101
Building Massing	103
Approval Criteria	105

06 APPENDIX

* See the USPS Master Plan Appendix document.

Preliminary Engineering Drawings **RESUBMITTED**

TIS Report and Appendices **RESUBMITTED**

TDM Plan **RESUBMITTED**

Response to Statewide Planning Goals

DAR Summary Report



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When viewed in Adobe Acrobat® and other supported PDF viewers, clicking underlined page and figure references will navigate to the relevant reference.

PREFACE

PURPOSE

The USPS site is one of five sites in downtown Portland required to complete a Central City Master Plan (CCMP) in the Central City 2035 plan (CC2035). The CCMP boundary site is within the broader 34-acre Broadway Corridor Development Plan area, within the Central City in northwest Portland. The 14-acre USPS site is jointly owned by the Portland Housing Bureau (PHB) and Prosper Portland. The USPS redevelopment offers the potential to create nearly 4 million SF of new economic, business, social and community development opportunities.

This CCMP is intended to document an urban design framework for the buildings, streets, open spaces, and infrastructure necessary to complete the redevelopment of the USPS site. The foundation of the CCMP is the role of the public realm, which will include new streets that strengthen vibrant and safe connections between existing destinations and services within the Central City, and expand the open space network through the addition of two new park blocks, the Green Loop, and the Bridge Landing Plaza. Building massing, orientation and service concepts are described with the intent to clarify important views, spatial relationships, shadow impacts and access routes, while preserving the kind of development flexibility that is necessary for high-density urban projects that have not yet been designed. The CCMP also includes a plan for adequate and timely phasing of infrastructure needed to support the development of the USPS site.

Chapter 4 addresses the codified components of the Central City Master Plan under Title 33, chapter 33.510.255G and is followed by supplemental information providing the rationale and findings supporting the approval criteria and greater vision.

TITLE 33.510.255 RESPONSE INDEX

G. Components. A Central City Master Plan must include the following components:

RESPONSES TO TITLE 33.510.255
COMPONENTS CAN BE FOUND
ON PAGES IN ORANGE

- | | |
|---|---|
| 1. Boundaries. The boundaries of the master plan area must be shown on a site plan. For sites where a Central City Master Plan is required, the boundary must include all contiguous lots in common ownership within the area shown on Map 510-19. Contiguous includes lots across a shared right-of-way. Lots in separate ownership may be included, but are not required. | page 14 |
| 2. Proposed urban design and development framework.
The following materials must be included to provide clear visual information about the proposal. | |
| a. A site plan showing the following: | |
| (1) Location, size and dimensions of all existing and proposed structures, and the location of all main entrances to existing and proposed buildings; | pages 14 , 20 , 23 , 44 |
| (2) Location, size and dimensions of the building coverage of all proposed structures; | pages 20 , 23 |
| (3) Description of existing and proposed land uses. The description must include information as to the general amount, type and location of all uses; | page 19 |
| (4) Existing and proposed internal pedestrian, bicycle, and vehicle circulation system, including where each part of the proposed system connects to public rights-of-way adjacent to the master plan boundary, and transit service lines and stations within or adjacent to the master plan boundary; | pages 48 , 49 , 50 , 51 , 52 , 53 |
| (5) Existing and proposed location of public rights-of-way | pages 46 , 47 , 52 , 53 |
| (6) Location of bicycle and vehicle parking; and | pages 46 , 47 , 52 , 53 |
| (7) Location, size and shape of all open areas such as parks, plazas, landscaped and hardscaped areas and outdoor recreation amenities including those that are required in 33.510.255.K. | pages 58 , 59 |

-
- | | |
|--|-------------------------|
| b. A three-dimensional massing diagram that identifies the maximum existing and proposed building envelopes, with proposed building dimensions and height for each building, including building massing where a tower will be setback from the edge of a podium; and | page 24 |
|--|-------------------------|
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- | | |
|---|---|
| c. Sections, sectional elevations, and perspectives that illustrate the relationship of site redevelopment to the surrounding urban form in terms of building height and massing. | pages 42 , 43 |
|---|---|
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- | | |
|--|---|
| 3. Project narrative. A narrative that describes the project, identifies how the Central City Master Plan is consistent with the applicable design guidelines. Specific information about the proposed range and density of land uses and the proposed phasing of development must also be included. If the proposed Central City Master Plan involves the transfer of floor area, information about the location of the receiving and sending sites, the ownership of the sites, and amount of floor area to be transferred and retained at each site must be included. | pages 108-125 , TIS, street and utility engineering plans in Master Plan appendix |
|--|---|
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- | | |
|---|---|
| 4. Infrastructure capability. The adequacy of infrastructure must be addressed. The plan must identify and link the development of each phase of the project to the provision of services necessary to meet the infrastructure needs of the development associated with that phase. | pages 60 , 61 |
|---|---|
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- | | |
|---|-------------|
| 5. Design advice. A copy of the design advice request summary | in appendix |
|---|-------------|



Master Plan Design Team

AKANA Inc

ARUP North America Ltd

BRIGHTWORKS Sustainability LLC

Design Illustration Group LLC

ECONorthwest

Kittelson & Associates

KPFF Consulting Engineers

PLACE Studio LLC

Project for Public Spaces

Rider Levett Bucknall

Studio Jelly LLC

Toole Design Group LLC

WLR Consulting LLC

Randy Blazak Consulting LLC

ZGF Architects LLP

Appreciation for Continuum Partners, the Broadway Corridor Steering Committee, the Broadway Corridor Technical Advisory Committee, Lara Media, Bill Lennertz, Jahmese Meyers, and many members of the public who have informed the Master Plan

INTRODUCTION

VISION

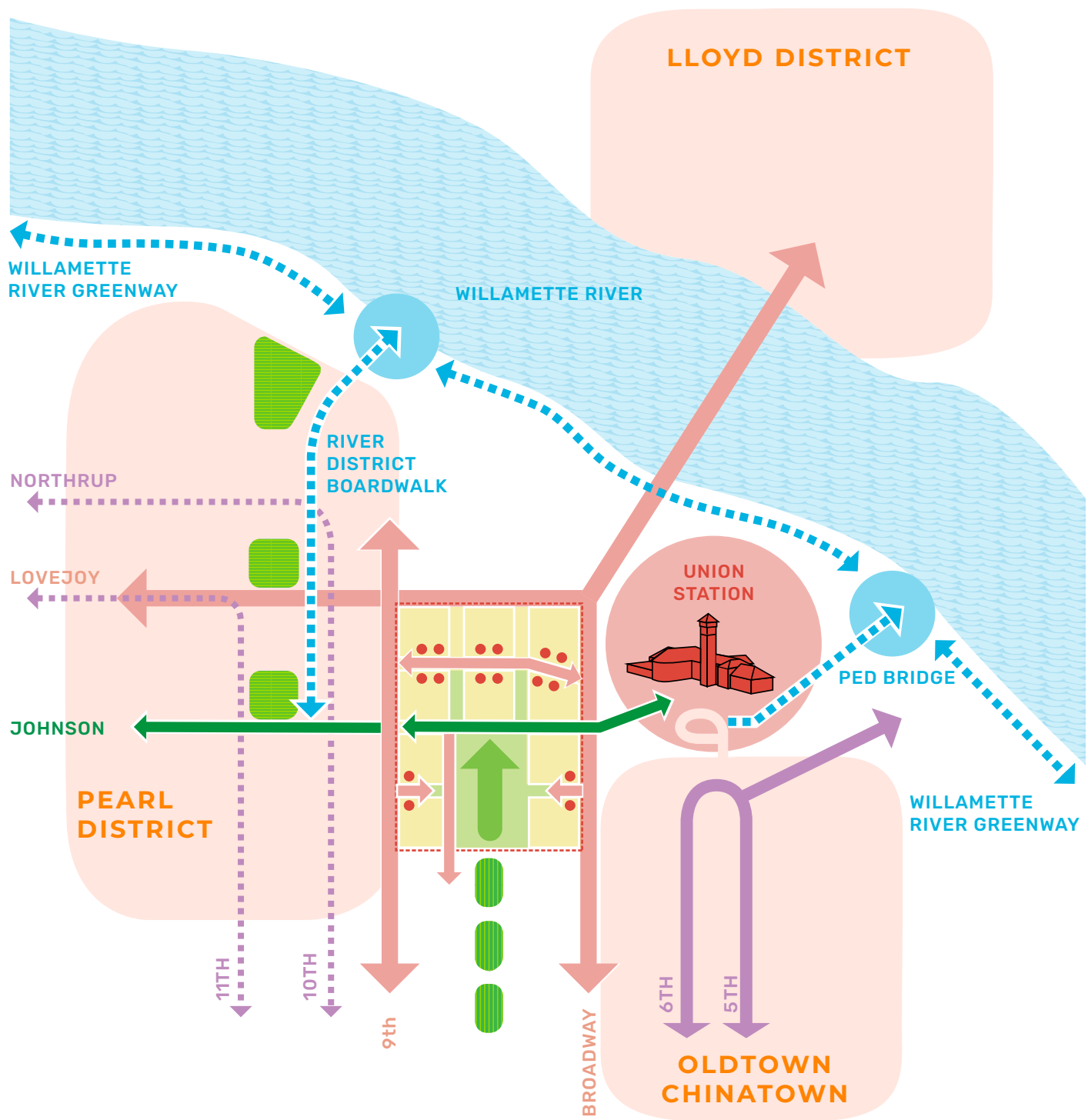
The United States Postal Service (USPS) site is the centerpiece of the Broadway Corridor. The Broadway Corridor is an urban development project which will permanently change Portland's downtown landscape, knit the city together, attract regional, national and international media attention, and catalyze significant private investments. The Broadway Corridor project approach acknowledges historic disparities; considers what is being created for future generations; fosters culture, social equity and inclusion in a genuinely transparent and equitable way; and reimagines how people live, work, enjoy and move through the city. The project is envisioned as a unique, diverse, vibrant, sustainable, mixed-use, dense urban district seamlessly integrated with a regional multi-modal transportation hub.

The Central City 2035 plan (CC2035) identifies the USPS property as a key opportunity site for high-density employment, mixed-income housing, and signature city attractions and amenities. The project will establish a new transit-accessible concentration of activity for people throughout the Portland region, and connect the Old Town/ Chinatown and Pearl District neighborhoods in a financially feasible redevelopment with the goal to maximize community benefits, particularly for those groups that haven't benefited from other urban projects.

Previous downtown development projects have propelled Portland's economic growth and contributed to Portland's reputation as a popular destination city. However, many downtown projects have failed to benefit—or have negatively impacted—longtime residents

and community members, particularly low-incomes residents and communities of color. The Broadway Corridor project team and its stakeholders are committed to promoting social equity by reducing disparities, extending community benefits, building affordable housing and improving socio-economic opportunities for underserved and underrepresented people. The project team is also committed to true and authentic community engagement, intentionally involving underserved and underrepresented communities in the decision-making process, design and build-out of the project. The team has and will continue to engage and partner with a diverse range of Portlanders to shape the future community of the 32-acre site alongside the development partner, Continuum, in alignment with the Broadway Corridor guiding principles and project goals.

The USPS site is well-positioned to engage and serve people throughout the region, located at the heart of a transportation network that includes light rail, streetcar, and bus, with multiple stops of each mode within 1/8 of a mile of the site, as well as Prosper Portland-owned Union Station. It also lies at the northern terminus of the North Park Blocks, and along the planned alignment of the Green Loop. Accordingly, development of the site is planned to accommodate a high density of housing, employment, services and amenities in this location, connected by a vibrant and high-quality public realm. Streets are planned to prioritize pedestrian and bicycle movements, and open spaces are planned to be flexible enough to support a broad range of activities and people at different times of the day, week, and year.



KEY:

	HIGH DENSITY MIXED USE
	USPS AREA
	NORTH PARKS
	CURBLESS PEDESTRIAN

	CONSOLIDATED PARKING AND LOADING
	JOHNSON STREET
	PORTLAND TRANSIT MALL (BRT/BUS)
	STREET CAR
	LOCAL STREETS
	RIVERWALK

Figure 1.1
USPS Master Plan Vision Diagram

THE BIG MOVES

The Broadway Corridor neighborhood is positioned at the nexus of local, district, city, and regional elements with the potential to make and complete extraordinary connections. The connections and significant attributes include:

- Connecting Neighborhoods.**
 Enhance connectivity between the Pearl District, Old Town Chinatown and the Lloyd District by restoring Portland's street grid across the USPS site, connecting NW Johnson to Union Station, and embracing and catalyzing Portland's Green Loop.
- Creating a Transportation Hub.**
 Enhance Union Station's connection to the city by completing NW Johnson connecting regional rail to Portland streetcar, light rail, buses and bike and pedestrian network.
- Connecting Open Space.**
 Extend the North Park Blocks to NW Johnson Street, a neighborhood greenway street, completing an open space network connecting the North Park Blocks to the Pearl District Park Blocks, Old Town Chinatown and Lloyd District.
- Connecting to the River.**
 Create neighborhood connections to the River District Boardwalk along NW 10th Avenue and the Union Station Pedestrian Bridge connecting to the Yards at Union Station and McCormick Pier housing across Natio Parkway to the Willamette River Waterfront and Greenway.
- Enhancing the Pedestrian Experience.**
 Emphasize walking and biking by keeping vehicular trips and parking at the perimeter of the neighborhood near arterial streets.
- Vibrant and welcoming public realm.**
 Activate edges of public and flexible open space to accommodate multiple users, interests and activities. Activate edges along specialty streets and create a pedestrian prioritized environment from building face to building face.
- Growing Sustainably.**
 Accommodate forecasted growth by orienting a dense mixed-use transit hub and walkable neighborhood as a sustainable growth strategy. Broadway Corridor embraces the value of the city's transit investments, completes significant connections in Portland's open space network and integrates and catalyzes Portland's Green Loop.

EXISTING SITE

CONDITIONS The following conditions apply to this master plan:

PBOT Conditions:

1. The new public streets shall be in substantial conformance with the approved preliminary engineering plans (20-116312 WT).
2. At a minimum, the mitigation measure listed on Page 47 of the TIA in Table 13, Recommended Intersection Mitigation Measures (By Infrastructure Zone) shall be required with two additional mitigation measures added to the table in this report above. The two additional measures are included below for clarity:
 - a. NW 9th Ave/NW Lovejoy: dedicate approximately what is required per the City Engineer along the eastern single block frontage of NW 9th Ave between NW Kearney and NW Lovejoy to accommodate right-turn only lane, including utilization of current on-street parking, up to a maximum of 12-ft to accommodate a right-turn only lane. Current estimated dedication based on survey is 3'; final dedication amount to be determined during the engineering phase of the LID.
 - b. NW 9th Ave/NW Hoyt St: Reconstruct NE corner, tighten curb radius and realign crosswalks (this is identified as a developer-financed project in draft MOU);
 - c. How the City rights-of-way function within and bordering the master plan site is at the sole discretion of the City Engineer. Title 33 has no authority over the function of public streets.
3. Any existing street frontages not covered by the Local Improvement District, the developer shall provide any required dedications and reconstruction to River District Standards under a separate public works permit.
4. The site shall implement the required TDM plan as approved by PBOT Active Transportation and attached to the BDS staff report as an exhibit.
5. Prior to issuance of the first building permit, a Local Improvement District (LID) will be formed for NW Johnson, NW Kearney, NW Park and required traffic mitigation improvements at the intersections of NW 9th Avenue and Everett, Glisan, Johnson, Kearney and Lovejoy Streets. The timing for the provision and construction of adequate transportation facilities for each phase shall be per the LID and any associated IGAs.
6. The locations of vehicle access to loading and parking shall be in substantial conformance with the adopted USPS Master Plan. Any significant changes must be approved through a master plan amendment.

BES Conditions:

7. Prior to issuance of the first vertical development building permit, 60% engineering plans for off-site sewer and stormwater system improvements must be complete to the satisfaction of BES.
8. Prior to certificate of occupancy for any vertical development that connects to sewer or stormwater systems impacted by the Off-Site Utilities Phase 1 Streets projects described in the plan, those infrastructure projects must be finished to the satisfaction of BES.

PWB Conditions:

9. New structures that do not have access to existing water mains, or propose services to a future main, will need to have established funding for the new mains to the satisfaction of the Water Bureau prior to building permit approval.
10. The proposed water mains in NW Kearney and NW Johnson cannot be partially constructed. Each main will need to be completed to the eastern and western extents to complete the identified and required looping.

Additional Conditions:

11. The open space at the western Irving private street shall be expanded to 50' x 50'. Vehicle access at the east end of Irving shall be extended only as far as is necessary to ensure safe ingress and egress of vehicles in order to maximize open space at the west end of this private street; this shall be demonstrated during the land use review for Blocks 3 & 5. Any less than 50' x 50' would require a Modification.
12. Portland Parks & Recreation shall hold a Design Advice Request on the Park, Green Loop, and PNCA Park Block with the Design Commission. The Park shall meet the requirements of 33.510.255.K.
13. Structured elements of the Green Loop shall be subject to a Type III Design Review in order to ensure their compliance with 33.510.255.K, the approved master plan, and the applicable Central City Plan District design guidelines.
14. Open areas shall be designed for the length and width of the designated open space up to the opposite building footprint line as part of the first land use review for a parcel adjacent to that open space in order to ensure the open area is designed in a comprehensive and coherent manner. This would apply to the open areas between Blocks 6 & 7, between Blocks 7 & 8, between Blocks 1 & 4, and between Blocks 3 & 5. The open areas shall be constructed to the centerline, at a minimum, between each block with the construction of the immediately adjacent block, except at Blocks 7 & 8 which shall be constructed for the full width and length of that open space if that open space is to be built on a podium.



LOCATION

The USPS Central City Master Plan site is located in Portland's Central City Plan District, in the Pearl subdistrict, directly adjacent to the Old Town/Chinatown subdistrict across Broadway. The site is a key anchor within the larger 32-acre Broadway Corridor development planning area, which anticipates significant mixed use, transit-oriented development.

Additional Conditions (Continued)

15. The building frontages at the Park Avenue Alley shall be designed in such a manner that fosters activity, creates a sense of human scale, and draws people to the open space; this can be accomplished by such means including, but not limited to: provision of leasable active space or small incubator spaces, provision of space for public art mural(s), installation of permanent interactive public art, or other means of activating the frontages facing the Park Avenue Alley.
16. If Blocks 9a and 9b are built with a shared podium, the building frontage located at the terminus of the Park Avenue Alley shall be programmed with either a prominent main entry to the buildings, active retail, or a significant art piece.
17. In order to meet criterion #11, if Blocks 7 & 8 and Blocks 9a & 9b & 9c are developed with shared podiums, reasonable efforts should be made to reduce the number of vehicle entry/exit point for each podium, unless PBOT determines that additional entry/exit access points are necessary; one additional loading access point is allowed for Block 9 to accommodate for USPS truck loading; also, if USPS ceases operation at Block 9, the loading bay(s) shall be converted to a more active use.
18. If Blocks 7 & 8 and Blocks 9a & 9b & 9c are designed with shared podiums, the podiums can be completed with the first towers with the second (and third) towers to be delivered at a later date. The total number of parking spaces within the shared podiums may exceed the Growth Parking maximums noted in 33.510, provided minimum floor areas are established for the second (and third) towers so that the total number of parking spaces for all towers will not exceed the maximums in 33.510 upon completion of all towers above each podium. Without a specific detailed design for the second tower, the top (roof) of the podium shall be designed with semi-permanent active uses as an interim design in the initial land use review.

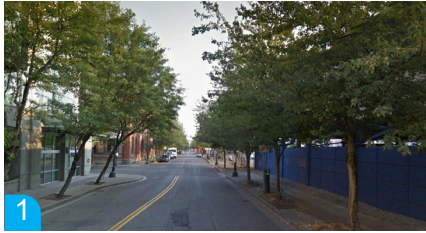
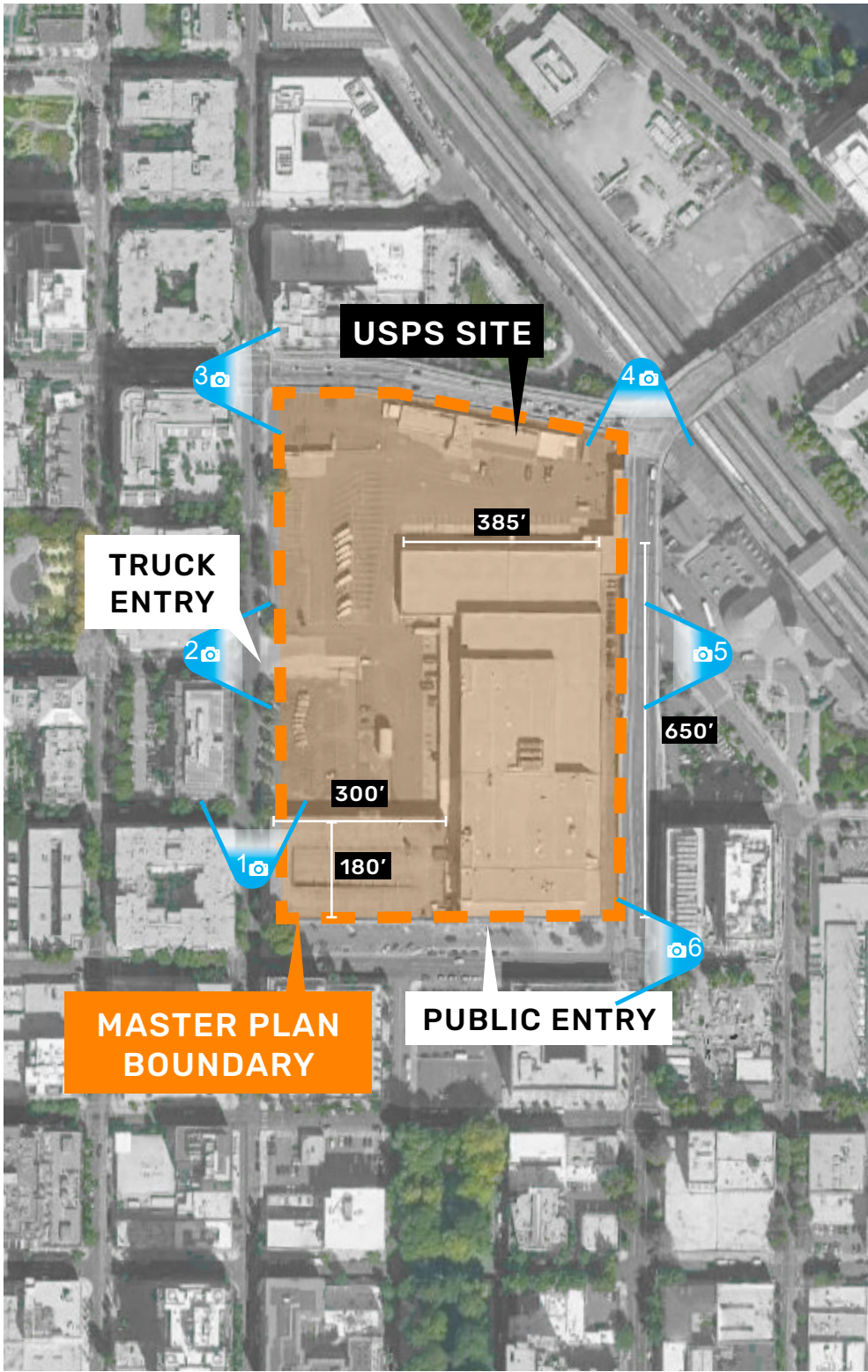


Figure 2.1
 Site Boundary, Existing Views, and Access

EXISTING SITE

Site Boundaries & Edge Conditions

The 13.35-acre site is approximately 882' along the east boundary, bordered by the Broadway Ramp to the Broadway Bridge; 620' along the north boundary, bordered by the Lovejoy Ramp to the Broadway Bridge; 980' along the west boundary, bordered by 9th Avenue; and 620' along the south boundary, bordered by Hoyt Street. To the east and north of the site, freight and passenger rail lines run just behind the Union Station terminal, adding a significant surface barrier to the elevated ramps of the Broadway Bridge.

Land Use and Zoning

All buildings currently on the site were used for USPS sorting, retail, parking, and other supportive uses. None are designated as historic resources, and none are considered feasible to reuse for the proposed high-density residential and employment uses. The site is surrounded by a variety of land uses, including social services, residential, educational institution, and transportation. The applicant is not aware of any industrial land use existing within 500' of the site. Zoning for the site allows 7:1 base FAR, with a 250-foot height limit south of Johnson and a 400-foot height limit north of Johnson. The site is zoned EX, Central Employment, allowing all of the planned mixed use projects (employment, residential, retail), and recreational uses planned for the site are allowed, along with other uses defined in Table 140-1 of Chapter 33.140.

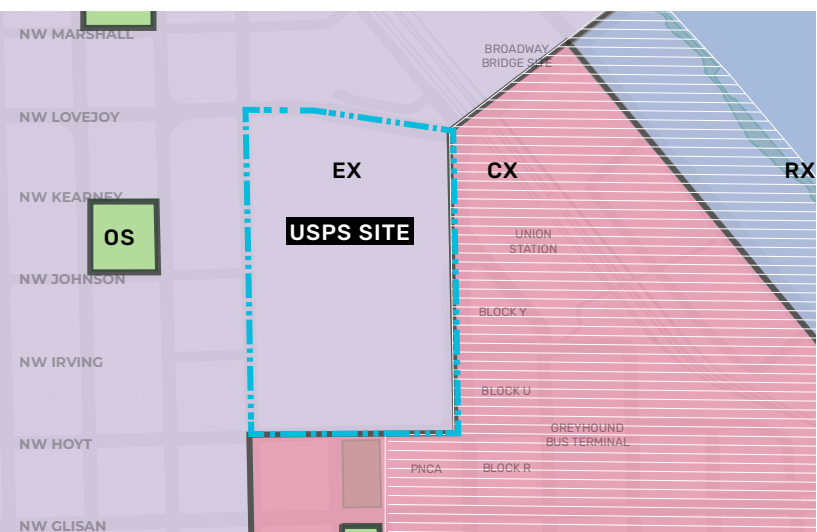


Figure 2.2
Existing Zoning

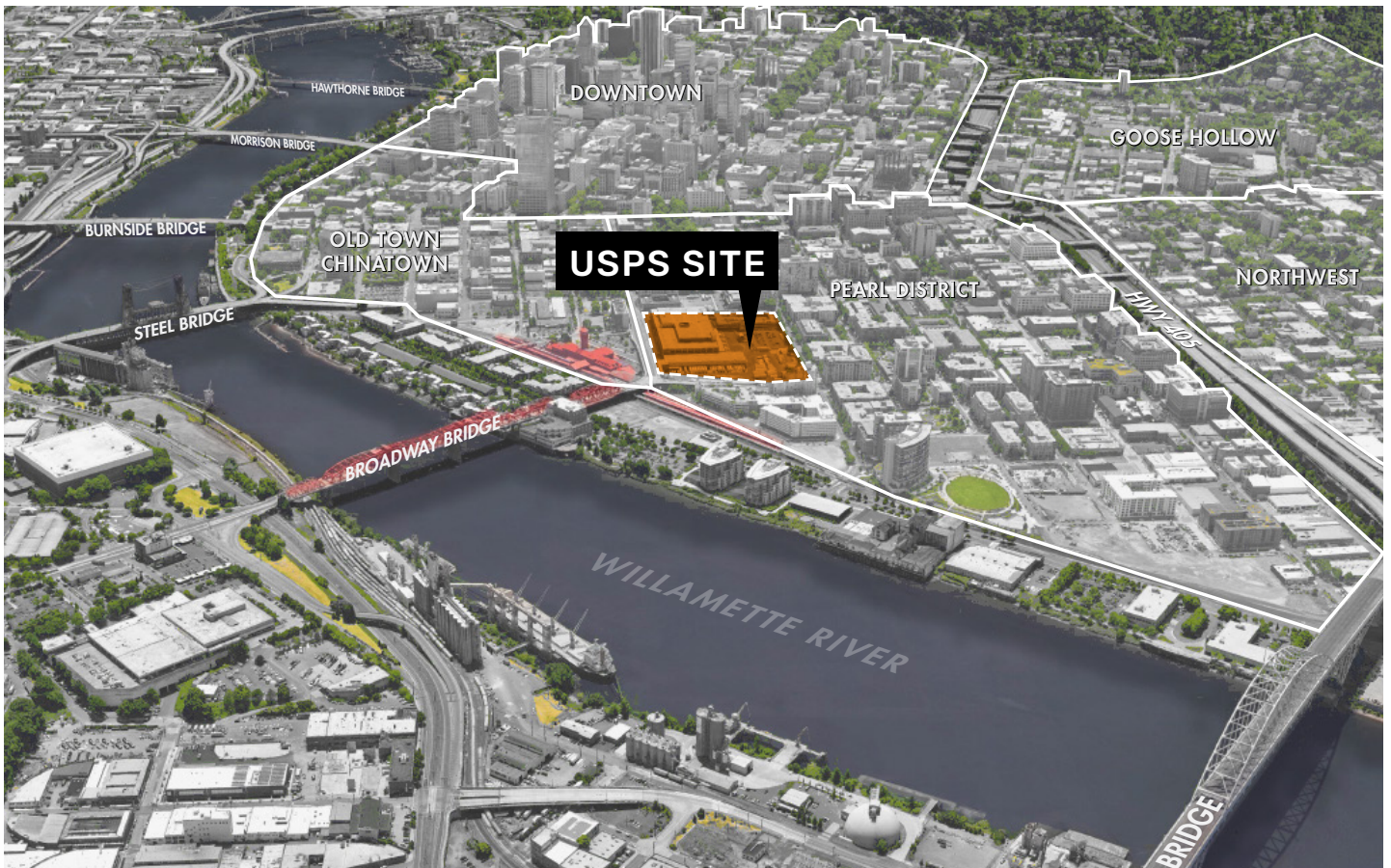


Figure 2.3
USPS Master Plan Site Location



Figure 2.4
Broadway and Lovejoy Ramps

Transportation

Few sites in the region are as well connected and supported by transportation services and infrastructure. The intersection of Lovejoy Street, Broadway, and the Broadway Bridge make the site a major gateway for the Central City. With Union Station, regional bus service, two MAX light rail lines, and two streetcar lines within a block of the site, it is also a major multi-modal hub and gateway for the city, region and state.

No public rights-of-way penetrate the site in its current configuration, and there is no public open space. As such, the USPS facility represents a barrier itself, inhibiting connectivity between Old-Town/Chinatown and the Pearl District, and between the numerous destinations, services, and amenities surrounding the site. Johnson Street to the west is currently designated as a Neighborhood Greenway, so connecting this street through the site and under the Broadway Bridge ramp will strengthen east-west pedestrian and bicycle connections from the foot of the west hills to the Union Station multi-modal hub, and then over the existing pedestrian bridge to the Willamette River.

MASTER PLAN COMPONENTS

* Chapter 4 addresses the codified components of the Central City Master Plan under Title 33, chapter 33.510.255G and is followed by supplemental information providing the rationale and findings supporting the approval criteria and greater vision.

OVERVIEW

The USPS Master Plan will guide redevelopment of the former USPS site bounded by NW Hoyt, NW 9th and the Lovejoy and Broadway ramps.

The USPS Master Plan is guided by and embraces the Central City 2035 Plan, Central City Fundamental Design Guidelines and the sub-area River District Design Guidelines. The response and integration of the guidelines into the Master Plan are influenced by the USPS site's proximity to significant landmarks that include Portland's Union Station, North Park Blocks, the Broadway Bridge, Portland's Green Loop and nearby public transit connections.

The project allows for maximum development potential utilizing heights of 400' and 250' and maximum site-wide base FAR of 7:1 or a total of 4,064,235 SF. Preserving the ability for a higher density mixed-use neighborhood responds to Central City Master Plan's recognition of transit hubs near transit centers that includes Union Station, Portland Transit Mall, streetcar, and higher density development at bridgeheads, in this case the Broadway Bridge.

The Central City 2035 Plan's focus on a vibrant public realm is addressed by a significant open space with a pedestrian oriented environment and streets bordered by active edges. The extension of Portland's North Park Blocks, integrating the Green Loop, and completing Johnson Street as a multi-modal and pedestrian prioritized street connects and catalyzes the public realm at a district, city, and regional scale



Figure 4.1
Illustrative USPS Site Concept

to transit, open space and trails as highlighted in the Central City 2035 Plan. The phasing strategy will ensure infrastructure and development in an order that catalyzes the community and subsequent phases and projects in a manner that captures the values of this new neighborhood and surrounding communities ([pages 60 and 61](#)).

The site can be developed with up to 4,065,235 GSF. Development will be mixed use buildings, composed of vertically mixed retail, employment, and residential uses, all of which are allowed in the EX zone. Limited recreational or community service facilities are proposed, which are allowed under EX zoning as a limited/conditional use. A range of proposed density for each block can be found on [page 26](#).

Find responses to applicable design guidelines on [pages 105–121](#).

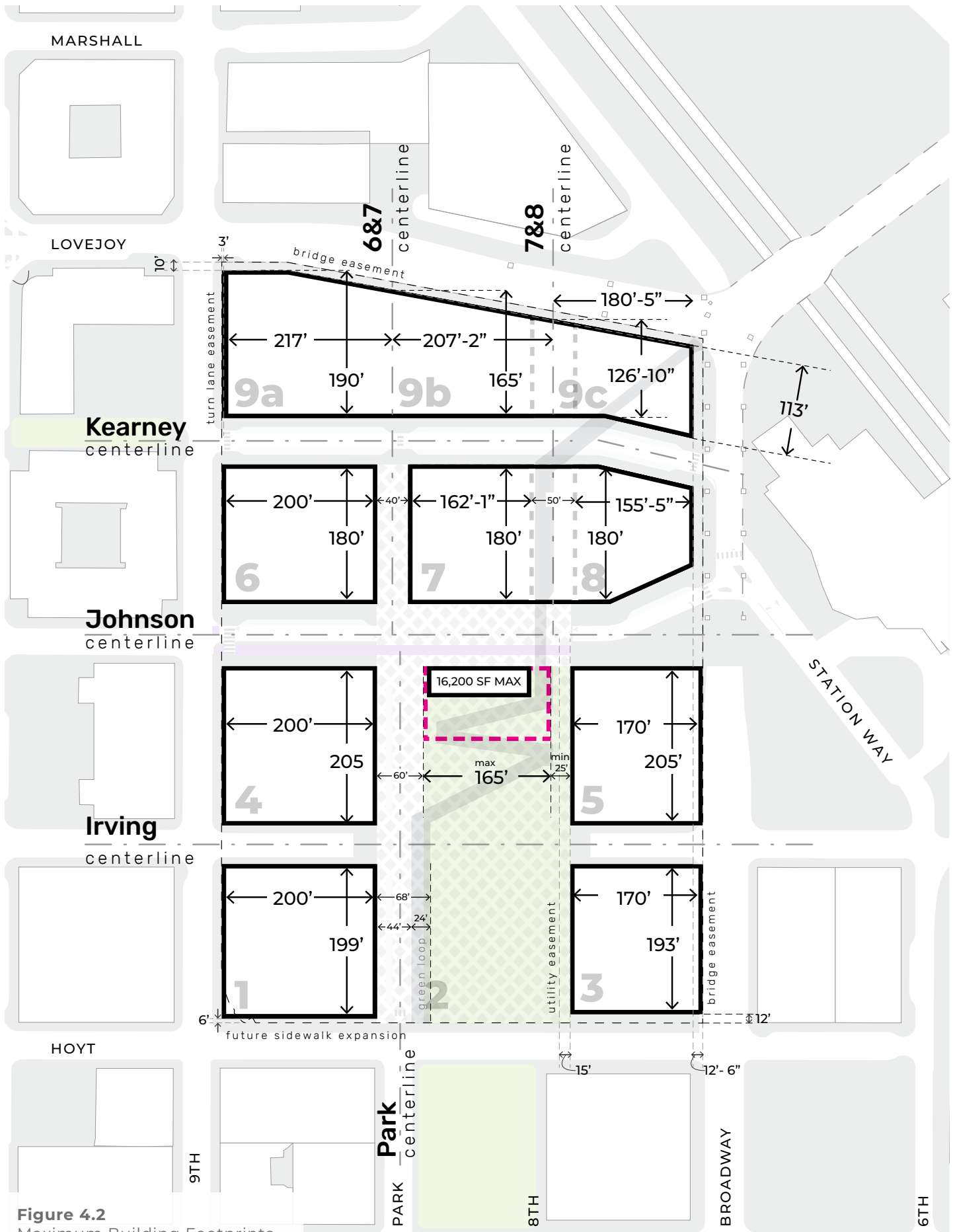


Figure 4.2
Maximum Building Footprints

BUILDING MASSING OVERVIEW

Maximum Building Footprints

The adjacent diagram ([Figure 4.2](#)) illustrates the maximum building footprint for development at the ground plane.

The site dimensions were developed in response to several factors including setbacks and easements required for bridge maintenance, future sidewalk expansion, existing and future street right of ways and vehicular circulation.

The following alternate development footprints have been planned for and are permitted outright without applying for a modification or adjustment. Footprint 9 may be divided up into three footprints. Development footprints 1 and 4 may be divided up into two footprints. Development footprints 7 and 8 may be developed together. Maximum building envelope alternates for footprints 1, 4, 7, 8, and 9 can be found on the following pages.

Each development footprint will be subject to additional height and setback requirements as illustrated in the building envelope section on [pages 28–36](#).

Legal lots are anticipated to be created consistent with the maximum building footprints shown in [Figure 4.2](#) or permitted alternates in [Figures 4.3](#) through [4.14](#).

KEY



* Footprint located within;
not to exceed 16,200 SF

BLOCK 1 ALTERNATES

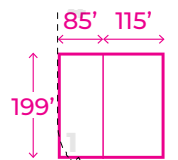


Figure 4.3
Parcel 1 Alternate:
85'

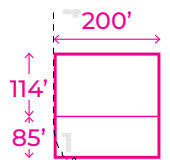


Figure 4.4
Parcel 1 Alternate:
Equal Split

BLOCK 4 ALTERNATES

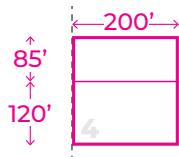


Figure 4.5
Parcel 4 Alternate:
85'

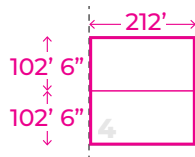


Figure 4.6
Parcel 4 Alternate:
Equal Split

BLOCK 7&8 ALTERNATES

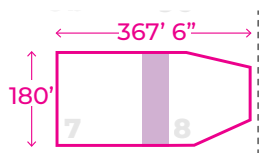


Figure 4.7
Parcel 7 & 8
Developed Together

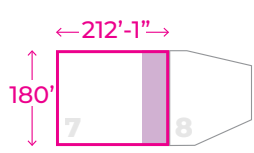


Figure 4.8
Parcel 7 & Public
Access Easement

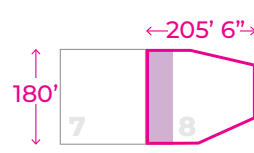


Figure 4.9
Parcel 8 & Public
Access Easement

BLOCK 9 ALTERNATES

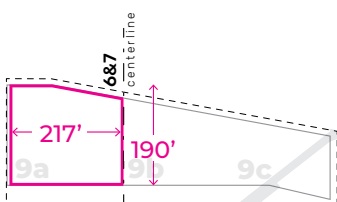


Figure 4.10
Parcel 9 Alternate - 9a

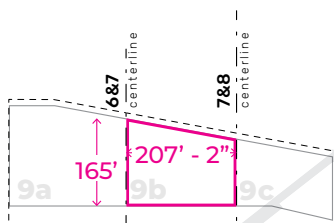


Figure 4.11
Parcel 9 Alternate - 9b

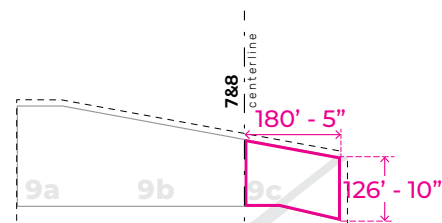


Figure 4.12
Parcel 9 Alternate - 9c

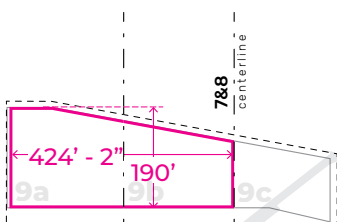


Figure 4.13
Parcel 9 Alternate - 9a & 9b

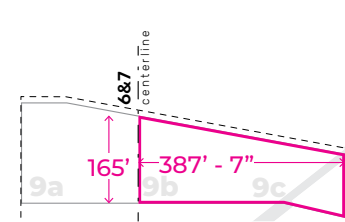


Figure 4.14
Parcel 9 Alternate - 9b & 9c

IN RESPONSE TO THE FOLLOWING
ITEMS FOUND IN PCC 33.510.255:

G.2.A.1

G.2.A.2

04

BUILDING MASSING OVERVIEW

Alternative Maximum Building Footprints

The diagrams on this page represent the various additional options in which building footprints 1, 4, 7, 8, & 9 may be developed.

Each development footprint will be subject to additional height and setback requirements as illustrated in the Building Envelope section on [pages 28–36](#).

The exact location of the Access Easement on Blocks 7 and 8 will be determined via a future City-led open space design process. If the ultimate location of the Access Easement is different than in the master plan diagrams, no amendment to the master plan will be required.

KEY

PUBLIC ACCESS EASEMENT

BUILDING FOOTPRINT



Figure 4.15
Building Envelope - Southwest View

Building Envelopes

Figure 4.15 represents the minimum and maximum heights of the building envelopes, and setbacks to meet the open area shadow requirements and accommodation of the Green Loop.

The USPS Master Plan building massing is designed to support vibrant and active streets, enhance open space development, and create viable parcels that accommodate a variety of program typologies, while responding to view corridors and the overall massing of the central city.

KEY



- * Parcels 2 and 7 serve to define the park.
- ** Blue line represents minimum 100' height of envelope on all parcels. Minimum height may be less than 100' at parcels 2, 7, 8, and 9C where the Green Loop structure engages the massing; at these locations a height appropriate to accommodate the future Green Loop design is acceptable.
- *** Pink number represents the maximum height on that parcel.

Existing zoning code height limits establish the maximum building heights of the project. North of Johnson Street, development footprints 6-9 can be built up to 400'. South of Johnson the maximum building height is 250' for development footprints 3-5. Development footprint 1 has a reduced height to address shadow on the open areas. Development footprint 2 has a maximum height of 50'. The 100' minimum height is not applicable to parcel 9C. All other buildings across the site, have a minimum height limit of 100' to assure the site is not underdeveloped.

Block 7 serves a vital role in defining the park, terminating the view from the park, and should be designed with a sense of permanence and quality expressive of the likely role this site will play as a landmark within the city.

Block 2's pavilion and the Green Loop ramp/landscape will demarcate the end of the Park Blocks and begin the vertical transition to the Green Loop. Whichever block is developed second should respond to and respect the significance of the previous development.

DEVELOPMENT FOOTPRINT*	MINIMUM GSF**	MAXIMUM GSF**
1	239,850 SF	559,650 SF
2	5,400 SF	64,800 SF
3	182,400 SF	516,800 SF
4	246,000 SF	533,000 SF
5	193,740 SF	581,220 SF
6	216,000 SF	576,000 SF
7	175,020 SF	495,890 SF
8	141,600 SF	401,200 SF
9	550,860 SF	1,377,150 SF

Figure 4.16
Minimum and Maximum FAR Table

NOTES

Total site wide development may not exceed 4,064,235 SF

* Development Footprint reflects the maximum building footprints indicated on [page 21](#).

** The value can vary +/- 15% without triggering a master plan amendment

DEVELOPMENT GSF

Minimum and Maximum Table

While new right of way dedications and the creation of legal lots are necessary for implementation of the USPS master plan, these are subject to separate approval processes. The resulting minimum and maximum FAR allowances of these future legal lots will be consistent with the minimum and maximum GSF allowances shown in [Figure 4.16](#). The resulting floor area ratios will be calculated based on the ultimate site area for each parcel, which may include area that is currently located in right of way to be dedicated or transfers from other parcels in the master plan area.

Total site area is 580,605 SF and total sitewide development may not exceed 4,064,235 GSF.

Each Land Use application will include the total development GSF to be allocated to the applicable legal lot(s). A tracking table for FAR that is include in each new Land Use application will be recorded and tracked in Portland Maps. The tracking table will include at minimum: FAR contained in submitted and complete applications; FAR contained in approved applications; FAR contained in projects that have initiated building permits; FAR contained in projects with approved building permits; and constructed FAR.

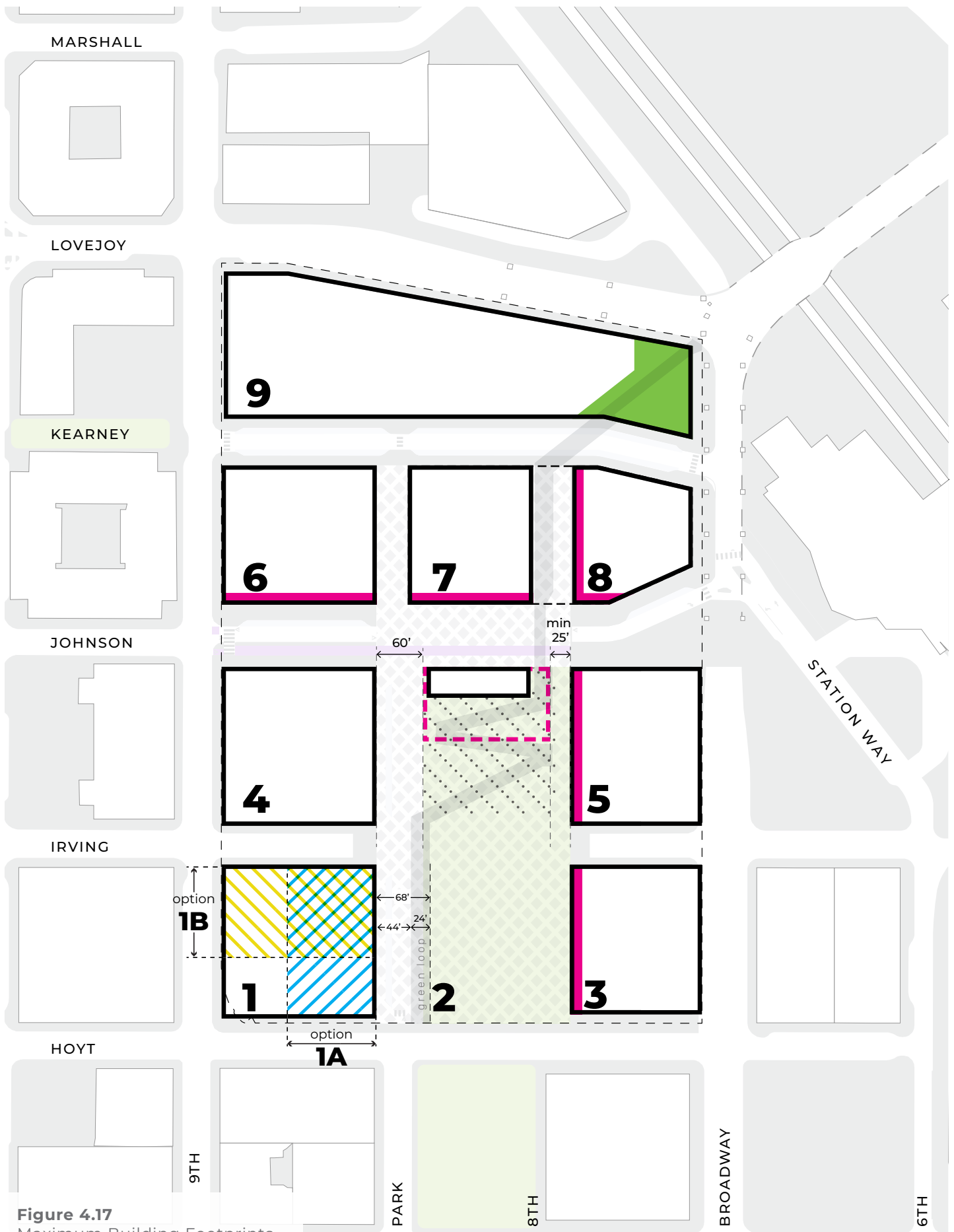


Figure 4.17
Maximum Building Footprints

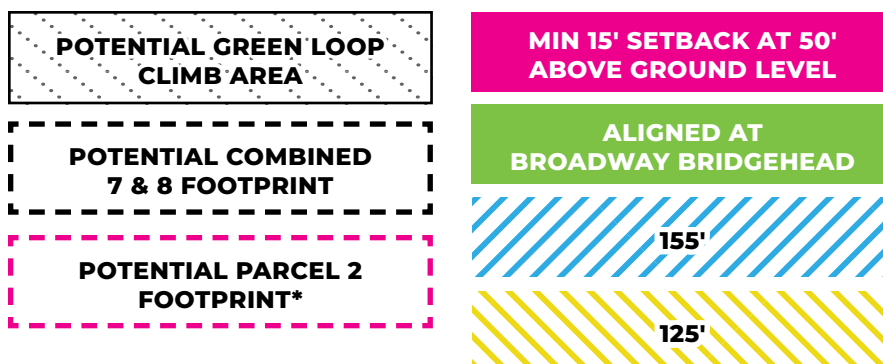
BUILDING MASSING

Building Envelopes

The building envelope for each parcel is described on the following pages. Each building envelope must respond to overall height limits, setbacks, building footprint and easements. The envelope limits represent maximum and minimum limits, but do not indicate a building form. The allowable FAR, building program and design review criteria will influence potential design solutions.

The exact location of the Access Easement on Blocks 7 and 8 will be determined via a future City-led open space design process. If the ultimate location of the Access Easement is different than in the master plan diagrams, no amendment to the master plan shall be required.

KEY



* Footprint located within;
not to exceed 16,200 SF

Development Footprint 1

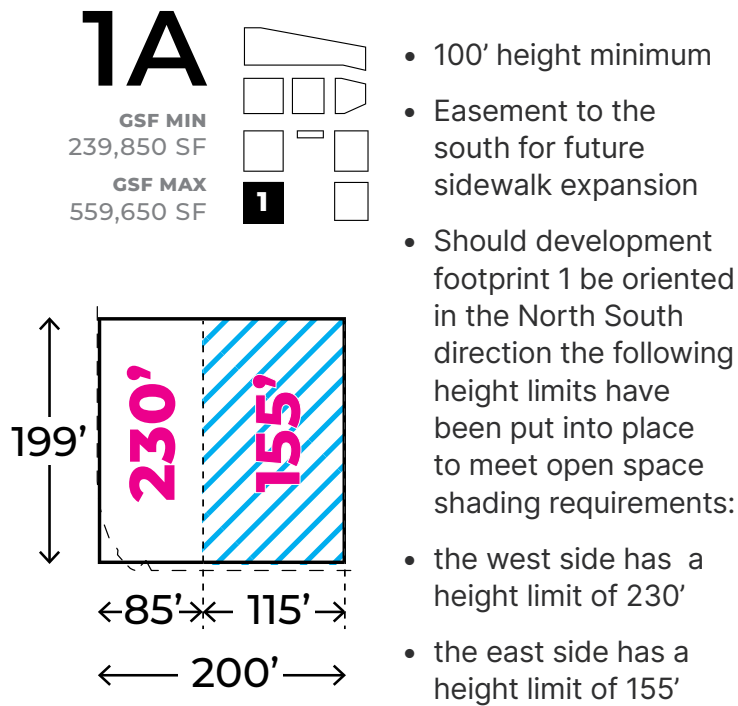


Figure 4.18
Development Footprint 1 Option A Axon

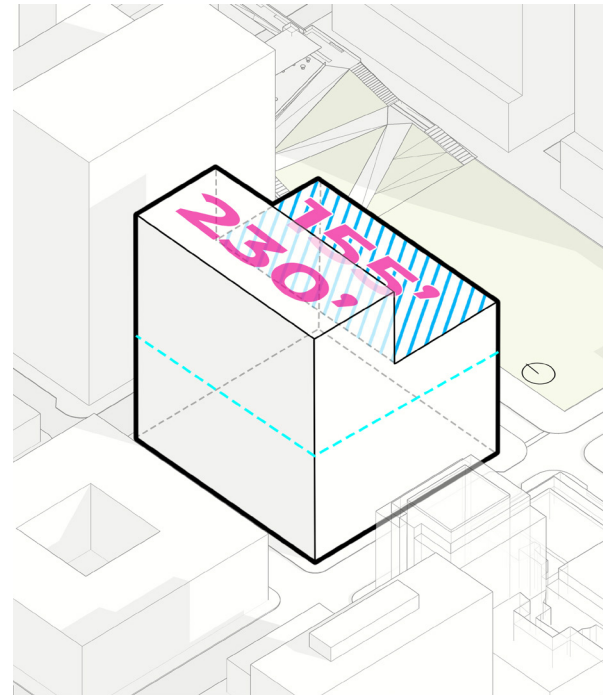


Figure 4.19
Development Footprint 1
Option A Plan

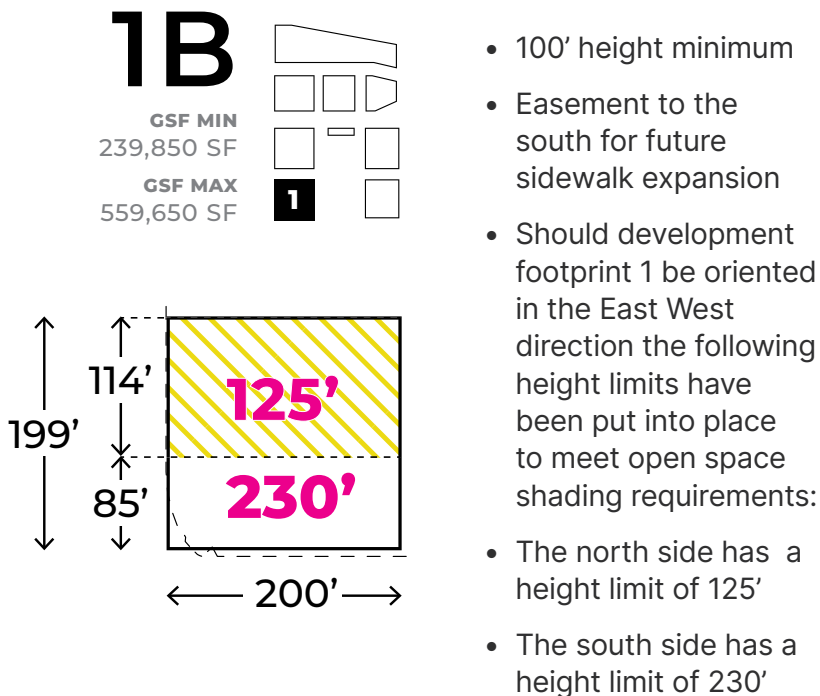


Figure 4.20
Development Footprint 1
Option B Plan

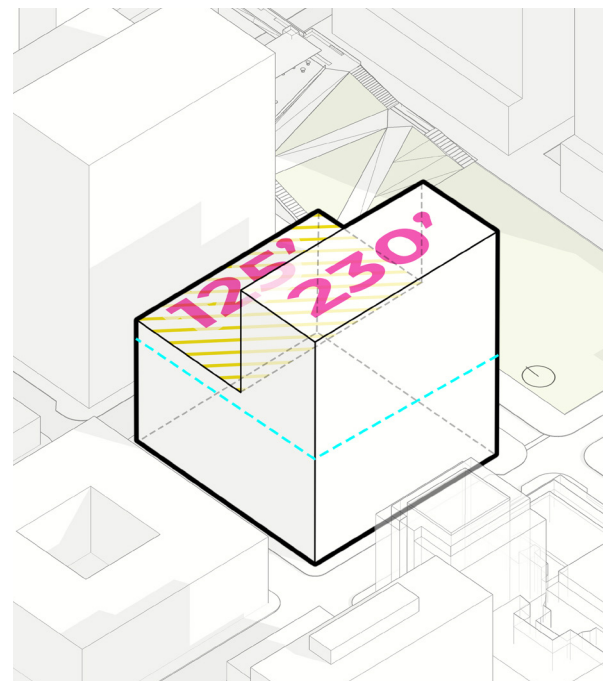


Figure 4.21
Development Footprint 1 Option B Axon

Development Footprints 2 & 3

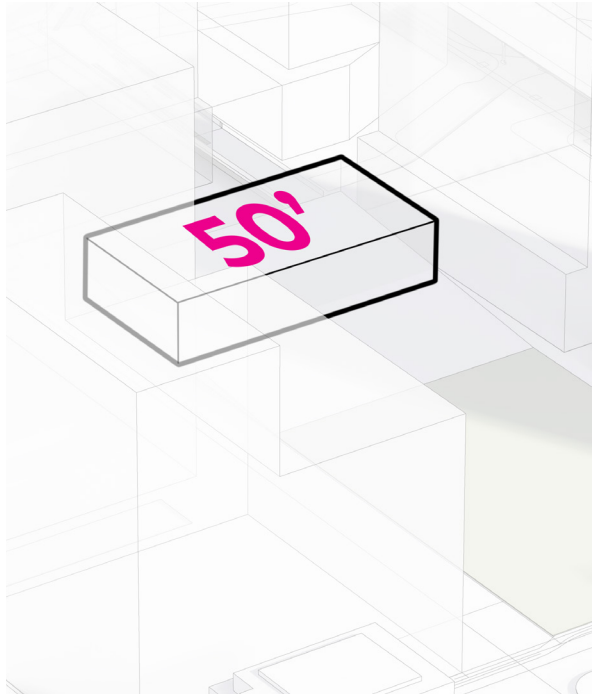
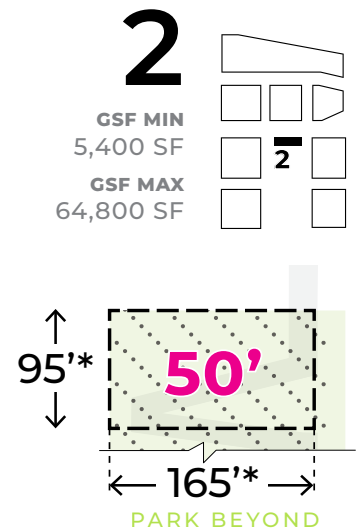


Figure 4.22
Development Footprint 2 Axon

- 50' height limit
- Footprint less than 16,200 SF
- Minimum 50% of building to be zero lot line at John Street
- Demarcates end of park
- Building footprint to be at least 25' to the west of Parcel 5
- Building massing must allow for pedestrian connection from Green Loop climb to the Johnson Street Bridge



* The dimensions above reflect the available area for building and not a proposed building footprint

Figure 4.23
Development Footprint 2 Plan

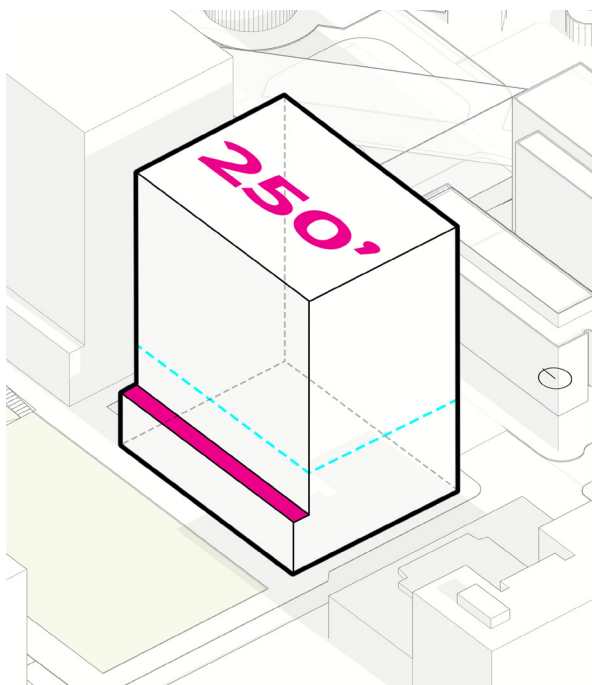


Figure 4.24
Development Footprint 3 Axon

- 100' height minimum
- 250' height maximum
- Easement to the south for future sidewalk expansion
- Setback on West building face above 50' because of direct adjacency to the park
- Broadway Ramp maintenance easement to the east to be vacated at parcels 3 & 5 (See "Figure 4.41" on page 38)

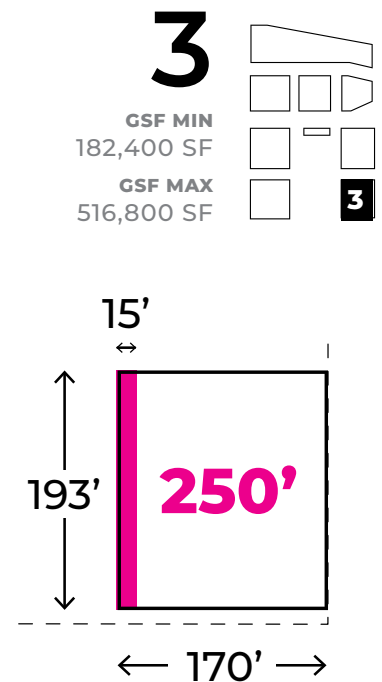


Figure 4.25
Development Footprint 3 Plan

Development Footprints 4 & 5

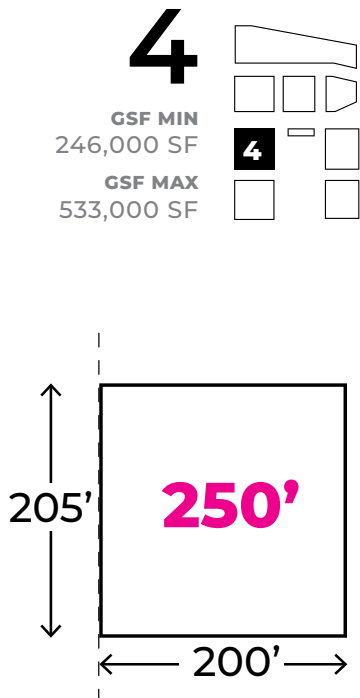


Figure 4.26
Development Footprint 4 Plan

- 100' height minimum
- 250' height maximum

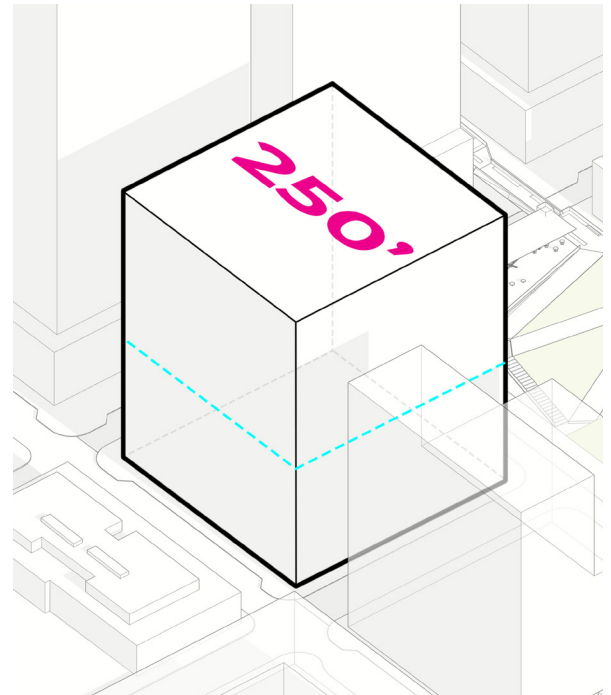


Figure 4.27
Development Footprint 4 Axon

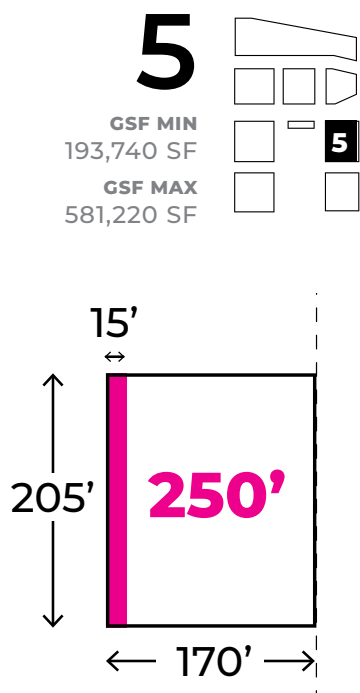


Figure 4.28
Development Footprint 5 Plan

- 100' height minimum
- 250' height maximum
- Setback on West building face above 50' because of direct adjacency to the park
- Broadway Ramp maintenance easement to the east to be vacated at parcels 3 & 5 (See "Figure 4.42" on page 38)

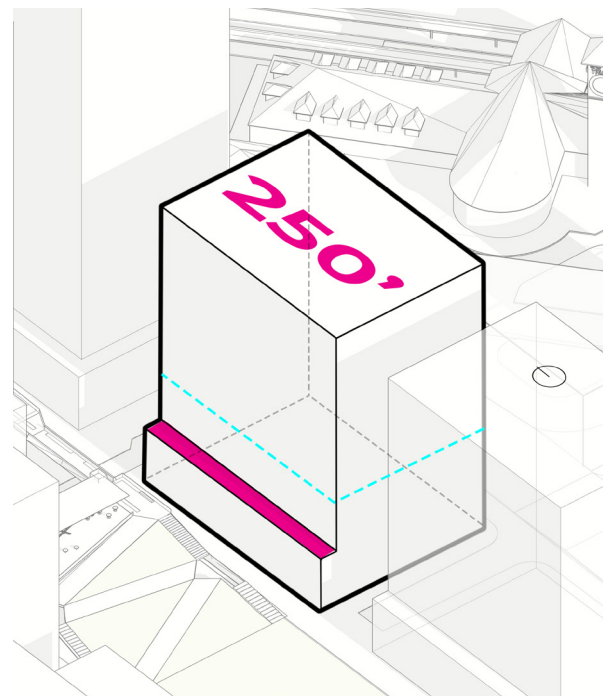


Figure 4.29
Development Footprint 5 Axon

Development Footprint 6

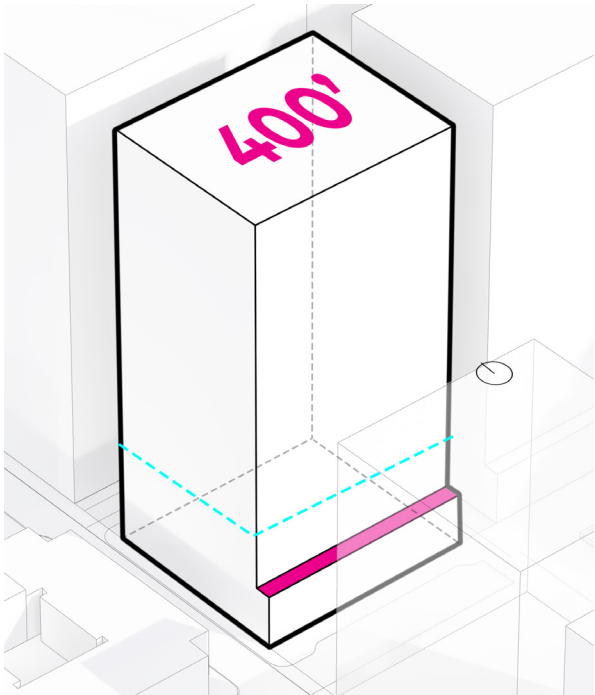


Figure 4.30
Development Footprint 6 Axon

- 100' height minimum
- 400' height maximum
- Setback above 50' to the south in place to preserve the Johnson Street view corridor
- The adjacent Park Ave Alley provides a unique placemaking opportunity through the space with appropriate use of public art, planting, lighting, and materiality to encourage active engagement. The character and quality of the alley shall be defined within and by the first building project fronting the alley (see also page 75).

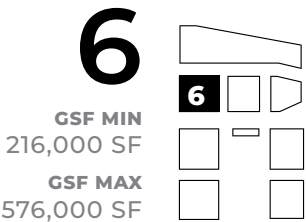


Figure 4.31
Development Footprint 6 Plan

Development Footprints 7 & 8

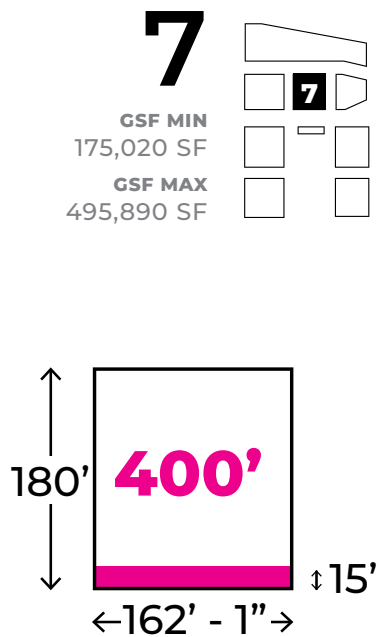


Figure 4.32
Development Footprint 7 Plan

- 100' height minimum
- 400' height maximum
- Setback above 50' to the south in place to preserve the Johnson Street view corridor
- Parcel 7 creates a terminus to the North Park Block extension
- The adjacent Park Ave Alley provides a unique placemaking opportunity through the space with appropriate use of public art, planting, lighting, and materiality to encourage active engagement. The character and quality of the alley shall be defined within and by the first building project fronting the alley (see also page 75).

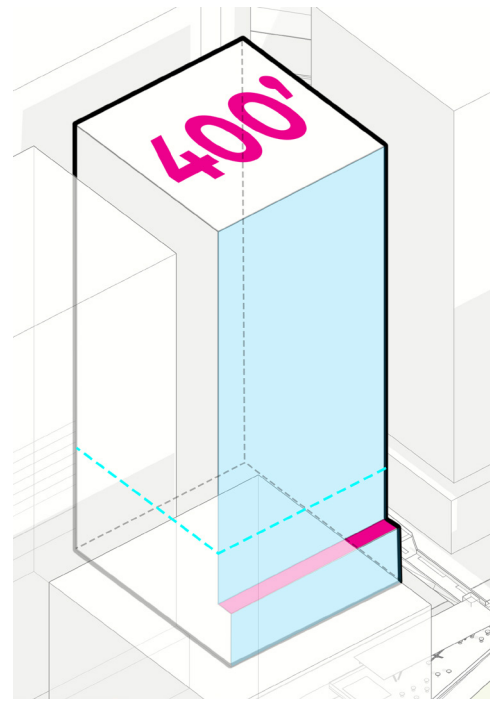


Figure 4.33
Development Footprint 7 Axon

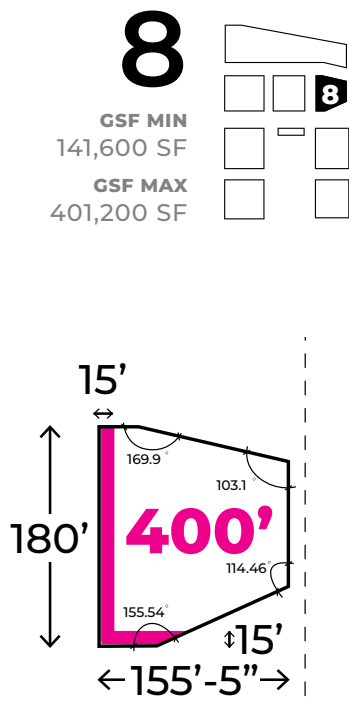


Figure 4.34
Development Footprint 8 Plan

- 100' height minimum
- 400' height maximum
- Setback above 50' to the south in place to preserve the Johnson Street view corridor
- Setback on the west building face above 50' to maintain visual connection between the elevated alleyway and the Green Loop bridge landing
- Broadway ramp maintenance easement to the east (See "Figure 4.43" on page 40)

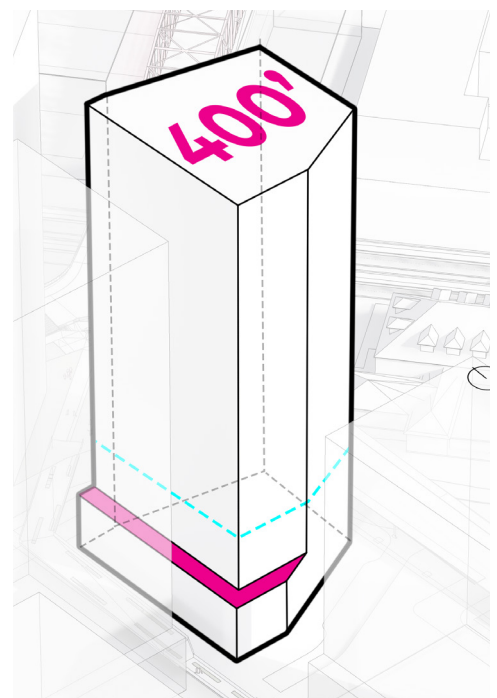


Figure 4.35
Development Footprint 8 Axon

- 100' height minimum
- 400' height maximum
- Setback above 50' to the south in place to preserve the Johnson Street view corridor
- Setback on the west building face above 50' to maintain visual connection between the elevated alleyway and the Green Loop bridge landing
- Broadway ramp maintenance easement to the east (See "Figure 4.43" on page 40)
- The exact location of the Access Easement on Blocks 7 and 8 will be determined via a future City-led open space design process. If the ultimate location of the Access Easement is different than in the master plan diagrams, no amendment to the master plan shall be needed.

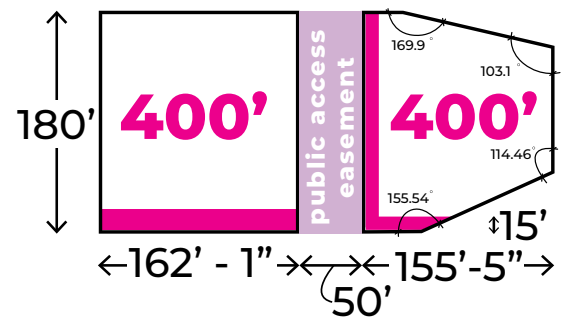
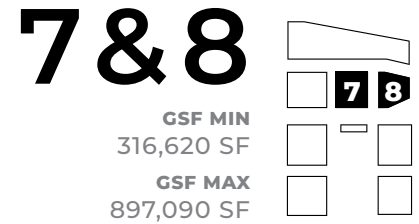


Figure 4.36
Development Footprint 7 & 8 Plan

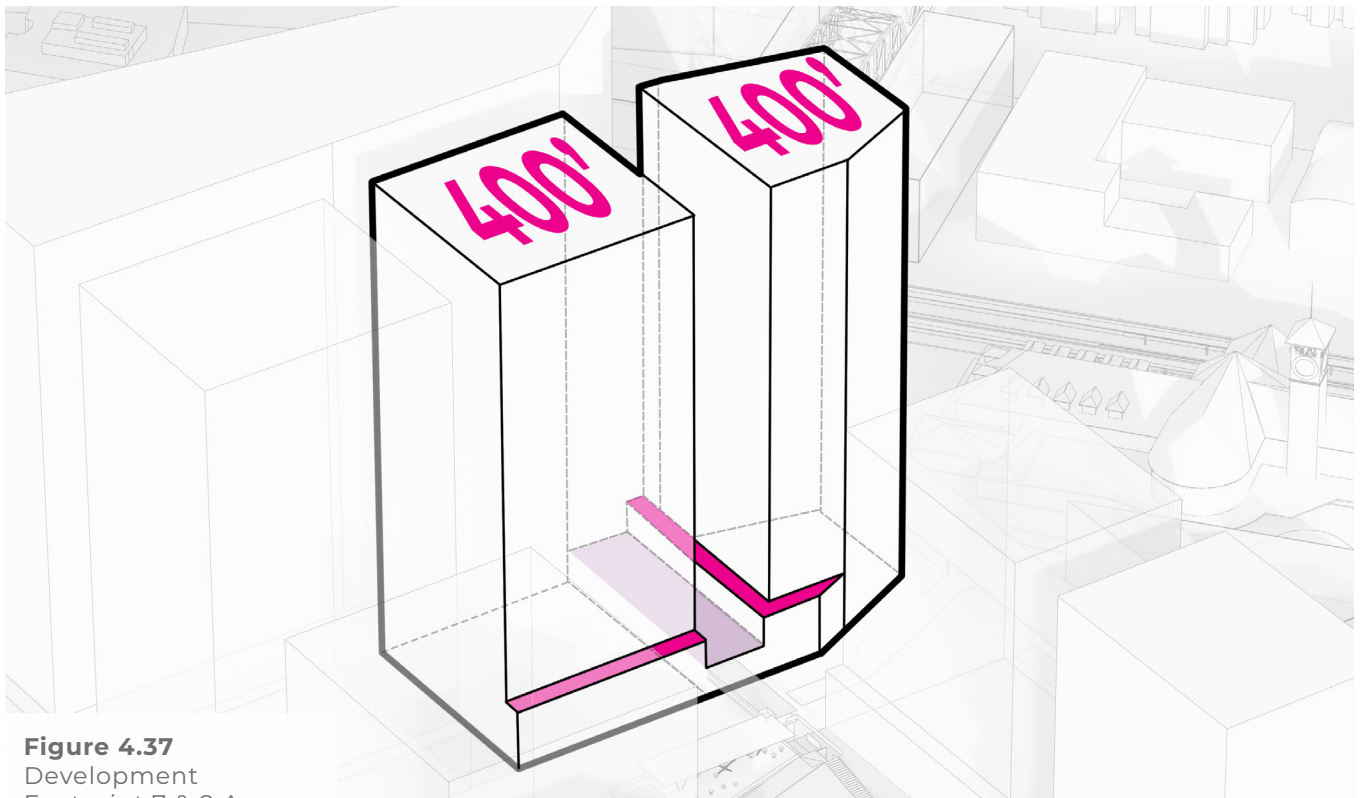
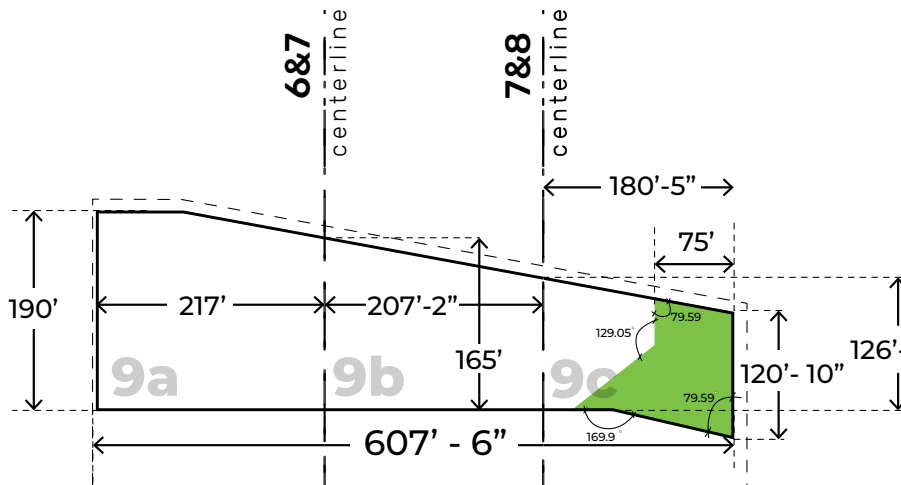


Figure 4.37
Development
Footprint 7 & 8 Axon

9



- 100' height minimum
- 400' height maximum
- Setback to the east above 30' to provide relief on Portland Green Loop
- Broadway ramp maintenance easement to the east (See "Figure 4.43" on page 40)
- Lovejoy ramp maintenance easement to the north (See "Figure 4.44" on page 40)
- For specific regulation regarding block 9 (See "Development Footprint 9 Regulations" on page 37)

Development Footprint 9 Regulations

To prevent an oversized building face along Lovejoy and Johnson the east-west dimensions of buildings on development footprint 9 are limited as follows:

- a. Less than 65' in height. For the portion of a building less than 65' in height, there is no limit on the east-west dimension, and no required space between building or portions of buildings.
- b. Multiple towers are permitted on block 9 with maximum building faces up to 250' in length and a minimum 40' thru break at portions of the buildings above 65'.
- c. If a single block of parcel 9 is to develop alone, Design Commission will consider support of the surrounding street grid pattern as a criteria during the development's Type III LUR.



Figure 4.40

Development
Footprint 9 Precedents

B1

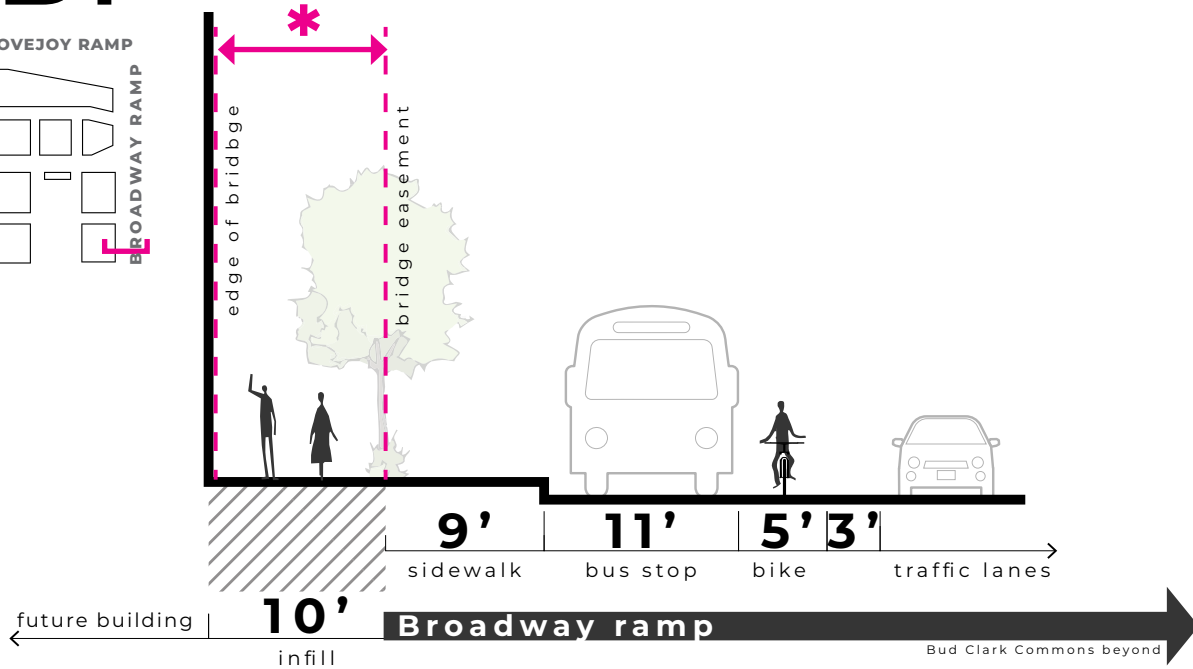
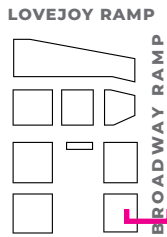
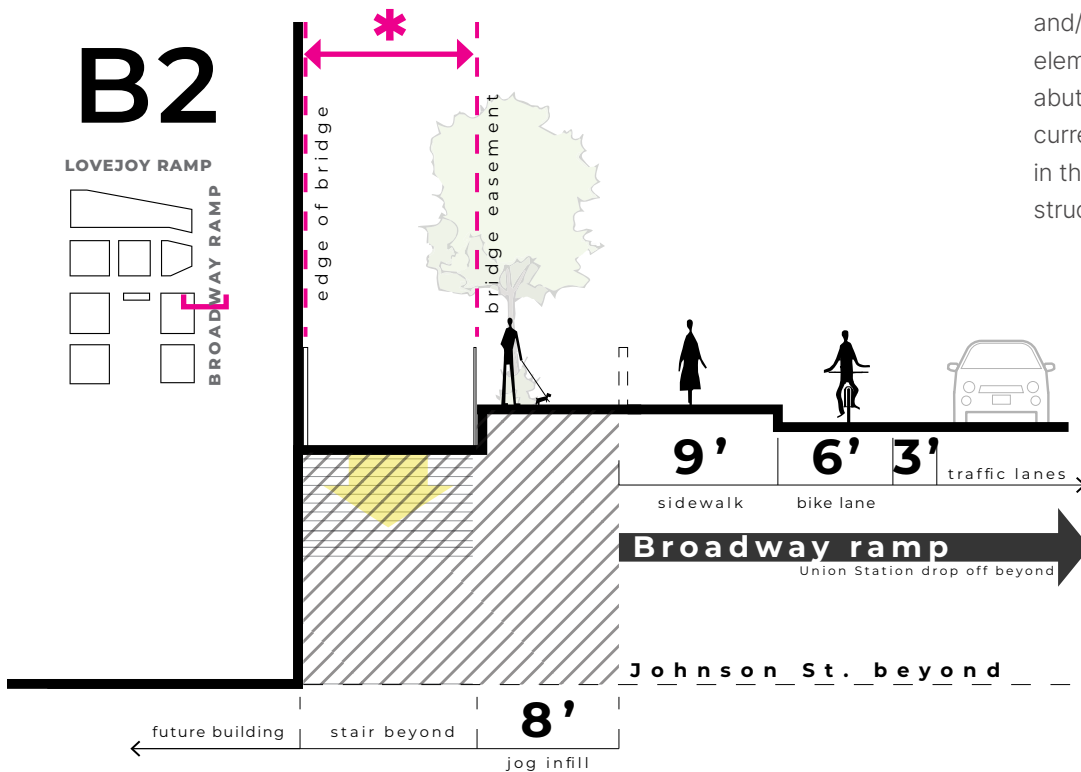
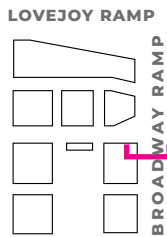


Figure 4.41
Maintenance Easement Condition at Development Footprint 3

B2



* Note Multnomah County is open to construction of the building and/or other permanent design elements up against the bridge abutment although there is currently a maintenance easement in this zone. (Not allowed at structural bridge deck)

Figure 4.42
Maintenance Easement Condition at Development Footprint 5

Broadway and Lovejoy Ramps

On the east and north edge of the site, the Broadway and Lovejoy ramps rise approximately 30'. Starting as roads engaged with grade and rising as viaducts with roadways and parking lots below. In order to provide maintenance access, each bridge requires a 10' easement setback. Where engaged with grade, new sidewalks will extend to the edge of the existing sidewalks.

B1

Broadway Avenue is engaged with grade from Hoyt street for approximately 455' until just south of Johnson Street. Across the distance, existing railings will be removed and sidewalks extended to the new building face. Sidewalk design should meet guidelines including thru zone and furnishing zone and street trees where possible.

B2

Where the sidewalk approaches Johnson a potential stair could connect back to the lower street level.

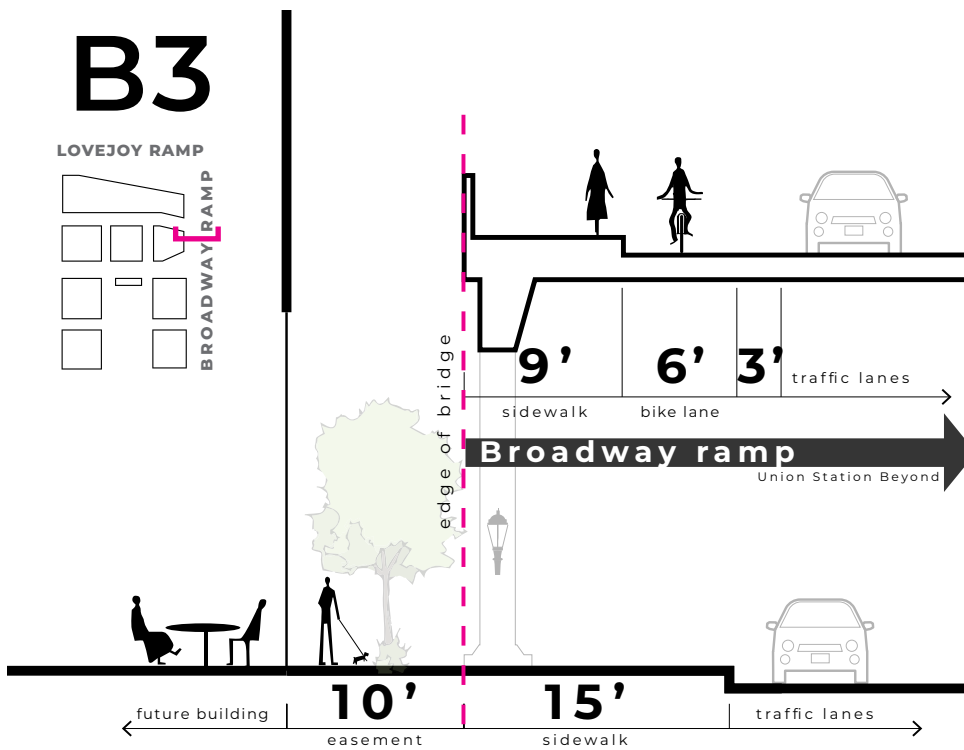


Figure 4.43
Maintenance Easement Condition at Development Footprint 8 & 9

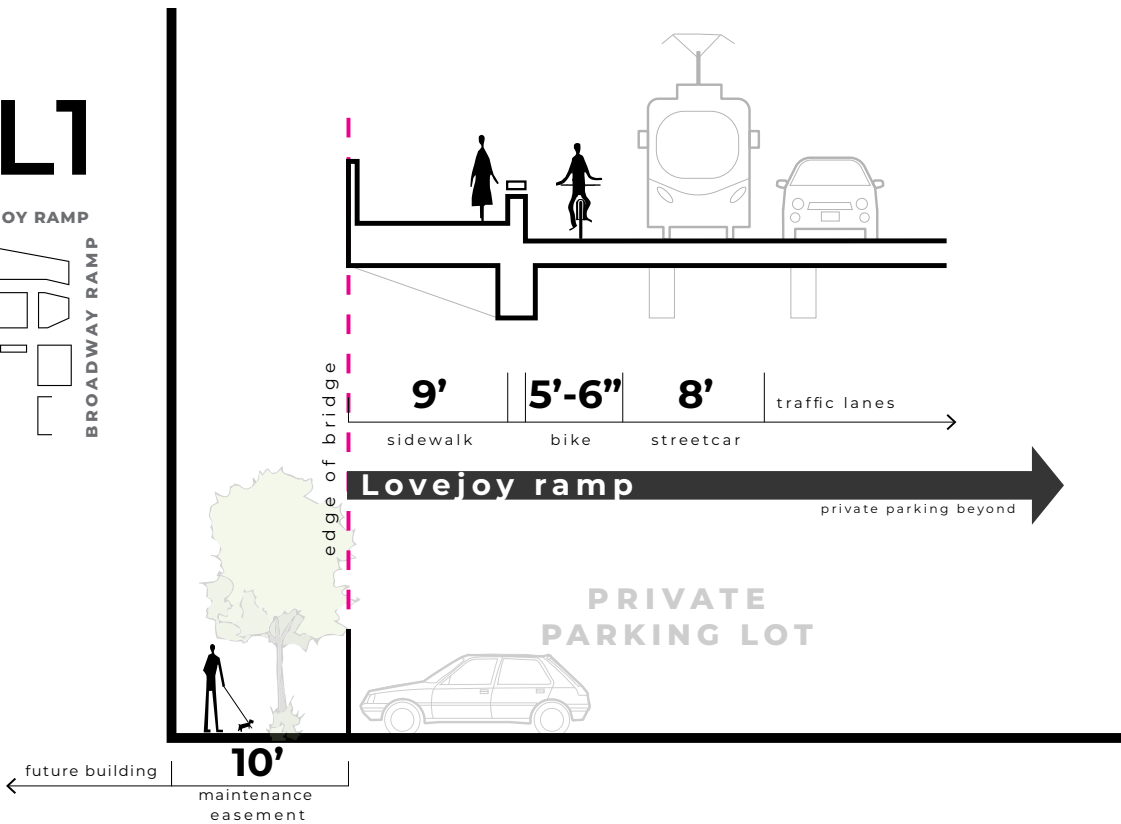


Figure 4.44
Maintenance Easement Condition at Development Footprint 9

Broadway and Lovejoy Ramps

B3/L1

Where viaducts disengage with grade, existing railings and walks are to remain and building faces are to be setback 10' to allow for equipment to access the decks for repair. No projections into this easement are allowed.

Adjacent to the Lovejoy ramp, considerations around access and security will need to be addressed due to the adjacent private parking lot. Below the Broadway ramp, public access on streets and roads will activate the underside and provide access to Union Station.

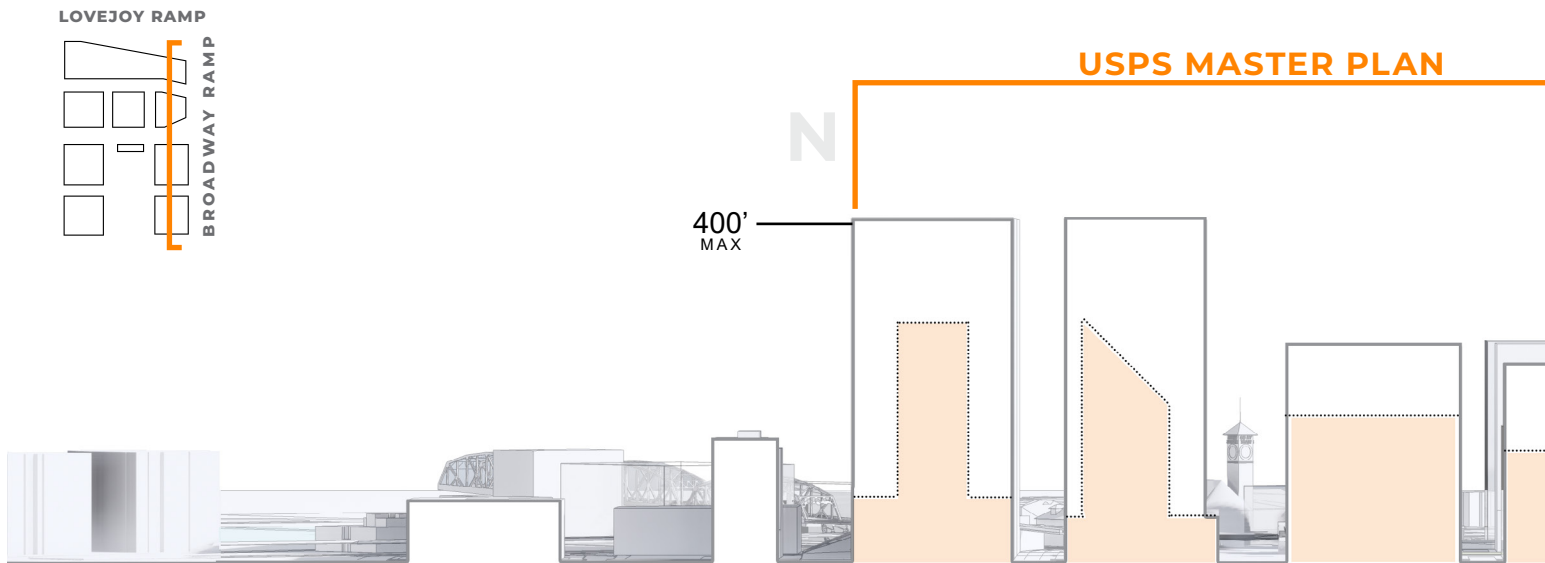


Figure 4.45
West-East Site Section



Figure 4.46
North-South Site Section

IN RESPONSE TO THE FOLLOWING
ITEMS FOUND IN PCC 33.510.255:

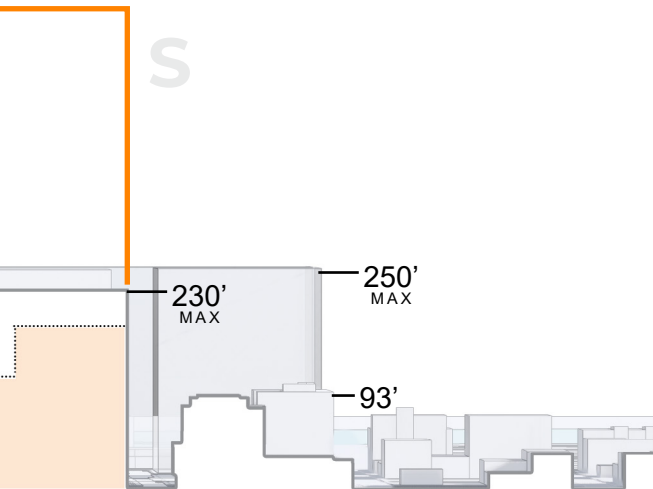
G.2.C

04

BUILDING MASSING

Surrounding Context

The sections at left portray the entitlement envelopes for each parcel shown as “glass boxes” indicating maximum height and width of each development site. Development may vary within these limitations so long as total development on the USPS site does not exceed the 4,065,235 SF earned through base FAR. Orange figures within the glass boxes illustrate one way that this level of development may be designed and developed within the constraints of the site.



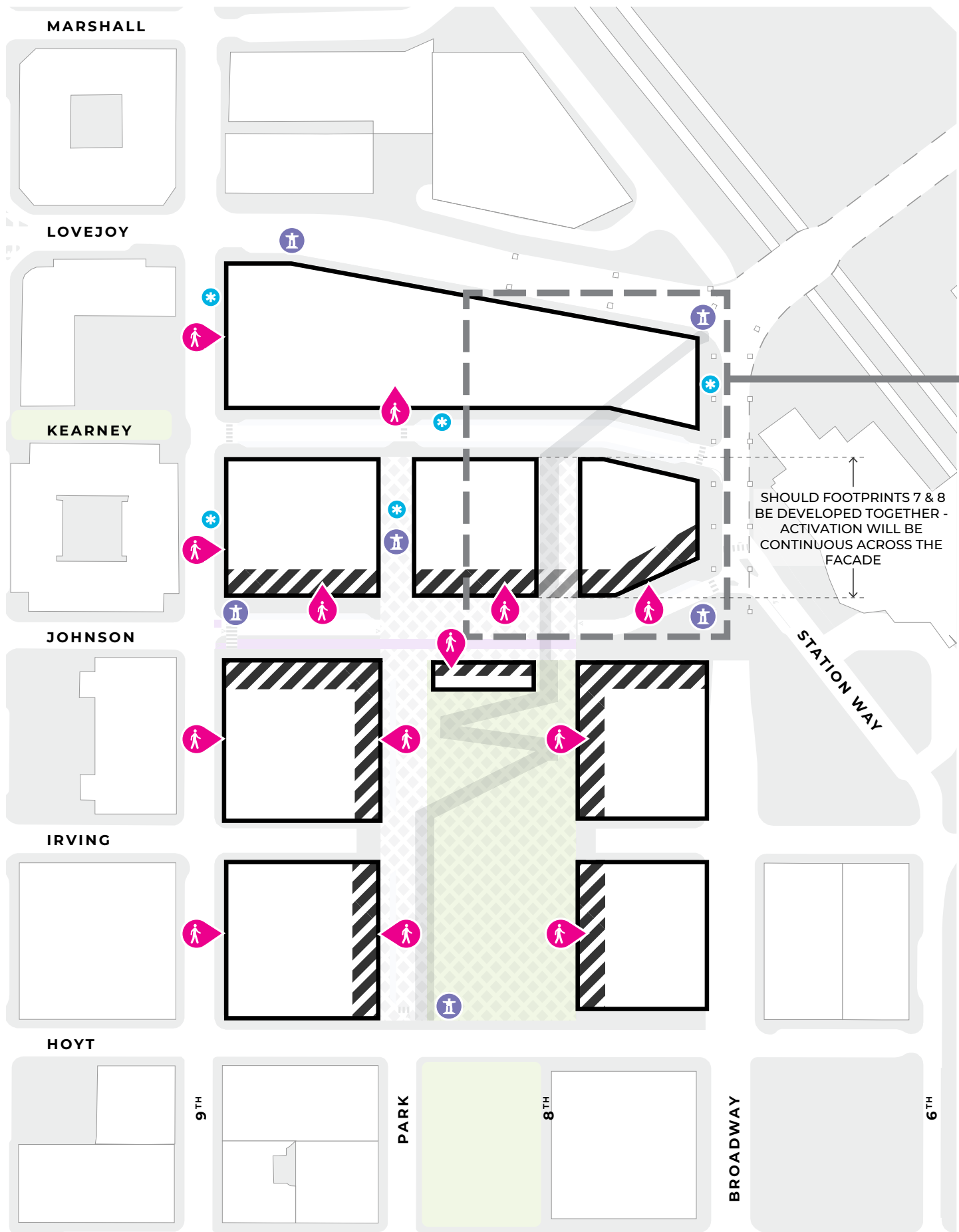


Figure 4.47

IN RESPONSE TO THE FOLLOWING
ITEMS FOUND IN PCC 33.510.255:

G.2.A.1.

+ ADJUSTMENT REQUESTED

04

BUILDING MASSING

Entrances and Activation

RESPONSE TO ADJUSTMENT CRITERIA A, B, D, E

(Criteria C and F not applicable/no negative impact)

The USPS Master Plan project seeks an adjustment to the required active use zones on Lovejoy and Hoyt streets as identified in the zoning code 22.510.255 - Ground Floor Active Uses. Granting of the adjustment will equally or better meet the purpose of the regulation to be modified (Criteria A), is consistent with classifications of the adjacent streets and the desired character of the area (Criteria B), preserves a view of Union Station, the only city designated scenic and historic resource (Criteria D), impacts are mitigated (Criteria E). The project proposes to add and relocate active use areas to Johnson Street and the parcels facing the north Park Blocks extension just south of Johnson Street and to reduce the extent of active use along Hoyt Street. Application of the regulation does not make sense on Lovejoy where site frontage is either obscured by the Lovejoy ramp or is adjacent a security-fenced parking lot and has neither vehicle or pedestrian access. Activation of the new site frontages created by Johnson Street and the Park, better meets the regulations (Criteria A) and is consistent with the purpose of the zone to create vibrant open space, connect the adjacent neighborhood, (Criteria B) and enhance views of the historic Union Station (Criteria D). The significant extent of active use frontage that results (three times the existing active use extent) mitigates the loss of active use (Criteria E) on Lovejoy Street the reduced active use on Hoyt Street frontage.

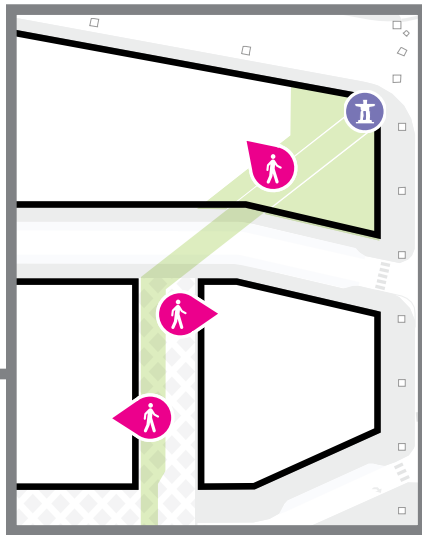


Figure 4.48
Second Level Activation

KEY



**POTENTIAL PUBLIC
ART OPPORTUNITY**



**PREFERRED PRIMARY
ENTRANCE****

**Potential entry designated by symbols may lie anywhere along the indicated building face. Location on alternate block face may be requested through Type II design review or through the Type III process for a development of a specific site.



See **Figure 4.56** on page 54
for additional program
requirements on these façades.



CIRCULATION

Proposed Streets

RIVER DISTRICT STREET

NW Kearney Ave, from NW 9th Ave to Station Way is designated as an existing River District Street and will be design in accordance with the City of Portland River District Right Of Way Standards.

JOHNSON NEIGHBORHOOD GREEN WAY

NW Johnson Street from NW 9th Ave to Station Way will be a continuation of the existing Neighborhood Greenway to the west of NW 9th Ave and will provide enhanced facilities for pedestrians and bicyclists. Between NW Park and what would be NW 8th, the street will be curbsless to extend the North Park Block character into the site.

PUBLIC ACCESS EASEMENTS

NW Park Ave, between parcels 6 and 7 and the Green Loop, between parcels 7 and 8, and the purple portions of Irving highlighted in [Figure 4.49](#) are all designated as Public Access Easements. Neither area is intended to provide vehicle access.

DRIVEWAYS

NW Irving Street, east and west of NW Park Ave, is designated as a Private Driveway. Although designated as a Private Driveway, it will be designed to match existing River District Right Of Way Standards to the extent feasible. Irving to the West of the site is a 50' right of way while on the USPS site Irving will be designed as a 50' right of way. Continuous pedestrian access will be provided across the site.

SPECIAL FUNCTION STREET

NW Park Avenue from NW Hoyt Street to NW Johnson Street provides active frontage along the park. The roadway will be raised to sidewalk level to provide a seamless connection from the buildings to the Green Loop and park.

KEY

SPECIAL FUNCTION STREET

NW JOHNSON

PUBLIC ACCESS EASEMENT

DRIVEWAY

RIVER DISTRICT STREET

KEY

PEDESTRIAN CIRCULATION

ABOVE GRADE

AT GRADE

Existing Pedestrian Circulation

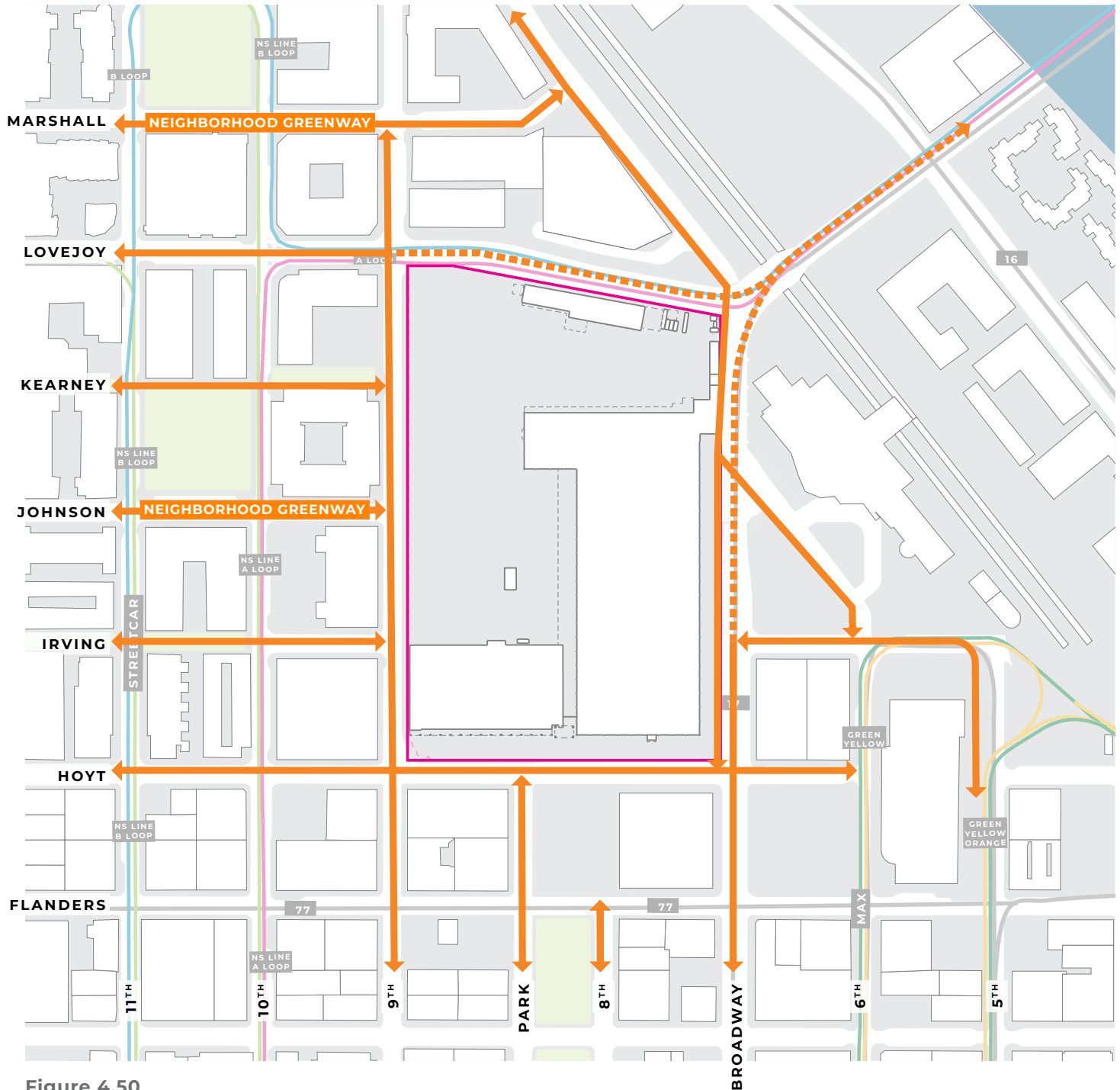


Figure 4.50
Existing Pedestrian Circulation

IN RESPONSE TO THE FOLLOWING
ITEMS FOUND IN PCC 33.510.255:

G.2.A.4

04

CIRCULATION

Proposed Pedestrian Circulation

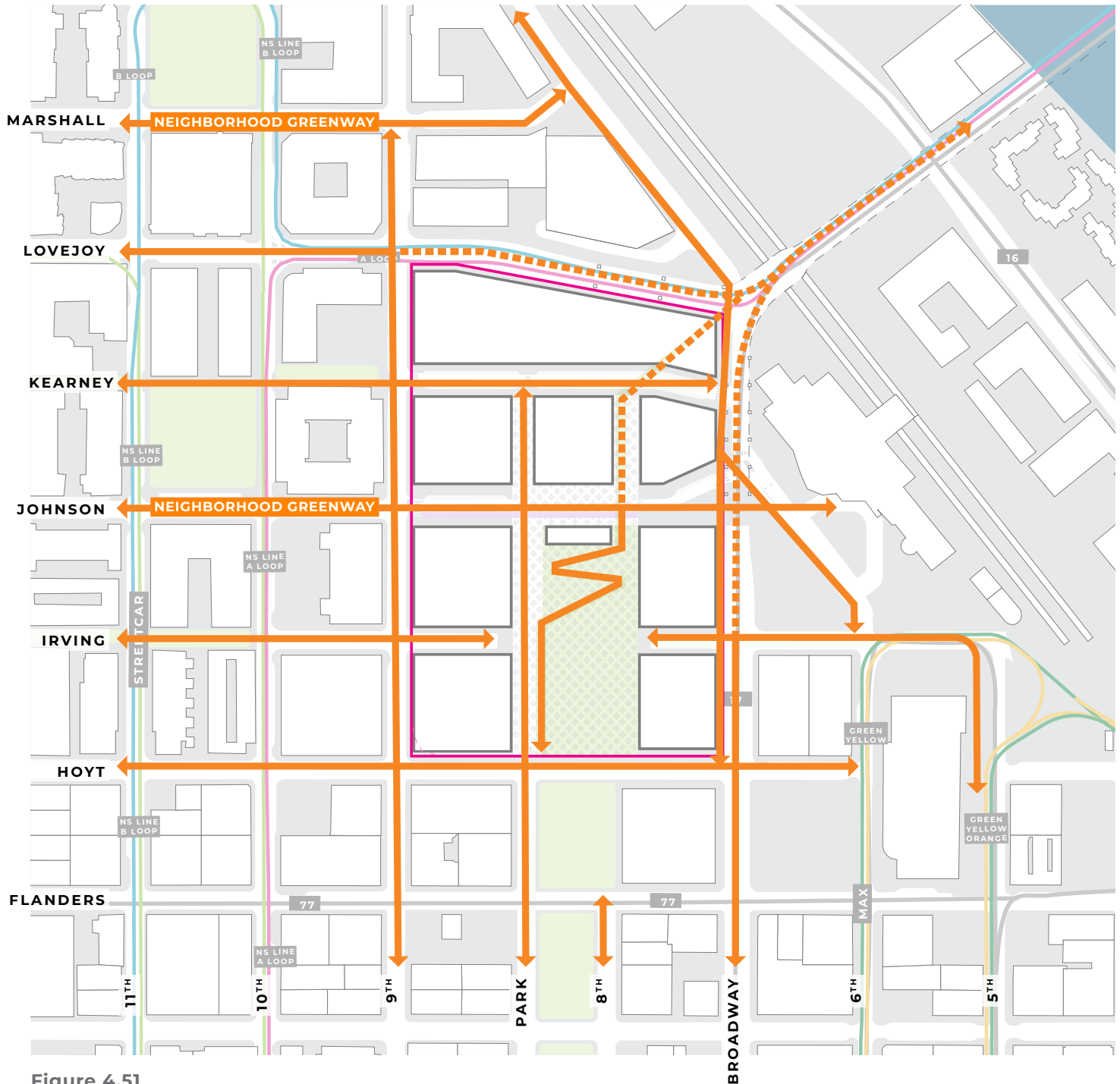


Figure 4.51
Proposed Pedestrian Circulation

KEY

NEIGHBORHOOD GREENWAY

2-WAY BIKE LANE

BIKE LANE

PROTECTED BIKE LANE*

SHARED LANE

ABOVE GRADE **AT GRADE**

* Proposed outside of master plan scope and boundary

Existing Bike Circulation

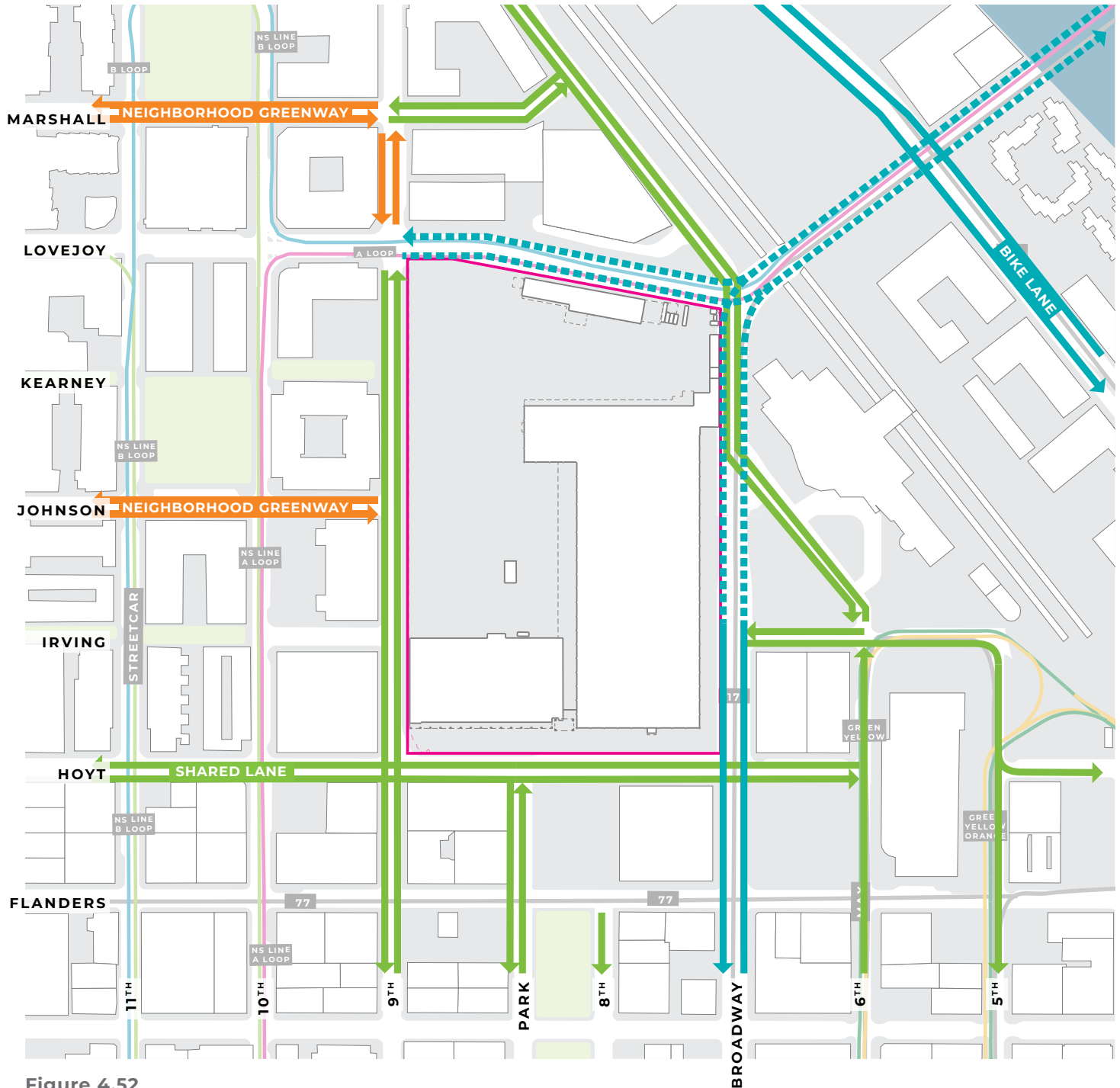


Figure 4.52
Existing Bike Circulation

IN RESPONSE TO THE FOLLOWING
ITEMS FOUND IN PCC 33.510.255:

G.2.A.4

04

CIRCULATION

Proposed Bike Circulation

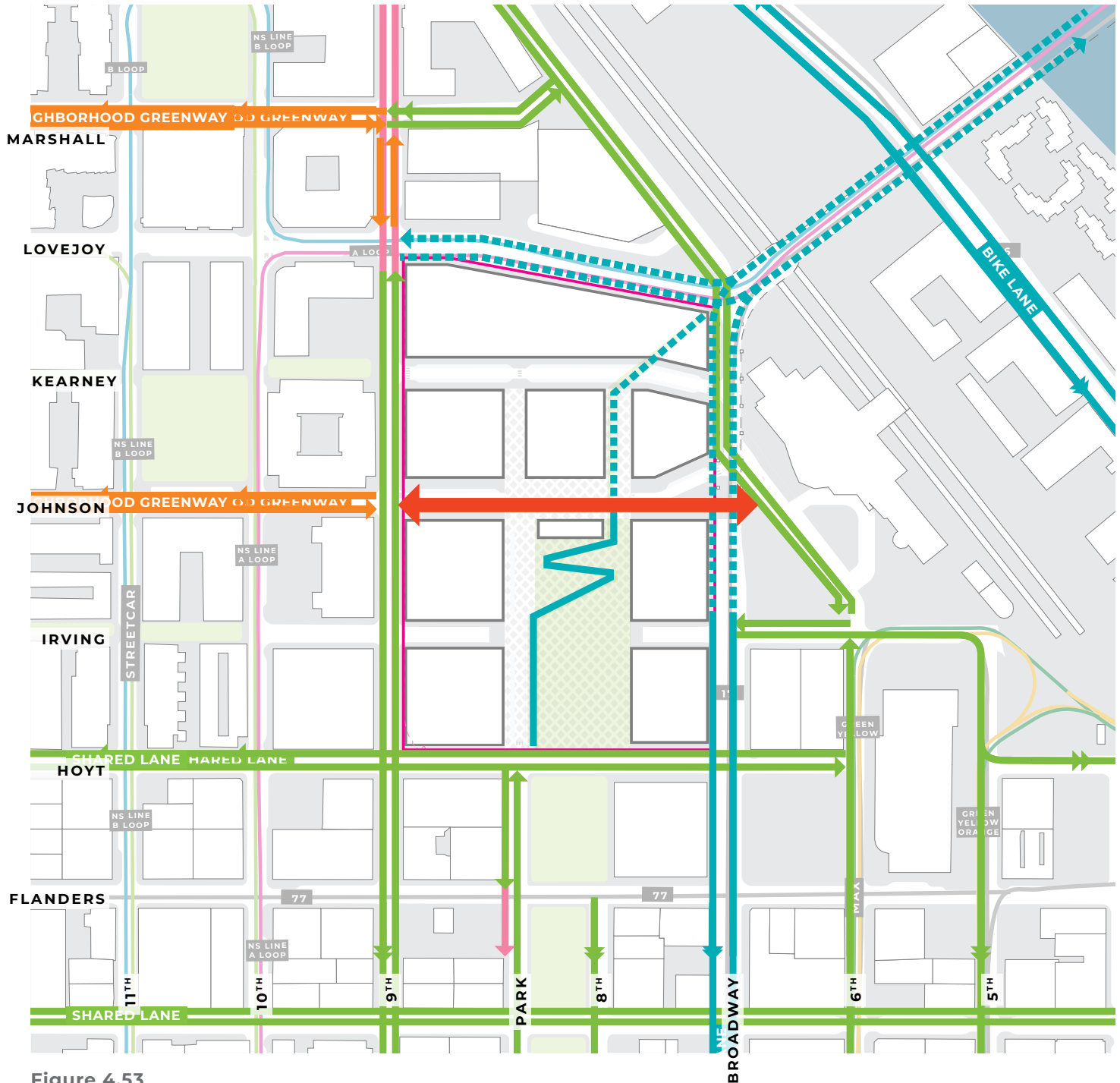


Figure 4.53
Proposed Bike Circulation

KEY

VEHICULAR CIRCULATION

ABOVE GRADE

AT GRADE

Existing Vehicular Circulation

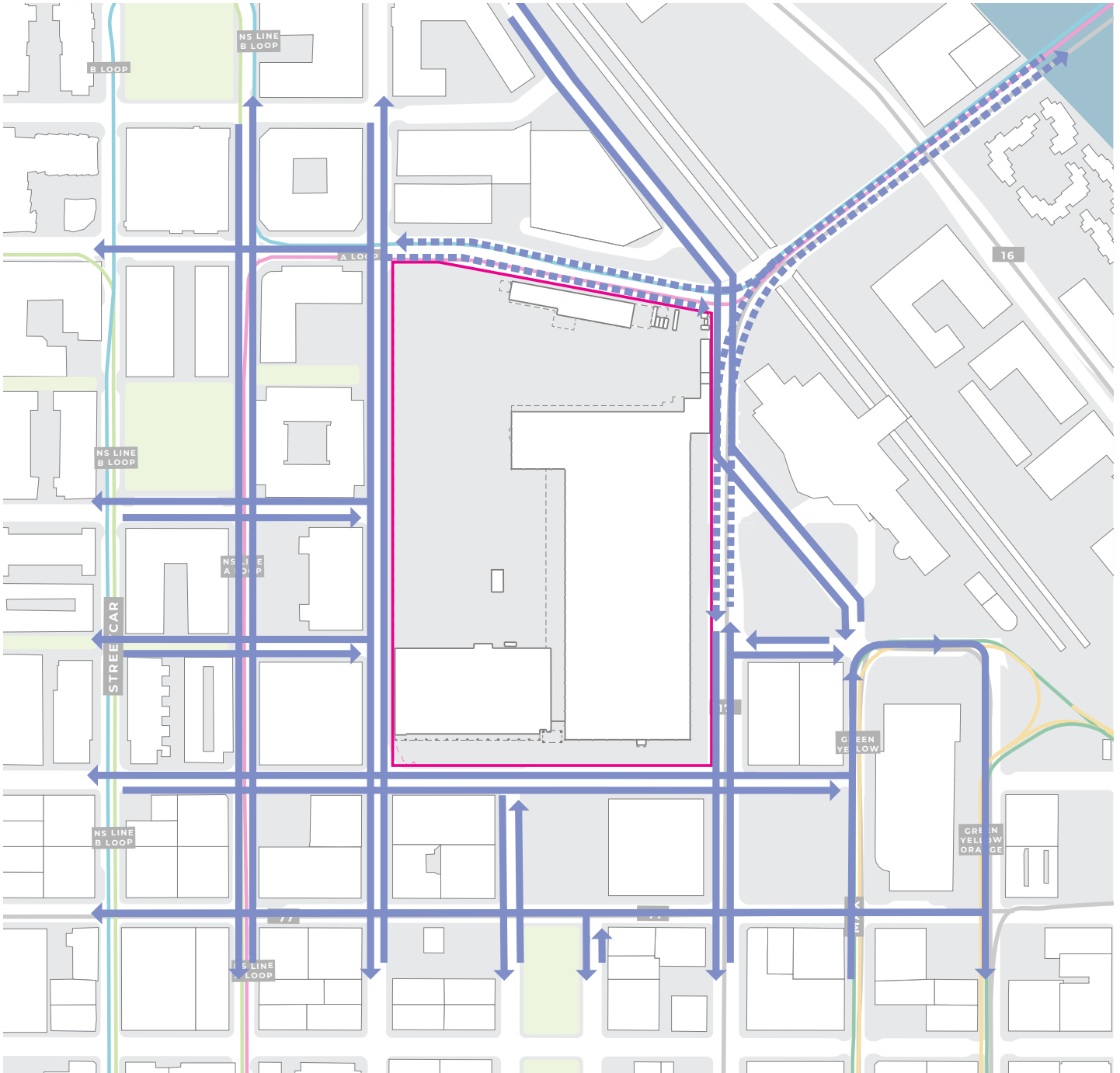


Figure 4.54
Existing Vehicular Circulation

IN RESPONSE TO THE FOLLOWING
ITEMS FOUND IN PCC 33.510.255:

G.2.A.4

04

CIRCULATION

Proposed Vehicular Circulation

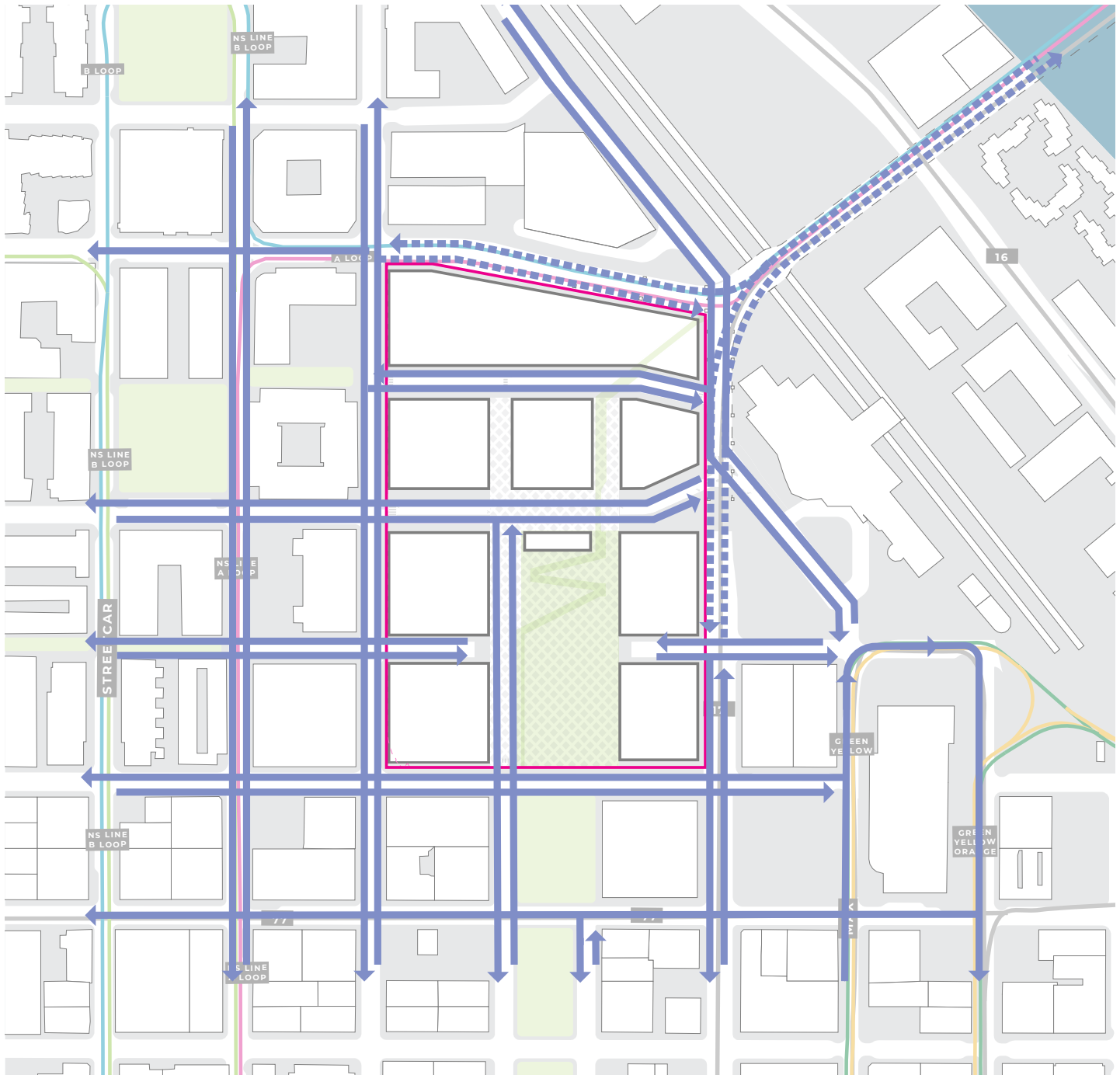


Figure 4.55
Proposed Vehicular Circulation

KEY

NO VEHICLE PARKING *



PRIMARY PARKING & LOADING ENTRY**

* Vehicle Parking is not allowed in shaded areas from elevations 0' to 20' ([Figure 4.56](#)) and from elevations 20' to 50' ([Figure 4.57](#)). Parking setback minimum 15' except 25' where active use applies ([Figure 4.47](#)). Bicycle parking is allowed along shaded frontages.

** Potential entry designated by symbols may lie anywhere along the indicated building face. Location on alternate block face may be requested through Type II design review or through the Type III process for a development of a specific site.

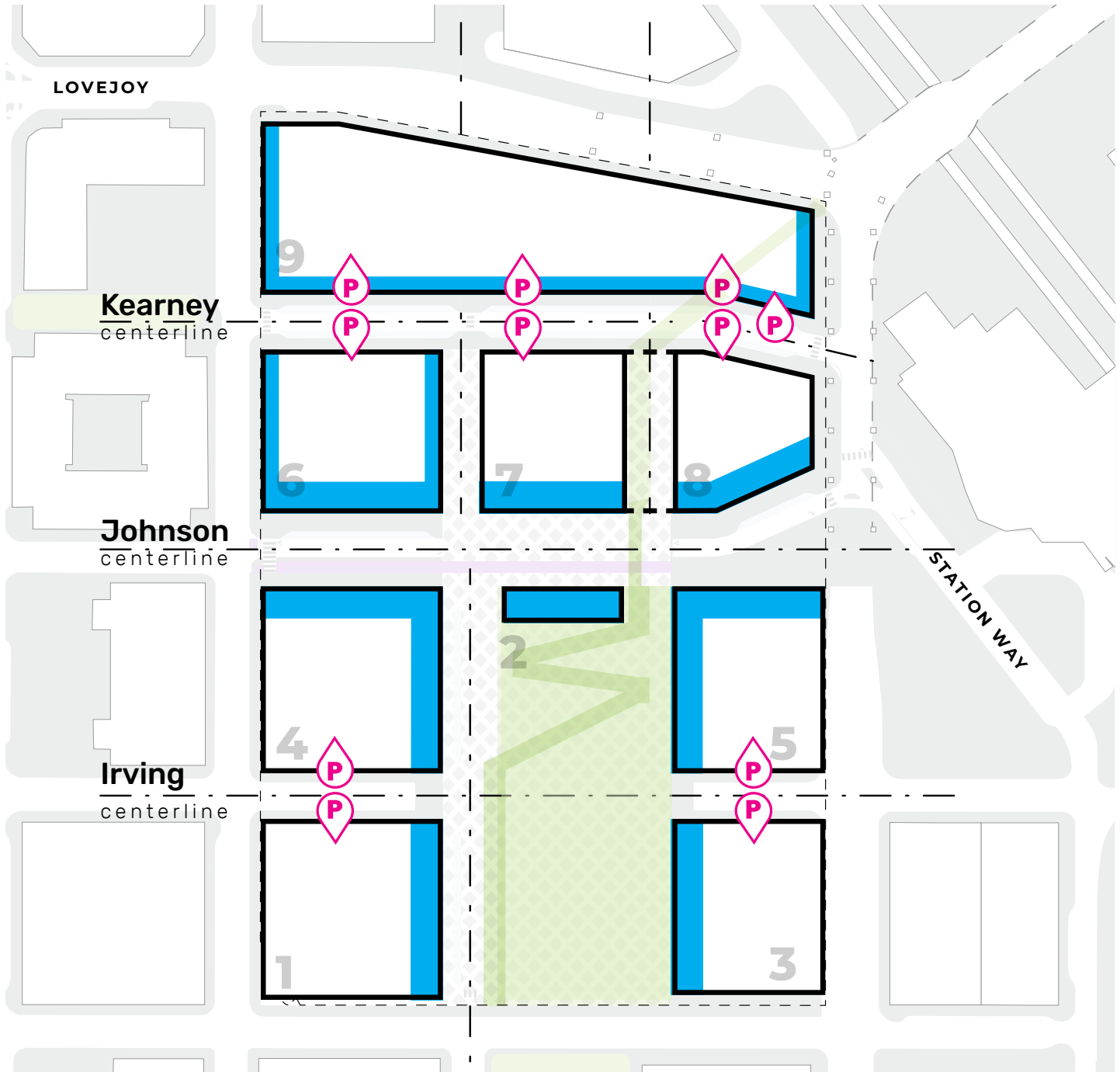


Figure 4.56
Parking and loading at grade to elevation 20'

Parking Entries and Loading

Development of the USPS site is planned to prioritize pedestrian and bicycle movements. As such, parking, service access and loading are focused on Irving and Kearney. Focusing vehicular access to parcels in these designated areas will allow for the primary streets through the site to facilitate pedestrian activity and minimize vehicular traffic around the central park space.

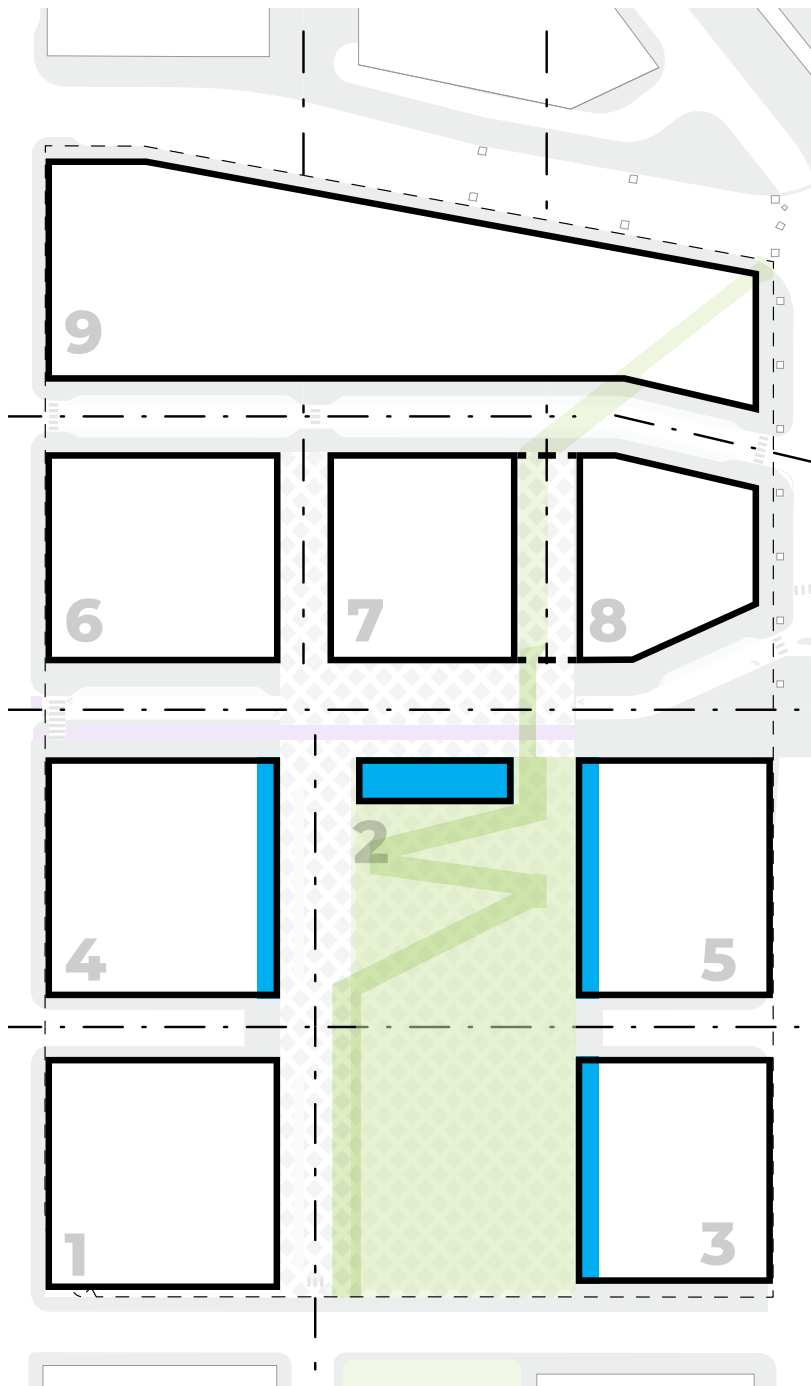


Figure 4.57
Parking and loading above elevation 20'

The exact location of the Access Easement on Parcel 7 and 8 will be determined via a future City-led open space design process. If the ultimate location of the Access Easement is different than in the master plan diagrams, no amendment to the master plan shall be required.

At Parcel 1, 7 and 8 parking is allowed above 20' at frontage, however with adjacency to open space, the design is responsible for contributing to a high quality public realm.

The proposed parking and loading scheme for the Broadway Corridor master plan is consistent with PBOT's Northwest in Motion plan, which maintains NW Kearney Street as a local vehicular access road while designating NW Johnson Street as a Neighborhood Greenway. By keeping all parking and loading accesses on NW Kearney, NW Johnson can function as a low-stress biking and walking environment that is free from vehicular conflicts along block lengths. NW Kearney and Irving Street private drives serve as the backbone of the traffic and loading needs in the development, resulting in locations where parking garage entrances and loading access points will need to be placed side-by-side. In these locations, driveway apron widths are allowed to exceed the City of Portland code (Section 17.28.110.C.2) maximum of 30' width without submission of a design exception so long as they are less than 60' in width. It is anticipated that shared parking, to be constructed under a single permit, may be necessary to support the phased development of multiple towers.

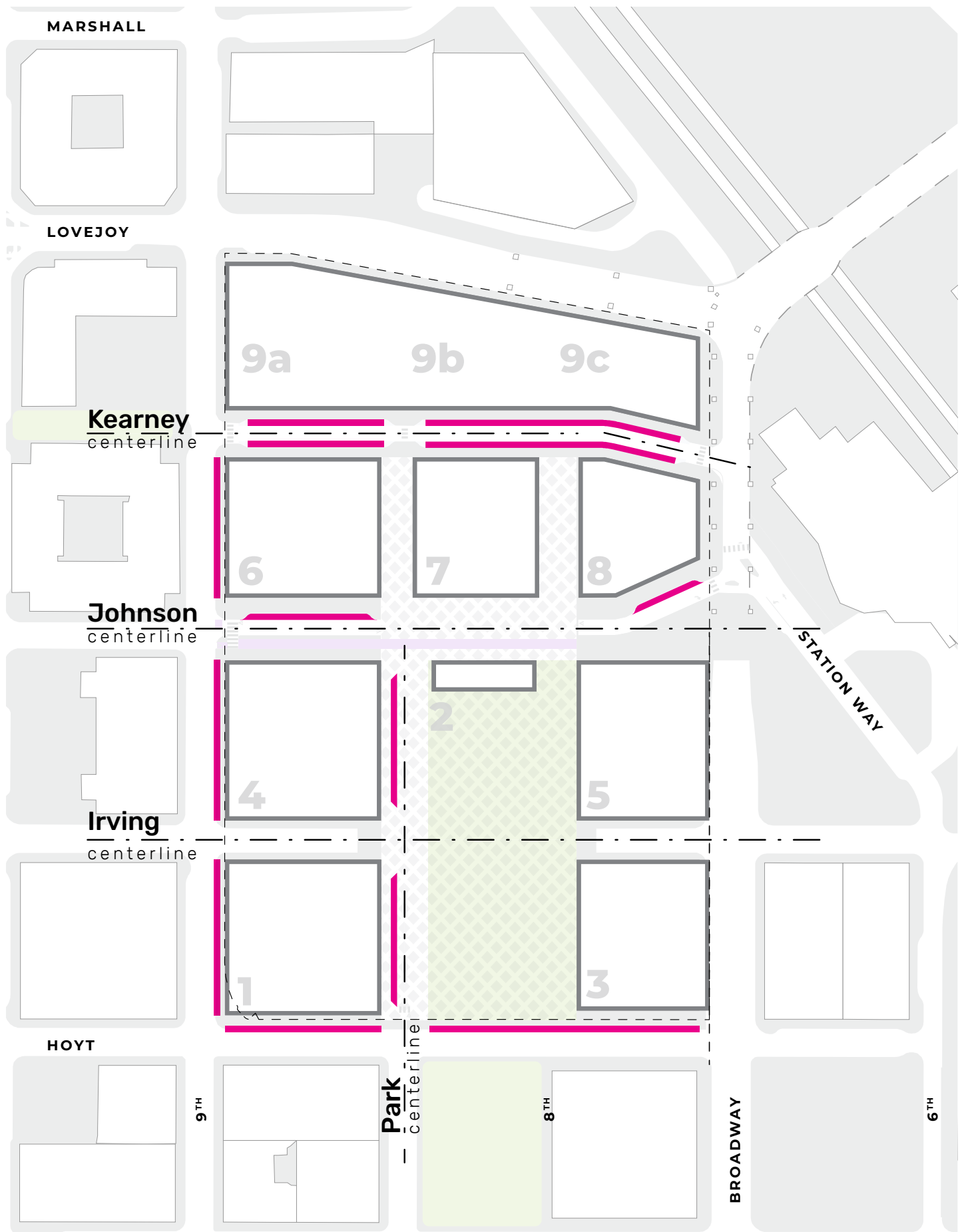


Figure 4.58

On Street Bike and Vehicular Parking

Bike and vehicular parking, as well as pick-up and drop-off zones will be provided along most public streets in the plan area. Exceptions are the south edge of Johnson Street, which will have a two-way cycle track, the east edge of Park Avenue, which will have the Green Loop, the space between parcels 2 and 7, which is planned to be a curbless plaza-style street, and the private extensions of Irving, which are prioritized for parking and service access.

KEY

**BIKE & VEHICULAR
ON STREET PARKING**

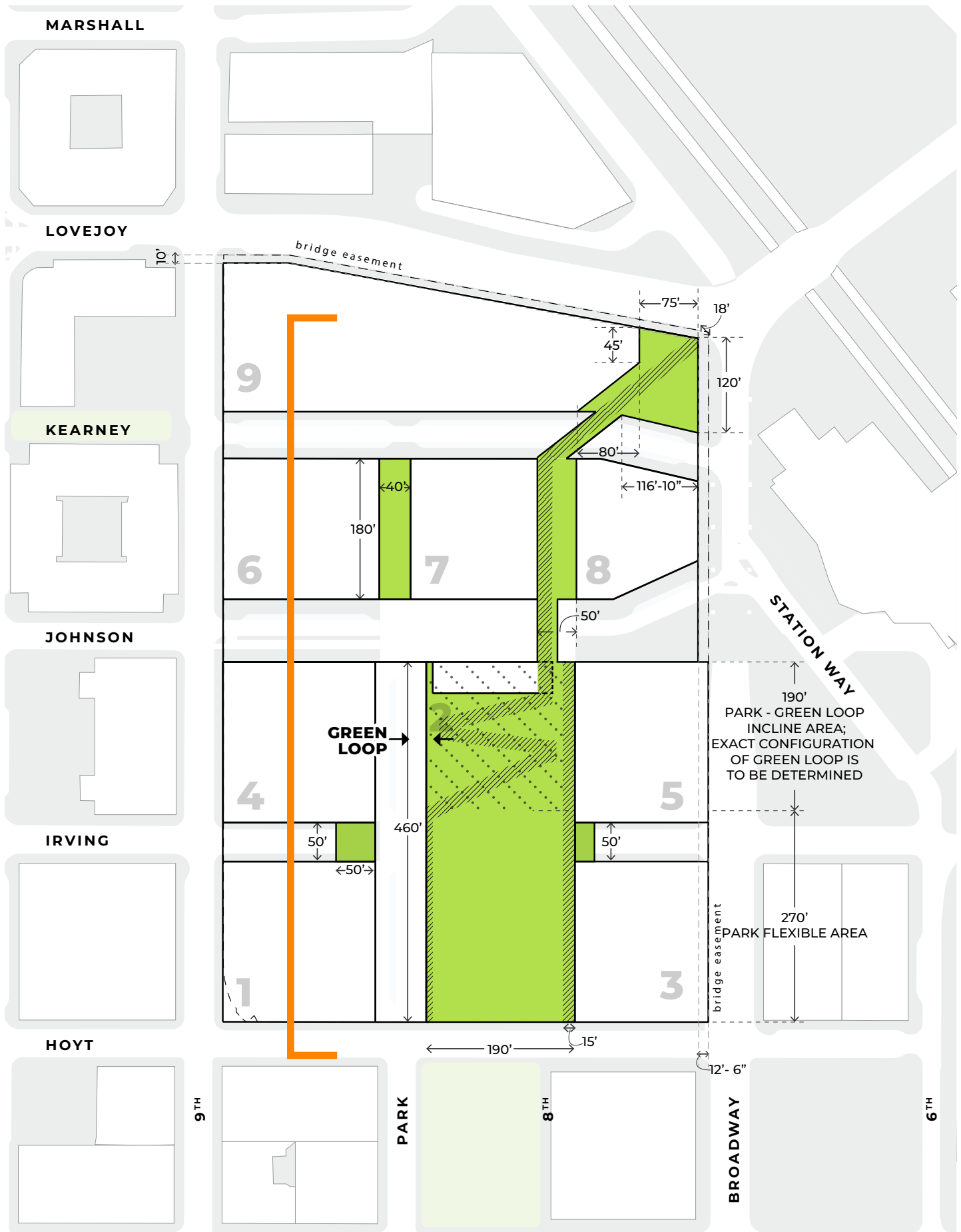


Figure 4.59

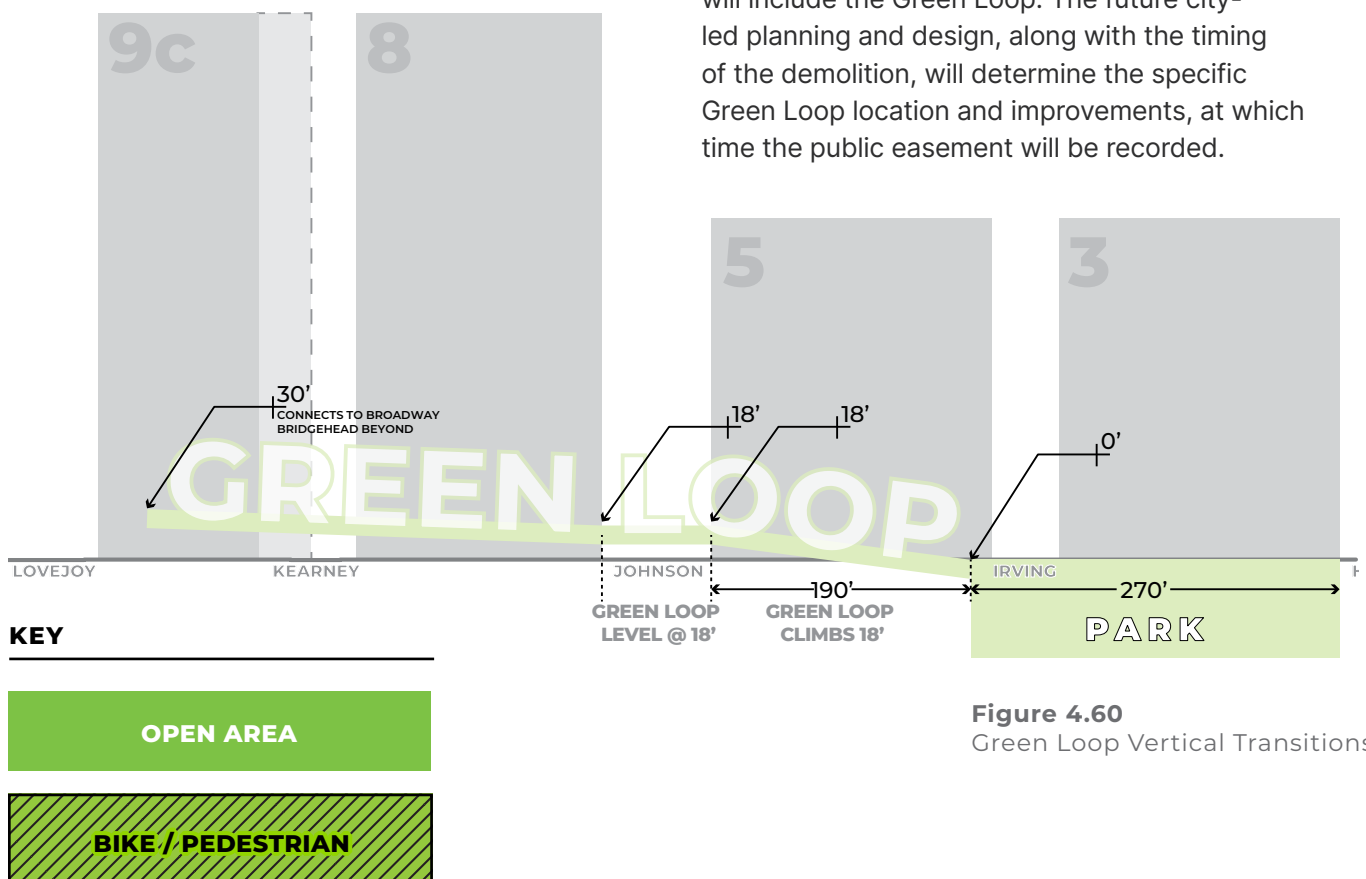
OPEN AREAS

Open Area Requirements

The CCMP requires at least 20% of the master plan square footage be dedicated to open areas. The highlighted green areas in the adjacent diagram represent 20% of the USPS Master Plan area. This diagram was created as a bird's eye view of these open areas and no area has been counted twice.

The section diagram below ([Figure 4.60](#)) outlines the bi-level nature of the open space and outlines the vertical transitions of the Green Loop as it raises above grade at the Green Loop climb, over Johnson Street, through development footprints 7 & 8 and terminating at the bridge landing.

A public easement is anticipated to be granted to cover areas of the USPS Master Plan that will include the Green Loop. The future city-led planning and design, along with the timing of the demolition, will determine the specific Green Loop location and improvements, at which time the public easement will be recorded.



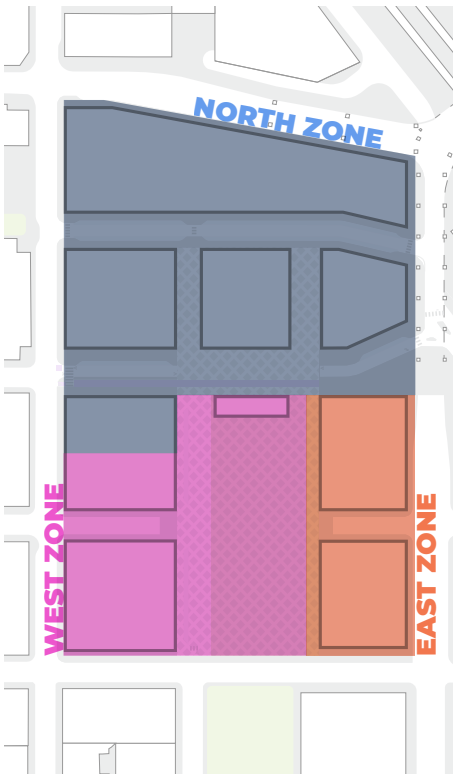


Figure 4.61
Infrastructure Zones

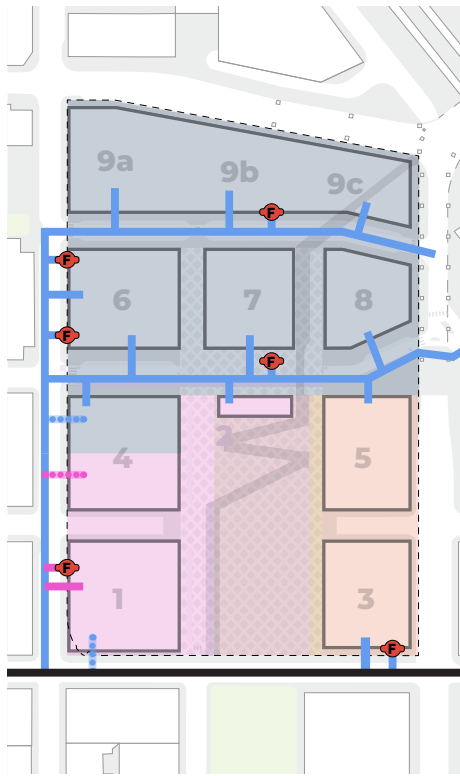


Figure 4.62
Existing and Proposed Water Lines

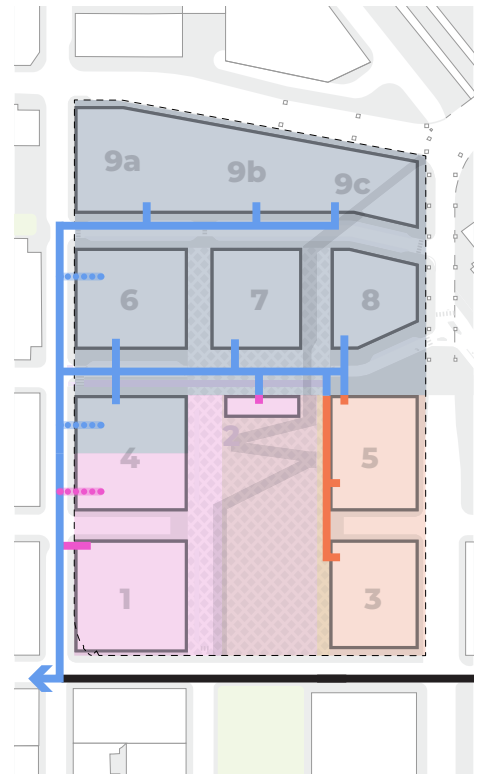


Figure 4.63
Existing and Proposed Sanitary Lines

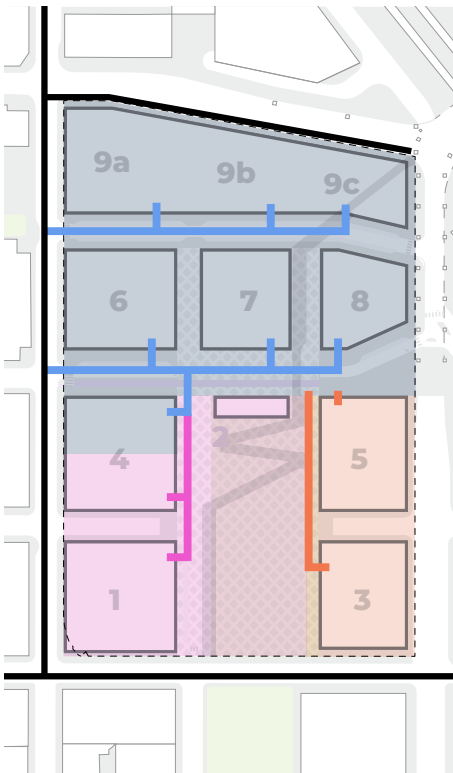


Figure 4.64
Existing and Proposed Electrical
and Communications Lines

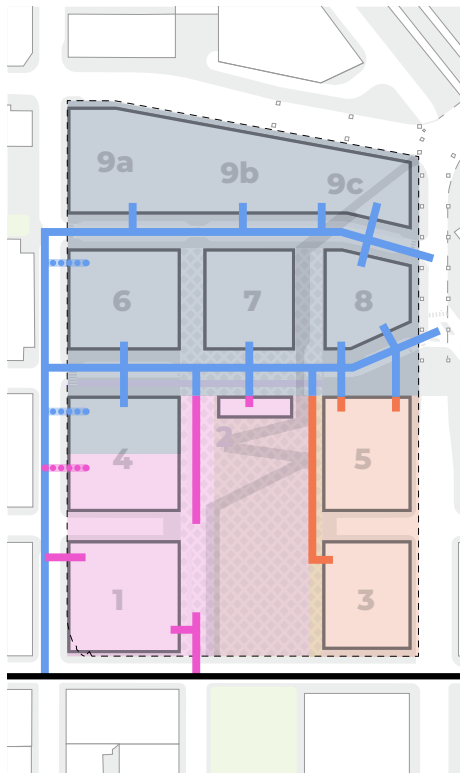


Figure 4.65
Existing and Proposed
Stormwater Lines

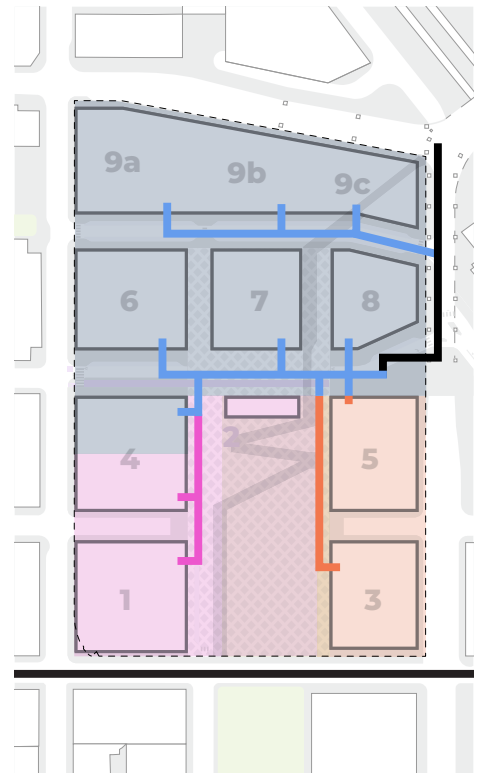


Figure 4.66
Existing and Proposed Gas Lines

PHASING

Infrastructure Zones

NORTH ZONE

The CCMP criteria requires that plans include “adequate and timely infrastructure” to support the development of buildings. For the USPS site, three infrastructure zones have been identified, containing proposed buildings, open spaces, and the infrastructure necessary to support that development. North Zone infrastructure provides the backbone for the East Zone and the West Zone, so it must proceed first. Infrastructure in this area will include water, sanitary sewer and stormwater mains within NW Kearney and NW Johnson streets. The infrastructure services within NW Kearney will provide services to Parcel 9 and provide the stormwater piping for collection of stormwater within the right of way. NW Johnson Street systems will provide services to the parcels along NW Johnson and its right of way, as well as provide the connection points for the East and West Zone.

In addition to on-site infrastructure of the initial phase, the project will also include off-site sanitary sewer and water upgrades. The upgraded sanitary sewer pipe section will run from the intersection of NW Johnson and NW 9th to the NW Interceptor located at NW 11th and NW Hoyt. The line will be upgraded to a 21-inch line to run from the Johnson and 9th intersection south to NW Hoyt. It would then run down NW Hoyt to the NW interceptor. The new water line will connect to existing infrastructure at 9th and Lovejoy and at 9th and Hoyt.

Continued on following page.

KEY



EAST ZONE

The East Zone will consist of services to Parcels 3 and 5. Parcel 5 has access to utility services from NW Johnson Street. Due to the location of Parcel 3, services for this parcel will be provide through a utility easement along the west side of Parcel 5.

THE WEST ZONE

The West Zone will have stormwater piping constructed within the NW Park right of way to provide stormwater drainage. Sanitary sewer and water services to the parcels within the West Zone will be provided along NW Johnson and NW 9th.

PHASING

The infrastructure in each zone is intended to be completed with or before buildings and open space in that zone. It is possible that development of the East or West zone may begin before buildings and open space in the North Zone are complete.

Off-site signals and upgrades are required for each phase of development, with the preponderance required under development of the North Zone. Refer to the master plan appendix for specific details.

See [Figure 4.67](#) on the following page for a summary of phasing / development triggers.

IN RESPONSE TO THE FOLLOWING
ITEMS FOUND IN PCC 33.510.255:

G.4

Summary of Phasing / Development Triggers

INFRASTRUCTURE COMPONENT		PHASING OBLIGATIONS
Off-Site Utilities		
Water improvements in NW 9 th Avenue		60% engineering plans complete prior to issuance of first vertical development building permit in North Zone; project completion prior to first vertical development certificate of occupancy
Sewer improvements in NW 9 th Avenue		60% engineering plans complete prior to issuance of first vertical development building permit in North Zone; project completion prior to first vertical development certificate of occupancy
Phase 1 Streets (including associated utilities) – NW Johnson, NW Kearney, NW Park Ave sidewalk (northern ½ block)		
NW Johnson and NW Kearney: Dedication and construction of full extent, curb to curb with cycle track, streetlights and temporary AC sidewalks		Complete prior to certificate of occupancy of first North Zone building
Park Avenue: Interim temporary AC sidewalk only adjacent to Parcel 4A		Complete prior to certificate of occupancy of 4A building
Phase 2 Streets (including associated utilities) – NW Park Ave		
NW Park Avenue: Dedication and construction of western ¾ width of commercial shared curbless street		Complete prior to certificate of occupancy of Parcel 1 or 4B, whichever is first
Off-Site Signals & Intersections		
<ul style="list-style-type: none"> NW Lovejoy and 9th Right turn lane NW Kearney and 9th: Full intersection with traffic signal NW Johnson and 9th Full intersection with traffic signal NW Glisan and NW 9th: Install traffic signal NW Everett and 9th: Install full traffic signal 		Complete prior to certificate of occupancy of first building in North Zone
NW Hoyt and 9 th : Reconstruct intersection		Complete prior to certificate of occupancy of Parcel 1
NW Irving and NW Broadway: Install new signal		Complete prior to certificate of occupancy of Parcel 3 or 5, whichever is first
Open Space & Green Loop Components		
Open Space and Green Loop 30% engineering plans		Completion prior to building permits for Parcels 2, 7, 8, 9c
Easements for public access		Required to be provided on Parcels 2, 7, 8, 9c once full extent of Green Loop is constructed
Green Loop Plaza at Broadway/Lovejoy bridge intersection		Complete construction prior to certificate of occupancy of Parcel 9C
Kearney Green Loop bridge		Once the Green Loop Plaza, 8 th Ave pathway, Park, and Parcel 2 Pavilion Building are complete
Green Loop 8 th Avenue pathway (elevated pathway and at-grade finishes if not on podium)		Complete prior to the certificate of occupancy for earlier of Parcel 7 or 8
Johnson Green Loop bridge		Once the Green Loop Plaza, 8 th Ave pathway, Park, and Parcel 2 Pavilion Building are complete
Parcel 2: Pavilion Building		No later than completion of Park construction
NW Broadway & NW Lovejoy signal and intersection reconfiguration for Green Loop		Once the Green Loop Plaza, 8 th Ave pathway, Park, and Parcel 2 Pavilion Building are complete
Park (including eastern ¼ of Park Avenue, Green Loop pedestrian pathway in the park, and the Green Loop Terrace)		Commence construction concurrent with construction of NW Park Avenue
Driveways & Public Accessways – NW Irving, Park Ave Alleyway		
Construction and public access easements		<ul style="list-style-type: none"> Complete prior to certificate of occupancy for the earlier of: <ul style="list-style-type: none"> Western segment of NW Irving: Parcels 1 or 4B Eastern segment of NW Irving: Parcel 3 or 5 Park Avenue Alleyway: Parcels 6 or 7
Final Frontage Improvements – NW Johnson, NW Kearney, NW Park, NW Lovejoy, NW Broadway/Station Way, NW Hoyt, NW 9TH		
Finished sidewalks / back of curb frontages		Completed by block face with adjacent parcel development

Figure 4.67

Identifies phasing for development of infrastructure components.

SUPPORTIVE MASTER PLAN MATERIALS

OVERVIEW

This section provides materials that help to describe the design and planning intent behind the master plan components described in the previous section. These design studies and images illustrate how the site responds to the Central City 2035 plan, the Central City Fundamental Design Guidelines, as well as describing the intended strategies for building orientation and massing, character and uses of open areas and streets.

Chapter 4 is codified master plan language. To the extent this chapter is read inconsistently with chapter 4, chapter 4 prevails.

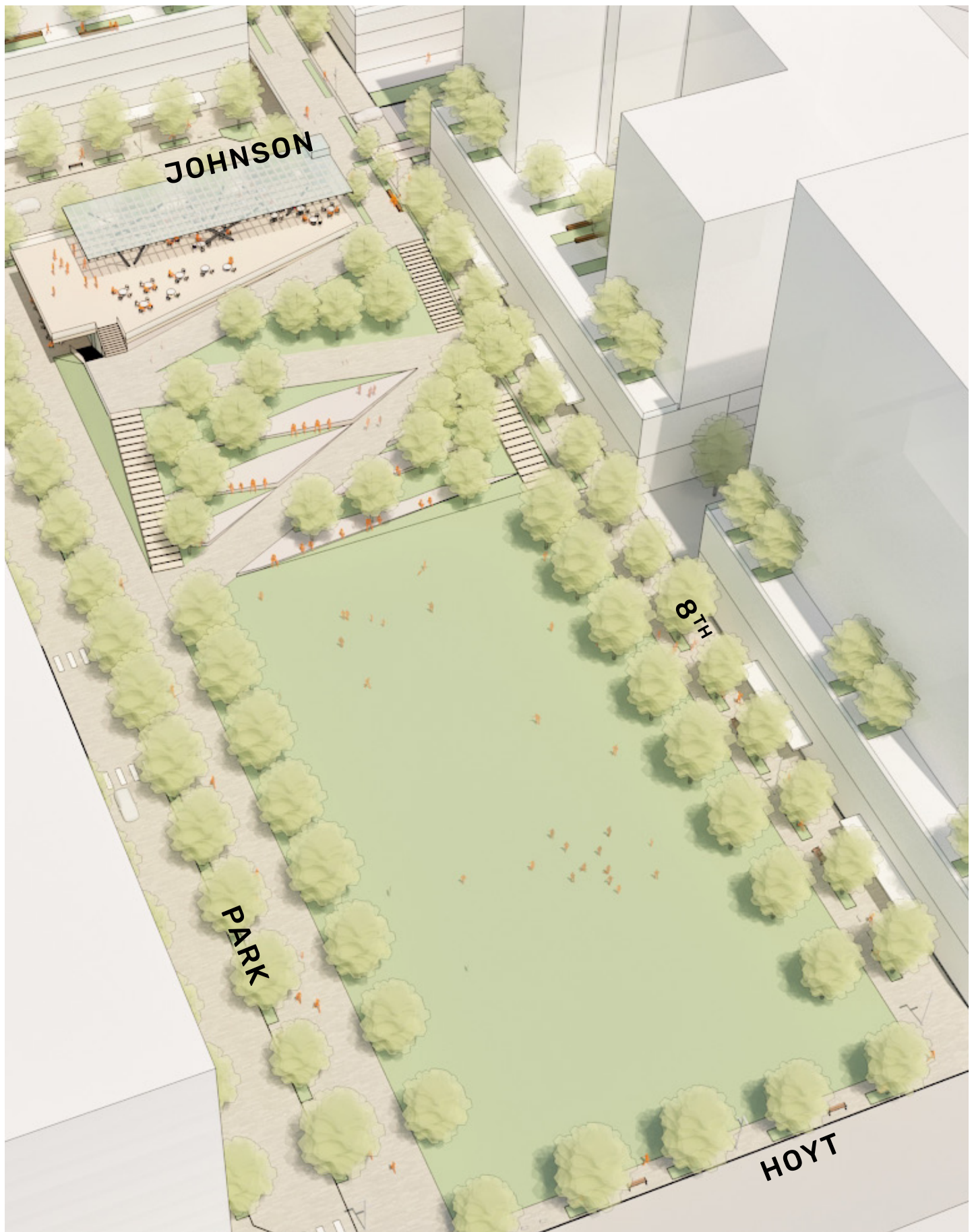


Figure 5.1
The centrally located park is used for active and passive recreation.

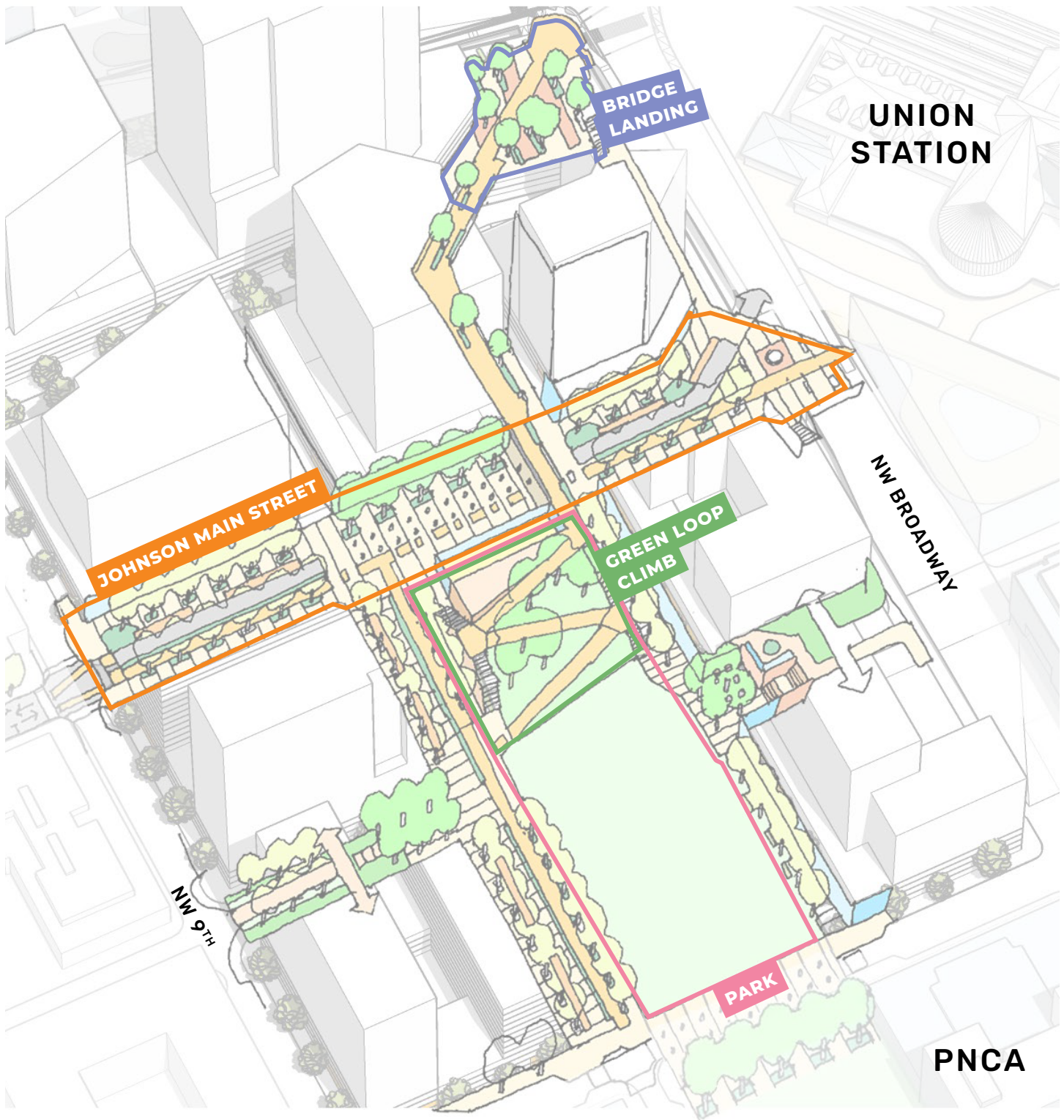


Figure 5.2
Public Realm Axon

OPEN AREAS

Surrounding Context

As a system of many elements on multiple elevations, the street network and open spaces within the USPS site provide accessible connections to the Pearl District Park Sequence, the North Park Blocks, Union Station, the Broadway Bridge, the Willamette River and the city at large.

This section provides materials that help to describe the design and planning intent behind the master plan components described in the previous section. These design studies and images illustrate how the site responds to the Central City 2035 plan, the Central City Fundamental Design Guidelines, as well as describing the intended strategies for building orientation and massing, character and uses of open areas and streets.

The open space sequence within the USPS site is anchored by a two-block extension and iconic termination of the North Park Blocks. Bridges and elevated paths provide experiences unique to this area and views of landmarks including Union Station and the North Park Blocks. New public streets provide connections between formerly separated neighborhoods. Both Johnson and Kearney Street are envisioned as vibrant public spaces and extensions of the adjacent park that prioritize pedestrians and bicyclists.

Pages 68–87 provide rationale and supportive findings regarding how the codified master plan components (Chapter 3) meet criteria H.5, H.7 and open area requirements K.

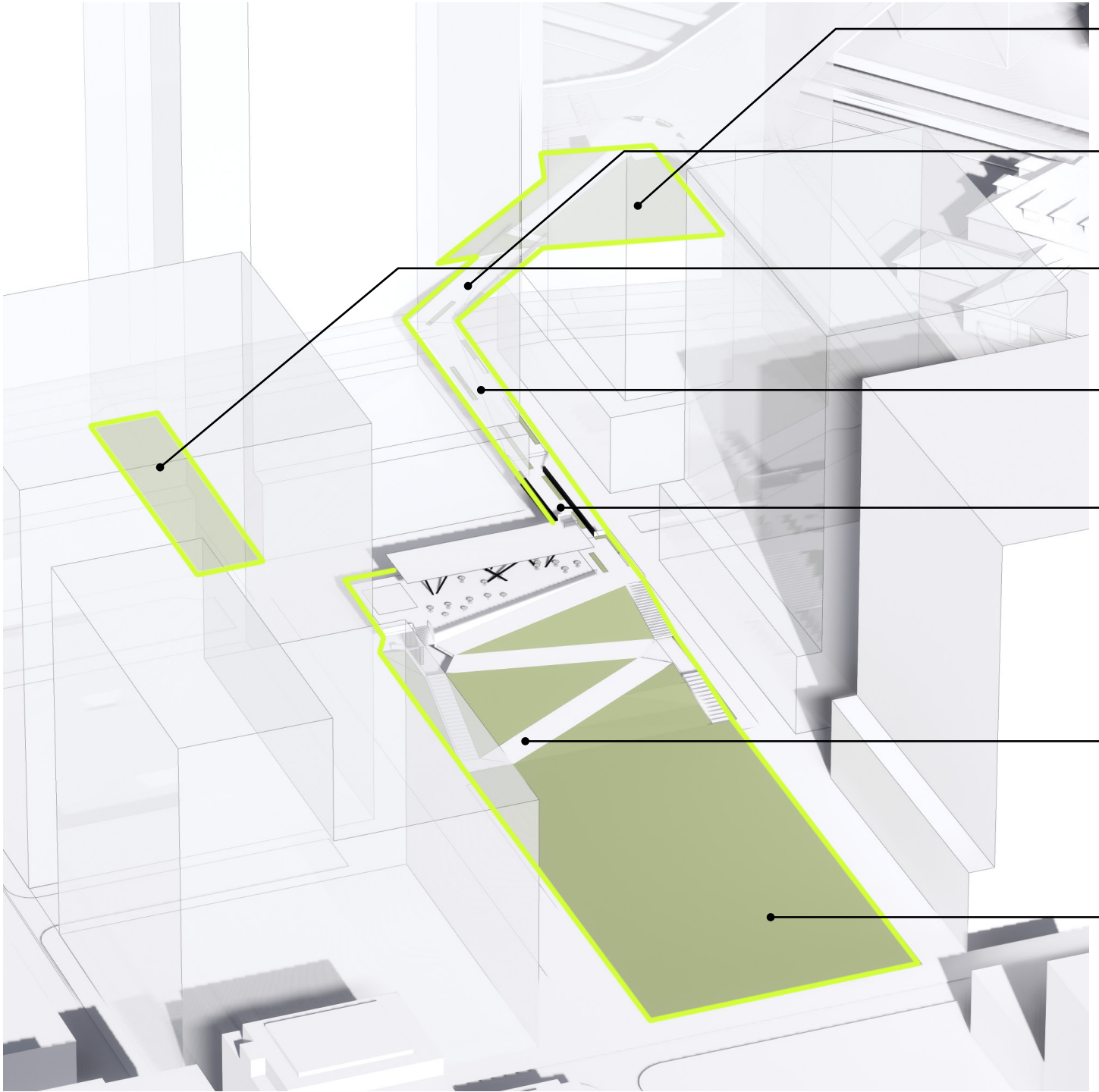


Figure 5.3
Connected Open Space Axon

BRIDGE LANDING

PUBLIC ACCESS EASEMENT

KEARNEY BRIDGE

PUBLIC PROPERTY

PARK AVE. PLAZA

PUBLIC ACCESS EASEMENT

ELEVATED ALLEYWAY

PUBLIC ACCESS EASEMENT

JOHNSON BRIDGE

PUBLIC PROPERTY

GREEN LOOP CLIMB

PUBLIC PROPERTY

PARK

PUBLIC PROPERTY

Connected Open Space

The USPS Master Plan extends the North Park Blocks and provides a number of connected open spaces and associated programmatic opportunities. The large central park is intended to be a welcoming gathering space suitable for active and passive recreation as well as large community events.

The Green Loop is in an integral part of the open space network, linking the park at the south to the plaza at the Broadway Bridge through a series of elevated paths. The Green Loop will approach the USPS site from the south along the North Park Blocks, gradually climbing at the north end of the central open space to a bridge crossing over Johnson Street. North of Johnson, the Green Loop continues as an elevated bridge to the intersection of the Lovejoy and Broadway Bridge ramps. The ramp will be integrated with landscape and an active retail facility, providing a significant placemaking opportunity.

Smaller open spaces such as the Park Avenue Plaza add connectivity to the most active areas of the site, Johnson Street and the Park.



Figure 5.4
The Green Loop connects to the Broadway and Lovejoy ramps and creates a unique elevated urban plaza.



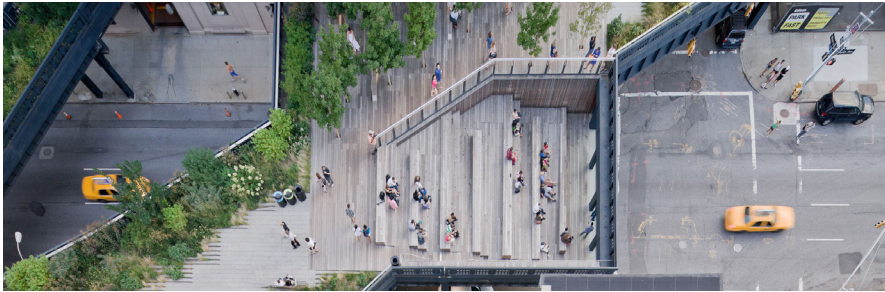
Figure 5.5
Bridge Landing Conceptual Plan

IN RESPONSE TO THE FOLLOWING
ITEMS FOUND IN PCC 33.510.255:

H.7

05

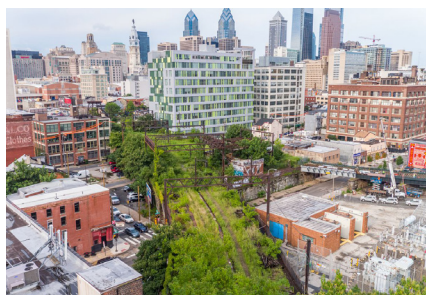
OPEN AREAS



Bridge Landing

The Bridge Landing Plaza is the most significant open space in the north half of the USPS Master Plan. The

publicly accessible plaza welcomes pedestrians and cyclists coming off the Broadway Bridge. As an entry point to the Green Loop, it provides an alternative to the existing commuter bicycle routes on the Broadway and Lovejoy ramps. With activation from a café or other active use in the adjacent building, the Plaza is a place to pause, orient yourself, meet friends or enjoy an outdoor lunch.



The bridge landing area is a public access easement located on private property.

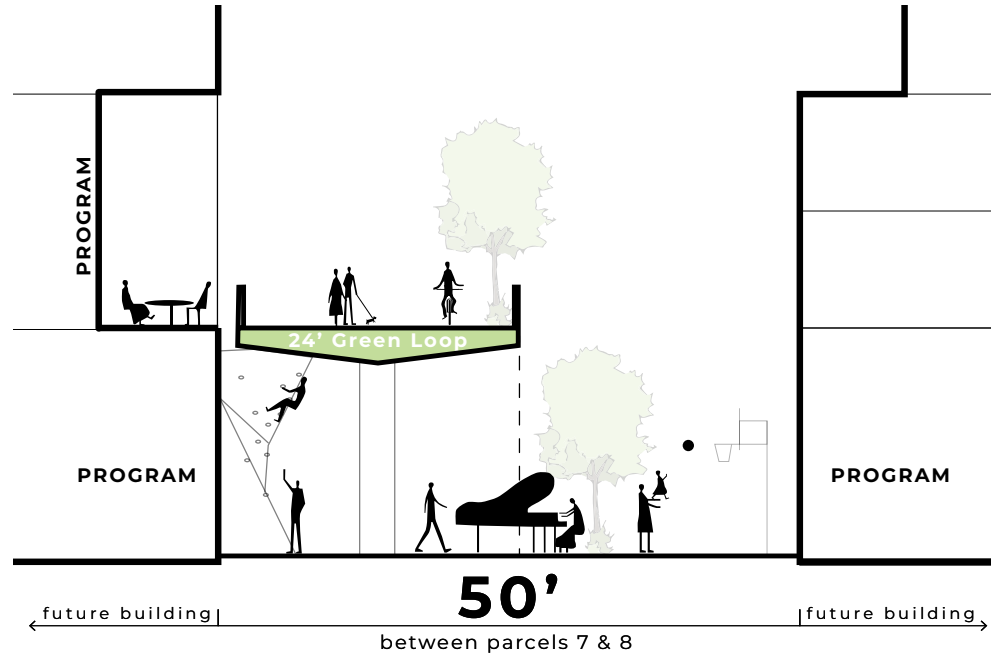


Figure 5.6
Elevated Alley As Free-Standing Structure

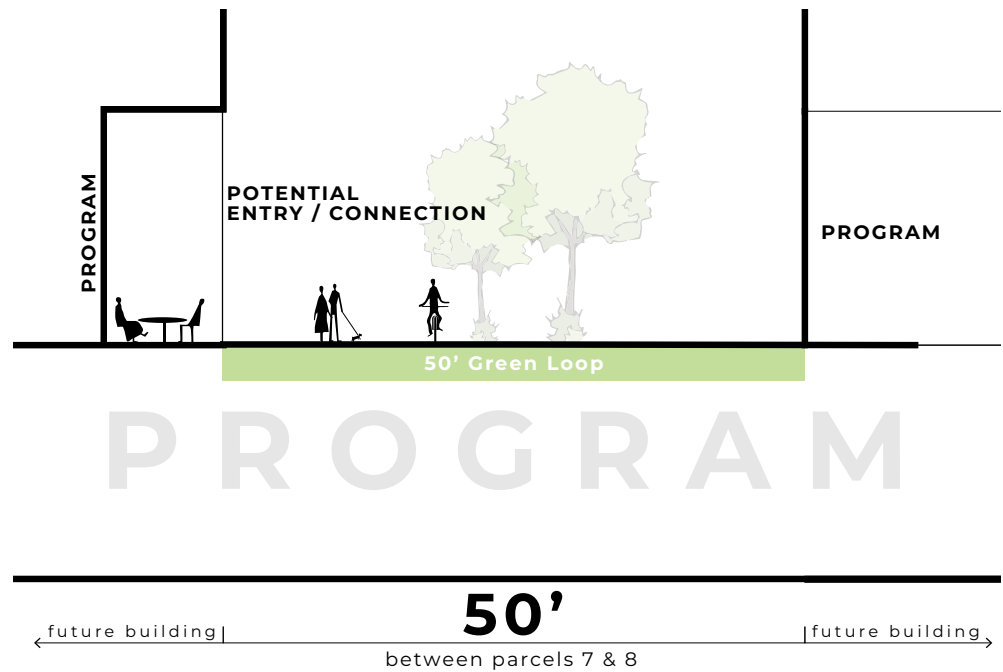
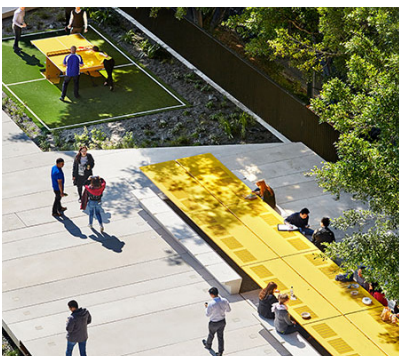
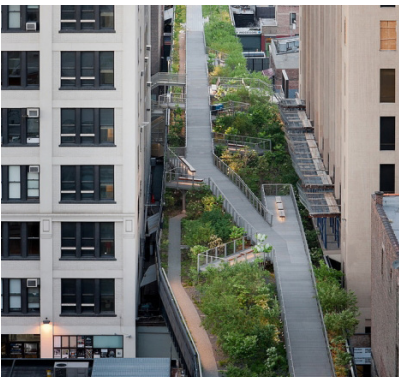
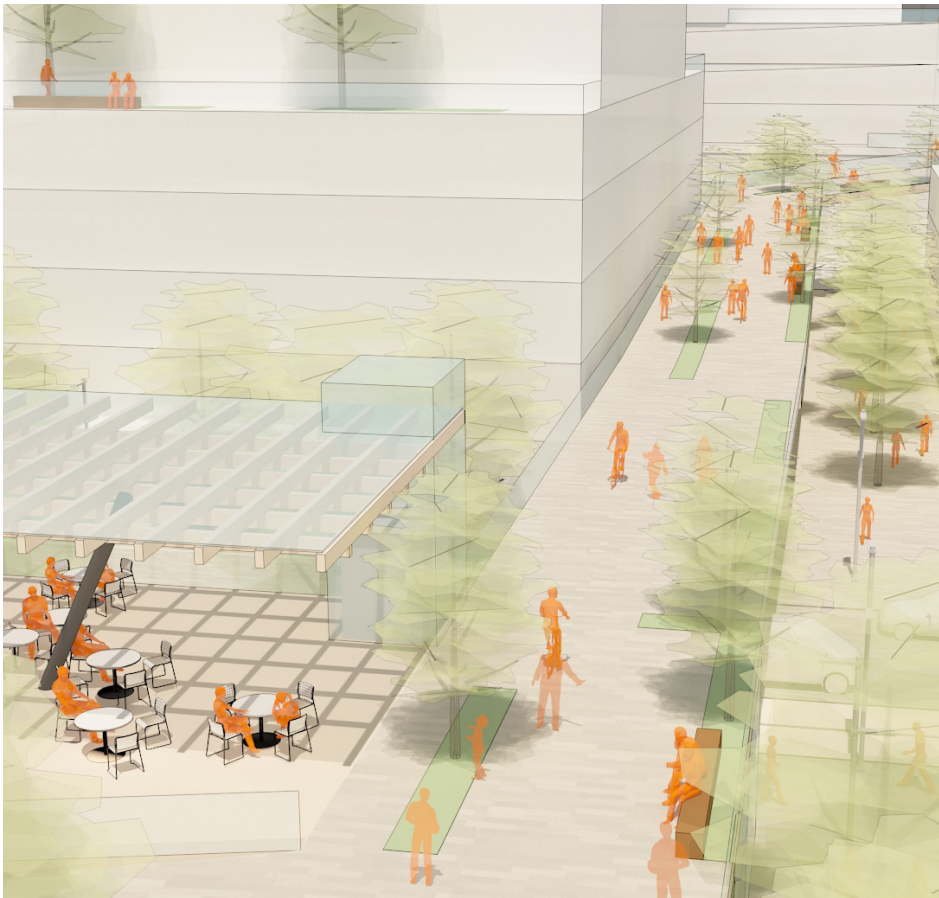
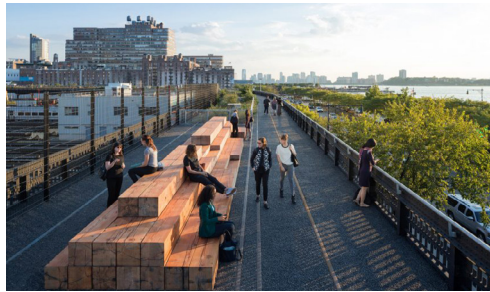


Figure 5.7
Elevated Alley Built On-Structure

IN RESPONSE TO THE FOLLOWING
ITEMS FOUND IN PCC 33.510.255:

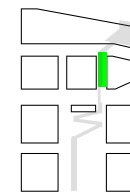
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OPEN AREAS

Elevated Alleyway



The elevated portion of the Green Loop between Johnson and Kearney Street is an important

connection to the Plaza and the Broadway Bridge to the North. It is intended to be a pleasant pedestrian experience less activated by adjacent building programs than other areas of the Green Loop. Building setbacks allow additional light to come into the inner area and open views to areas north and south. Building amenities such as lobbies may connect to the Elevated Alleyway where grades allow. This portion of the Green Loop may be designed as a free-standing structure. In this scenario, the ground plane below will be designed as an active open space and the alleyway will be a multilevel experience. The Elevated Alleyway may also be built on-structure as part of a building. In this case, the Green Loop may be widened and there would be no open space below.



Figure 5.8
Park Avenue Alley Precedents

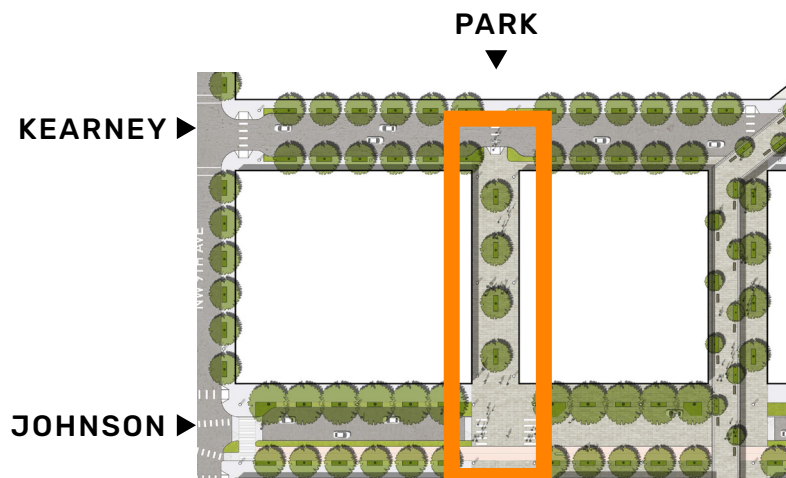
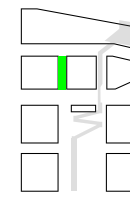


Figure 5.9
Park Avenue Alley Conceptual Plan



Park Avenue Alley



With a relatively short 180' block length, the Park Avenue Alley is a pedestrian focused, curb-less

environment that connects the retail and activity spine (Johnson and Park) to a building entry or program area at Kearney (block 9). The 40' width of the alley adds diversity to the street types in the master plan area and provides a unique placemaking opportunity through the space with appropriate use of public art, planting, lighting, and materiality to encourage active engagement. The character and quality of the alley shall be defined within and by the first building project fronting the alley.



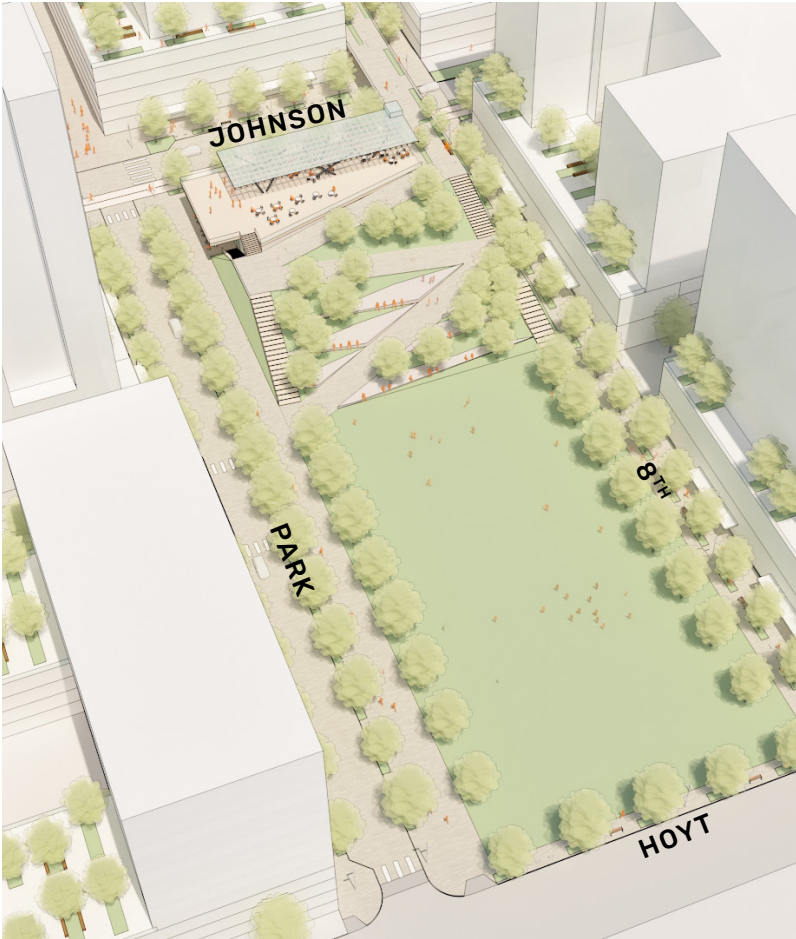


Figure 5.10
The Park is the anchor of the USPS master plan.

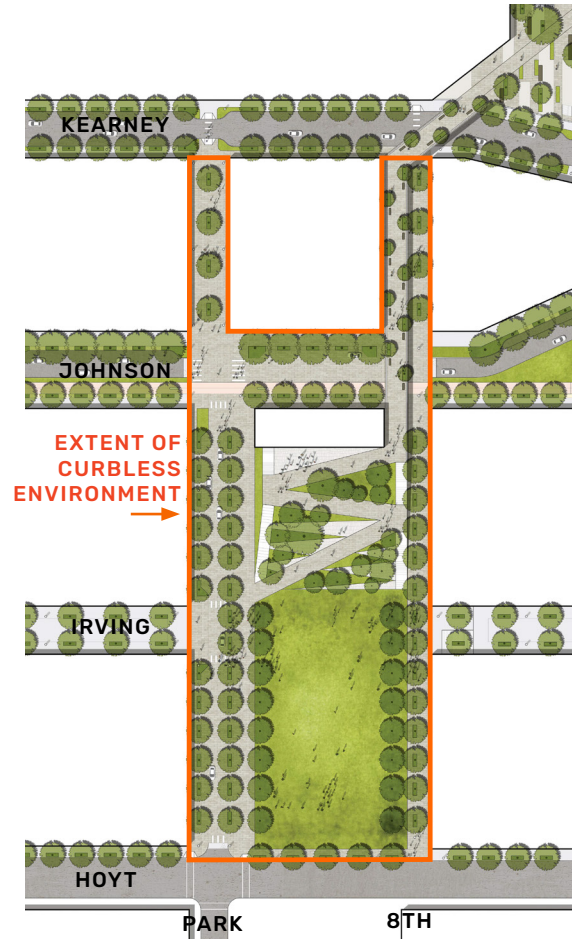


Figure 5.11
The Park Conceptual Plan

IN RESPONSE TO THE FOLLOWING
ITEMS FOUND IN PCC 33.510.255:

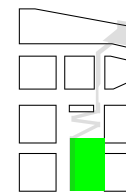
H.7

05

OPEN AREAS



Park



The new park block at the center of USPS is intended to be a large, flexible open space, to accommodate

and invite a wide range of community members and groups to engage in a wide range of cultural, entertainment and recreational activities, including festivals, concerts, rallies, and sporting events. These uses will be managed to ensure consistent activation of the space, and to ensure that the range of activities is inclusive of a broad spectrum of Portlanders.

The design of the new park block will integrate the Green Loop along its western edge, eventually transitioning into the Green Loop Climb, which will connect the Green Loop to its northern segments, but also provide elevated open space with vantage back over the North Park Blocks.

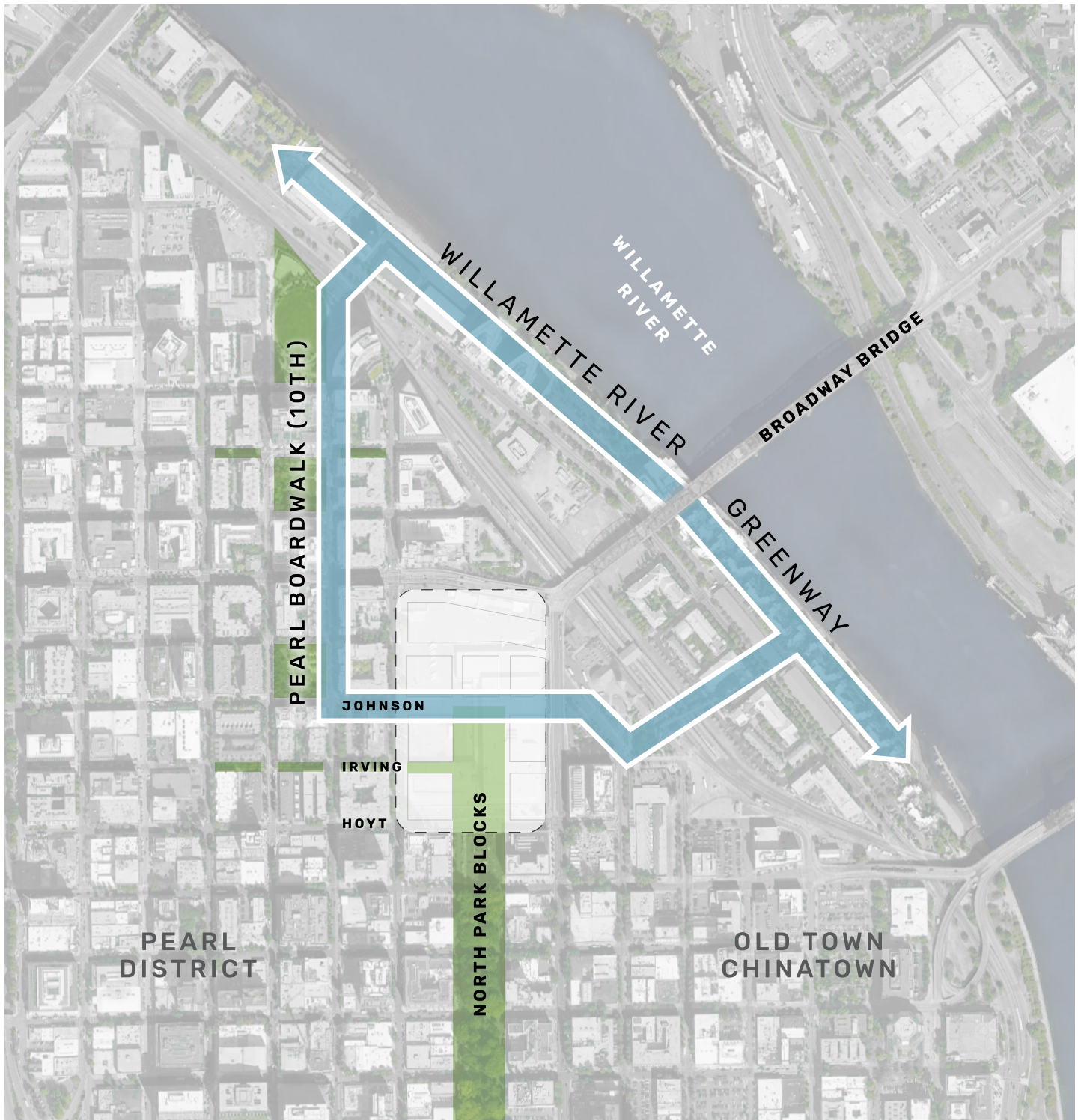


Figure 5.12
Connected open spaces strengthen connections to the river.

Surrounding Context: River

The USPS site serves as a catalyst for two significant connections to the Willamette River at a network and neighborhood level. From a network level, it connects the park block system to the Pearl District Boardwalk, which will become a celebrated connection to the River. The site will also connect the Pearl District neighborhood to the Union station pedestrian bridge and existing Willamette River connection at McCormick Piers. These connections are facilitated by a new segment of NW Johnson with a focus on pedestrians and bikes providing its residents, workers, and visitors direct links to the Willamette River along celebrated and nearby connections.

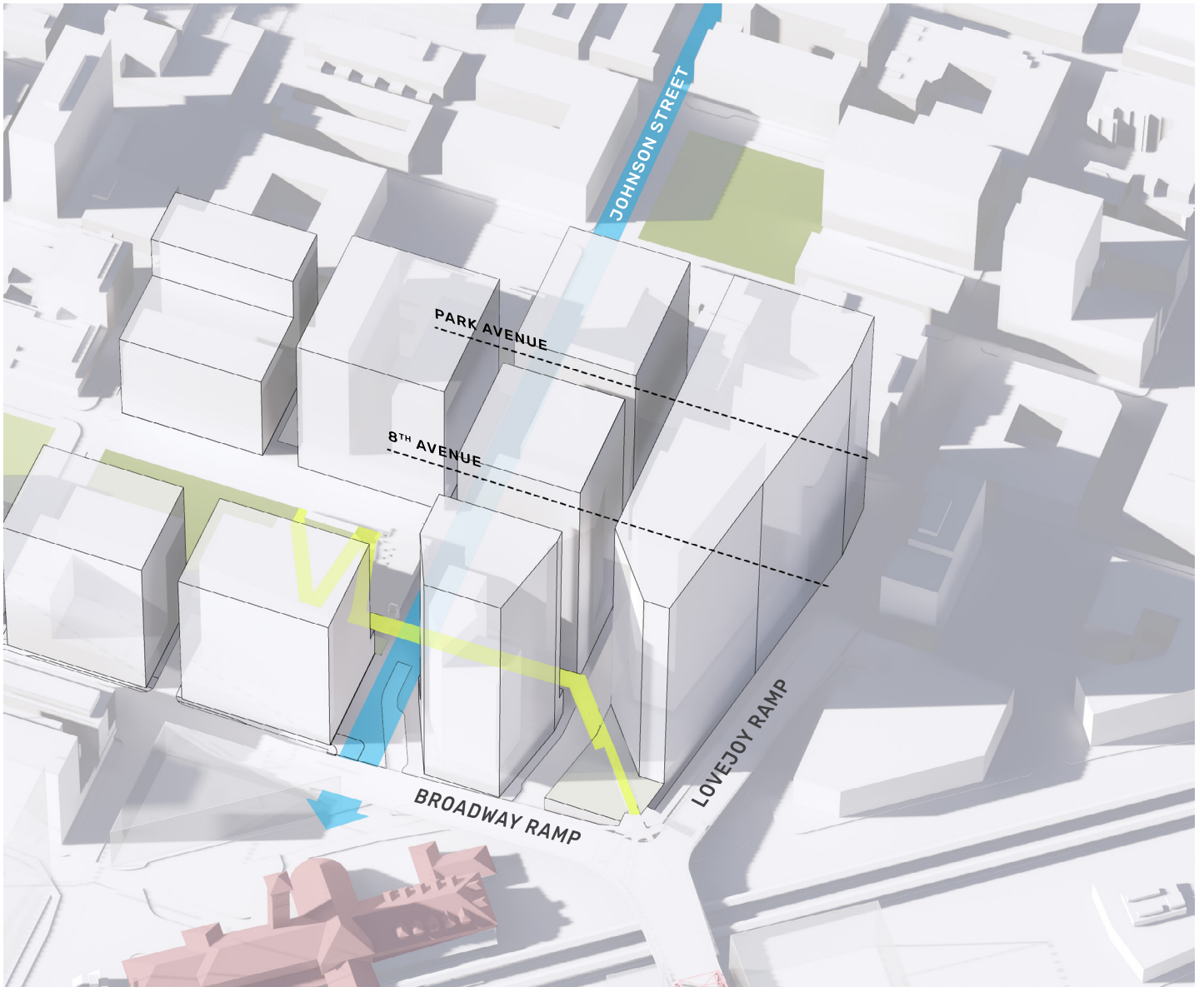


Figure 5.13
The Green Loop creates a series of multi-level open spaces.

IN RESPONSE TO THE FOLLOWING
ITEMS FOUND IN PCC 33.510.255:

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H.7

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OPEN AREAS

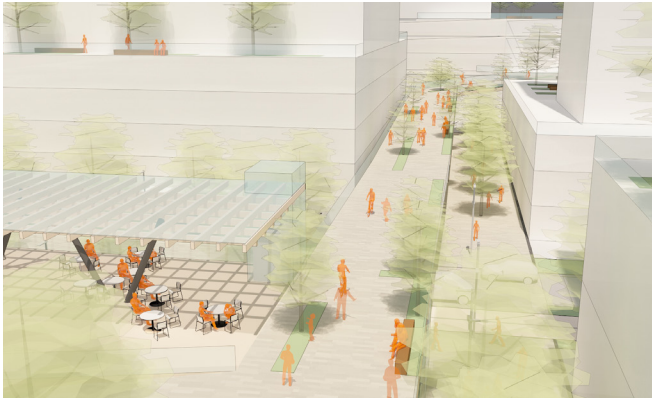


Figure 5.14
The Johnson Bridge leading into the elevated alleyway



Figure 5.15
The Broadway Bridge landing acts as an elevated urban plaza.

Building Massing: Green Loop Connection

The bi-level nature of the USPS master plan site created by the Lovejoy ramp to the north and the Broadway ramp to the east creates a unique opportunity for multi-level open space. The addition of the Portland Green Loop will further define and take advantage of this grade change, allowing pedestrians to experience multiple levels of the built environment.

As the Green Loop crosses over Johnson street and passes between development footprints 7 and 8, a setback of 15' located 50' above grade is required. This setback provides relief for Green Loop users by breaking down the scale of the potential 400' building face of development footprint 8 as well as expanding the view between the elevated alleyway and the Broadway Bridge landing ahead. At the intersection of the Broadway and Lovejoy ramps, a 75' setback from the eastern side of development footprint 9 C reflects the desire line of the future Green Loop path and creates an open space intended to receive pedestrian and bicycle bridge traffic.

Block 7 serves a vital role in defining the park. terminating the view from the park, and should be designated with a sense of permanence and quality expressive of the likely role this site will play as a landmark within the city.

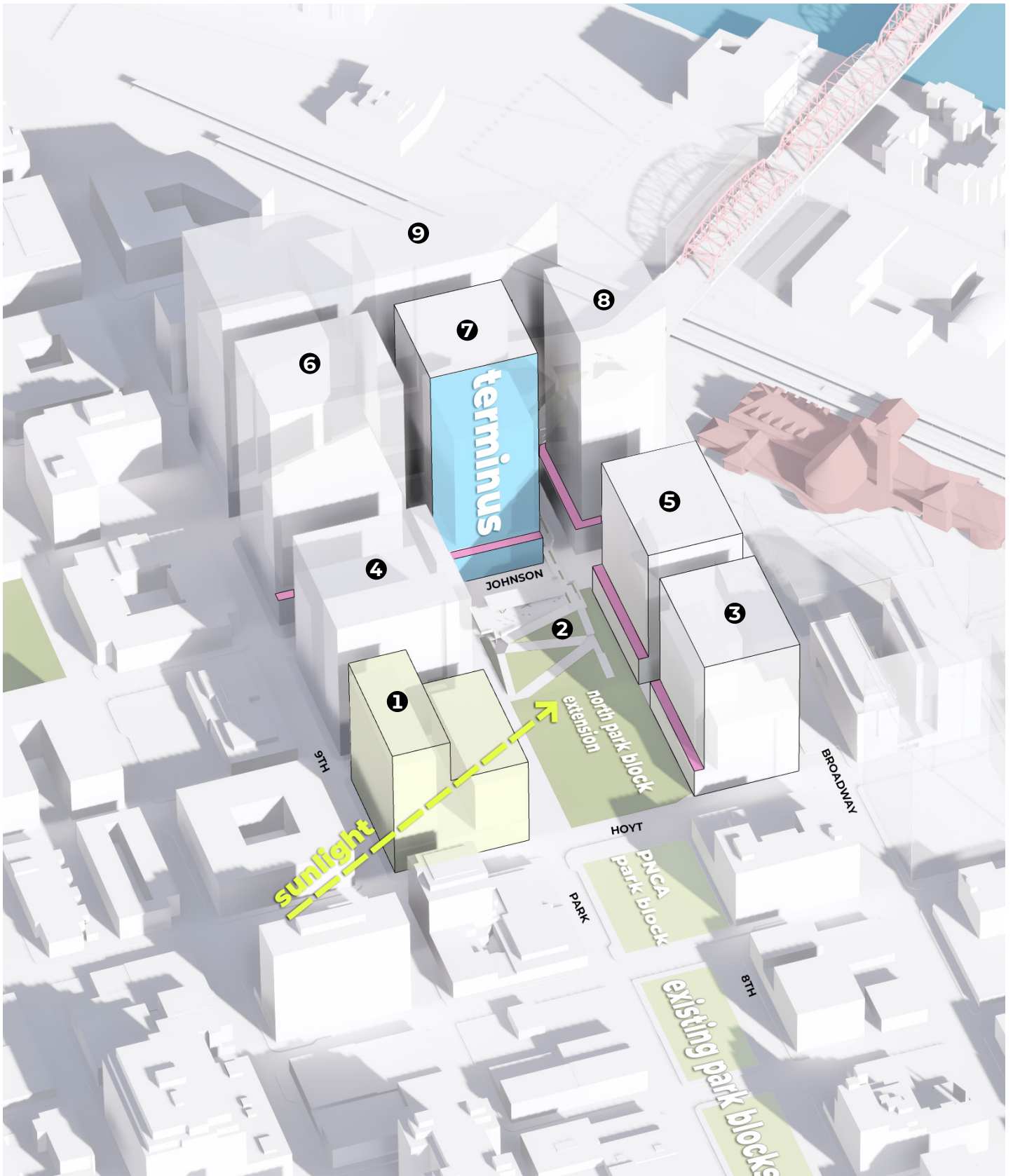


Figure 5.16
Setbacks and height limitations to building envelopes 1,2,3, 5, and 7 emphasize the extension of the North Park Blocks.

IN RESPONSE TO THE FOLLOWING
ITEMS FOUND IN PCC 33.510.255:

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OPEN AREAS

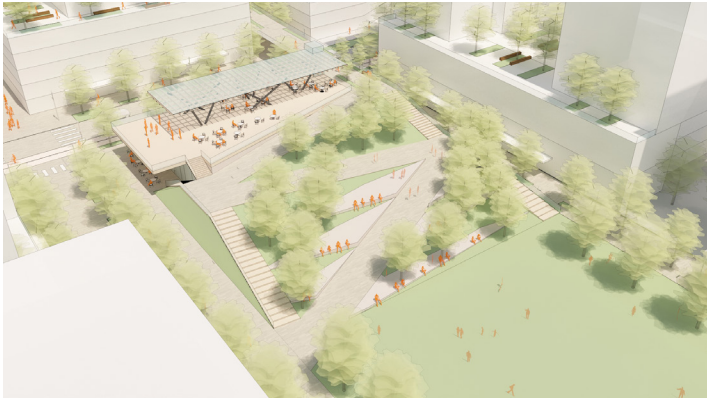


Figure 5.17

Development footprint 2 can be designed in tandem with the Green Loop Climb.



Figure 5.18

Parcel 2 serves to transition and parcel 7 creates a terminus to the North Park Block extension.

KEY

SUNLIGHT

**MIN 15' SETBACK AT 50'
ABOVE GROUND LEVEL**

Building Massing: Response to the Park

The primary open space at the center of the USPS Master Plan is an extension of the existing North Park Blocks. Surrounding building envelopes have been shaped in response to the park. Parcel 1, located on the southwest corner of the park, is shaped to assure adequate daylight reaches the park given shadow requirements.

There are two possible orientations for the height distribution which are further described on [pages 32 and 33](#).

East of the park development footprint 3 and 5 front the park directly, as 8th Avenue terminates at Hoyt Street. A 15' setback at 50' is required along the western building face to further enhance solar access to the park and provide an appropriately scaled park frontage.

At the northern end of the park, parcel 2 offers the opportunity for a 50' tall building to be situated adjacent to and supporting the Green Loop ramp and providing active use along Johnson. Continuing North and crossing Johnson, Parcel 7 serves as a terminus to the park vista with a 400' height limit. Parcel 7 serves a vital role in defining and terminating the view from the park, and should be designed with a sense of permanence and quality expressive of the likely role this site will play as a landmark within the city.

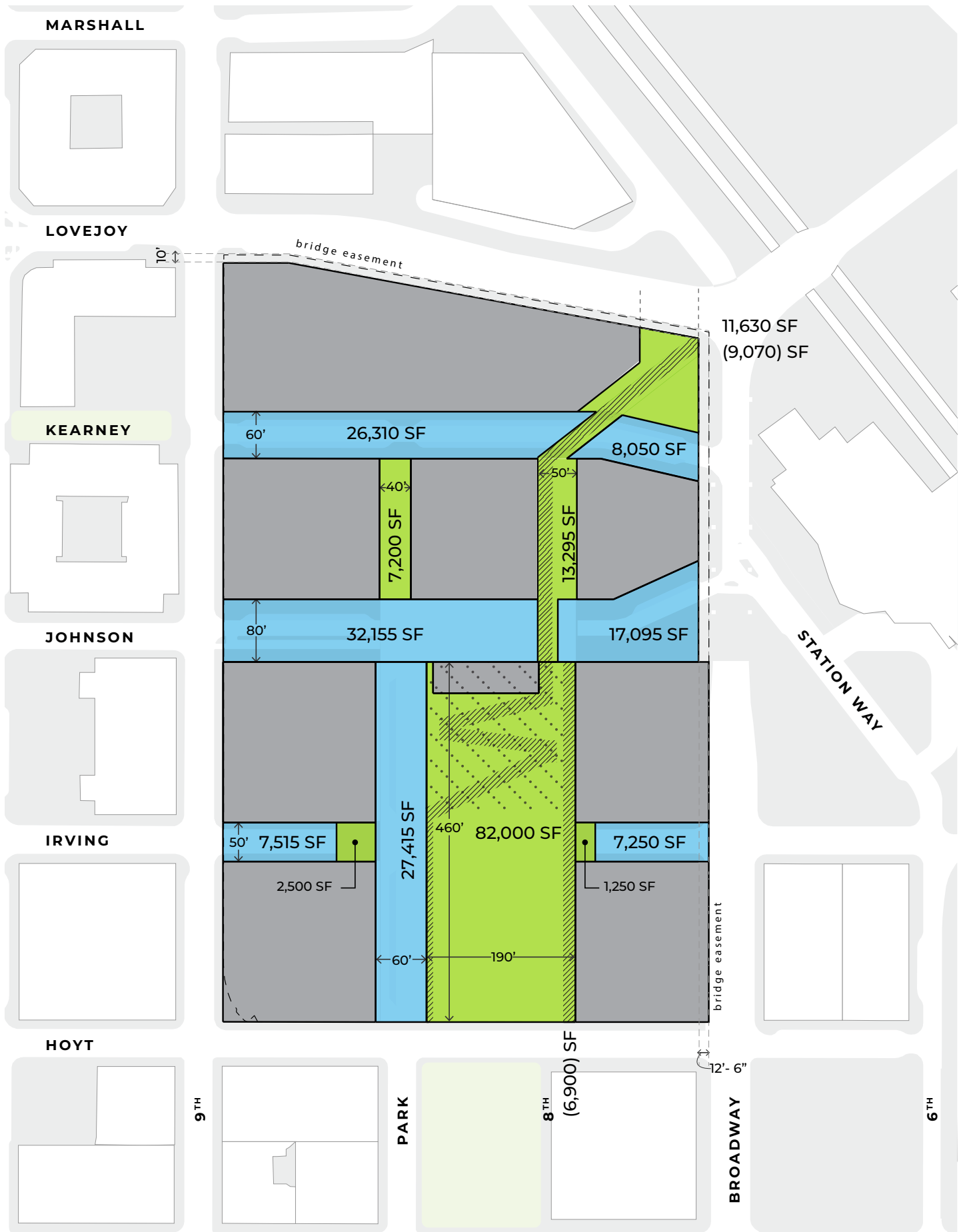


Figure 5.19

IN RESPONSE TO THE FOLLOWING
ITEMS FOUND IN PCC 33.510.255:

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K.2
K.3

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OPEN AREAS

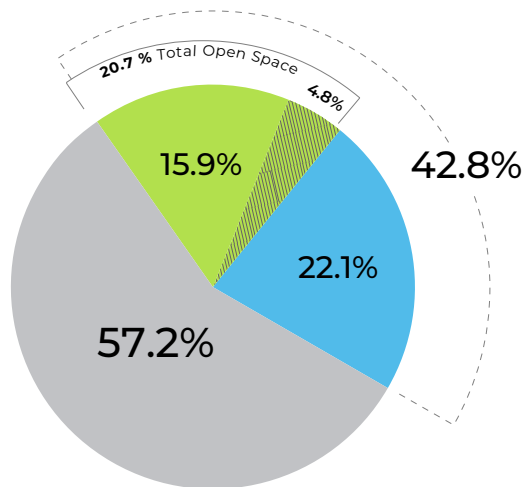
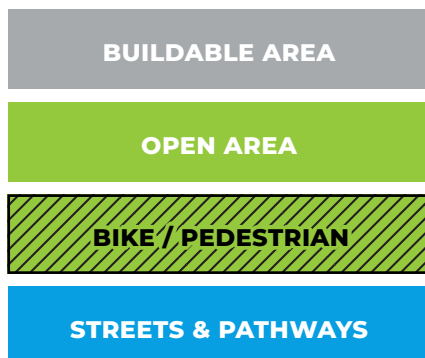


Figure 5.20
Space Allocation Percentages

KEY



Open Area Requirements

Open Space defines the form of the USPS Master Plan. A two-block extension and iconic termination of the North Park Blocks anchors the open space network and serves as a flexible gathering space for community events and recreation. The Broadway Bridge Landing Plaza is a viewpoint and a gateway at another important entry point to the site. Additional linear park elements link these larger open spaces providing opportunities for creative programming throughout the three-dimensional site. The pedestrian access easement area provides visual and pedestrian connections between NW Kearney and NW Johnson and an opportunity for maker spaces to engage the public realm.

The Green Loop is an integrated accessible path that negotiates a 30-foot grade change within the open space network. Along NW Park Avenue, the Green Loop is located primarily within the right of way and partially within the Park, blurring the line between these two public spaces. As the Green Loop climbs up to the Johnson Bridge, the Master Plan balances flexible space within the park and the connectivity the path provides. Alignment within the Park will be determined by the future Park design. At NW Johnson Street, the Green Loop becomes an elevated linear park that continues north along the 8th Avenue Alley, over NW Kearney Street and through the Broadway Bridge Landing Plaza.

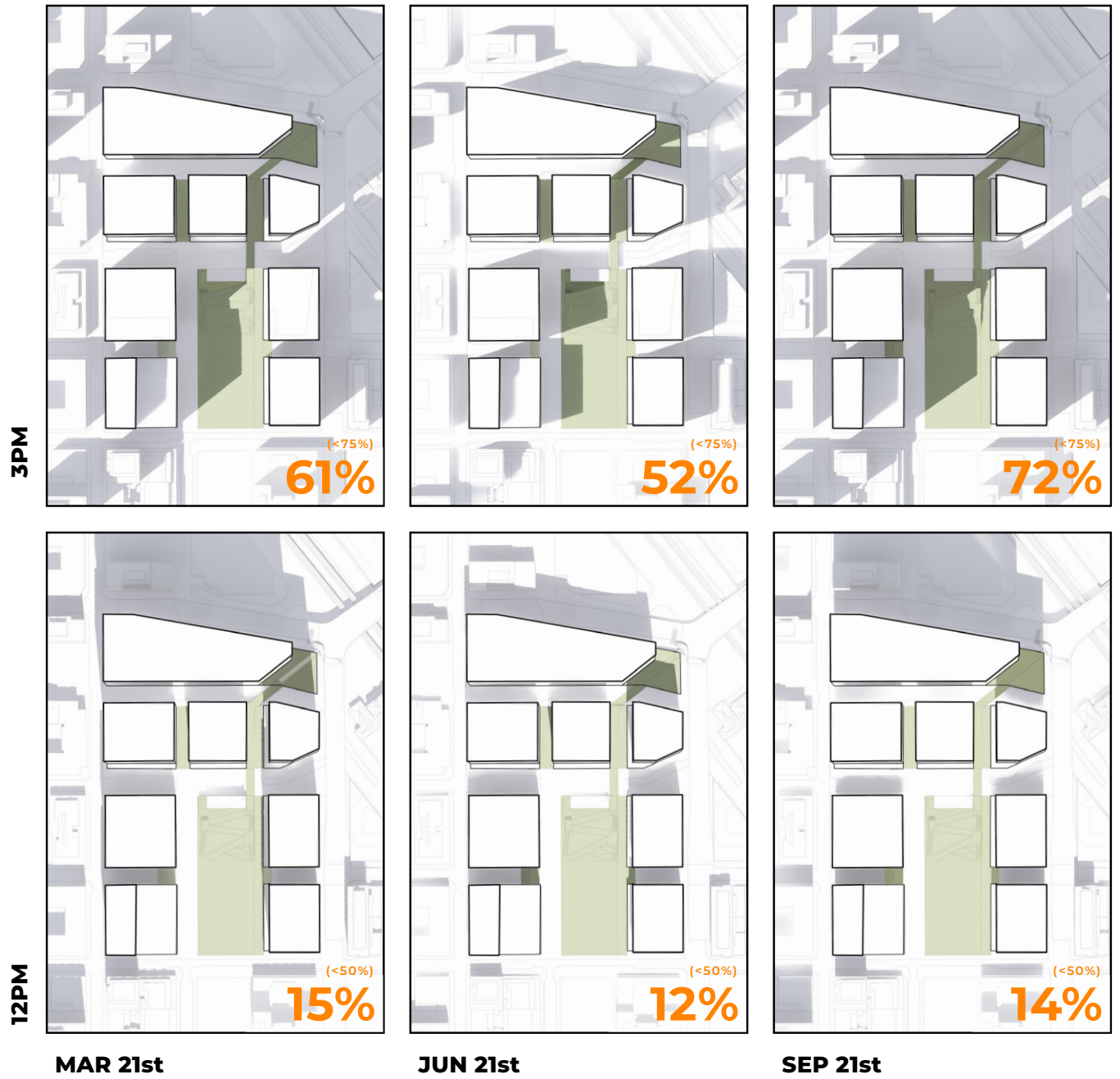
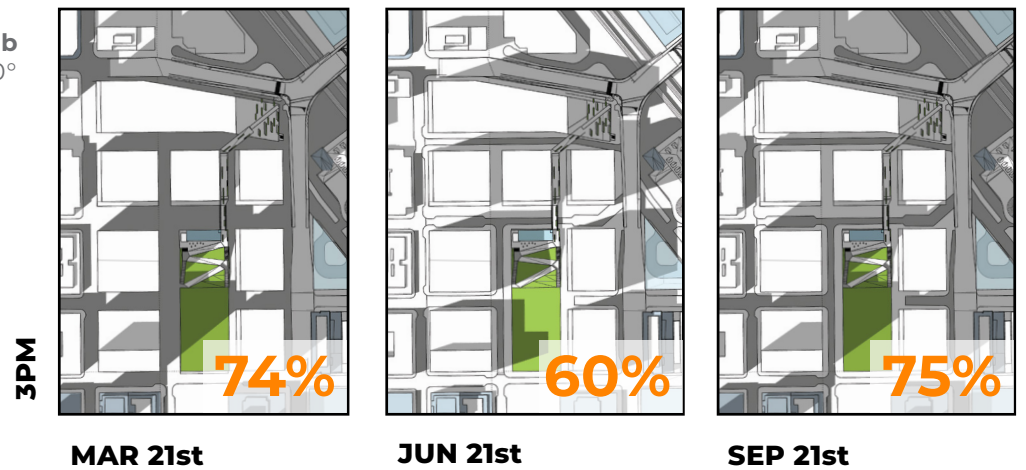


Figure 5.21: Scenario 1b
Parcels 1 & 2 rotated 90° counter-clockwise



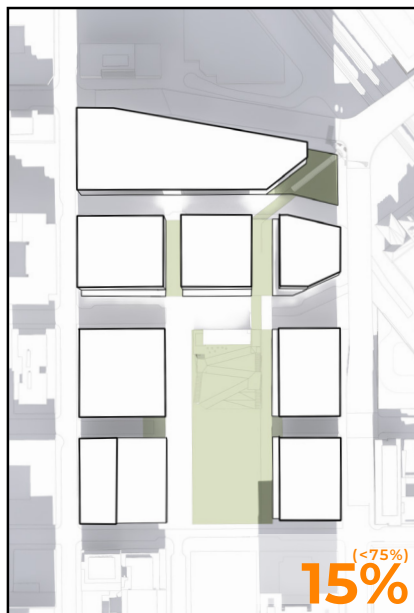
IN RESPONSE TO THE FOLLOWING
ITEMS FOUND IN PCC 33.510.255:

H.5
K.3.D

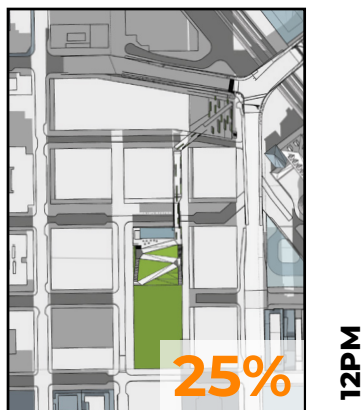
05

OPEN AREAS

Figure 5.22: Scenario 1a
Building envelopes built to maximum size provide adequate daylight for open space areas.



DEC 21st



DEC 21st

Shadow Study

The CCMP section K sets open area development standards to ensure an adequate amount of daylight onto the open areas in the said development. This requirement states that no more than 50% of the open areas may be shaded at noon on March 21, June 21 and September 21. This requirement also states that no more than 75% of the open spaces may be shaded at noon on December 21 at 3PM as well as on March 21, June 21 and September 21.

The shadow coverage shown in this analysis responds to the maximum building envelope of each parcel, ensuring the project meets shadow requirements even if every parcel was built to maximum size. However, due to limitations of FAR every parcel cannot be built to full capacity.

H.6
H.8
H.9

CIRCULATION

Proposed Streets

PUBLIC AND PRIVATE:

A new street network through the USPS site will connect to the existing Portland street grid, with three new public streets, and two segments of private driveways. Northwest Johnson Street will serve as the main street for the USPS site, establishing a strong connection between the Pearl District and Union Station, emphasizing retail orientation, enhanced bike and pedestrian facilities, and a wider ROW which provides a view to the Union Station clock tower. Northwest Irving Street and NW Kearney Street are prioritized for parking and service access, which have been concentrated away from the park edges and the Johnson main street. As the extensions of Irving are intended primarily to serve parking and service access to buildings, these are designated as private driveways, which are currently planned to allow vehicular connections further than necessary to provide those building connections. In particular, Irving will not extend to Park Avenue, as a way of limiting vehicular traffic through the center of the site.

Pages [90 and 91](#) provide rationale and supportive findings supporting how the Master Plan Components found in chapter 3 meet the approval criteria in H.8. and H.9.

KEY

SPECIAL FUNCTION STREET

NW JOHNSON

PUBLIC ACCESS EASEMENT

DRIVEWAY

RIVER DISTRICT STREET

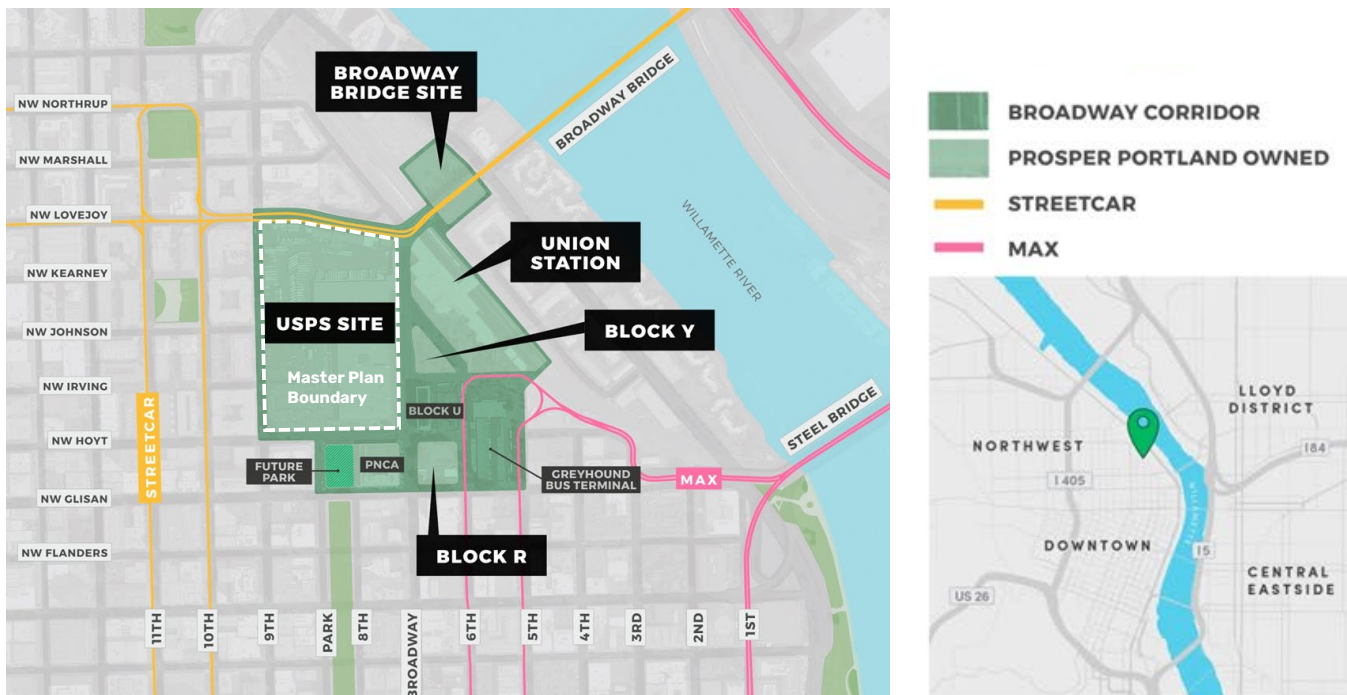


Figure 5.24

PROVIDE SAFE AND EASY ACCESS TO TRANSIT STATIONS

The USPS site is located in the urban core of Portland and adjacent to a regional transportation hub where a wide variety of public transportation options are available within three blocks of the site, including two MAX light rail lines, three Portland Streetcar lines, and nine TriMet bus lines. In addition, private inter-state rail and inter-city bus services are located only blocks away at Union Station and the recently relocated Greyhound on-street passenger loading, respectively. TriMet is also engaged in the development of the Division Bus Rapid Transit project, which will soon create another high-frequency bus line with a new stop conveniently located at the north end of the Portland Transit Mall, across from Union Station.

The redevelopment plan for the USPS master plan site envisions a series of mixed-use buildings with supportive infrastructure that provide convenient and comprehensive access to surrounding transit uses. New public street extensions of NW Johnson Avenue and NW Kearney Street will enhance east-west

connectivity for pedestrians walking from Union Station, the Portland Transit Mall, or the light rail stations east of the USPS site, with the Streetcar stations and Pearl District neighborhood to the west. Access to transit will be further enhanced by a new cycle track facility on Johnson Avenue and construction of the “Green Loop” project through the site.

In concert with recommended signalization measures, protected crosswalks will also be established at several intersections along the NW 9th Avenue corridor (at Kearney, Johnson, Glisan, and Everett), and on NW Broadway (at Irving) leading to safer and more convenient crossing opportunities for pedestrians destined to surrounding transit services.

ADEQUATE TRANSPORTATION FACILITIES

Based on the findings of the companion Traffic Impact Study, with recommended mitigation measures in place, the transportation system is capable of safely supporting development of the USPS master plan in addition to the existing uses in the area. Recommended mitigation measures consist of progressive

multi-modal street facilities that enhance pedestrian, bicycle, and transit connections, intersection traffic capacity and safety improvements and, finally, implementation of a robust Transportation Demand Management (TDM) plan that offsets the remaining increased traffic impacts of the project, particularly at the NW Lovejoy/NW Broadway intersection.

PROVIDE MULTI-MODAL STREET CONNECTIONS

The USPS master plan supports and enhances the surrounding network of multi-modal facilities available to the public. The master plan is anchored by two new public street extensions of NW Johnson Street and NW Park Avenue, both of which provide progressive “off-street” options for multi-modal travel. This includes a new two-way cycle track along the south side of Johnson Street between NW 9th Avenue and NW Station Way. Separately, a new multi-use pathway extends up along the east side of the NW Park Avenue extension from the Park Blocks at NW Hoyt Street ending at the NW Lovejoy/NW Broadway viaduct intersection. This path is part of Portland’s “Green Loop” concept and it

is designed to interconnect with the new cycle track on Johnson Street to provide directional alternatives for cyclists and pedestrians.

Other streets will also complement the surrounding grid system of multi-modal streets. NW Kearney Street extends as a public street between NW 9th Avenue and NW Station Way to support land uses within and adjacent to the project. The roadway connects the pedestrian-only alleyway on Kearney west of NW 9th Avenue with the Union Station and the Portland Transit Mall to the east. In addition, two private driveways located along the NW Irving corridor, extending east from NW 9th Avenue and west from NW Broadway. While these streets facilitate the needs of local traffic and adjacent land uses, public easements allow pedestrians and bikes to travel through the site.

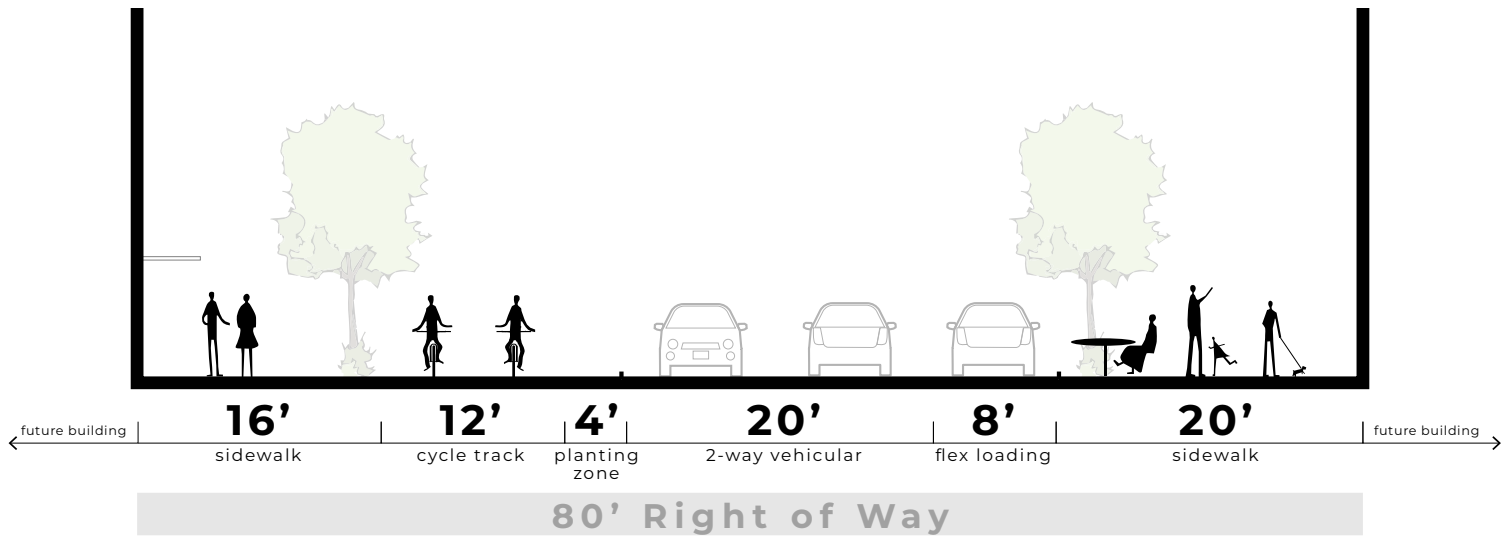


Figure 5.25
Johnson Street Section

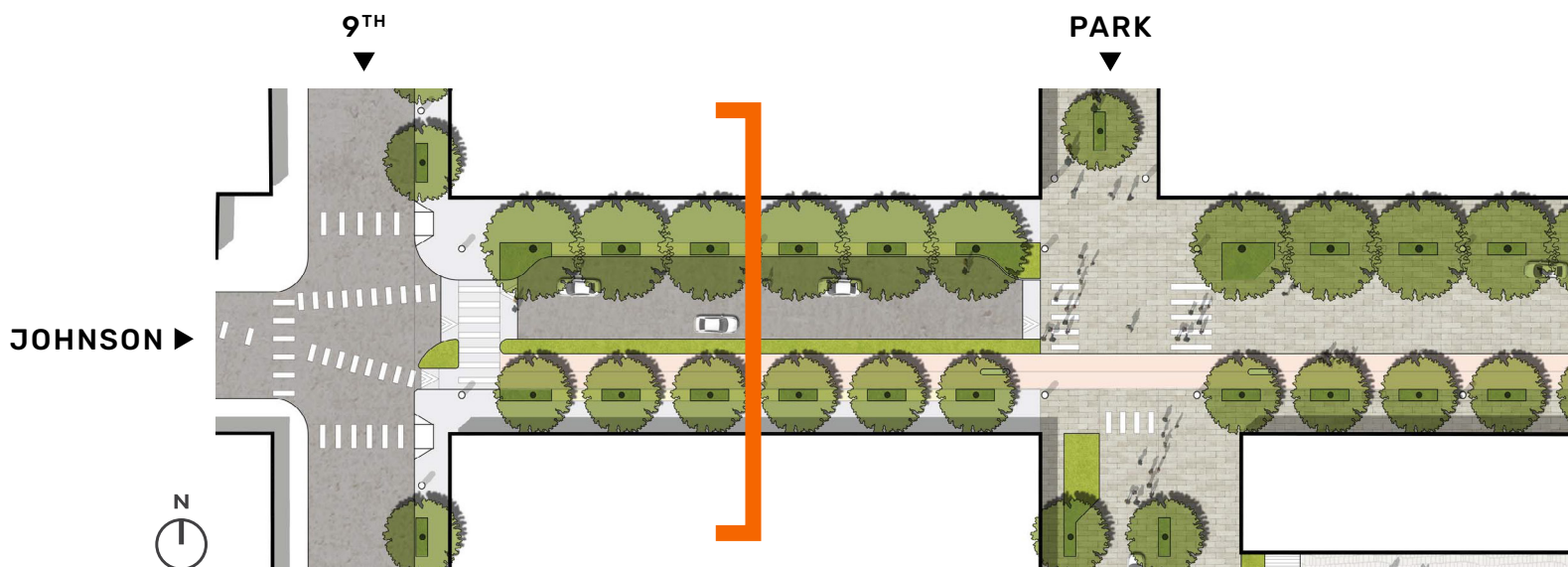
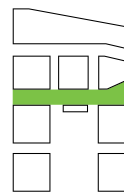


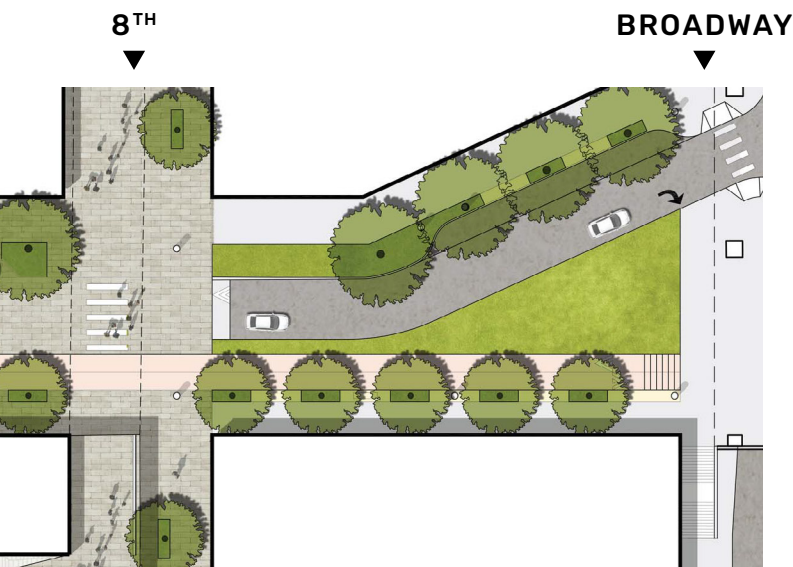
Figure 5.26
Johnson Street Plan



NW Johnson Street



NW Johnson Street will connect to the Johnson Street Neighborhood Greenway and extend an important corridor from the west hills through the Pearl District and the USPS site to Union Station, and then over the pedestrian bridge and Naito to the Willamette River. NW Johnson is designated for pedestrian and bicycle priority to the west of the USPS site and will be designed with a high level of pedestrian and bicycle accommodation through the site. A separated bi-directional bike lane will be provided on the south side of the street, along with a wider than typical pedestrian space on the north side. Where Johnson meets NW Park Avenue and the new North Park Block, vehicular travel lanes will be raised to sidewalk level, reinforcing the pedestrian/plaza condition of the park blocks. The surface treatments will extend seamlessly from the building faces south of Johnson to those north of Johnson, while providing subtle cues to define spaces for the various modes.



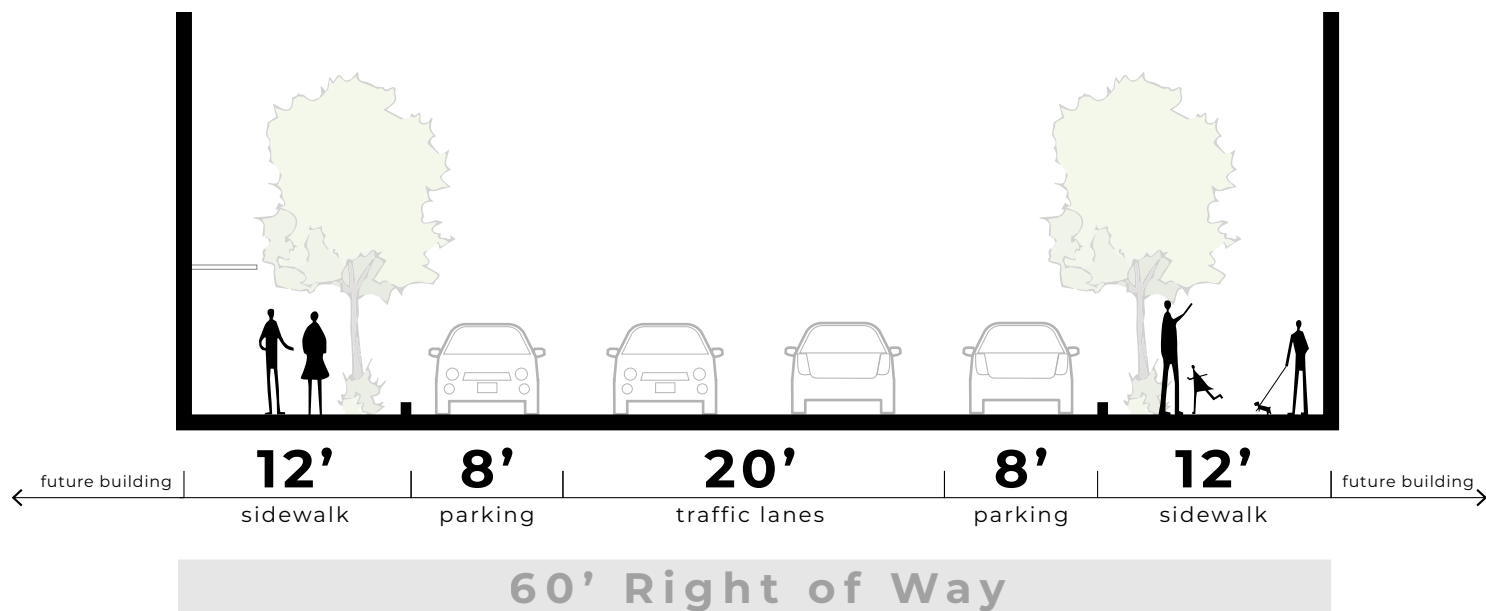


Figure 5.27
Kearney Street Section

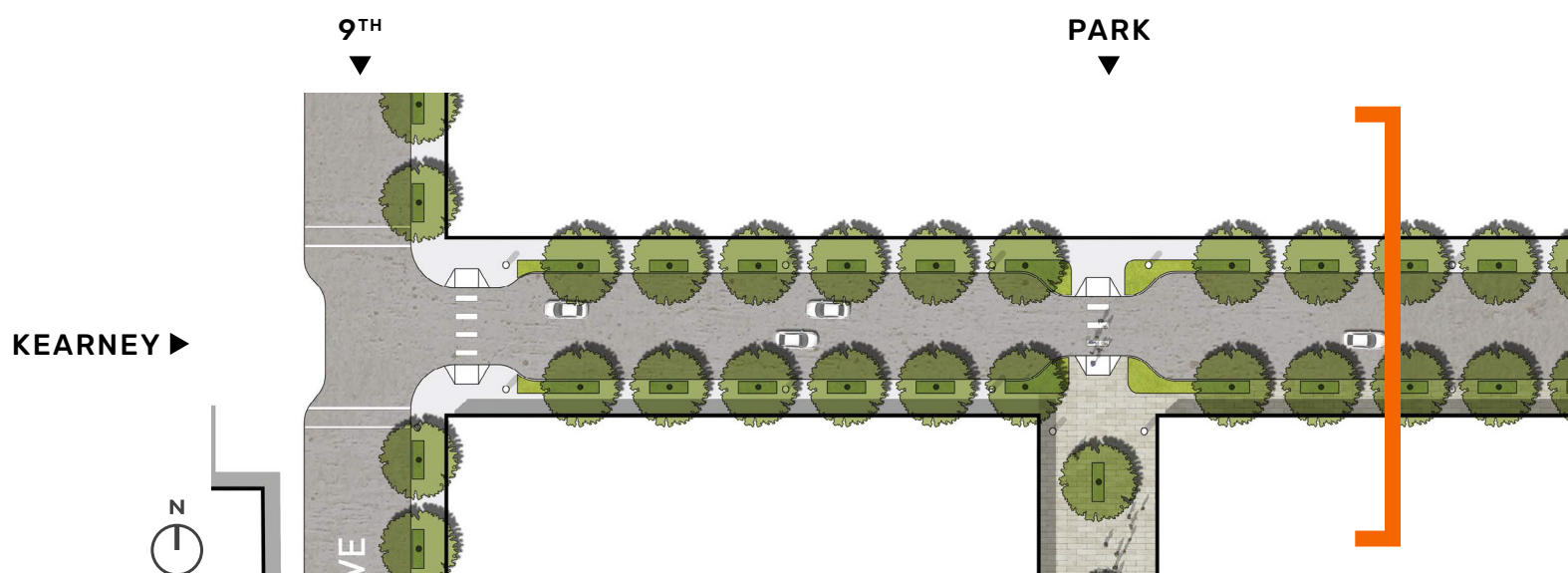
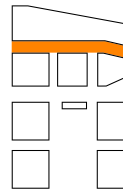


Figure 5.28
Kearney Street Plan

NW Kearney Street



NW Kearney Street is a 60-foot right-of-way, which will be designed as a River District Street according to River District Right of Way Standards. It is anticipated to serve as the primary business access with driveways into parking levels and main ground floor entrances to multi-unit buildings. The mixed-use character and expected high foot-traffic will still encourage a slow-speed environment similar to other standard River District Streets. It is not anticipated to have the same level of mixed-use character that will be provided for on NW Johnson Street and NW Park Ave.

8TH

BROADWAY



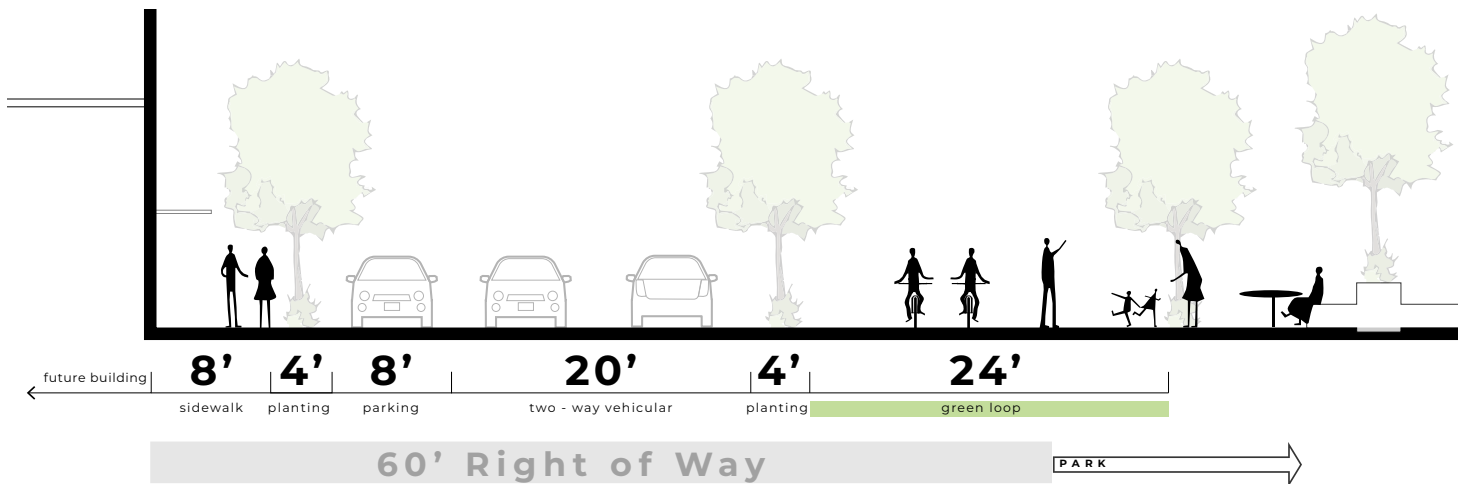


Figure 5.29
Park Avenue Street Section

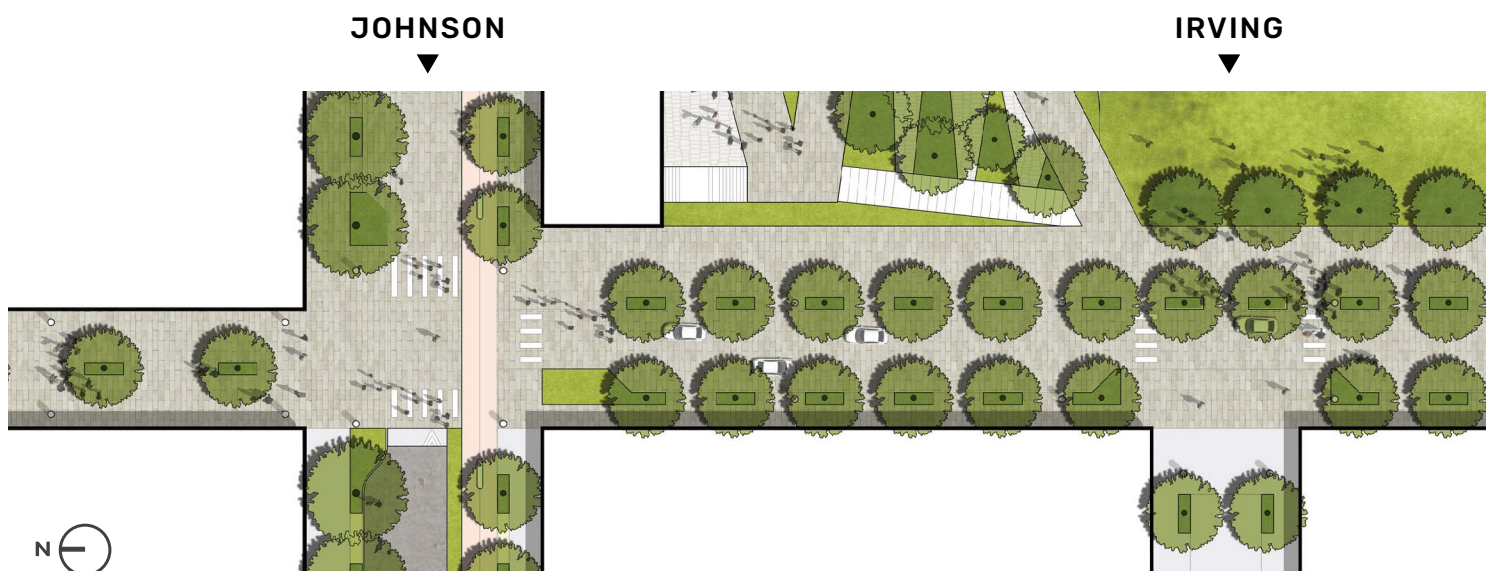
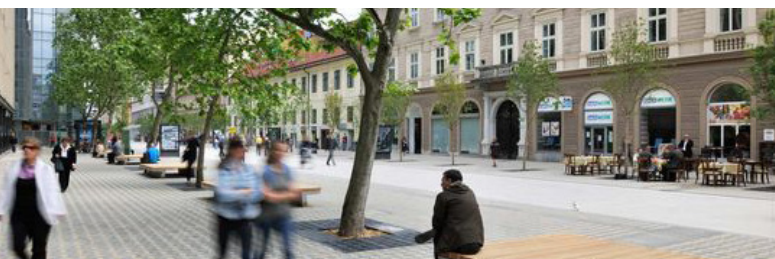


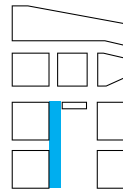
Figure 5.30
Park Avenue Plan

05

CIRCULATION



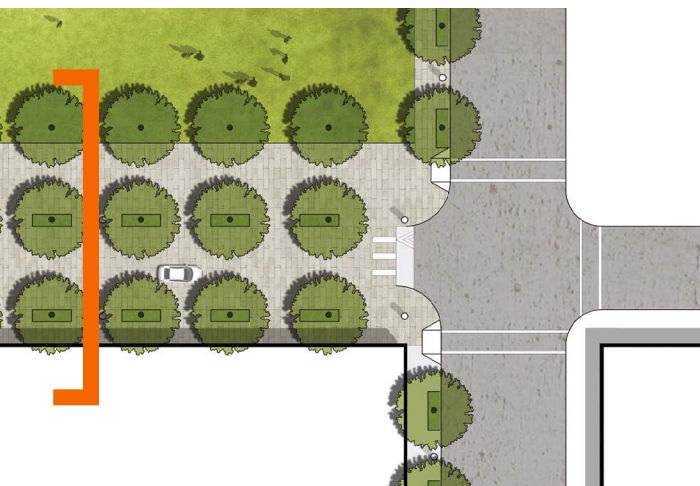
NW Park Avenue



Northwest Park Avenue will extend north to Northwest Johnson Street from where it currently terminates at Northwest Hoyt. The extension of the North Park Blocks will

provide an edge to the park and the Green Loop, with building frontage, sidewalk, street parking, and vehicle travel lanes in each direction. Park Avenue is anticipated to be designed as an extension of the park space, with level-surface treatments that signal pedestrian priority extending from the building faces east of the park, to those west of the park. The character will be similar to the conditions surrounding Director Park.

HOYT



◀ PARK

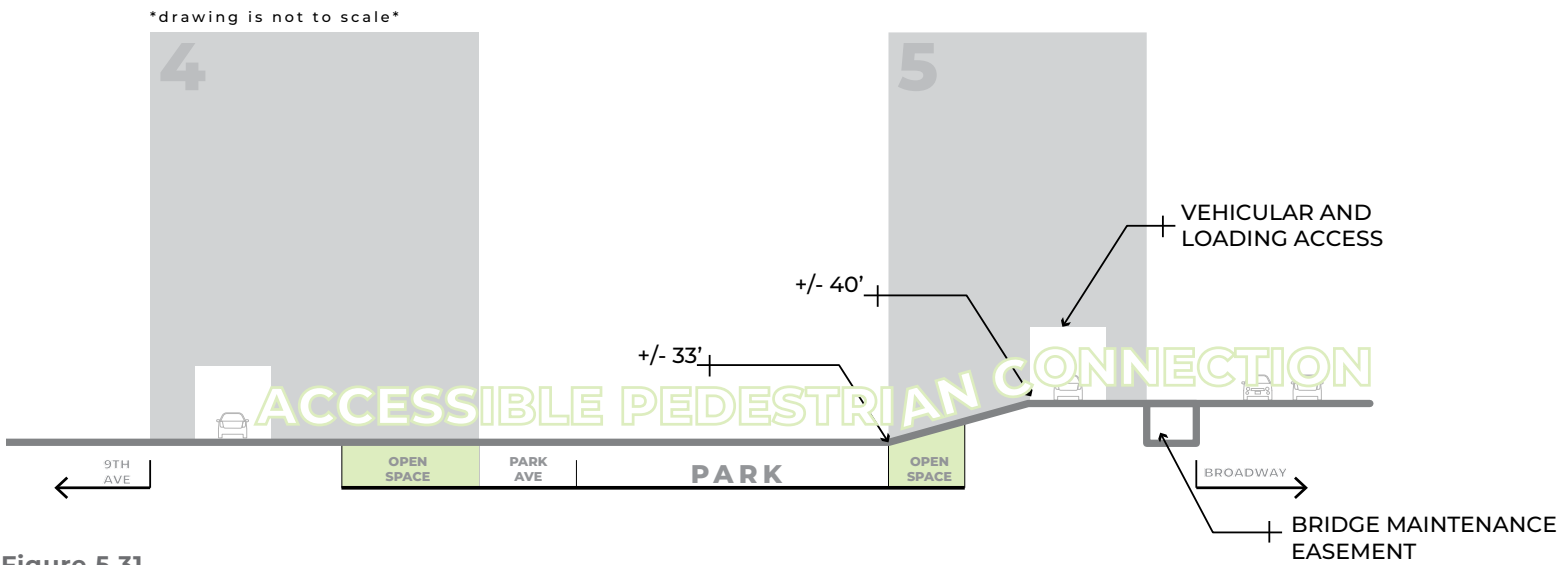


Figure 5.31
Irving Street Pedestrian Connection

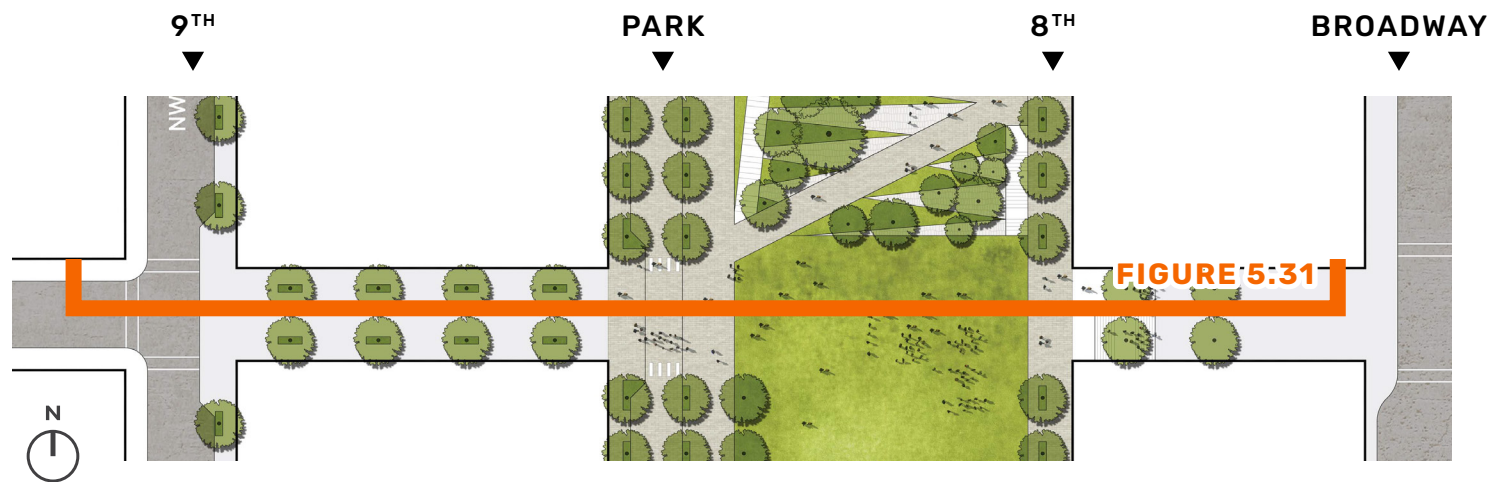
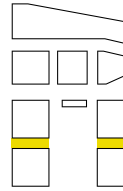


Figure 5.32
Irving Street Plan



NW Irving Street



NW Irving Street will not continue through the site but will instead be extended into the site from each side, serving as private driveways that primarily provide parking and service access to buildings. In particular, Irving will not extend to Park Avenue, as a way of limiting vehicular traffic through the center of the site. However, the private road is anticipated to be designed similar to the existing River District Right Of Way Standards and will include sidewalks, street lights, etc. It will have a 50-foot right-of-way.

The open spaces at the East and West dead ends of Irving street serve to connect the pedestrian to the centralized park. Vehicles may access the potential parking entries to development footprints 4 & 1 from the western side of Irving. Irving does not connect to Park Ave. On the eastern side, an accessible pedestrian route may involve ramps to connect the open space to potential second level access to development footprint 5 & 3. Vehicular access on the eastern end may include an elevated connection between the Broadway Avenue/Bridge to Irving Street. This bridge should cross over the bridge maintenance easement and connect to the second story vehicular entry on development footprints 5 & 3.

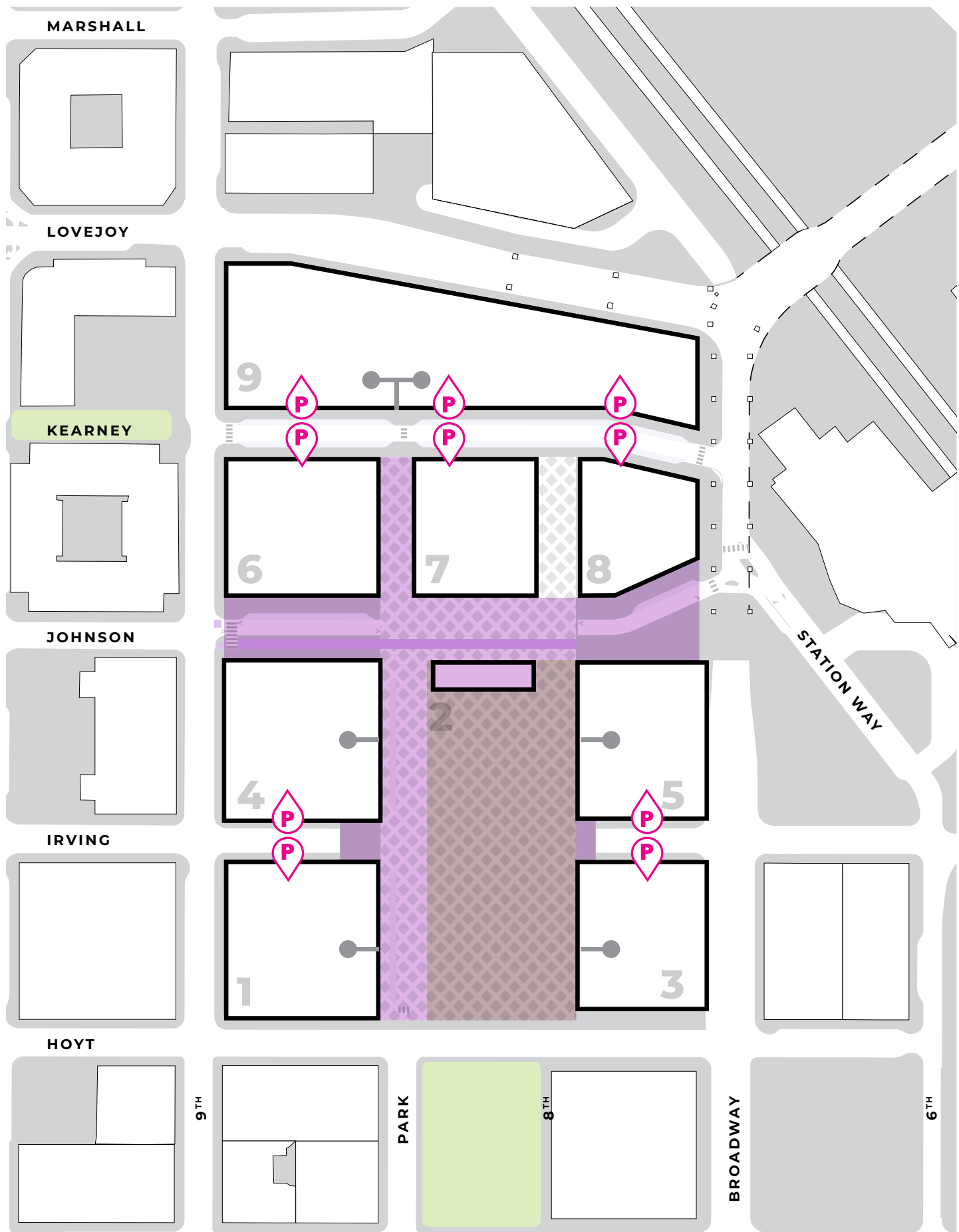


Figure 5.33

IN RESPONSE TO THE FOLLOWING
ITEMS FOUND IN 33.510:

H.6
H.11

05

BUILDING ORIENTATION & MASSING

Inactive Uses and the Public Realm

The Broadway Corridor neighborhood is built around 1.7 acres of new park block extending the North Park Blocks north of Hoyt up to NW Johnson Street. The new park block will accommodate programmed and non-programmed uses creating a significant central active public realm. The park block will be integrated into the surrounding streets designed as curbless environments creating a pedestrian oriented environment from building face to building face around the new park. Activated edges will be prioritized along the edges of significant open spaces and streets that provide connections to nearby transit options. Consistent with Approval Criteria H.11, vehicular access to parcels for parking and service access is focused on Irving and Kearney, to ease the intensity of traffic around this central space, shown at left in purple.

KEY



**PRIMARY PARKING &
LOADING ENTRY***

* Potential entry designated by symbols may lie anywhere along the indicated building face. Location on alternate block face may be requested through Type II design review or through the Type III process for a development of a specific site.

ENTRIES AND LOBBIES

PUBLIC REALM



Figure 5.34
View of Union Station from Johnson Main Street

BUILDING MASSING

Johnson Main Street

While most areas of the USPS development are expected to be active and vibrant, Johnson Street has special roles and responsibilities connecting major neighborhood pathways and destinations, and thus has been designated as the main street of the development.

Johnson Street connects the Johnson Street Greenway and physically joins the Pearl District neighborhood with Oldtown/Chinatown. This important corridor will create a vibrant retail street arriving at the Union Station front plaza.

Johnson will have wider sidewalks, enhanced bike facilities, and segments without street parking, to emphasize an active pedestrian environment. Consistent with Approval Criteria H.6, Johnson is expected to become a major pathway providing access to LRT, Amtrak and bus stations to the east, and streetcar stations to the west.

Setbacks of 15' along the northern side of Johnson Street enhance the view of the Union Station tower and support a pedestrian scaled active street scape. To the south, the 250' height limit exists on development envelope four and five, while the central block's 50' height limit allows ample daylight to reach Johnson.

The west end of the USPS site is adjacent to buildings in the Pearl District which vary in height and use and include park space and mid-block walks. To respect this diversity in height and create a break in the vertical plane, a 15' setback is required for the parcels with a 400' height limit.

APPROVAL CRITERIA

Title 33.510.255.H

In order to provide a succinct response, the narrative following groups the various applicable guidelines referenced in approval criteria 1 and approval criteria 2 with approval criteria 3 through 11 into similar themes.

Themes are as follows :

- Local & Regional
- Housing Resources
- Transportation & Infrastructure
- The Willamette River
- Massing and Open Space
- Resources

KEY

CCFDG Central City Fundamental
Design Guidelines

CC2035 Central City 2035 Plan
Criteria Goals & Policies

RDGL River District Guidelines

MPAC Master Plan Approval Criteria

LOCAL AND REGIONAL

CC235 Goal 1 Regional Center	<ul style="list-style-type: none">• Civic and Cultural Center• Economic Vitality
CCFDG	<ul style="list-style-type: none">• A2 Emphasize Portland Themes
RDDG	<ul style="list-style-type: none">• A5-1 Reinforce the identity of the Pearl District Neighborhood• A5-2 Emphasize NW Broadway bright lights• B5-1 Recognize the roles of the Tanner Creek Parks• B5-2 Strengthen the significance of the Classical Chinese Garden
MPAC	<ul style="list-style-type: none">• 4- The proposed uses will not have significant adverse effects on industrial firms or result in conflicts with industrial activities located within the plan boundary or within 500' of the plan boundary.

Title 33.510.255.H

The CC2035 identifies the USPS property as a key opportunity site for high-density employment, mixed-income housing, and signature city attractions and amenities. The project will establish a new transit-accessible concentration of activity for people throughout the Portland region, and connect the Old Town/Chinatown (including the Classical Chinese Garden) and Pearl District neighborhood (including the Tanner Creek Parks and extension of the Park Blocks) in a financially feasible redevelopment with the goal to maximize community benefits, particularly for those groups that haven't benefitted from

other urban projects (See "Introduction" on page 8). The neighborhood is positioned at the nexus of local, district, city and regional elements with the potential to make and complete extraordinary connections and significant attributes including: connecting neighborhoods, creating a transportation hub, connecting open space, connecting to the River, Enhancing the pedestrian experience, a vibrant and welcoming public realm, growing sustainability (See "The Big Moves" on page 11). The applicant is not aware of any industrial land use existing within 500' of the site (See "Existing Site" on page 15).

KEY

CCFDG	Central City Fundamental Design Guidelines
CC2035	Central City 2035 Plan Criteria Goals & Policies
RDGL	River District Guidelines
MPAC	Master Plan Approval Criteria

HOUSING RESOURCES

CC235 Goal 2 Housing & Neighborhoods

- Neighborhood livability
- Housing affordability

Title 33.510.255.H

The site can be developed with up to 4,065,235 GSF. Development will be mixed use buildings, composed of vertically mixed retail, employment, and residential uses, all of which are allowed in the EX Zone. Limited recreational or community service facilities are proposed, which are allowed under EX zoning as a limited/conditional use (See "Master Plan Components" on page 18). Residential uses may occur anywhere on the site by right, and affordable housing is part of the program.

New public streets provide connections between formerly separated neighborhoods (See "Figure 5.1" on page 65). Development is around a public park/open space/extension of the Park Block (See "Figure 5.1" on page 65) and smaller open spaces such as the Park Avenue Plaza/Alley, form transitional space between the activity of Johnson and the vehicular parking entries of Kearney

(See "Elevated Alleyway" on page 73). The Park will invite a wide range of community members and groups to engage in a wide range of cultural, entertainment and recreation activities. These uses will be managed to ensure consistent activation of the space, and to ensure that the range of activities is inclusive of a broad spectrum of Portlanders (See "Park Avenue Alley" on page 75).

Development is planned to prioritize pedestrian and bicycle movements. As such, parking, service access and loading are focused on Irving and Kearney. Focusing vehicular access to parcels in these designated areas will allow for the primary streets through the site to facilitate pedestrian activity and minimize vehicular traffic around the central park space (See "Parking Entries and Loading" on page 55). The project compliance with livability and affordability criteria of this group.

KEY

CCFDG	Central City Fundamental Design Guidelines
CC2035	Central City 2035 Plan Criteria Goals & Policies
RDGL	River District Guidelines
MPAC	Master Plan Approval Criteria

TRANSPORTATION AND INFRASTRUCTURE

CC235 Goal 3 Transportation

- Regional Hub
 - Street Network
 - Active Transportation
 - Transit & Demand Management
 - Parking & Loading
-

CCFDG

- A9 Strengthen Gateways
 - B1 Reinforce and Enhance the Pedestrian System
 - B2 Protect the Pedestrian
 - B3 Bridge Pedestrian Obstacles
-

RDDG

- A1-1 Provide convenient pedestrian linkages
 - C3-1 Integrate parking
 - C9-1 Reduce the impact of residential unit garages on pedestrians
-

MPAC

- 6- The master plan demonstrates that easy and safe access will be provided to transit stations located within or immediately adjacent to the master plan boundary, and any buildings located immediately adjacent to a transit station include ground floor uses that create an active and safe pedestrian environment throughout the day, evening, and week;
-

MPAC

(continued)

- 8- The transportation system is capable of supporting the proposed uses in addition to the existing uses in the plan area. Evaluation factors include street capacity, level of service, connectivity, transit availability, availability of pedestrian and bicycle networks, on -street parking impacts, access restrictions, neighborhood impacts, impacts on pedestrian, bicycle, and transit circulation, and safety. Evaluation factors may be balanced; a finding of failure in one or more factors may be acceptable if the failure is not a result of the proposed development, and any additional impacts on the system from the proposed development are mitigated;
- 9- The proposed street plan must provide multi-modal street connections to support the surrounding street grid pattern.
- 10- The Plan ensures that there will be adequate and timely infrastructure capacity for the proposed development.
- 11- The master plan demonstrates that, to the extent practical and feasible, inactive uses such as, but not limited to, parking and access, loading and trash recycling are shared or consolidated, with the goal of activation the pedestrian environment.

KEY

CCFDG	Central City Fundamental Design Guidelines
CC2035	Central City 2035 Plan Criteria Goals & Policies
RDGL	River District Guidelines
MPAC	Master Plan Approval Criteria

Transportation and Infrastructure Continued

Title 33.510.255.H

Safe and easy access to transit; design limits conflicts between residential, employment and industrial uses: The USPS site is located in the urban core of Portland and adjacent to a regional transportation hub where a wide variety of public transportation options are available within three blocks of the site, including two MAX light rail lines, three Portland Streetcar lines, and nine TriMet bus lines. In addition, private inter-state rail and inter-city bus services are located only blocks away at Union Station and the recently relocated Greyhound on-street passenger loading, respectively. TriMet is also engaged in the development of the Division Bus Rapid Transit project, which will soon create another high-frequency bus line with a new stop conveniently located at the north end of the Portland Transit Mall, across from Union Station.

The redevelopment plan for the USPS master plan site envisions a series of mixed-use buildings with supportive infrastructure that provide convenient and comprehensive access to surrounding transit uses. New public street extensions of NW Johnson Avenue and NW Kearney Street will enhance east-west connectivity for pedestrians walking from Union Station, the Portland Transit Mall, or the light rail stations east of the USPS site, with the Streetcar stations and Pearl District neighborhood to the west. Access to transit will be further enhanced by a new cycle track facility on Johnson Avenue and construction of the "Green Loop" project through the site.

In concert with recommended signalization measures, protected crosswalks will also be established at several intersections along the NW 9th Avenue corridor (at Kearney, Johnson, Glisan, and Everett), and on NW Broadway (at Irving) leading to safer and more convenient crossing opportunities for pedestrians destined to surrounding transit services (See "Proposed Streets" on page 89).

Timely and adequate transportation facilities: Based on the findings of the TIS report, with recommended mitigation measures in place, the transportation system is capable of safely supporting development of the USPS master plan in addition to the existing uses in the area. Recommended mitigation measures consist of progressive multi-modal street facilities that enhance pedestrian, bicycle, and transit connections, intersection traffic capacity and safety improvements and, finally, implementation of a robust Transportation Demand Management (TDM) plan that offsets the remaining increased traffic impacts of the project, particularly at the NW Lovejoy/NW Broadway intersection (See "Proposed Streets" on page 89).

Multimodal Street Connections: The USPS master plan supports and enhances the surrounding network of multi-modal facilities available to the public. The master plan is anchored by two new public street extensions of NW Johnson Street and NW Park Avenue, both of which provide progressive "off-street" options for multi-modal travel. This includes a new two-way cycle track along the south side of Johnson Street between NW 9th Avenue and NW Station Way. Separately, a new multi-use pathway extends up along the east side of the

NW Park Avenue extension from the Park Blocks at NW Hoyt Street ending at the NW Lovejoy/ NW Broadway viaduct intersection. This path is part of Portland's "Green Loop" concept and it is designed to interconnect with the new cycle track on Johnson Street to provide directional alternatives for cyclists and pedestrians (See "Proposed Streets" on page 89).

Other streets will also complement the surrounding grid system of multi-modal streets. NW Kearney Street extends as a public street between NW 9th Avenue and NW Station Way to support land uses within and adjacent to the project. The roadway connects the pedestrian-only alleyway on Kearney west of NW 9th Avenue with the Union Station and the Portland Transit Mall to the east. In addition, two private driveways are located along the NW Irving corridor, extending east from NW 9th Avenue and west from NW Broadway. While these streets facilitate the needs of local traffic and adjacent land uses, public easements allow pedestrians and bikes to travel through the site (See "Proposed Streets" on page 89).

Timely and adequate utility infrastructure: Three infrastructure zones have been identified for the project. Each contains proposed buildings, open spaces, and the infrastructure necessary to support that development. North Zone infrastructure provides the backbone for the East Zone and the West Zone, so it must proceed first. Infrastructure in this area will include water, sanitary sewer and stormwater mains within NW Kearney and NW Johnson streets. The infrastructure services within NW Kearney will provide services to Parcel 9 and provide the stormwater piping for collection of storm water within the right of way. NW Johnson Street systems will provide

services to the parcels along NW Johnson and its right of way as well as provide the connection points for the East and West Zone. In addition to on-site infrastructure of the initial phase, the project will also include off-site sanitary sewer and water upgrades (See "Surrounding Context" on page 67).

Development is planned to prioritize pedestrian and bicycle movements. As such, parking, service access and loading are focused on Irving and Kearney with secondary street loading opportunities on Hoyt Street and 9th Avenue. A potential loading area is designated just east of the building at the north end of the park block, as it cannot be served elsewhere. Focusing vehicular access to parcels in these designated areas will allow for the primary streets through the site to facilitate pedestrian activity and minimize vehicular traffic around the central park space (See "Parking Entries and Loading" on page 55).

Integrate Parking; reduce impact on pedestrians; bridge pedestrian obstacles: Parking is planned to be constructed in support of each block of development thus is accessible to the use under development. To supplement early phases of development, the existing parking structure in the SW corner of the property will be utilized. Parking design ratios are reduced to minimize impact of parking and of vehicular movements. The Green Loop connects the development with the Broadway Bridge and overcomes obstacles for people walking and biking to and from the site and NE Portland. The project provides opportunity for future development that complies with these guidelines and criteria.

THE WILLAMETTE RIVER

CC235 Goal 4 Willamette River

- Multifunctional River
 - River Oriented Development
-

CCFDG

- A1 Integrate the River
-

RDDG

- A3-1 Link the river to the community
 - C1-1 Increase river view opportunities
-

MPAC

- 3- The development on lots with river frontage incorporates elements that activate the river front, such as open areas, trails, and accessways, and land uses that encourage public and enjoyment of the riverfront;

Title 33.510.255.H

River oriented development, view opportunities; Link to the river: The USPS site catalyzes the two significant connections to the Willamette River at a network and neighborhood level. From a network level, it connects the park block system to the Pearl District Boardwalk, which will become a celebrated connection to the River. The site will also connect the Pearl District neighborhood to the Union Station pedestrian bridge and existing Willamette River connection at McCormick Piers. These connections are facilitated by a new segment of NW Johnson with a focus on pedestrians and bikes providing its residents, workers, and visitors direct links

to the Willamette River along celebrated and nearby connections (See "Park" on page 77). The allowed height of development provides for territorial views, including of the river. The project provides opportunity for development that complies with these guidelines and criteria.

KEY

CCFDG	Central City Fundamental Design Guidelines
CC2035	Central City 2035 Plan Criteria Goals & Policies
RDGL	River District Guidelines
MPAC	Master Plan Approval Criteria

MASSING AND OPEN SPACE

CC235 Goal 5 Urban Design

- Context and form
 - Connected Public Realm
 - Parks & Open Space
 - Historic Preservation
-

CCFDG

- A3 Respect the Portland Block Structures
- A4 Use Unifying Elements
- A5 Enhance, Embellish and Identify Areas
- A6 Reuse, Rehabilitate, Restore Buildings
- A7 Establish and Maintain a Sense of Urban Enclosure
- A8 Contribute to a Vibrant Streetscape
- B4 Provide Stopping and Viewing Places
- B5 Make Plazas, Parks, and Open Space Successful
- B6 Develop Weather Protection
- B7 Integrate Barrier-Free Design
- C1 Enhance View Opportunities
- C2 Promote Permanence and Quality in Development
- C3 Respect Architectural Integrity
- C4 Compliment the Context of Existing Buildings
- C5 Design for Coherency
- C6 Develop Transitions Between Buildings and Public Spaces
- C7 Design Corners that Build Active Intersections
- C8 Differentiate the Sidewalk-Level of Buildings
- C9 Develop Flexible Sidewalk-Level Spaces
- C10 Integrate Encroachments
- C11 Integrate Roofs and Use Rooftops
- C12 Integrate Exterior Lighting
- C13 Integrate Signs

RDDG

- A5-3 Incorporate water features
- A5-4 Integrate works of Art
- A8-1 Design fences, walls, and gateways to be seen over
- A9-1 Provide a distinct sense of entry and exit
- B1-1 Provide human scale to buildings along walkways

MPAC

- 5- The master plan demonstrates that development within the plan boundary will establish an overall building orientation through massing, the location of entrances, and the location of ground floor uses that result in an edge that embraces adjacent public park rather than creating an abrupt edge between the plan areas and parks, and ensures that development within the plan boundary will not excessively shade the adjacent park.
- 7- Internal open areas are accessible within, and distributed throughout, the master plan area and have connections to the surrounding neighborhood and to any adjacent open space. Internal open areas enhance visual permeability through the site, especially on sites near the Willamette River. The size and location of each open area must be adequate to accommodate the intended use of the space.

KEY

CCFDG	Central City Fundamental Design Guidelines
CC2035	Central City 2035 Plan Criteria Goals & Policies
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Massing and Open Space Continued

Title 33.510.255.H

Massing not shading the park: Maximum development footprints and massing envelopes have been set to afford daylight access to each development mass and to the open space created between them (See "Building Envelopes" on page 29 and "Open Area Requirements" on page 85). More than 20% of the master plan square footage is dedicated to open areas (See "Open Area Requirements" on page 59 and "Building Massing: Response to the Park" on page 83).

Connectivity to adjacent neighborhoods, open spaces, visual permeability through the site: Open space defines the form of the USPS master plan. A two-block extension and iconic termination of the North Park Blocks anchors the open space network and serves as a flexible gathering space for community events and recreation. The Broadway Bridge Landing Plaza is a viewpoint and a gateway at another important entry point to the site. Additional linear park elements link these larger open spaces providing opportunities for creative programming throughout the three-dimensional site. The Park Avenue access easement area provides visual and pedestrian connections between NW Kearney and NW Johnson and an opportunity for maker spaces to engage the

public realm. The Green Loop is an integrated accessible path that negotiates a 30-foot grade change within the open space network. Along NW Park Avenue, the Green Loop is located primarily within the right of way and partially within the Park, blurring the line between these two public spaces. As the Green Loop climbs up to the Johnson Bridge, the Master Plan balances flexible space within the park and the connectivity the path provides (See "Building Massing: Response to the Park" on page 83).

NW Johnson Street will connect to the NW Johnson Street Neighborhood Greenway and extend an important corridor from the west hills through the Pearl District and the USPS site to Union Station and then over the pedestrian bridge and Naito to the Willamette River. NW Johnson is designated for pedestrian and bicycle priority to the west of the USPS site and will be designed with a high level of pedestrian and bicycle accommodation through the site. A separated bi-directional bike lane will be provided on the south side of the street, along with a wider than typical pedestrian space on the north side. Where Johnson Street meets NW Park Avenue and the new North Park Block, the vehicular travel lanes will be raised to sidewalk level, reinforcing the

pedestrian/plaza condition of the Park Blocks. The surface treatments will extend seamlessly from the building faces south of Johnson to the north of Johnson, while providing subtle clues to define spaces for the various modes (See "Proposed Streets" on page 89).

Integrate rooftops: The project proposes that the Broadway Bridge Landing Plaza occur on the roof top of a portion of parcel 9.

Respect Portland Block structures: The development footprints and location of streets and drives were developed in response to setbacks, easements, solar exposure, connectivity to adjacent neighborhoods, safe pedestrian and vehicular movement, extension of the North Park Blocks, and integration of existing open spaces among many other factors. This resulted in a block size like the traditional 200-foot x 200-foot block type common in the district. Parcel 9 is unique in that it has no direct connectivity to adjacent land to the north or with Lovejoy. This condition affords Parcel 9 a unique opportunity to be developed as several unique buildings reflective of the 200×200 blocks to the south or as connected buildings or towers on one podium for example. The project provides opportunity for future development that complies with these guidelines and criteria.

RESOURCES

CC235 Goal 6 Health & Environment

- Resilience (natural hazard, climate change, tree canopy, green infrastructure, ecoroof, flood)
- Health (active uses, limit pollution, habitat connections, tree canopy enhancement)
- Building, Infrastructure and site development (low carbon, trees, bird and wildlife safe)
- District policies: health and environment (sustainable design, energy efficiency, green building technologies)

Title 33.510.255.H

The proposed tree canopy coverage meets or exceeds the requirement for open space.

The project provides opportunity for future development that complies with these guidelines and criteria.

KEY

- CCFDG** Central City Fundamental Design Guidelines
- CC2035** Central City 2035 Plan Criteria Goals & Policies
- RDGL** River District Guidelines
- MPAC** Master Plan Approval Criteria



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