

OVERLAND WAREHOUSE



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HISTORIC PHOTO: Originally built in 1889, the building was later converted to Chinese tenement housing by the Suey Sing organization.

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Behind quality design & craftsmanship, the building was 85% occupied & contributing to the neighborhood within a month of completion.

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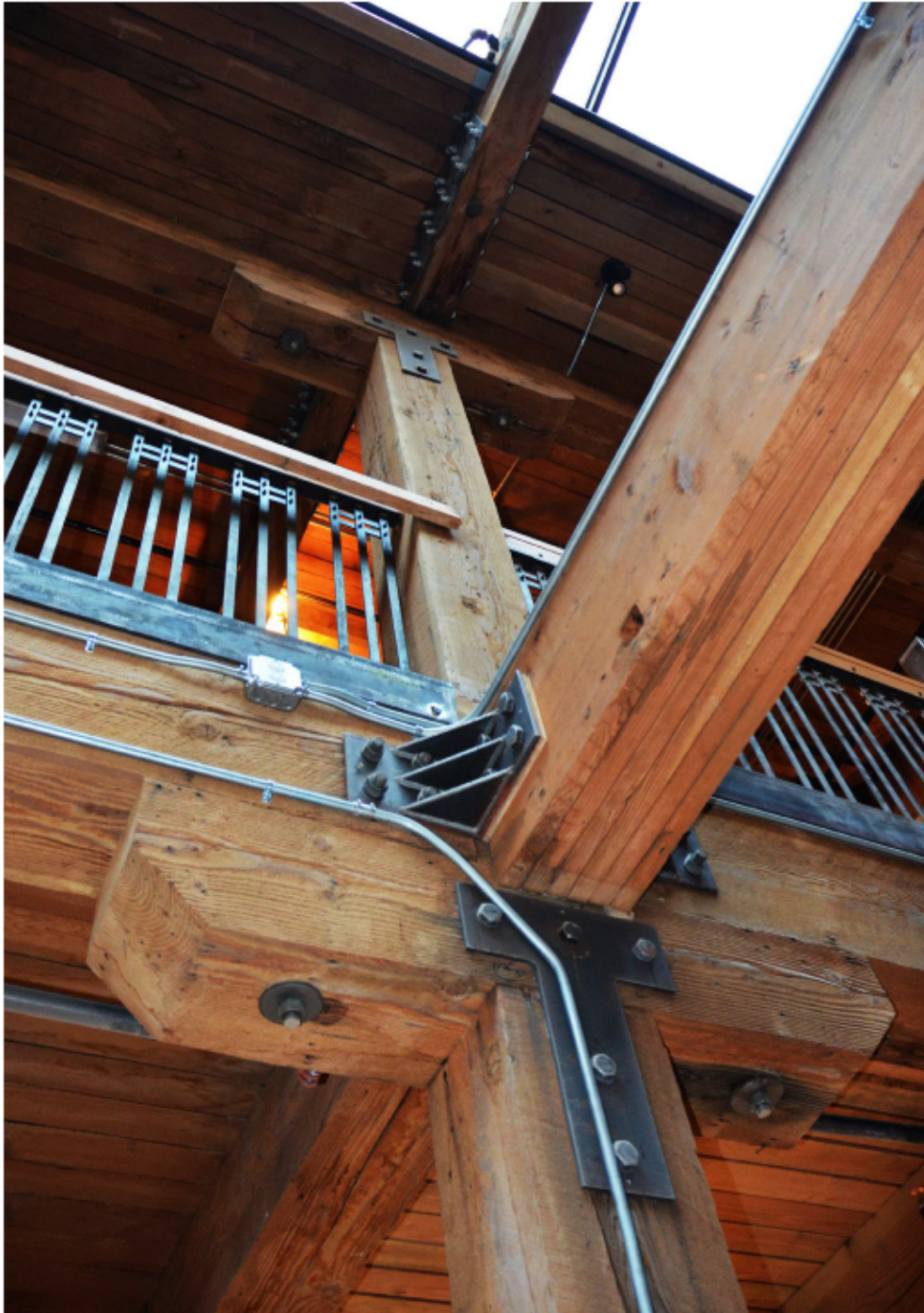
The new storefront opens the building to the street and encourages the continued transformation of Portland's Historic Chinatown.

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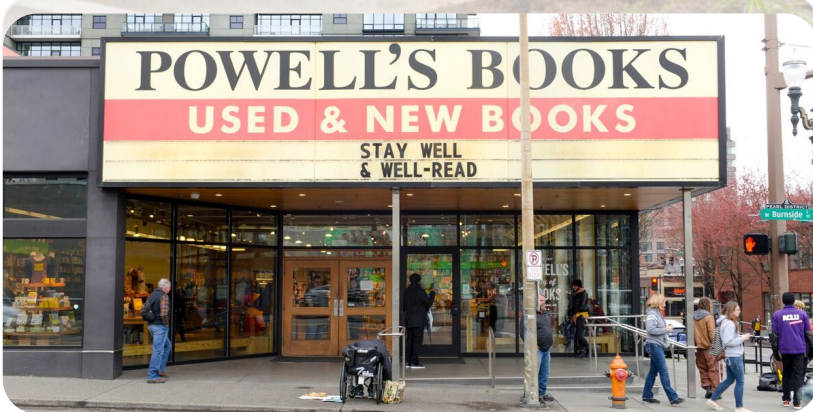
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Location: Portland, Oregon

Category: Built Projects



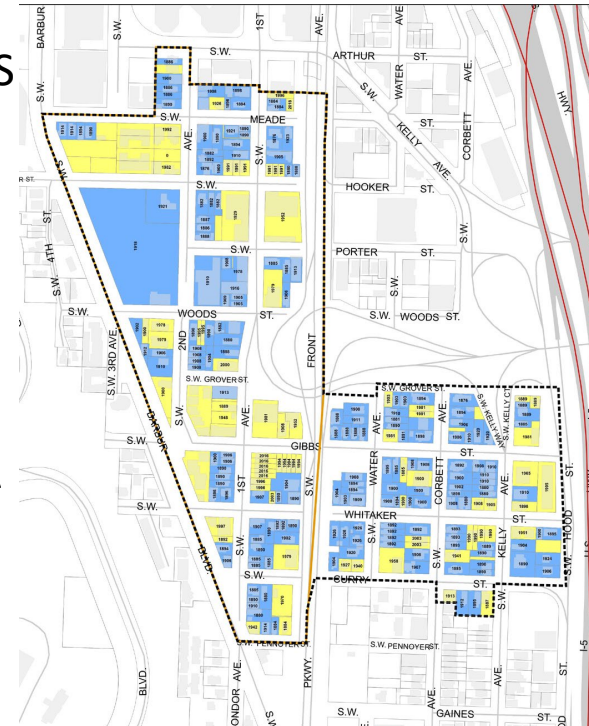
State of the City Preservation Report 2019

Portland Historic Landmarks Commission

VOLUNTEERS= NO CITY MONEY!

The PHLC has a very broad range of duties and expectations-

- WE REVIEW NEW CONSTRUCTION IN CONTEXT; WE ARE TYPICALLY ABOUT HALF ARCHITECTURAL PROFESSIONALS
- WE REVIEW LEGISLATIVE CODE PROJECTS THAT AFFECT DEVELOPMENT REGULATIONS such as the HRCP, DOZA, and RIP
- WE REVIEW ALTERATIONS TO HISTORIC INDIVIDUAL BUILDINGS
- WE REVIEW and PROVIDE RECOMMENDATIONS ON HISTORIC DESIGNATIONS OF ALL TYPES, “TYPE IV” DEMOLITION REQUESTS, GUIDELINES FOR HISTORIC DISTRICTS, and NUMEROUS BRIEFINGS ABOUT CITY-OWNED RESOURCES
- WE ADVOCATE FOR PRESERVATION TO AND WITH THE LARGER COMMUNITY, ACHIEVING THE GOALS IN THE COMP PLAN
- WE ARE A RESOURCE FOR CITY COUNCIL AND BUREAUS



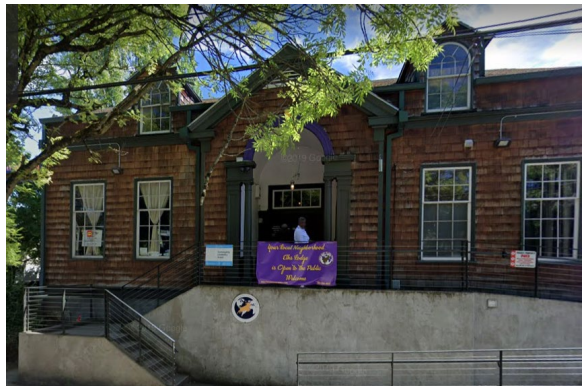
THE "NEW" PRESERVATION



MULTIPLE PROPERTY DESIGNATION of **AFRICAN AMERICAN RESOURCES** (Framework for Designations)



DARCELLE XV SHOWPLACE (State Board review in JUNE)



BILLY WEBB ELKS LODGE (in review by NPS)

2020 REASONS FOR PRESERVATION: MORE IMPORTANT THAN EVER

EQUITY



AFFORDABILITY



SUSTAINABILITY



- **Everyone's** stories and important places matter
- Designation can help **fund seismic upgrades** and **create jobs**
- In a **climate emergency**, reusing old buildings will help meet our goals

EQUITY



LOWER ALBINA
1948



ELIOT/ "THE ROSE
QUARTER"
2018

AFFORDABILITY



HISTORIC BUILDINGS can open up Federal funds or grants for rehab work such as seismic upgrades.

New construction is expensive! **OLDER BUILDINGS** are inherently cheaper, in most cases, even after energy upgrades and retrofits.



REHABILITATION WORK typically employs more smaller businesses and more of that money goes directly into the community.

INVESTING IN OLDER BUILDINGS creates jobs!

SUSTAINABILITY



The EPA estimates that the U.S. produces more than **136 million tons** of construction and demolition debris each year.



It would take approximately **38 years for a new, energy efficient building** to recover the carbon that was expended during the construction process and begin to accumulate carbon savings.



A small-scale and very achievable example of **adaptive reuse** we could encourage as a City is **garage conversion or adding a unit** over a garage.

HISTORIC DISTRICTS: PHLC SUPPORTS DENSITY



NEW CHINATOWN/ JAPANTOWN

Only 10 blocks, this is Portland's only historic district listed for its association with ethnic/cultural groups.



LADDS ADDITION

A mostly residential district significant for its highly distinctive plan.

PROJECTS OF THE YEAR



HALLOCK-MCMILLAN Rehabilitation
Developer/Owner John Russell and Architect Brian Emerick have completed an extensive rehabilitation of Portland's oldest commercial building (1857).



PAE LIVING BLDG New Construction
Designed by ZGF Architects, this mixed-use building was approved in 2019 and will be located in the Skidmore/Old Town Historic District.

Thank you

Questions?

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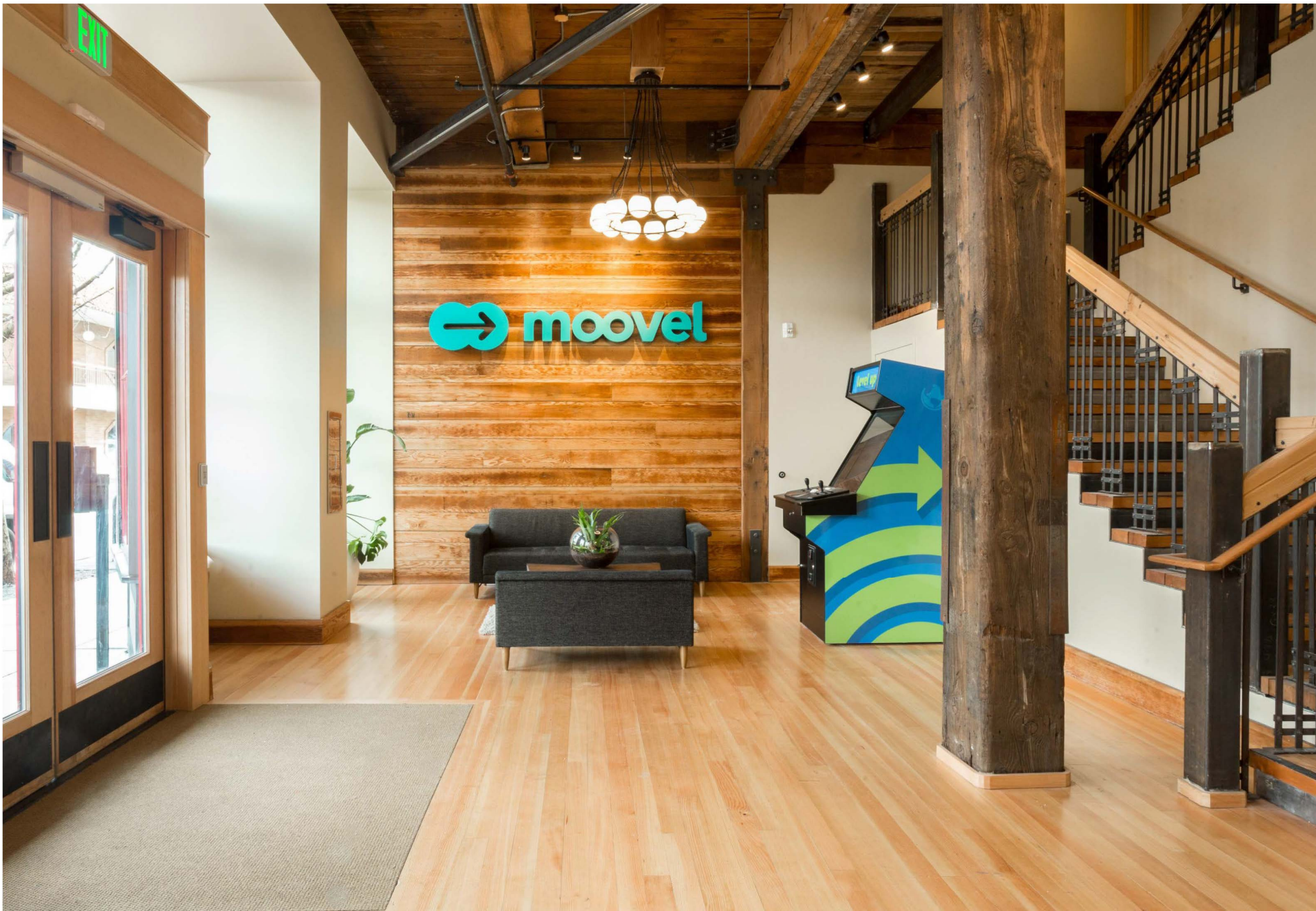
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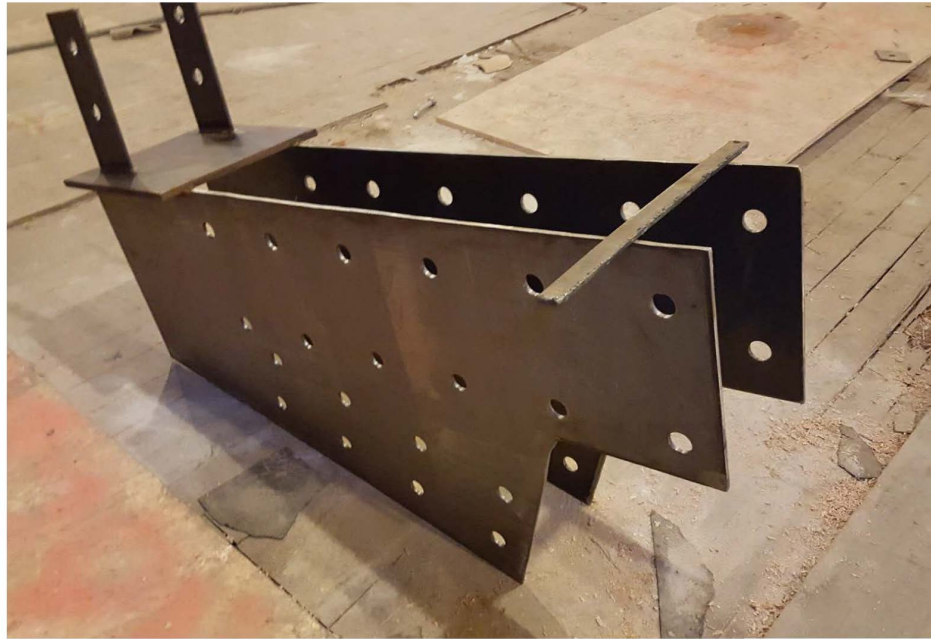
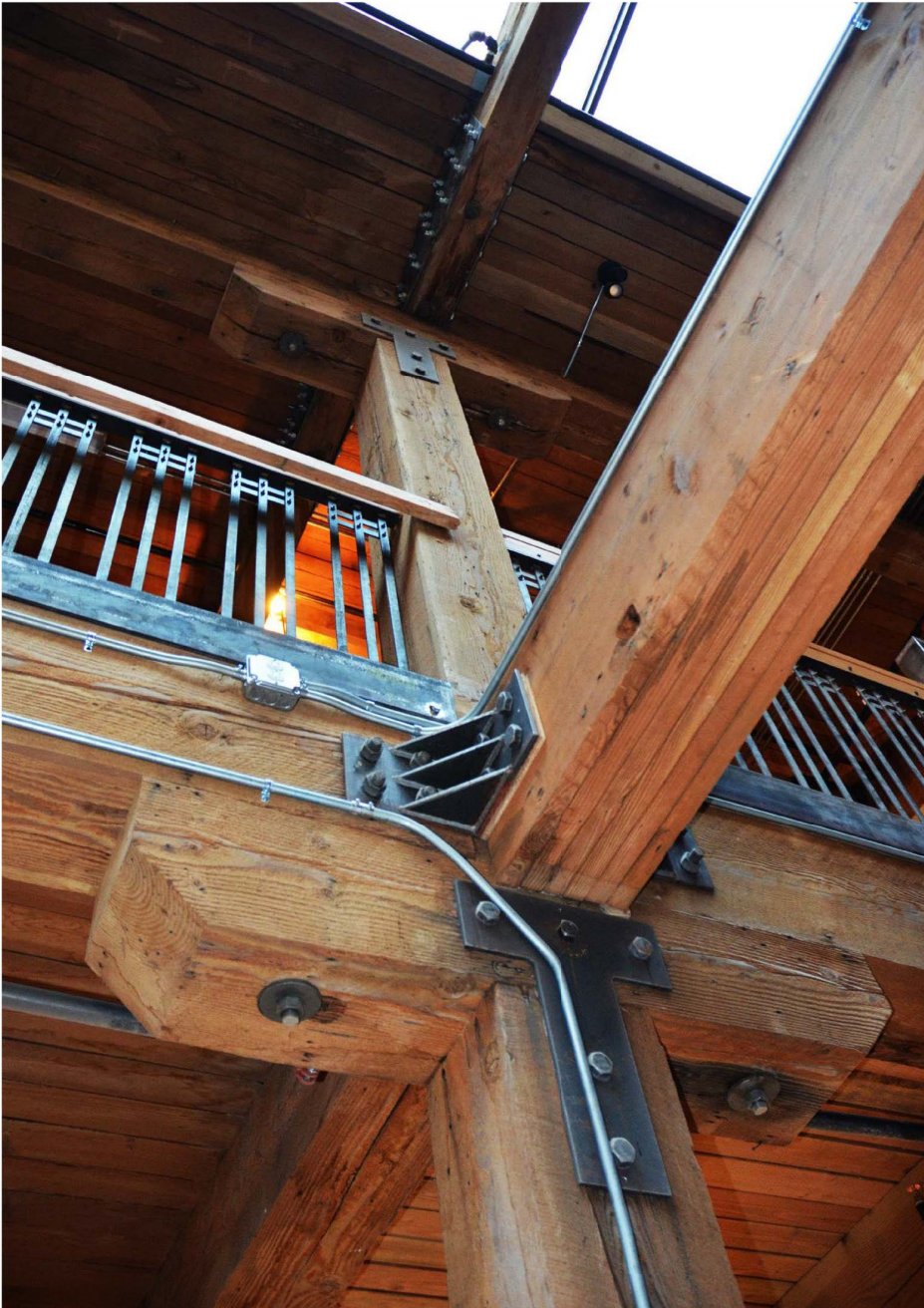
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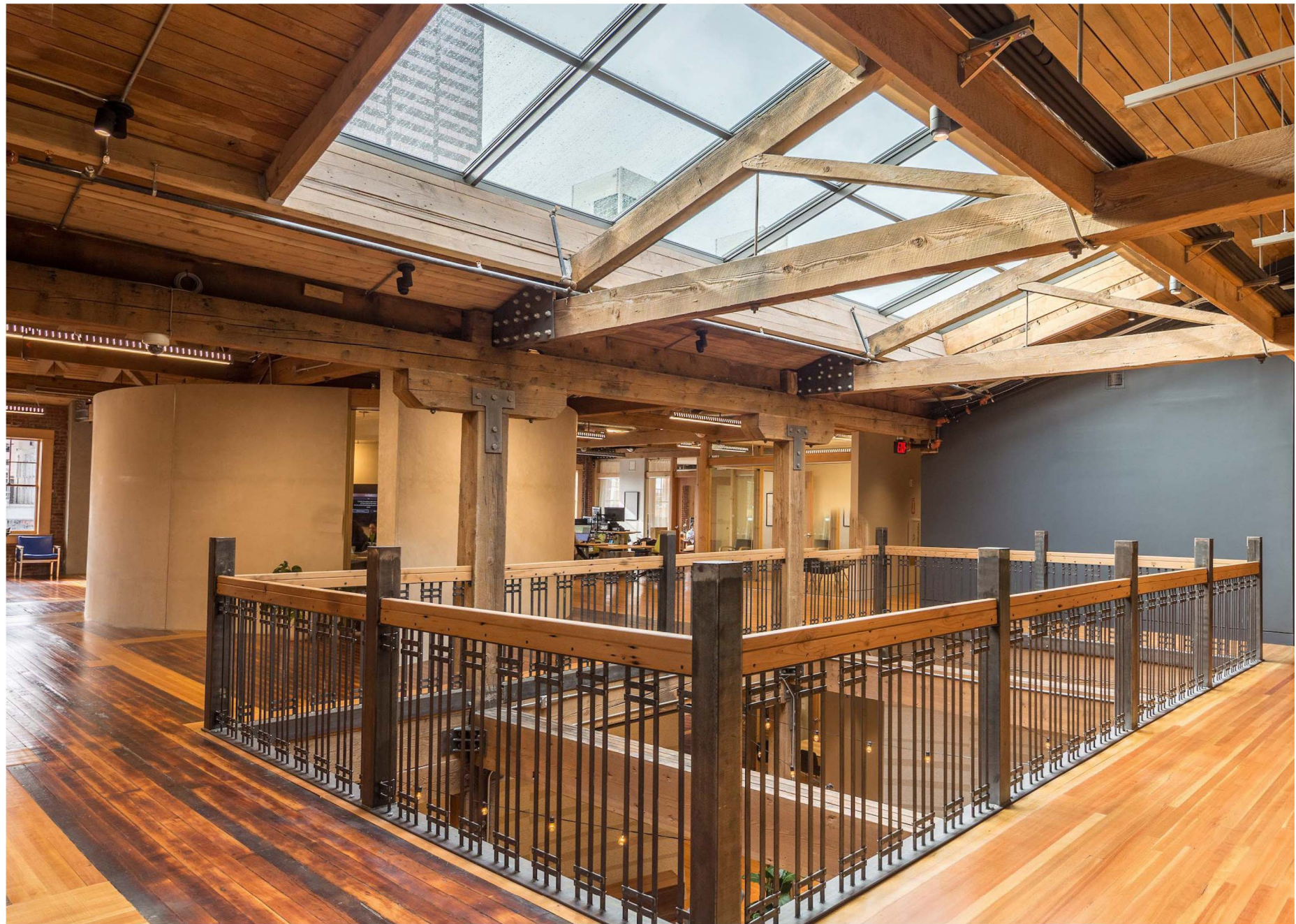
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

Portland Living Building

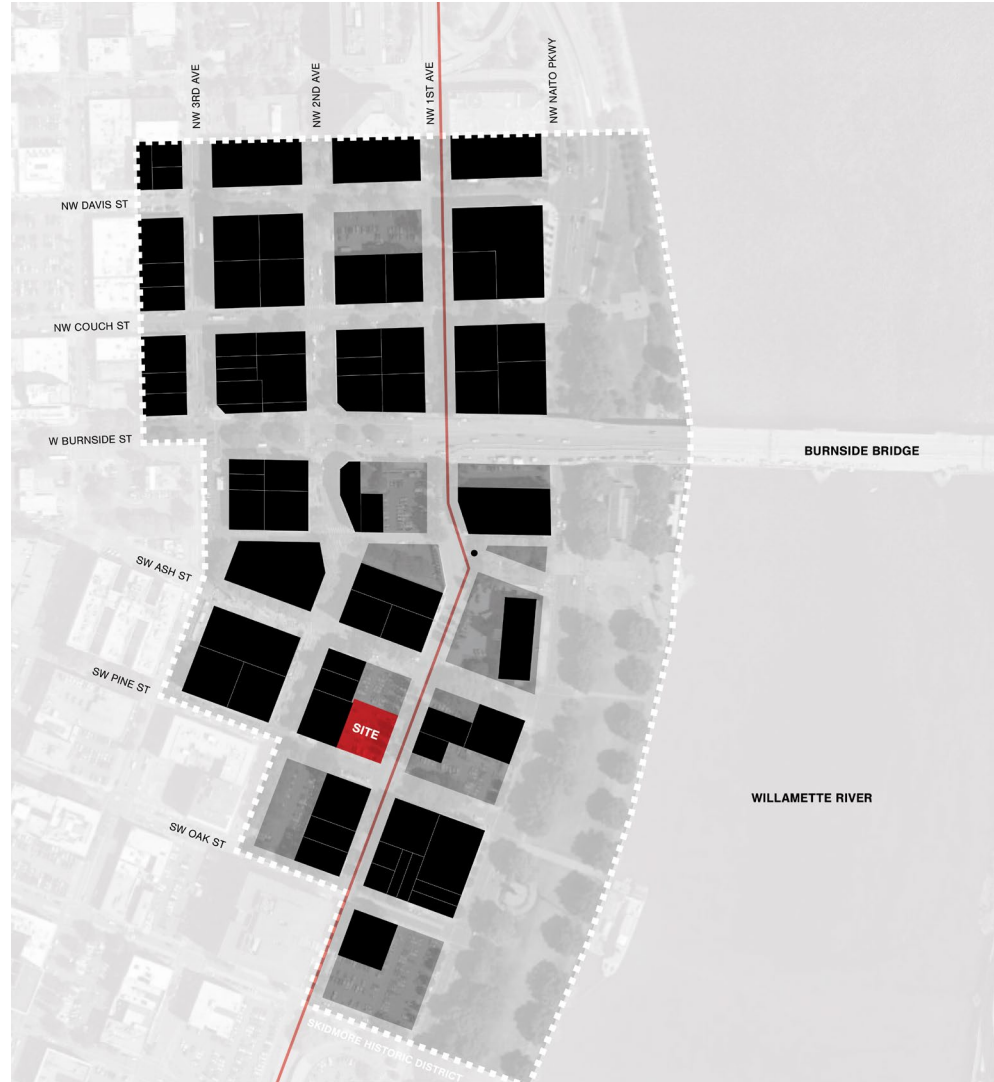
Portland Historic Landmarks Commission
New Construction Project of the Year in an Historic District

May 20, 2020

Presented to City of Portland by Paul Schwer, President of PAE

Historical Context

-  SITE
-  EXISTING BUILDINGS
-  DEMOLISHED HISTORIC STRUCTURES
-  MAX TRACKS





FORMER 1883 REID'S BLOCK BUILDING ON SITE (DEMOLISHED MID 20TH CENTURY)



**WATER**

100% of the building's water demand is collected and treated onsite.

**WORKPLACE**

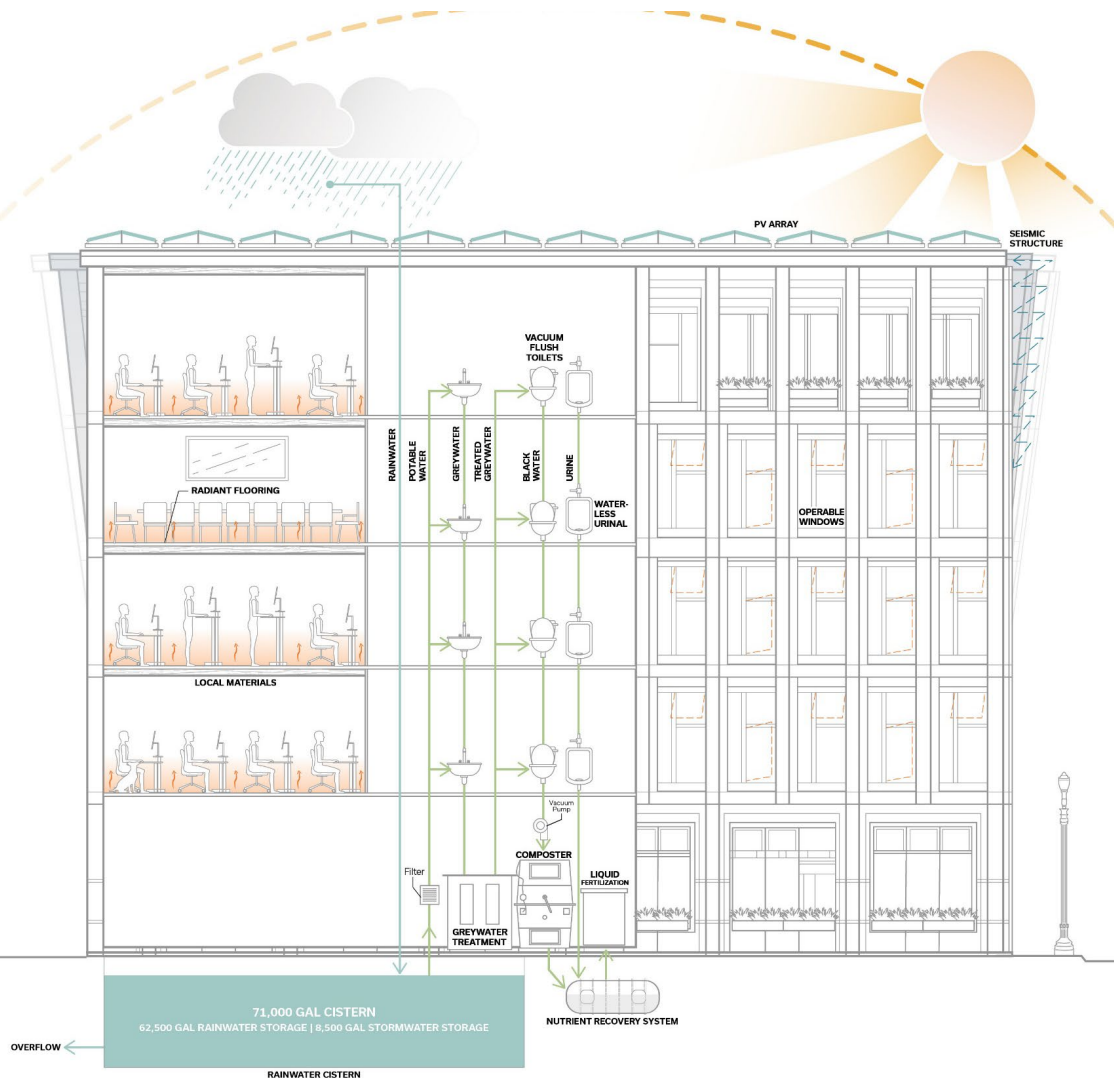
Daylight, views, operable windows, filtered heat recovery ventilation and other biophilic strategies support occupant health, comfort, and productivity.

**MATERIALS**

Sustainable and healthy building materials include Pacific Northwest cross-laminated timber certified by the Forest Stewardship Council.

**NUTRIENTS**

First-of-its-kind multi-story vacuum-flush compostable toilets reduce water use and transform waste into a rich nutrient source.

**ENERGY**

Onsite and dedicated offsite solar, and onsite battery storage enables net positive energy production and connection to city grid.

**SEISMIC**

Cost-neutral seismic upgrades allow the structure to be designed to Category IV (the same as hospitals and fire stations).

**INVESTMENT**

First developer-led commercial Living Building proves the business case and creates pathway for others.

**EQUITY**

Energy produced by offsite solar PV will be shared by a local non-profit.

OVERFLOW ←

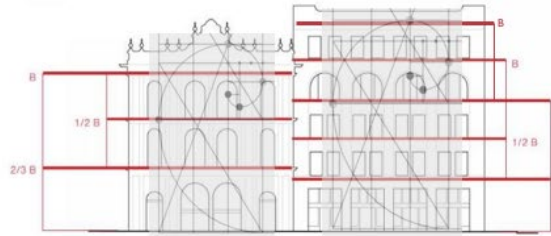
71,000 GAL CISTERN
62,500 GAL RAINWATER STORAGE | 8,500 GAL STORMWATER STORAGE

RAINWATER CISTERN

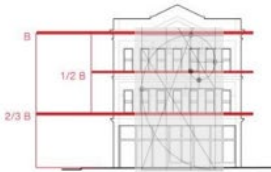
NUTRIENT RECOVERY SYSTEM

A Living Building

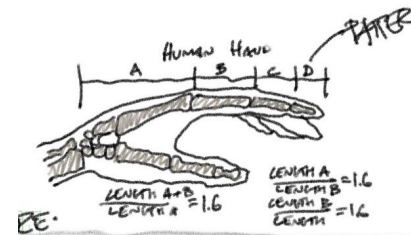
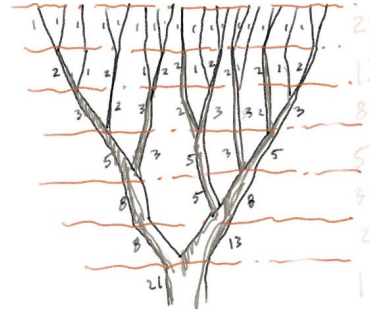
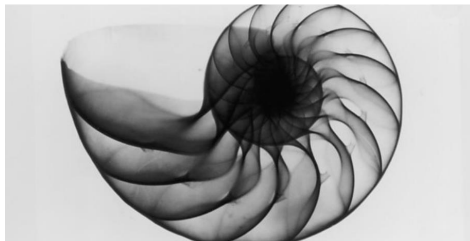
CONTEXTUALLY RELATED, NATURALLY INSPIRED



1872 NEW MARKET THEATER 1889 NEW MARKET ANNEX



1886 FAILING BUILDING









A DEVELOPER LED AND PRIVATELY FINANCED

Thank you from our Project Team

