

ALAMO MANHATTAN BLOCKS RIVER BLOCKS AND GREENWAY



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SCALE :

RIVER BLOCKS VOLUME 1: BLOCK 41

EXHIBIT C: DESIGN DRAWINGS AND DETAILS

C.125	LB1 FLOOR PLAN - BLOCK 41
C.126	L01 FLOOR PLAN - BLOCK 41
C.127	LIGHTING PLAN - GROUND LEVEL - BLOCK 41
C.128	L02 FLOOR PLAN - BLOCK 41
C.129	L03 FLOOR PLAN - BLOCK 41
C.130	L04 FLOOR PLAN - BLOCK 41
C.131	L05 FLOOR PLAN - BLOCK 41
C.132	LIGHTING PLAN - AMENITY DECK - B41
C.133	L06-20 FLOOR PLAN - BLOCK 41
C.134	L21 FLOOR PLAN - BLOCK 41
C.135	L22-23 FLOOR PLAN - BLOCK 41
C.136	ROOF PLAN - BLOCK 41
C.137	BLOCK 41 - WEST ELEVATION
C.138	BLOCK 41 - SOUTH ELEVATION
C.139	BLOCK 41 - EAST ELEVATION
C.140	BLOCK 41 - NORTH ELEVATION
C.141	BLOCK 41 - N-S BUILDING SECTION
C.142	BLOCK 41 - E-W BUILDING SECTION
C.143	BLOCK 41 - WEST ENLARGED ELEVATION
C.144	BLOCK 41 - WEST ENLARGED SECTION
C.145	BLOCK 41 - WEST ENLARGED ELEVATION
C.146	BLOCK 41 - WEST ENLARGED SECTIONS
C.147	BLOCK 41 - SOUTH ENLARGED ELEVATION
C.148	BLOCK 41 - SOUTH ENLARGED SECTIONS
C.149	BLOCK 41 - SOUTH ENLARGED ELEVATION
C.150	BLOCK 41 - SOUTH ENLARGED SECTION
C.151	BLOCK 41 - EAST ENLARGED ELEVATION
C.152	BLOCK 41 - EAST ENLARGED SECTIONS
C.153	BLOCK 41 - NORTH ENLARGED ELEVATION
C.154	BLOCK 41 - NORTH ENLARGED SECTIONS
C.155	BLOCK 41 - ENLARGED ELEVATION LEVEL 5 AMENITY
C.156	BLOCK 41 - ENLARGED SECTION LEVEL 5 AMENITY
C.157	BLOCK 41 - ENLARGED ELEVATION PENTHOUSE
C.158	BLOCK 41 - ENLARGED SECTION PENTHOUSE
C.159	BLOCK 41 - ENLARGED ELEVATION PENTHOUSE
C.160	BLOCK 41 - ENLARGED SECTION PENTHOUSE
C.161	BLOCK 41 - ADDITIONAL DETAILS
C.162	BLOCK 41 - PRODUCT DATA
C.163	BLOCK 41 - PRODUCT DATA
C.164	BLOCK 41 - MATERIAL BOARD

BLOCK 41 APPENDIX

APP.125	PERSPECTIVE OF NW CORNER - BLOCK 41
APP.126	PERSPECTIVE OF SW CORNER - BLOCK 41
APP.127	PERSPECTIVE OF SE CORNER - BLOCK 41
APP.128	PERSPECTIVE OF NE CORNER - BLOCK 41
APP.129	PERSPECTIVE ON LANE STREET LOOKING WEST - BLOCK 41
APP.130	RIVER PERSPECTIVE OF NE CORNER - BLOCK 41
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APP.133	DIAGRAMS - GROUND FLOOR WINDOWS - BLOCK 41
APP.134	L01 WEATHER PROTECTION - BLOCK 41
APP.135	BICYCLE PARKING EXHIBIT - BLOCK 41
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APP.137	B41 - TOWER PERSPECTIVE FROM NE
APP.138	B41 - TOWER PERSPECTIVE FROM SW
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APP.140	GLAZING DIAGRAMS - B41 WEST ELEVATION
APP.141	GLAZING DIAGRAMS - B41 SOUTH ELEVATION
APP.142	GLAZING DIAGRAMS - B41 EAST ELEVATION
APP.143	GLAZING DIAGRAMS - B41 NORTH ELEVATION

RIVER BLOCKS VOLUME 2: BLOCK 44

EXHIBIT C: DESIGN DRAWINGS AND DETAILS

C.170	L01 FLOOR PLAN - BLOCK 44
C.171	LIGHTING PLAN - GROUND LEVEL - B44
C.172	L02 FLOOR PLAN - BLOCK 44
C.173	L03 FLOOR PLAN - BLOCK 44
C.174	L04 FLOOR PLAN - BLOCK 44
C.175	LIGHTING PLAN - AMENITY DECK - B44
C.176	L05 FLOOR PLAN - BLOCK 44
C.177	L06-12 FLOOR PLAN - BLOCK 44
C.178	L13 FLOOR PLAN - BLOCK 44
C.179	L14-21 FLOOR PLAN - BLOCK 44
C.180	L22-23 FLOOR PLAN - BLOCK 44
C.181	ROOF PLAN - BLOCK 44
C.182	BLOCK 44 - WEST ELEVATION
C.183	BLOCK 44 - SOUTH ELEVATION
C.184	BLOCK 44 - EAST ELEVATION
C.185	BLOCK 44 - NORTH ELEVATION
C.186	BLOCK 44 - N-S BUILDING SECTION
C.187	BLOCK 44 - E-W BUILDING SECTION
C.188	BLOCK 44 - WEST ENLARGED ELEVATION
C.189	BLOCK 44 - WEST ENLARGED SECTIONS
C.190	BLOCK 44 - WEST ENLARGED ELEVATION
C.191	BLOCK 44 - WEST ENLARGED SECTION
C.192	BLOCK 44 - SOUTH ENLARGED ELEVATION
C.193	BLOCK 44 - SOUTH ENLARGED SECTION
C.194	BLOCK 44 - EAST ENLARGED ELEVATION
C.195	BLOCK 44 - EAST ENLARGED SECTION
C.196	BLOCK 44 - EAST ENLARGED ELEVATION
C.197	BLOCK 44 - EAST ENLARGED SECTIONS
C.198	BLOCK 44 - NORTH ENLARGED ELEVATION
C.199	BLOCK 44 - NORTH ENLARGED SECTION
C.200	BLOCK 44 - NORTH ENLARGED ELEVATION
C.201	BLOCK 44 - NORTH ENLARGED SECTION
C.202	BLOCK 44 - WEST ENLARGED ELEVATION
C.203	BLOCK 44 - WEST ENLARGED SECTION
C.204	BLOCK 44 - ENLARGED ELEVATION LEVEL 5 AMENITY
C.205	BLOCK 44 - ENLARGED SECTION LEVEL 5 AMENITY
C.206	BLOCK 44 - ENLARGED ELEVATION LEVEL 13 AMENITY
C.207	BLOCK 44 - ENLARGED SECTION LEVEL 13 AMENITY
C.208	BLOCK 44 - ENLARGED ELEVATION PENTHOUSE
C.209	BLOCK 44 - ENLARGED SECTION PENTHOUSE
C.210	BLOCK 44 - ADDITIONAL DETAILS
C.211	BLOCK 44 - PRODUCT DATA
C.212	BLOCK 44 - PRODUCT DATA
C.213	BLOCK 44 - MATERIAL BOARD

BLOCK 44 APPENDIX

APP.170	PERSPECTIVE OF NW CORNER - BLOCK 44
APP.171	PERSPECTIVE OF SW CORNER - BLOCK 44
APP.172	PERSPECTIVE OF SE CORNER - BLOCK 44
APP.173	PERSPECTIVE OF NE CORNER - BLOCK 44
APP.174	PERSPECTIVE OF NW CORNER W/ CONTEXT - BLOCK 44
APP.175	RIVER PERSPECTIVE OF SE CORNER - BLOCK 44
APP.176	DIAGRAMS - FAR BLOCK 44
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APP.178	DIAGRAMS - GROUND FLOOR WINDOWS - BLOCK 44
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APP.180	BICYCLE PARKING EXHIBIT - BLOCK 44
APP.181	B44 - TOWER PERSPECTIVE FROM SE
APP.182	B44 - TOWER PERSPECTIVE FROM NE
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APP.185	SIMPLIFICATION DIAGRAM
APP.186	GLAZING DIAGRAMS - B44 WEST ELEVATION
APP.187	GLAZING DIAGRAMS - B44 SOUTH ELEVATION
APP.188	GLAZING DIAGRAMS - B44 EAST ELEVATION
APP.189	GLAZING DIAGRAMS - B44 NORTH ELEVATION

RIVER BLOCKS VOLUME 3: LANDSCAPE, CIVIL, & GREENWAY

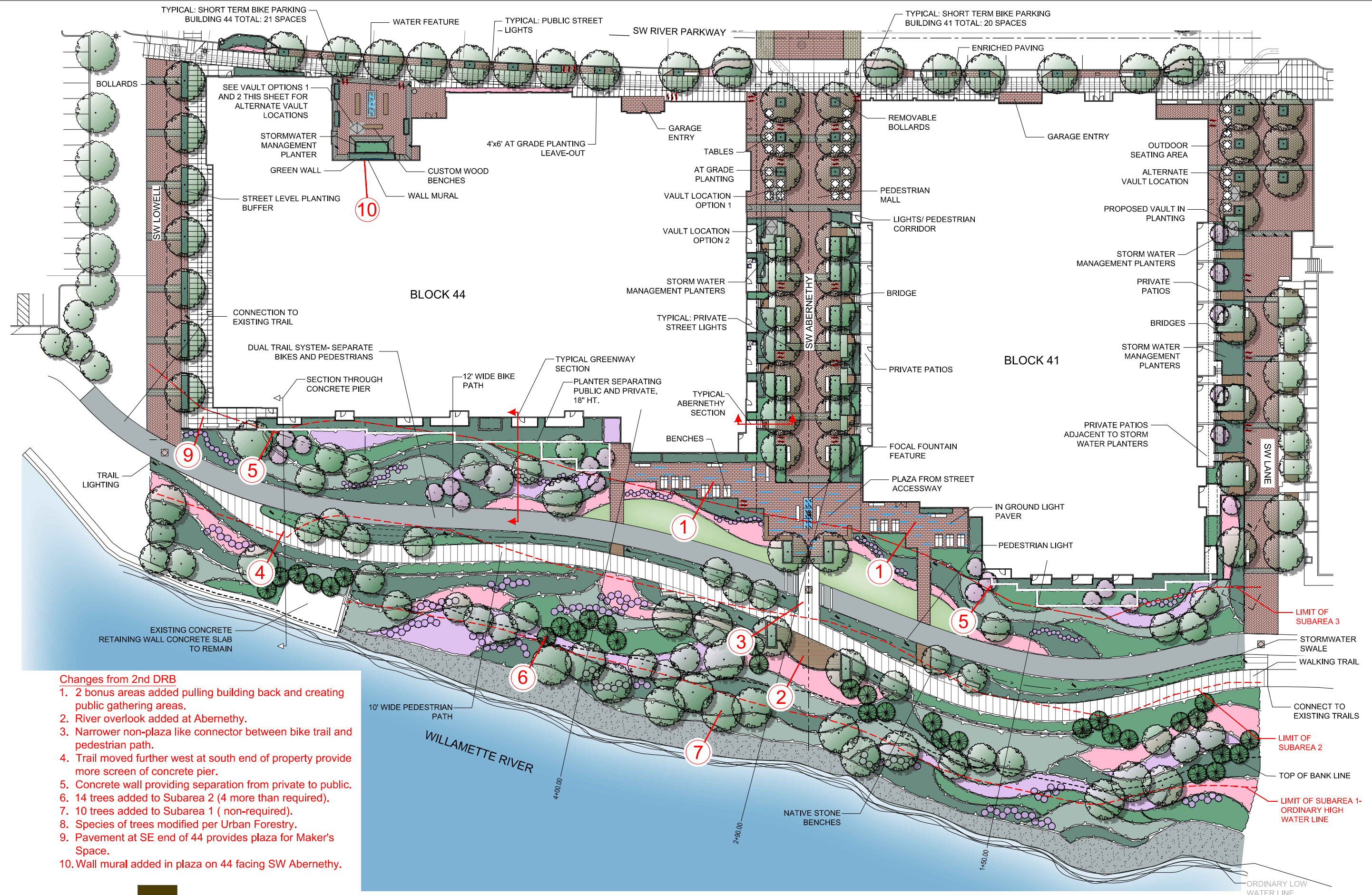
EXHIBIT C: DESIGN DRAWINGS AND DETAILS

LANDSCAPE	
C.220	LANDSCAPE - RIVER BLOCKS - B41 & B44
C.222	GREENWAY / PEDESTRIAN MALL ENLARGEMENT PLAN
C.223	MATERIAL SELECTIONS FOR SITE / PEDESTRIAN MALL
C.224	LANDSCAPE - ROOF TERRACES 41 & 44
C.226	TYPICAL PATIO SECTIONS
C.227	TYPICAL PATIO SECTIONS
C.228	LANDSCAPE - GREENWAY SECTION
C.229	LANDSCAPE - GREENWAY SECTION
C.230	LANDSCAPE - GREENWAY SECTION
C.231	LANDSCAPE - GREENWAY SECTION
C.232	LANDSCAPE - R.O.W. -PEDESTRIAN MALL/LIGHTING- RIVER BLOCKS- B41 & B44
C.233	LANDSCAPE - R.O.W. - LEVEL 5 PLANTING CHART - RIVER BLOCKS B41 & B44
C.236	PUBLIC OPEN SPACE / BONUS PLAN - B41 & B44
C.237	LANDSCAPE - LAWN EXHIBIT - B41 & B44
C.240	CONSTRUCTION DETAILS - GREENWAY
C.241	CONSTRUCTION DETAILS - GREENWAY
C.242	CONSTRUCTION DETAILS - MURAL WALL
C.243	CONSTRUCTION DETAILS - MURAL WALL
C.244	CONSTRUCTION DETAILS - MURAL WALL
L.001	LANDSCAPE - GREENWAY DEVELOPMENT PLAN- OVERALL
L.002	LANDSCAPE - GREENWAY DEVELOPMENT PLAN- SOUTH
L.003	LANDSCAPE - GREENWAY DEVELOPMENT PLAN- NORTH
L.004	LANDSCAPE - GREENWAY PLANTING PLAN- SOUTH
L.005	LANDSCAPE - GREENWAY PLANTING PLAN- NORTH

CIVIL	
C.250	NOTES AND LEGEND
C.251	EXISTING CONDITIONS AND DEMOLITION PLAN
C.252	TREE PROTECTION PLAN
C.253	BLOCK 41 UTILITY PLAN
C.254	BLOCK 44 UTILITY PLAN
C.255	BLOCK 41 GRADING PLAN
C.256	BLOCK 44 GRADING PLAN
C.257	BLOCK 41 STORMWATER PLAN
C.258	BLOCK 44 STORMWATER PLAN
C.259	GREENWAY EXISTING CONDITIONS - SOUTH
C.260	GREENWAY EXISTING CONDITIONS - NORTH
C.261	GREENWAY SITE PLAN - OVERALL
C.262	GREENWAY SITE PLAN - SOUTH
C.263	GREENWAY SITE PLAN - NORTH
C.264	GREENWAY CONSTRUCTION MANAGEMENT PLAN - OVERALL
C.265	GREENWAY CONSTRUCTION MANAGEMENT PLAN - SOUTH
C.266	GREENWAY CONSTRUCTION MANAGEMENT PLAN - NORTH

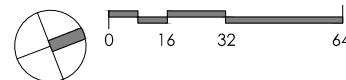
GENERAL APPENDIX

APP.200	AERIAL PERSPECTIVE FROM SE
APP.201	AERIAL PERSPECTIVE FROM NE
APP.202	AERIAL PERSPECTIVE FROM NW
APP.203	AERIAL PERSPECTIVE FROM SW
APP.204	SITE CONTEXT / GROUND FLOOR USES
APP.205	DIAGRAMS - TOWER SETBACK
APP.206	CONTEXT - PANORAMIC @ OSPREY
APP.207	CONTEXT - PANORAMIC @ ATWATER
APP.208	CONTEXT - PANORAMIC @ MERIWETHER
APP.209	AM BLOCKS - MODIFICATION 1 - TANDEM PARKING
APP.210	AM BLOCKS - MODIFICATION 2 - BICYCLE PARKING
APP.211	ALAMO BLOCKS - ADJUSTMENT 1 - PARKING ACCESS



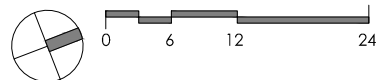
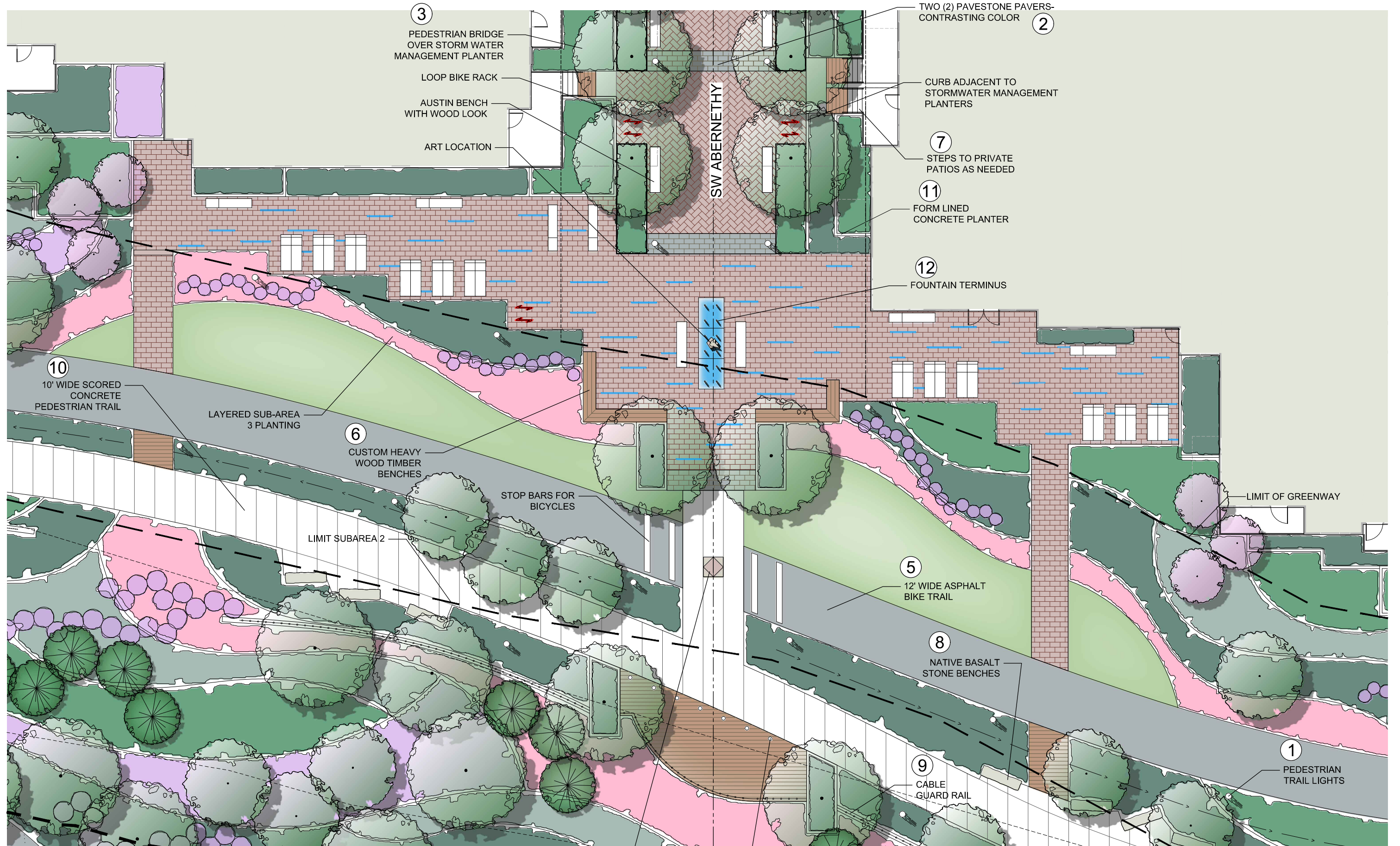
Changes from 2nd DRB

1. 2 bonus areas added pulling building back and creating public gathering areas.
2. River overlook added at Abernethy.
3. Narrower non-plaza like connector between bike trail and pedestrian path.
4. Trail moved further west at south end of property provide more screen of concrete pier.
5. Concrete wall providing separation from private to public.
6. 14 trees added to Subarea 2 (4 more than required).
7. 10 trees added to Subarea 1 (non-required).
8. Species of trees modified per Urban Forestry.
9. Pavement at SE end of 44 provides plaza for Maker's Space.
10. Wall mural added in plaza on 44 facing SW Abernethy.



LANDSCAPE - RIVER BLOCKS - B41 & B44

LAND USE REVIEW # (LU-20-102914 DZM GW) EXHIBIT C.220



GREENWAY/ PEDESTRIAN MALL ENLARGEMENT PLAN

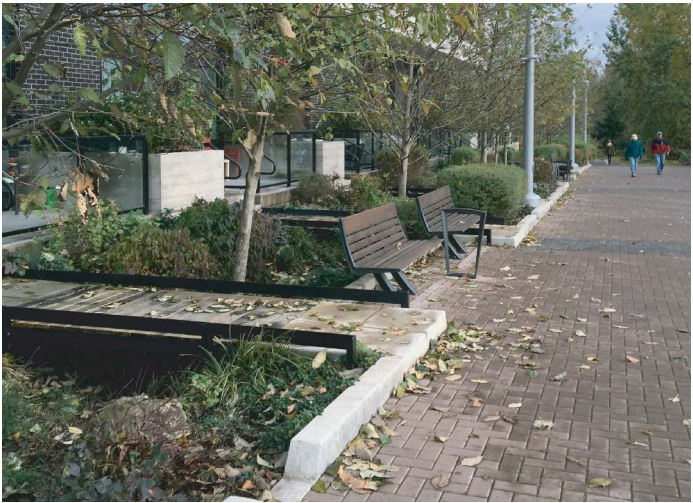
LAND USE REVIEW # (LU-20-102914 DZM GW) EXHIBIT C.222



DECORATIVE
PEDESTRIAN LIGHT - SELUX RITORNO ①



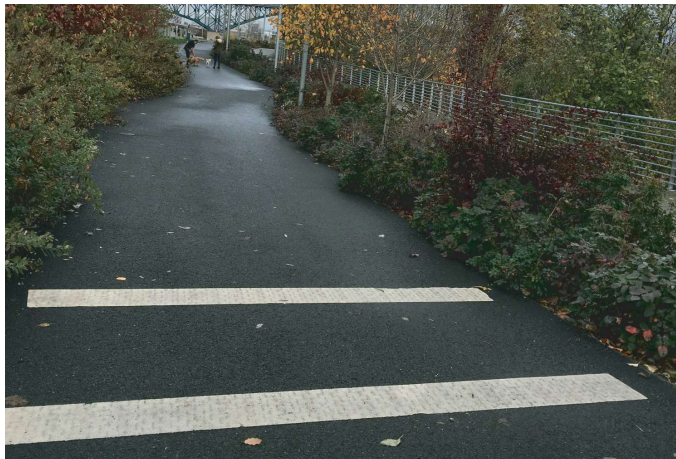
PEDESTRIAN MALL CONCRETE PAVERS,
TWO (2) CONTRASTING COLORS ②



WOOD BRIDGES
OVER RAIN GARDENS ③



FOUND ARTIFACTS- PIER
POSTS USED AS BOLLARDS ④



12' WIDE ASPHALT
BIKE TRAIL ⑤



HEAVY TIMBER BENCH- MARITIME
FEEL ⑥



PATIO CONNECTION
TO PEDESTRIAN MALL ⑦



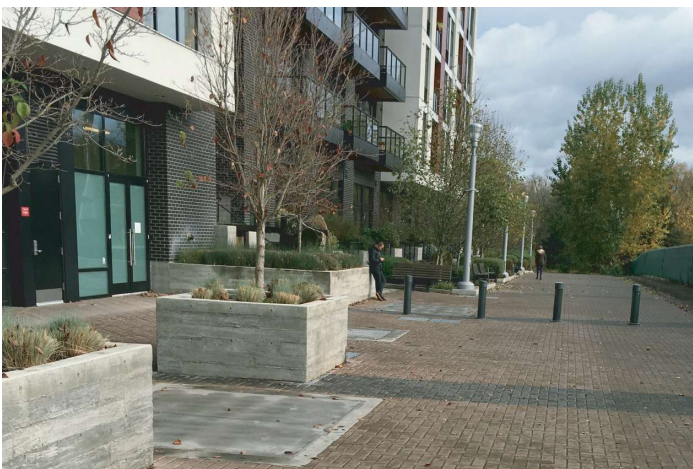
NATIVE BASALT STONE BENCH ⑧



CABLE GUARD RAIL ⑨



10' WIDE SCORED CONCRETE
PEDESTRIAN TRAIL ⑩



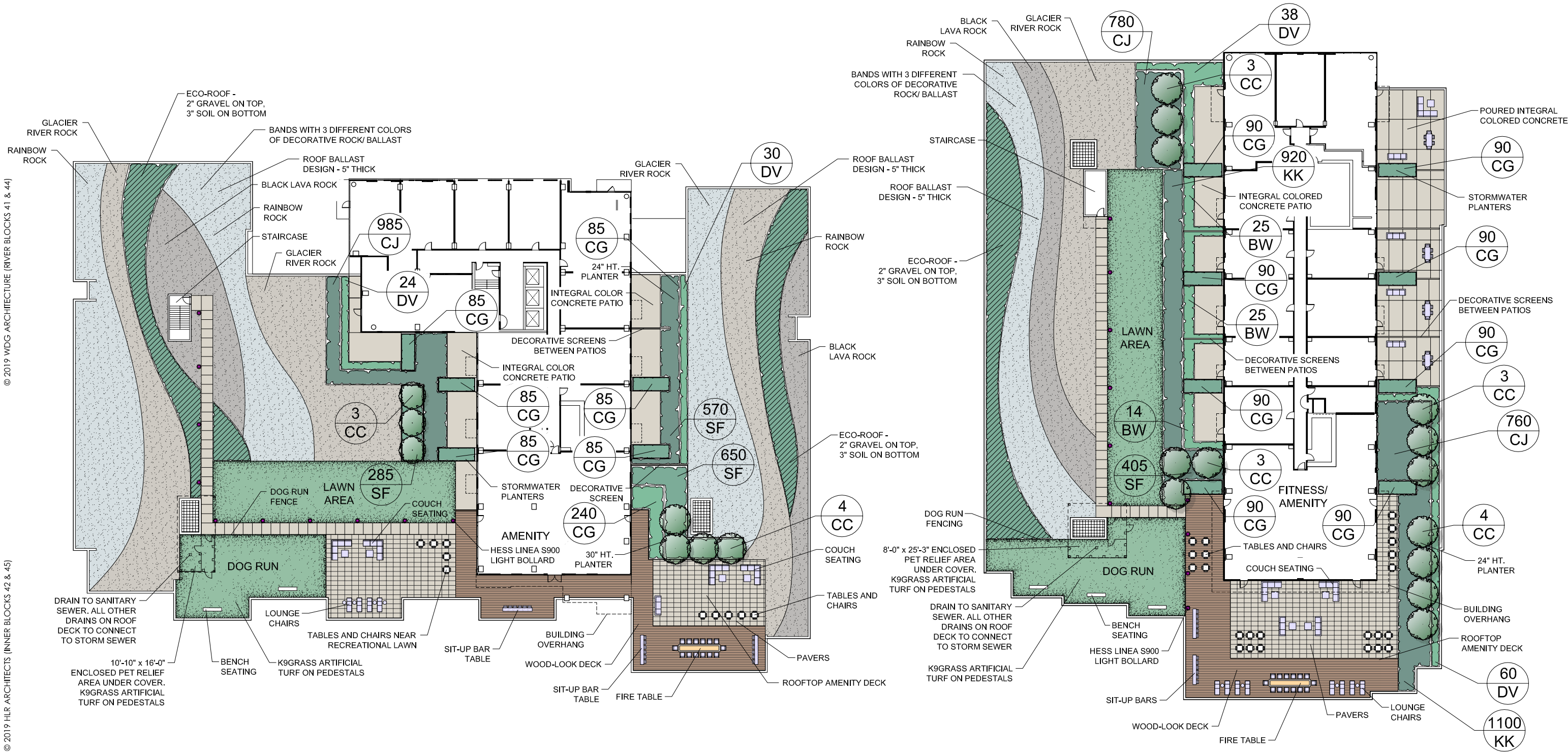
FORM LINED CONCRETE PLANTER ⑪



FOUNTAIN AT TERMINUS ⑫

© 2019 WDG ARCHITECTURE (RIVER BLOCKS 41 & 44)

© 2019 HLR ARCHITECTS (INNER BLOCKS 42 & 45)

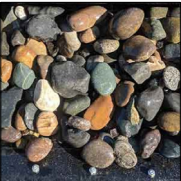


BUILDING 44

BUILDING 41



HESS LINEA S900 LIGHT BOLLARD
10 TOTAL (BUILDING 44)
10 TOTAL (BUILDING 41)



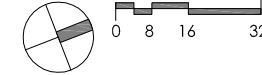
GLACIER RIVER ROCK



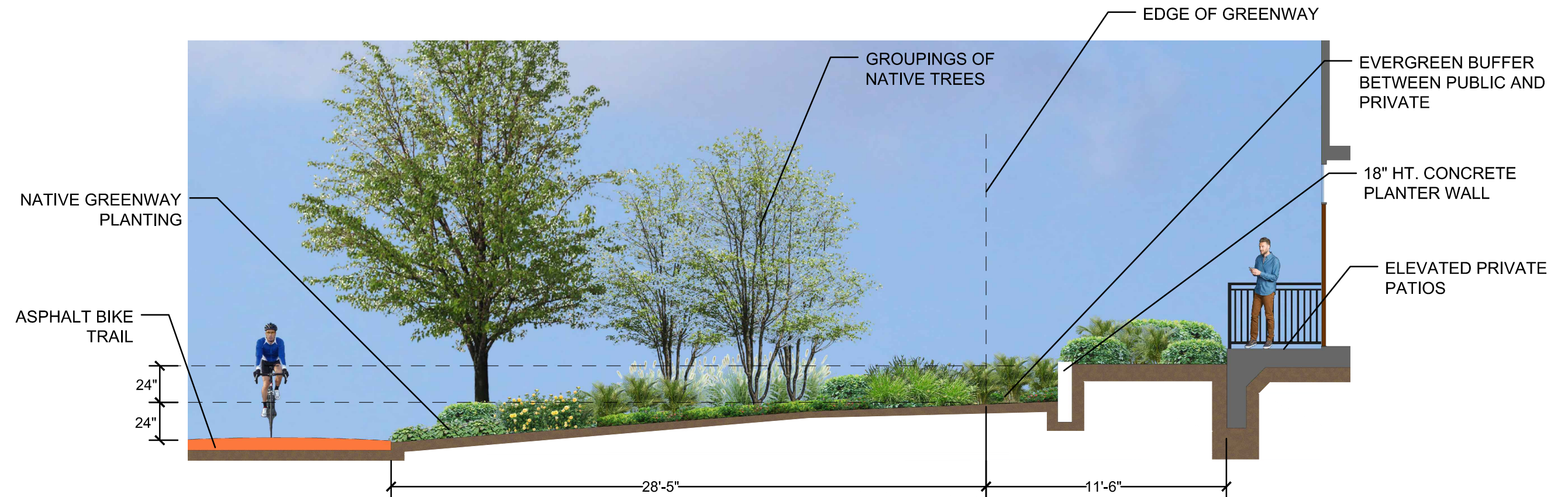
BLACK LAVA ROCK



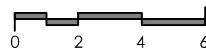
RAINBOW ROCK



LANDSCAPE - ROOF TERRACES - B41 & B44

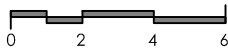


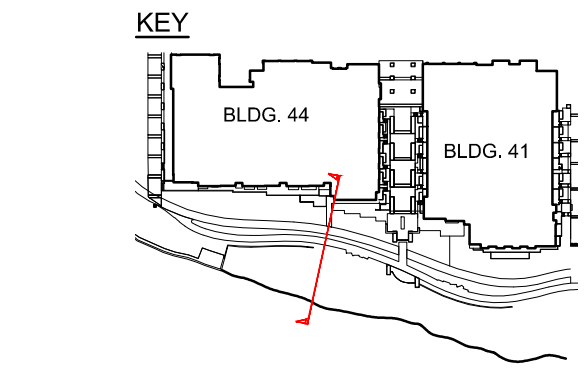
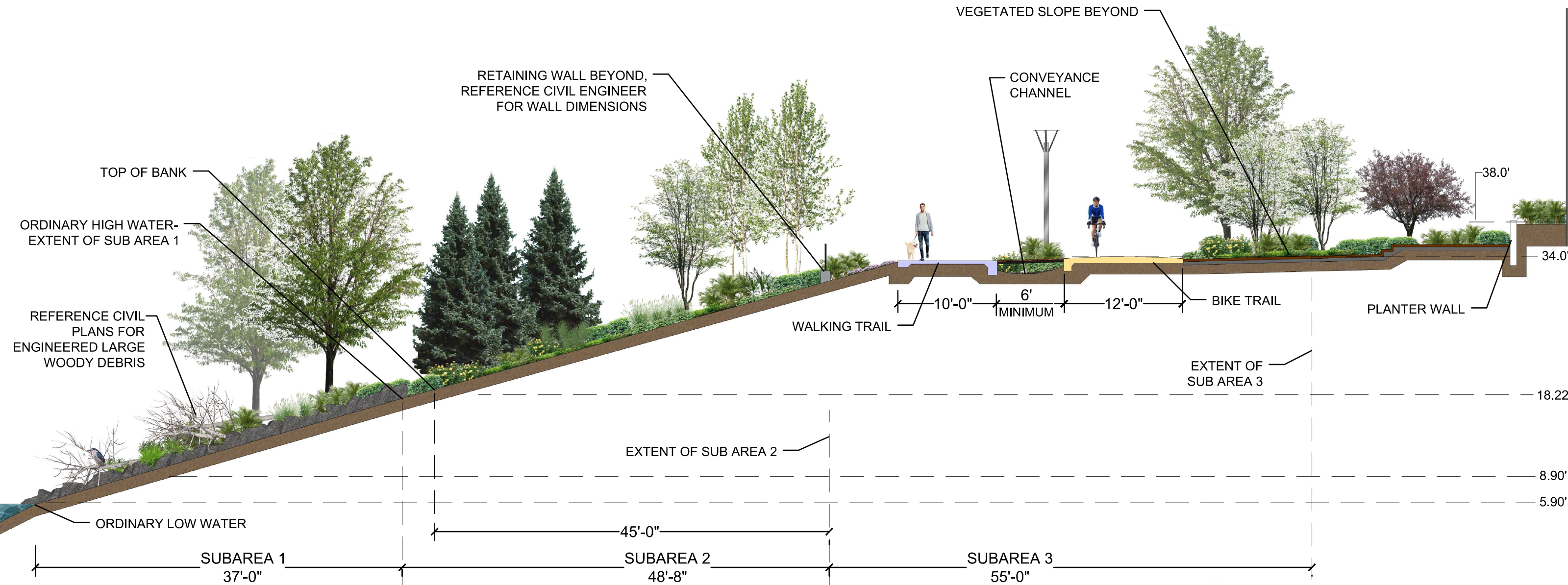
TYPICAL PRIVATE PATIO SECTION AT GREENWAY



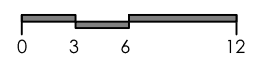


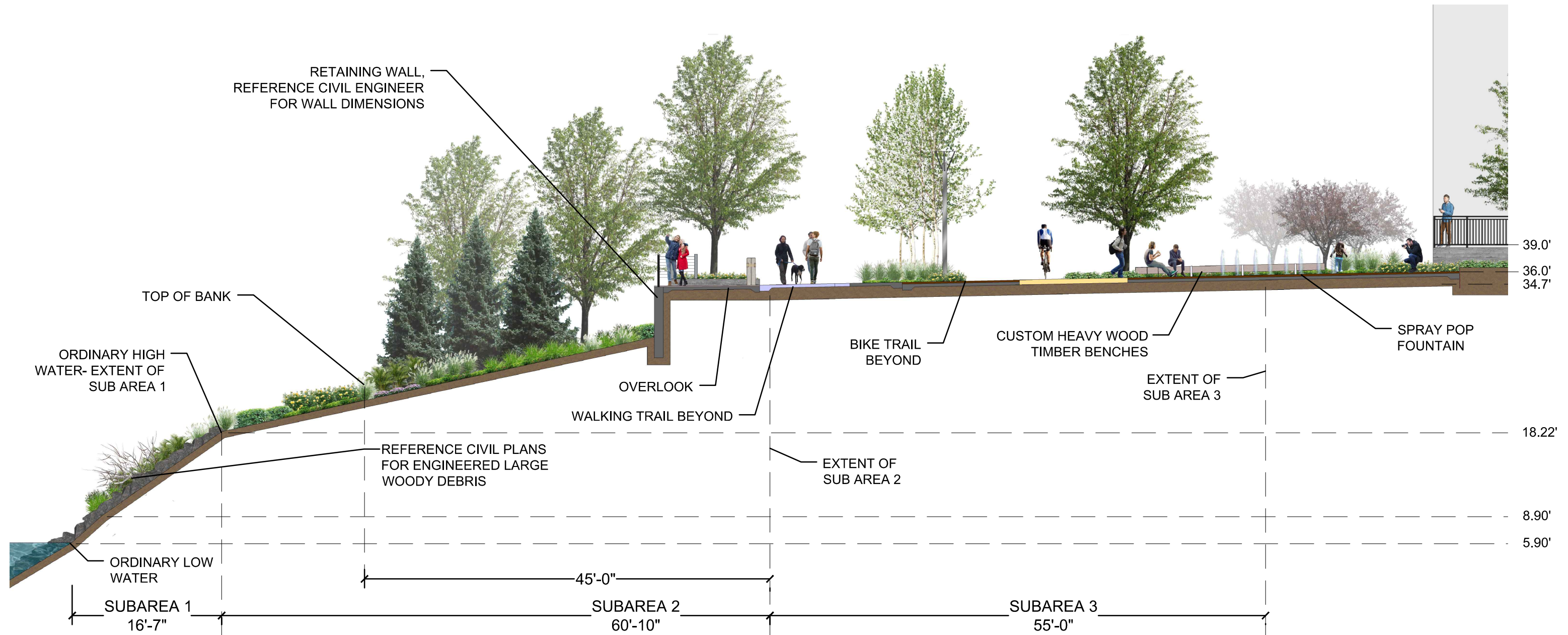
TYPICAL PRIVATE PATIO SECTION AT SW ABERNETHY



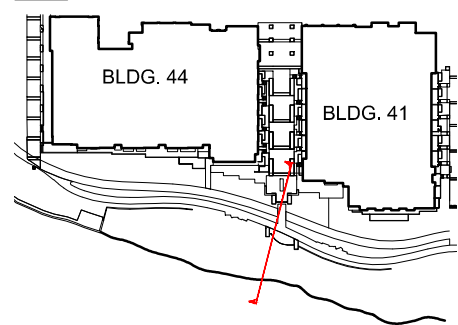


GREENWAY PROFILE STA. 4+00
SEE L.001 FOR SECTION LOCATION





KEY



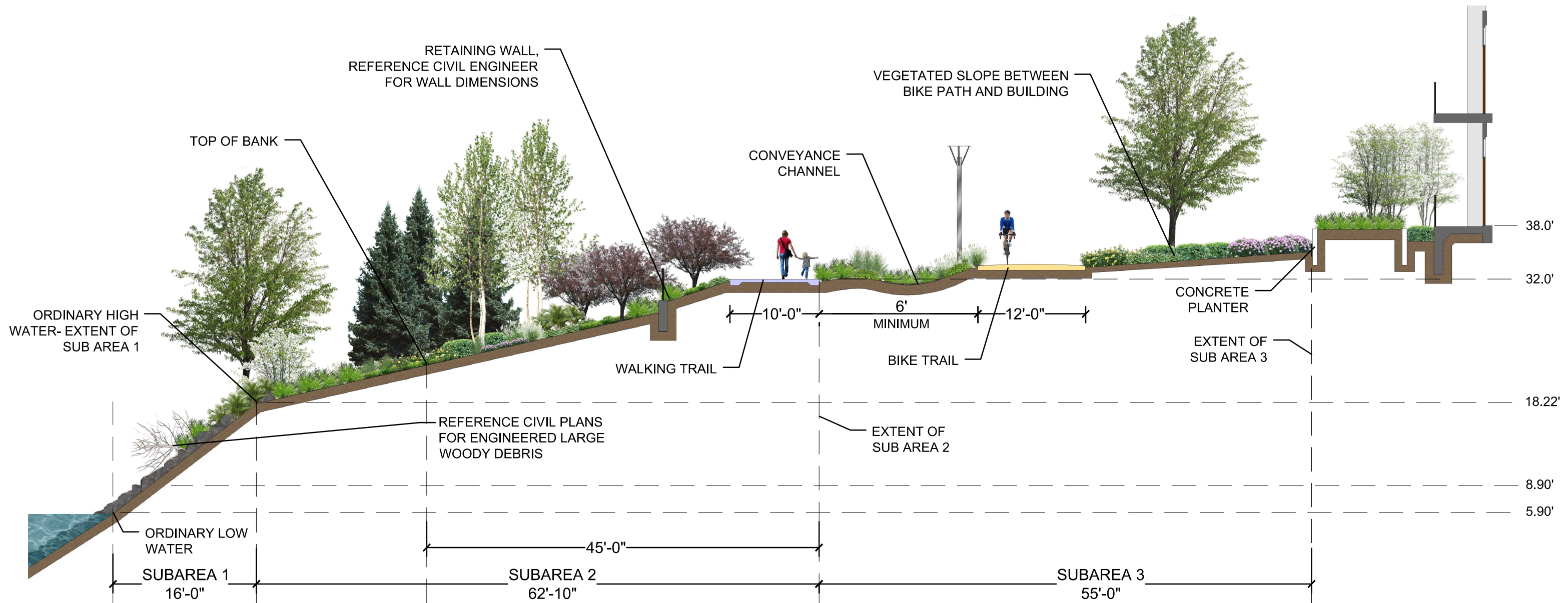
GREENWAY PROFILE STA. 2+90

SEE L.001 FOR SECTION LOCATION

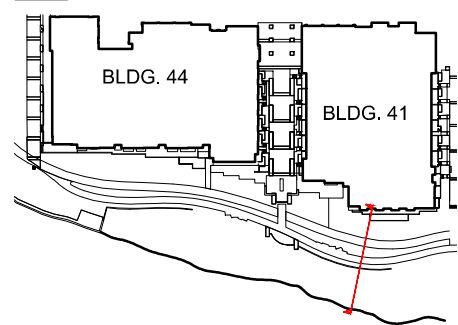


LANDSCAPE - GREENWAY SECTION

LAND USE REVIEW # (LU-20-102914 DZM GW) EXHIBIT C.229



KEY



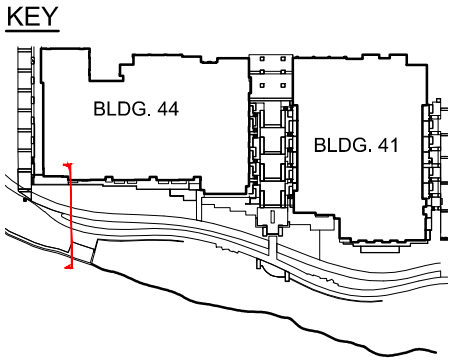
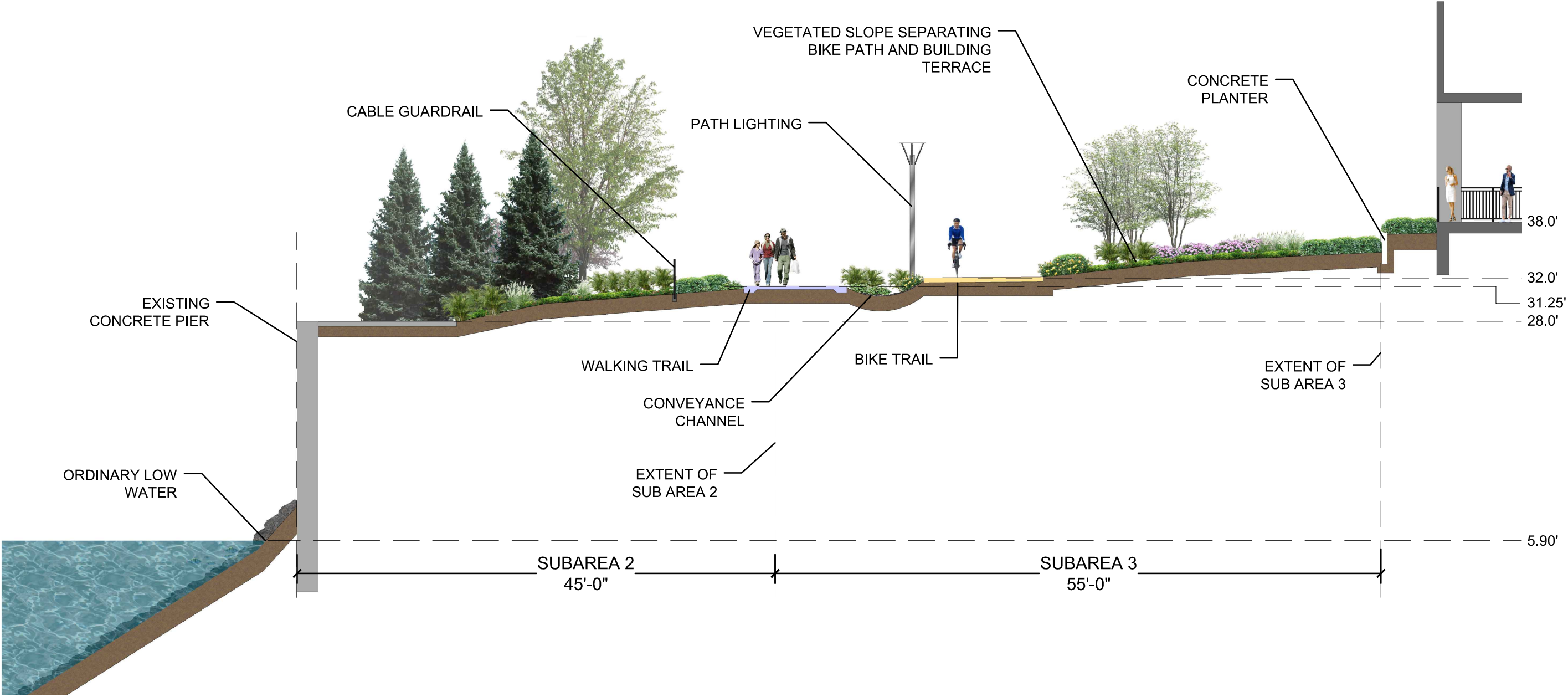
GREENWAY PROFILE STA. 1+50

SEE L.001 FOR SECTION LOCATION

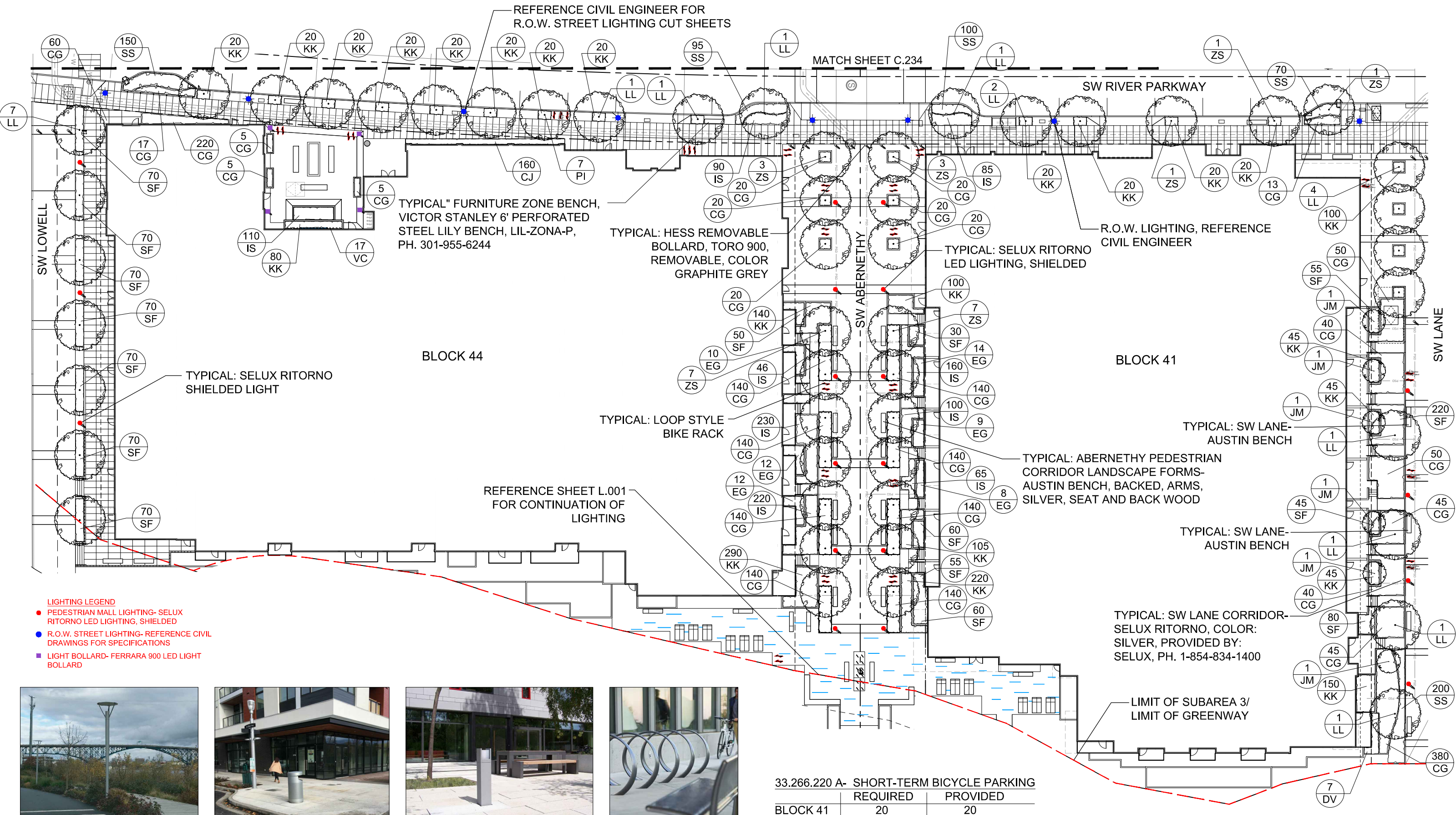


LANDSCAPE - GREENWAY SECTION

LAND USE REVIEW # (LU-20-102914 DZM GW) EXHIBIT C.230



CONCRETE PIER SECTION
SEE L.001 FOR SECTION
LOCATION



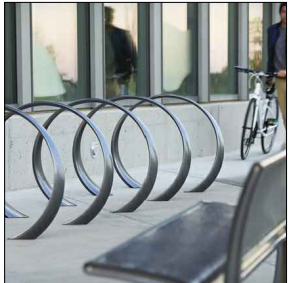
PEDESTRIAN MALL LIGHTING- SELUX RITORNO



R.O.W. STREET LIGHTING



LIGHT BOLLARD- FERRARA 900 LED LIGHT BOLLARD

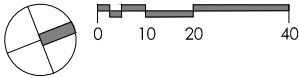


BIKE RACK- LOOP STYLE RACK

33.266.220 A- SHORT-TERM BICYCLE PARKING		
	REQUIRED	PROVIDED
BLOCK 41	20	20
BLOCK 44	21	21

REFERENCE SHEET C.233 FOR PLANT CHART AND PLANT IMAGES

LANDSCAPE - R.O.W. -PEDESTRIAN MALL/ LIGHTING- RIVER BLOCKS- B41 & B44



LANDSCAPE R.O.W., PEDESTRIAN MALLS, LEVEL 5 PLANT LIST IMAGES



Prunus virginiana
'Canada Red'



Parrotia persica
'Vanessa'



Acer palmatum
'Emperor I'



Tilia cordata
'Greenspire'



Zelkova serrata
'Village Green'



Abelia grandiflora
'Edward Goucher'



Iris sibirica



Lavandula angustifolia
'Hidcote Blue'



Mahonia repens



Polystichum munitum



Viburnum davidii



Carex obnupta



Arctostaphylos uva ursi



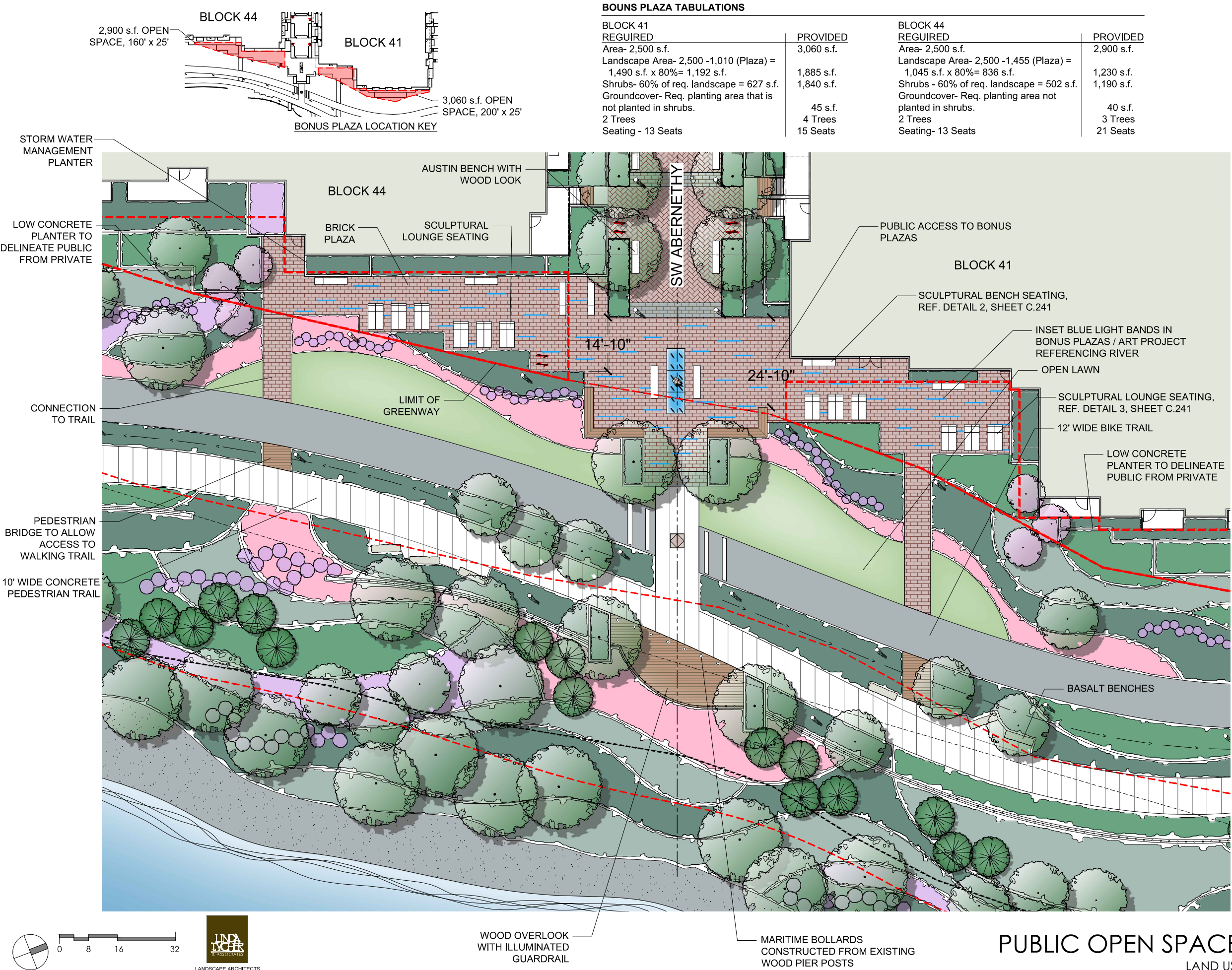
Trachelospermum
jasminoides



Parthenocissus quinquefolia

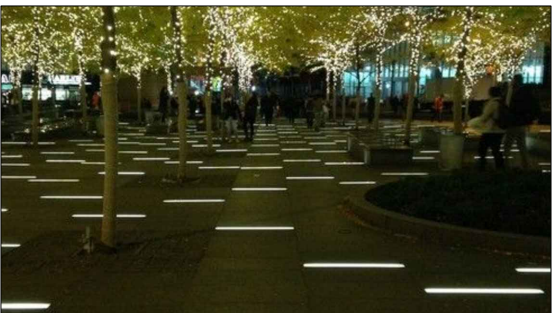
Public R.O.W. - Level 5 - Pedestrian Mall Plant List

Key	Scientific Name	Common Name	SIZE	SPACING
Trees				
CC	Prunus virginiana 'Canada Red'	Canada Red Chokecherry	3" cal.	Per Plan
PI	Parrotia persica 'Vanessa'	Persian Ironwood 'Vanessa'	4" cal.	Per Plan
JM	Acer palmatum 'Emperor 1'	Emperor 1 Japanese Maple	3" cal.	Per Plan
LL	Tilia cordata 'Greenspire'	'Greenspire' Littleleaf Linden	4" cal.	Per Plan
ZS	Zelkova serrata 'Village Green'	'Village Green' Zelkova	4" cal.	Per Plan
Shrubs				
EG	Abelia grandiflora	'Edward Goucher' Abelia	5 gal.	2'-6" o.c.
IS	Iris sibirica	Siberian Iris	1 gal.	12" o.c.
EL	Lavandula angustifolia 'Hidcote Blue'	Hidcote Blue English Lavender	5 gal.	2'-6" o.c.
CG	Mahonia repens	Creeping Oregon Grape	1 gal.	12" o.c.
SF	Polystichum munitum	Sword Fern	1 gal.	12" o.c.
DV	Viburnum davidii	David Viburnum	5 gal.	2'-6" o.c.
Ground Cover				
SS	Carex obnupta	Slough Sedge	1 gal.	12" o.c.
KK	Arctostaphylos uva ursi	Kinnikinnick	1 gal.	12" o.c.
CJ	Trachelospermum jasminoides	Confederate Jasmine	1 gal.	12" o.c.
VC	Parthenocissus quinquefolia	Virginia Creeper	1 gal.	12" o.c.



BOUNS PLAZA TABULATIONS			
BLOCK 41		BLOCK 44	
REQUIRED	PROVIDED	REQUIRED	PROVIDED
Area- 2,500 s.f.	3,060 s.f.	Area- 2,500 s.f.	2,900 s.f.
Landscape Area- 2,500 -1,010 (Plaza) = 1,490 s.f. x 80%= 1,192 s.f.	1,885 s.f.	Landscape Area- 2,500 -1,455 (Plaza) = 1,045 s.f. x 80%= 836 s.f.	1,230 s.f.
Shrubs- 60% of req. landscape = 627 s.f.	1,840 s.f.	Shrubs - 60% of req. landscape = 502 s.f.	1,190 s.f.
Groundcover- Req. planting area that is not planted in shrubs.	45 s.f.	Groundcover- Req. planting area not planted in shrubs.	40 s.f.
2 Trees	4 Trees	2 Trees	3 Trees
Seating - 13 Seats	15 Seats	Seating- 13 Seats	21 Seats

PROJECT IMAGES



INSET LIGHT BANDS IN BONUS PLAZAS



WATER FEATUERE AT TERMINUS OF ABERNETHY



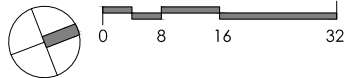
ILLUMINATED HANDRAIL ON OVERLOOK

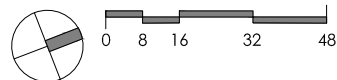
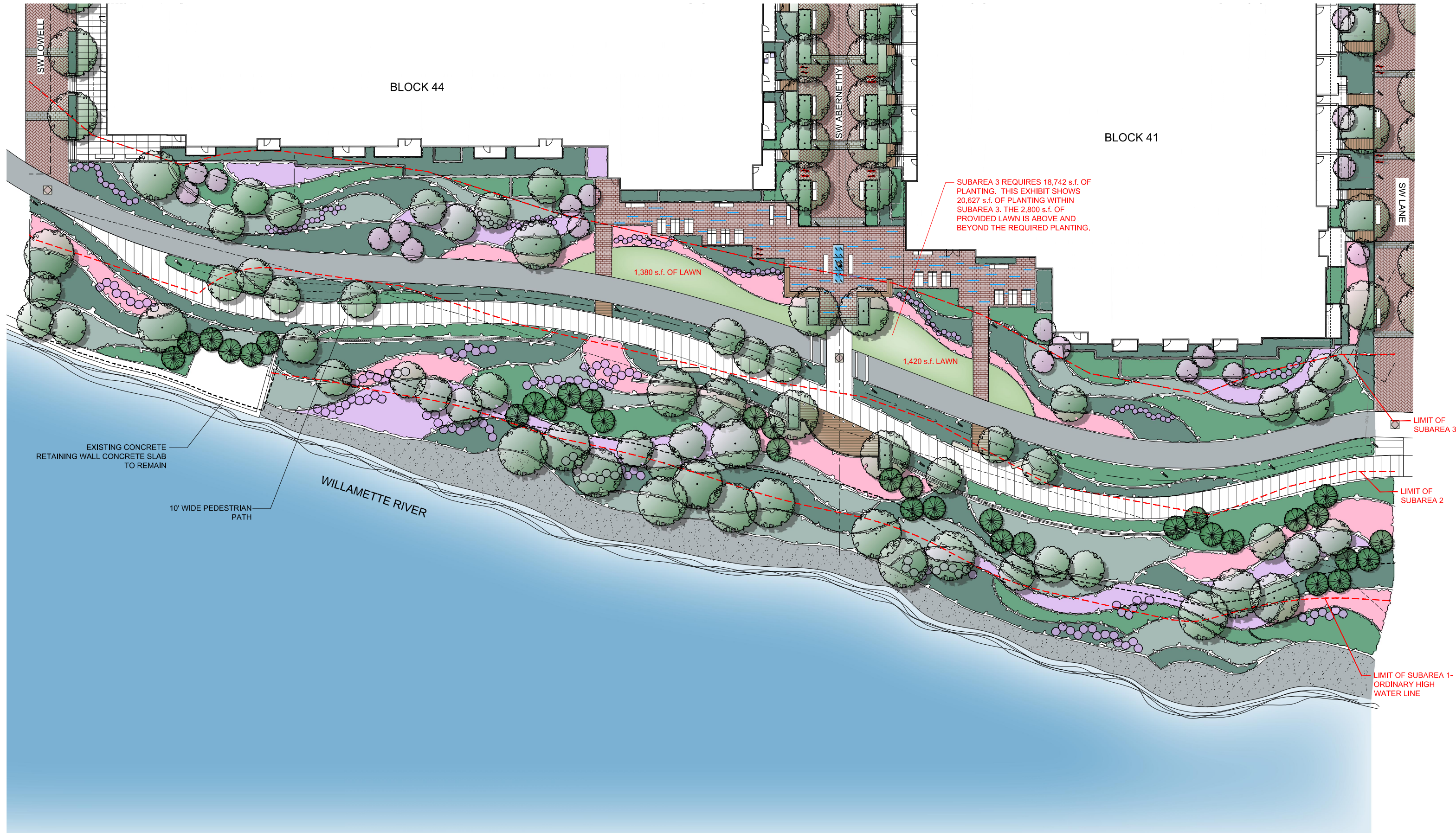


SCULPTURAL SEATING

PUBLIC OPEN SPACE/ BONUS PLAN - B41 & B44

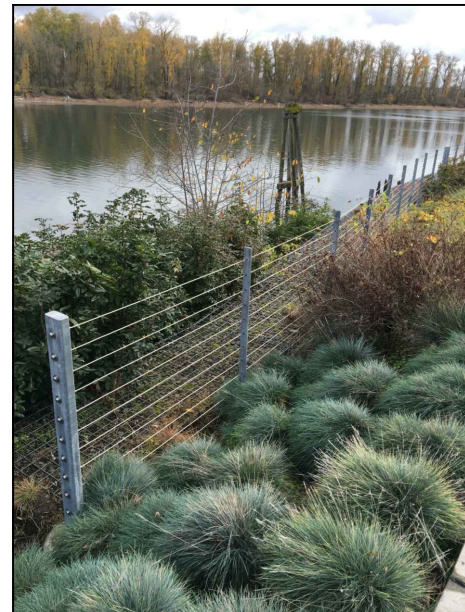
LAND USE REVIEW # (LU-20-102914 DZM GW) EXHIBIT C.236





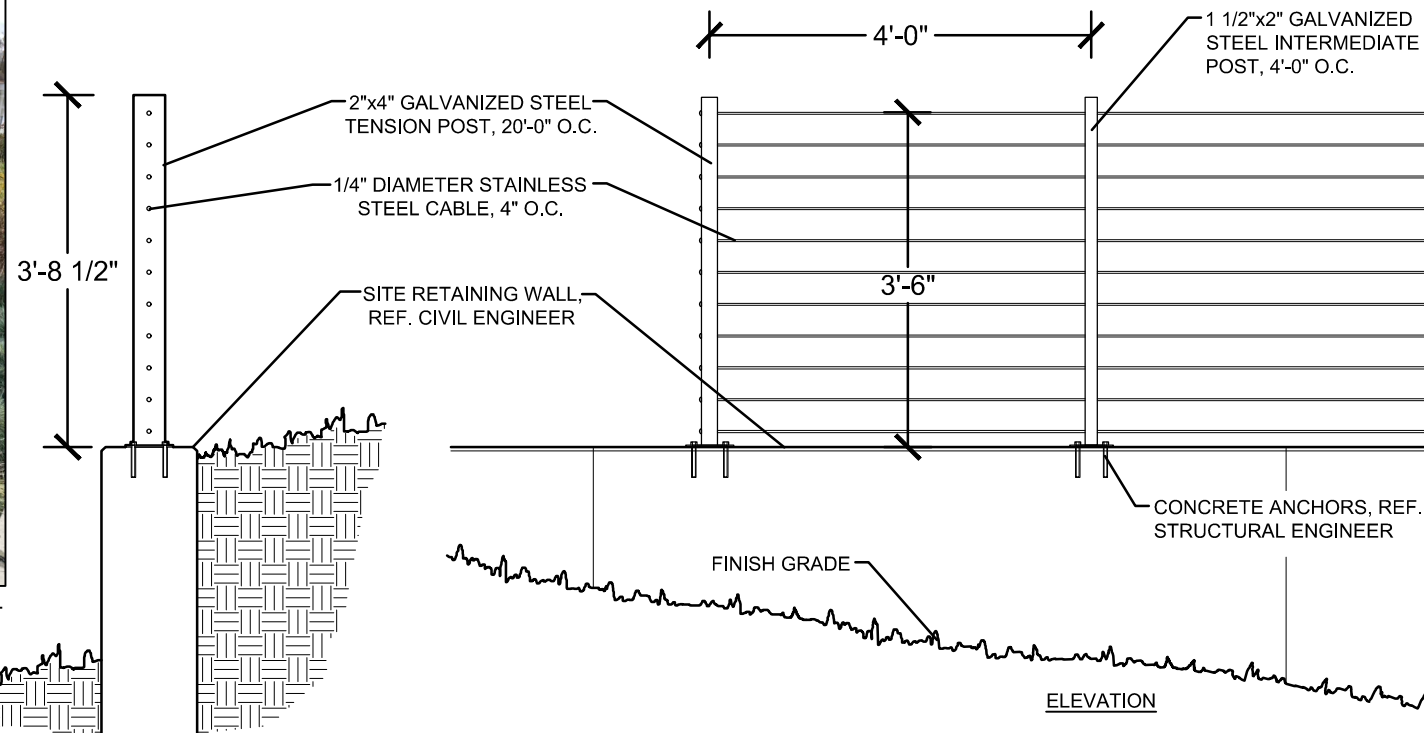
LANDSCAPE - LAWN EXHIBIT - B41 & B44

LAND USE REVIEW # (LU-20-102914 DZM GW) EXHIBIT C.237



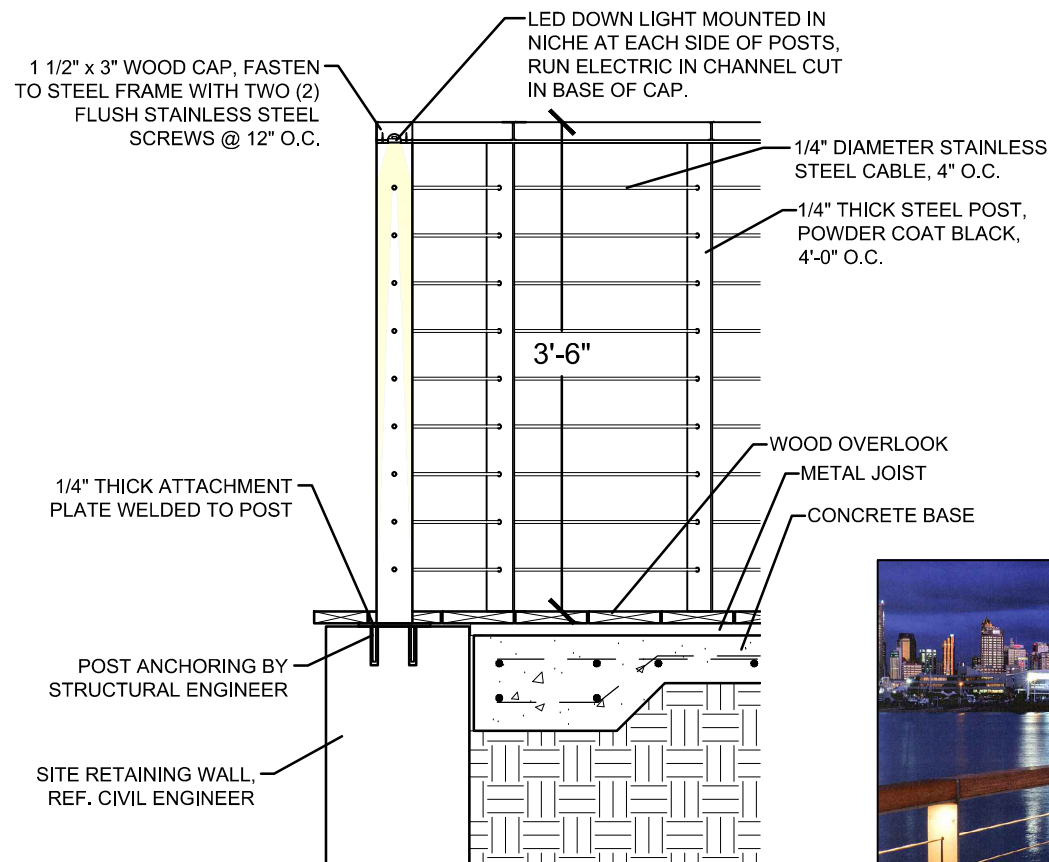
GALVANIZED STEEL GUARDRAIL

FINISH GRADE

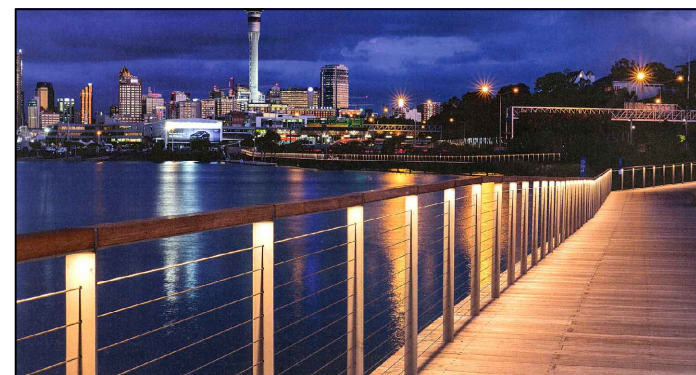


SECTION

- 1 GALVANIZED STEEL GUARDRAIL
 PROVIDE GUARDRAIL ON ALL SECTIONS OF RETAINING WALLS THAT HAVE A DROP IN EXCESS OF 30"
 SCALE: 1/2" = 1'-0"



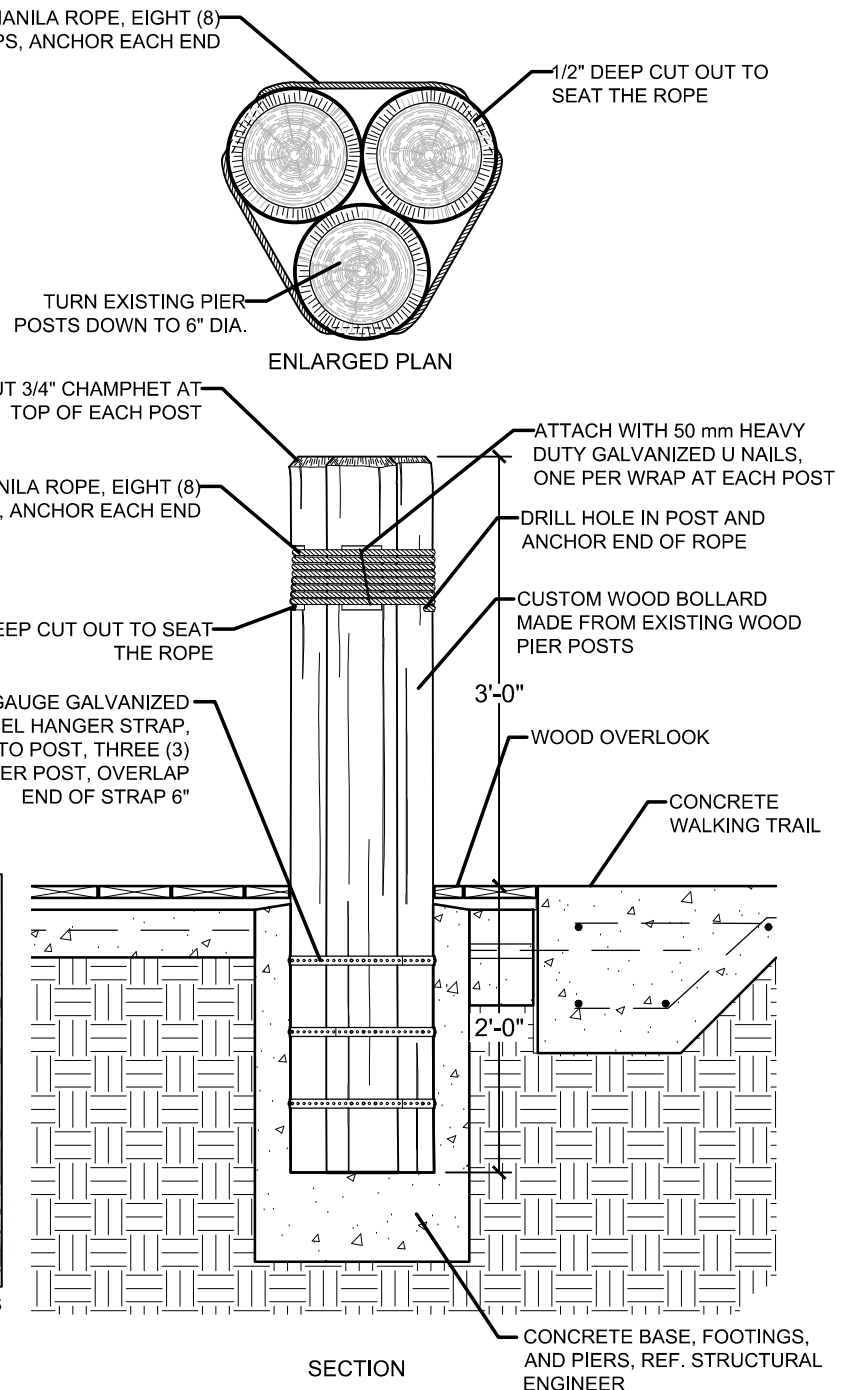
- 2 CABLE GUARD RAIL AT OVERLOOK
 SCALE: 3/4" = 1'-0"



CABLE GUARDRAIL AT OVERLOOK



MARITIME WOOD BOLLARDS



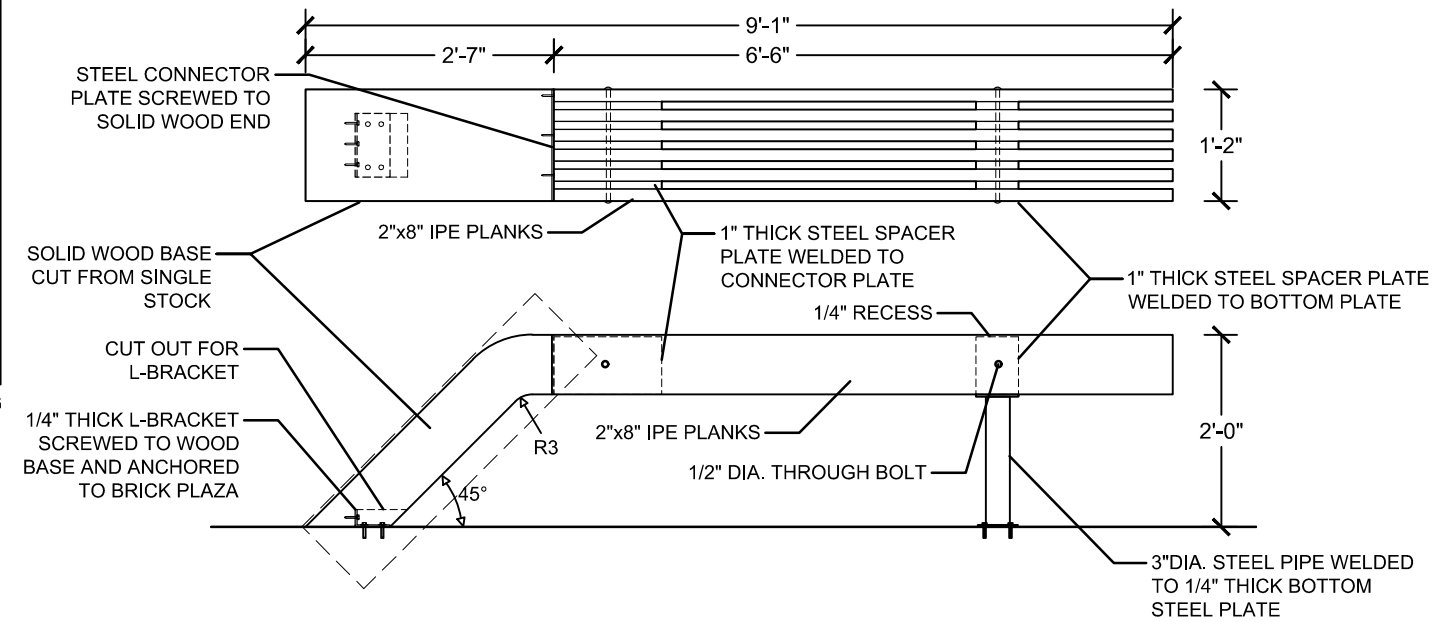
- 3 MARITIME WOOD BOLLARDS
 BOLLARDS CRAFTED FROM SALVAGED WOOD PIERS ON SITE
 SCALE: 3/4" = 1'-0"



INTERACTIVE FOUNTAIN AT TERMINUS



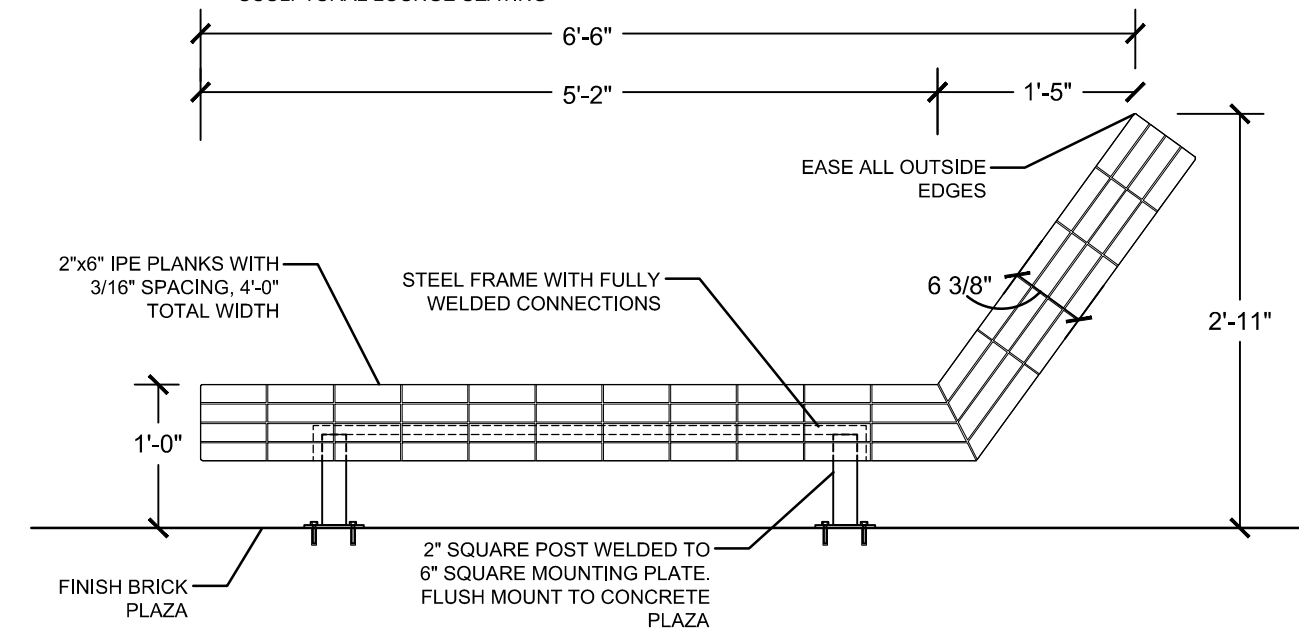
SCULPTURAL BENCH SEATING



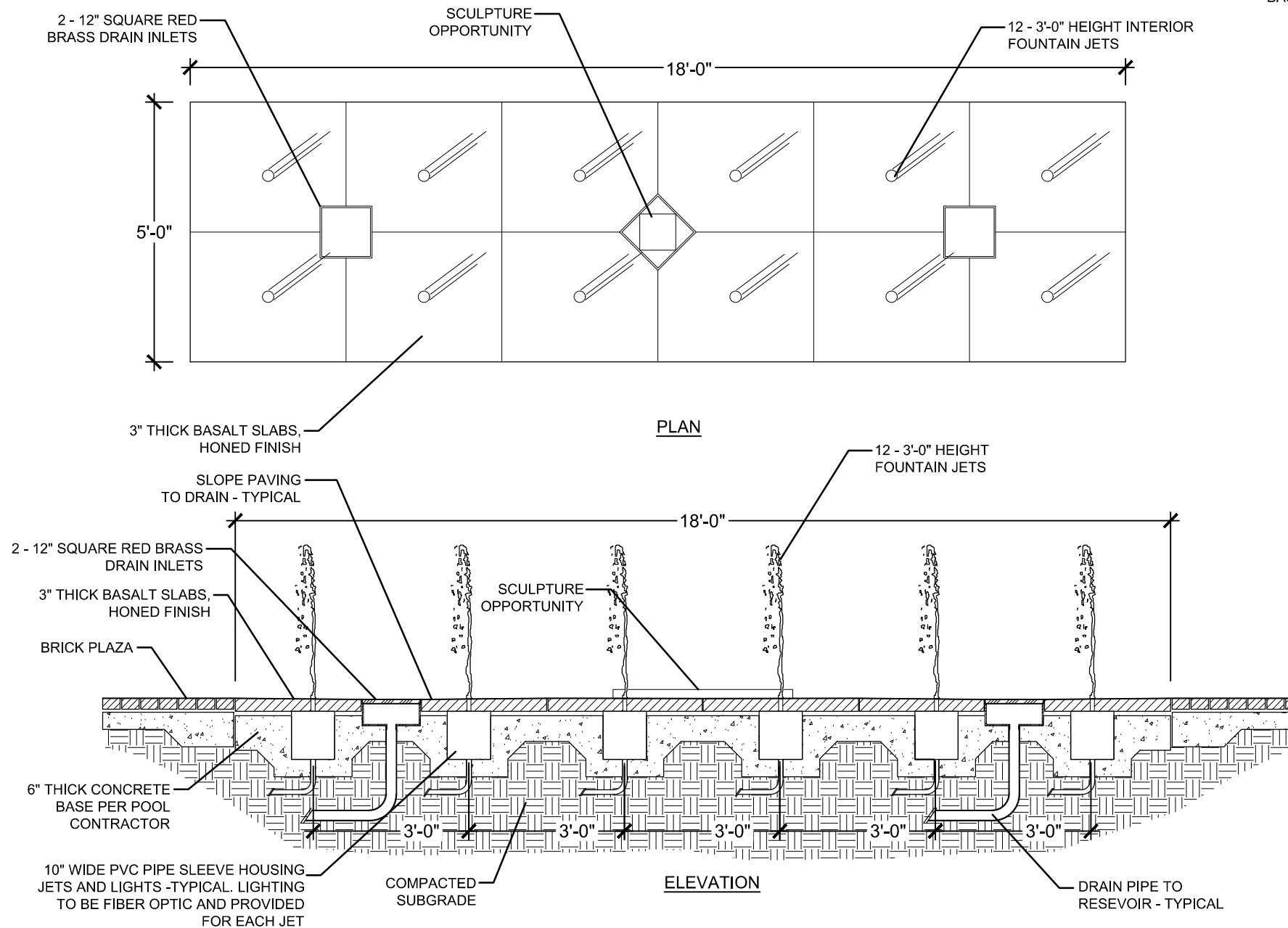
② SCULPTURAL BENCH SEATING AT BONUS PLAZA
SCALE: 1/2" = 1'-0"



SCULPTURAL LOUNGE SEATING



③ SCULPTURAL LOUNGE SEATING AT BONUS PLAZA
SCALE: 3/4" = 1'-0"



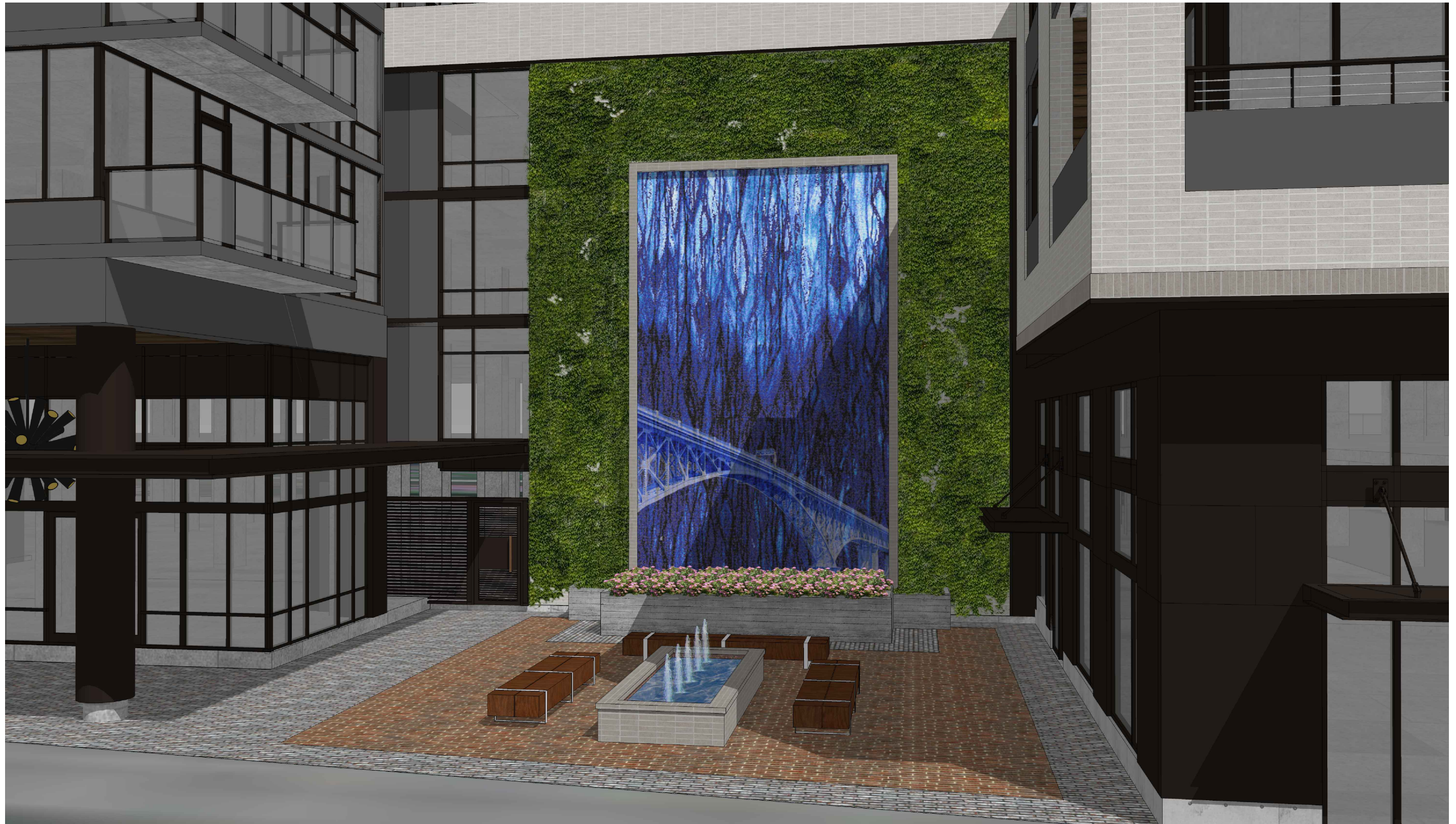
① INTERACTIVE FOUNTAIN DETAIL
SCALE: 3/8" = 1'-0"

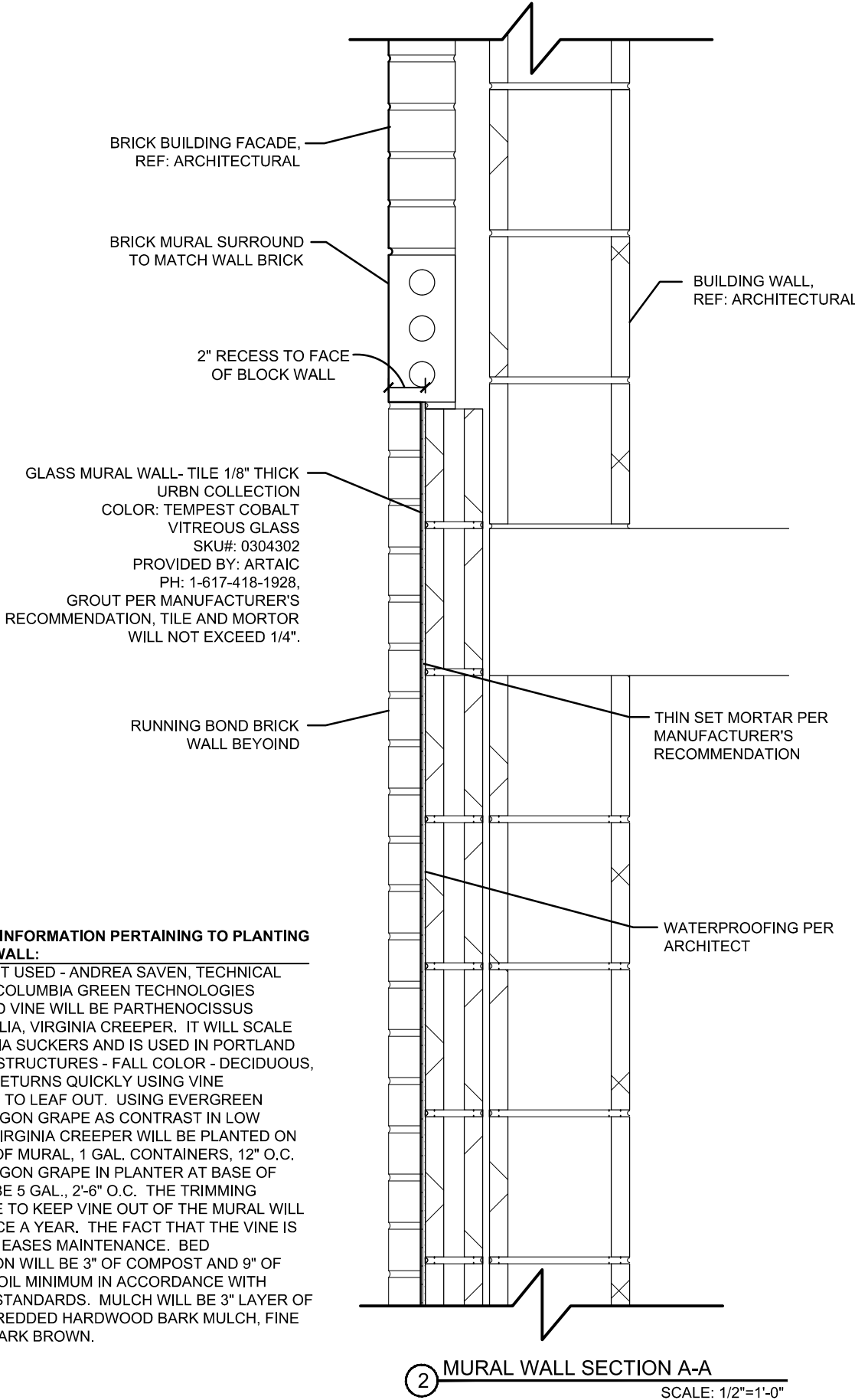
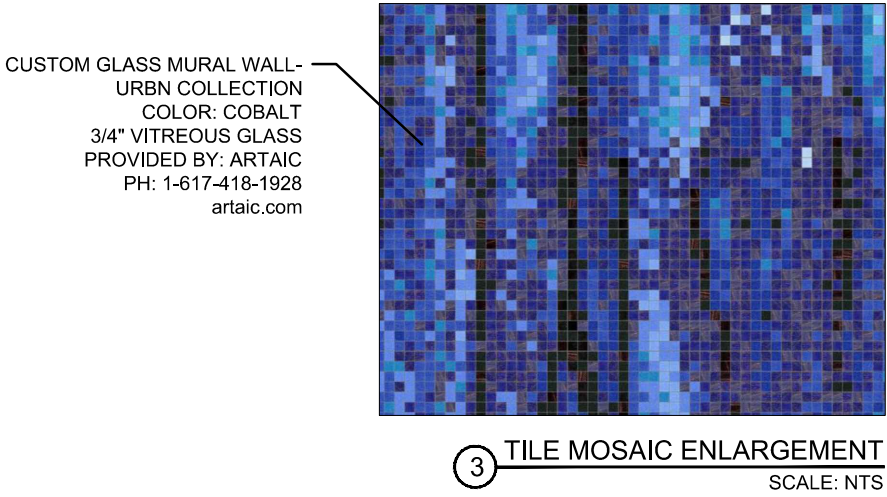
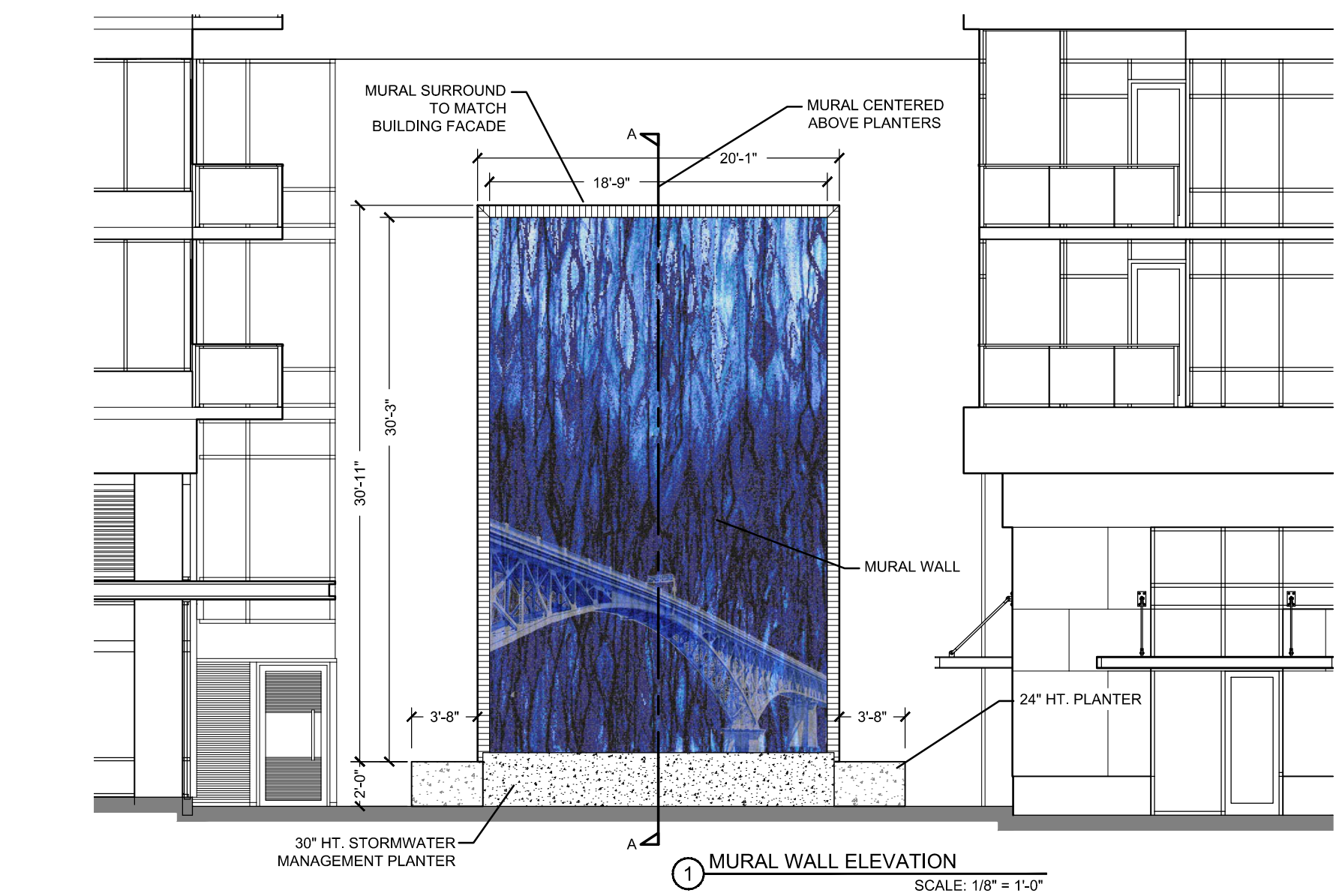




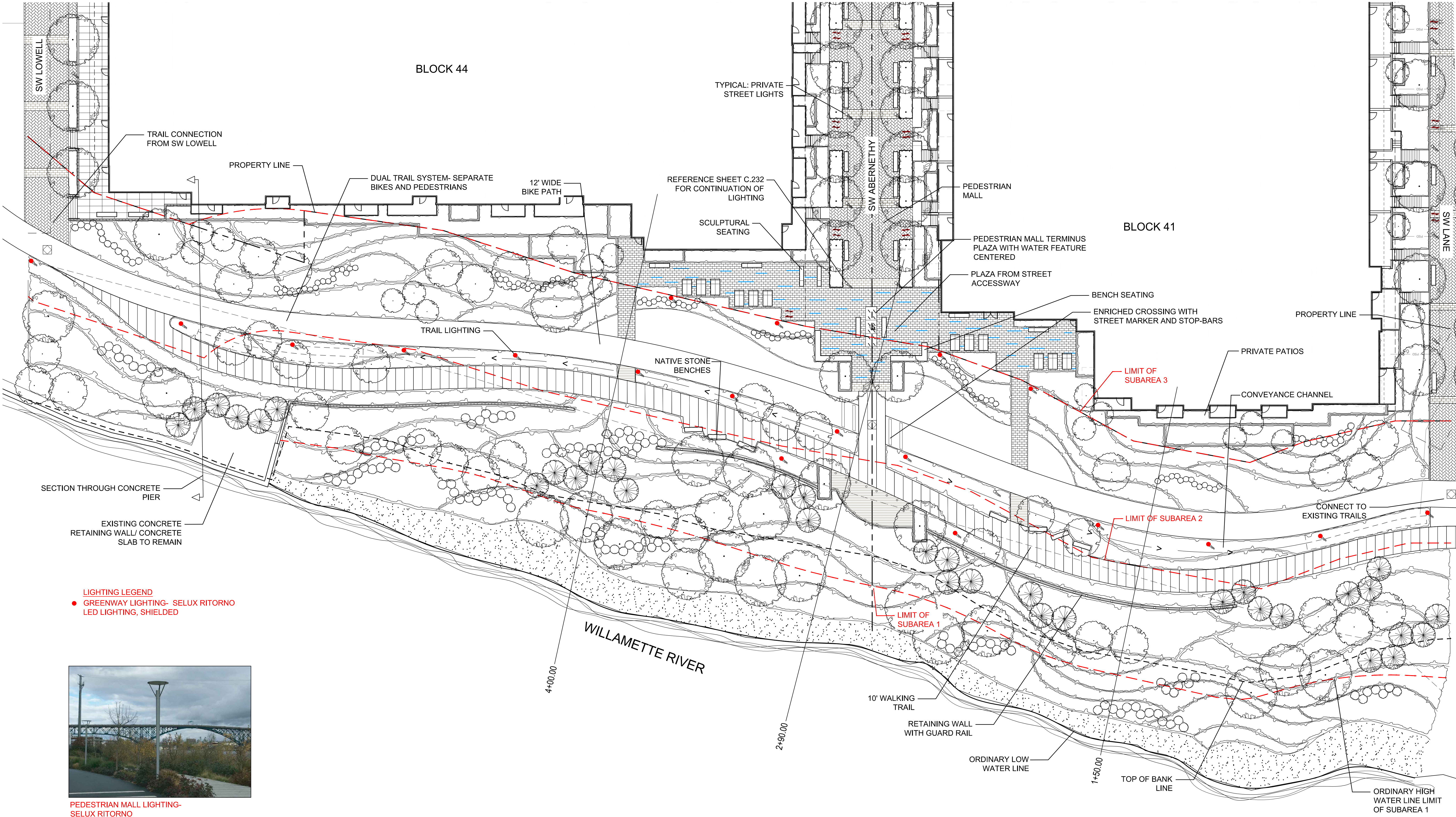
CONSTRUCTION DETAILS - MURAL WALL

LAND USE REVIEW # (LU-20-102914 DZM GW) EXHIBIT C.242

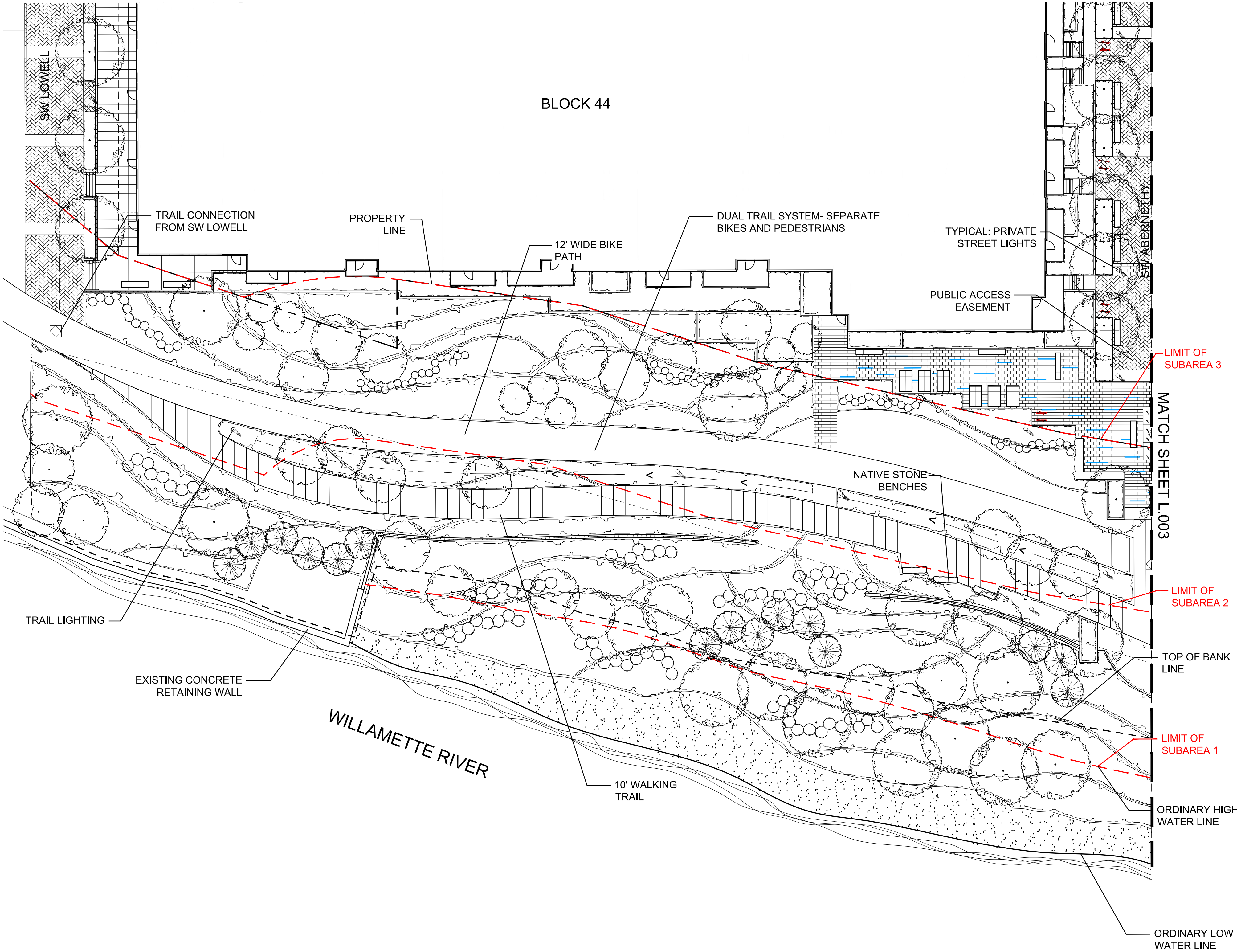




TECHNICAL INFORMATION PERTAINING TO PLANTING AT MURAL WALL:
CONSULTANT USED - ANDREA SAVEN, TECHNICAL DIRECTOR, COLUMBIA GREEN TECHNOLOGIES
BEST SUITED VINE WILL BE PARTHENOCISSUS QUINQUEFOLIA, VIRGINIA CREEPER. IT WILL SCALE THE WALL VIA SUCKERS AND IS USED IN PORTLAND ON TALLER STRUCTURES - FALL COLOR - DECIDUOUS, HOWEVER RETURNS QUICKLY USING VINE STRUCTURE TO LEAF OUT. USING EVERGREEN DWARF OREGON GRAPE AS CONTRAST IN LOW PLANTER. VIRGINIA CREEPER WILL BE PLANTED ON EACH SIDE OF MURAL, 1 GAL. CONTAINERS, 12" O.C. DWARF OREGON GRAPE IN PLANTER AT BASE OF WALL WILL BE 5 GAL., 2'-6" O.C. THE TRIMMING PROCEDURE TO KEEP VINE OUT OF THE MURAL WILL OCCUR TWICE A YEAR. THE FACT THAT THE VINE IS DECIDUOUS EASES MAINTENANCE. BED PREPARATION WILL BE 3" OF COMPOST AND 9" OF PLANTING SOIL MINIMUM IN ACCORDANCE WITH PORTLAND STANDARDS. MULCH WILL BE 3" LAYER OF DOUBLE SHREDDED HARDWOOD BARK MULCH, FINE TEXTURE, DARK BROWN.



LANDSCAPE - GREENWAY LIGHTING / DEVELOPMENT PLAN- OVERALL



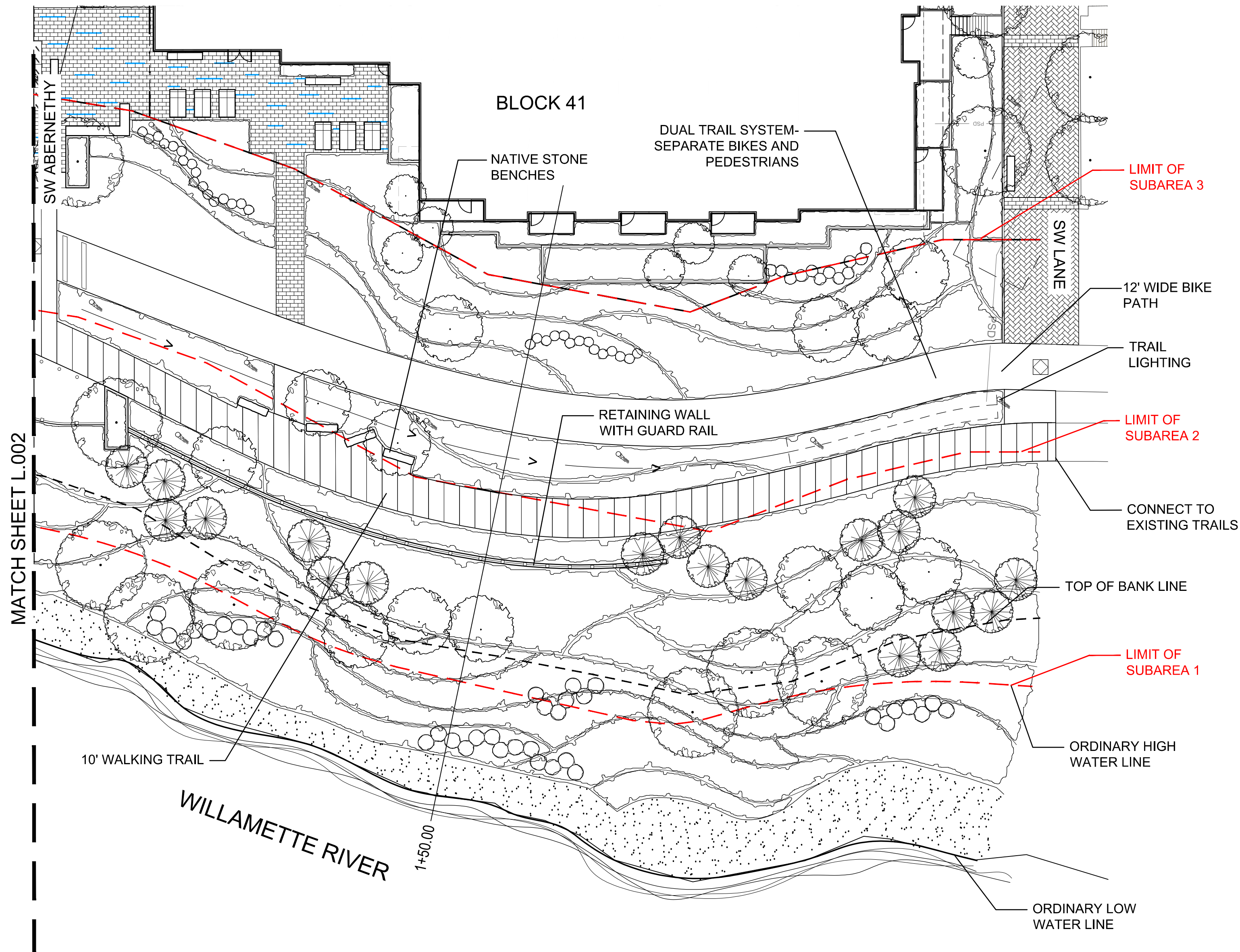
PLANTING TABULATIONS PER SECTION 33.510.253 E.5.f LANDSCAPING

Greenway Landscaping- Eighty (80) percent of the area that is not covered by buildings, trails, or other allowed non-landscaped area must be covered by shrubs or ground cover, and all trees required by this paragraph must be installed in the ground and healthy.

REQUIRED	PROVIDED	
Subarea 1 , the area beginning 3 feet above the ordinary low water line to the high water line (12,801 s.f.) must meet the following requirements:		
1. 80% of the area must be covered in shrubs or ground cover. 12,801 s.f. x 80%= 10,241 s.f. req. planting	10,559 s.f. planted area provided	10,966 sf
2. Shrubs. At least 80% of the required planting must be planted in shrubs; 10,241 s.f. x 80%= 8,193 s.f. req. shrubs	10,076 s.f. shrubs provided	10 TREES
3. Trees. Trees are not required, but are allowed	No trees are planted in subarea 1.	10 TREES
4. Ground cover. All of the required landscaped area that is not planted with shrubs or trees must be fully covered with ground cover plants	483 s.f. ground cover provided on remaining area	890 sf
5. Plant list. Only plants listed in the South Waterfront Greenway Subarea 1 Plant List may be planted.	All required planting within subarea 1 is from Subarea 1 Plant List.	
6. Installation of landscaping. All planting must be of a sufficient size and number to meet the coverage standards within five years. Planting is not allowed during the summer.	All plant material will meet min. size and spacing requirements to meet coverage standards within five years.	

Subarea 2 , the area beginning at the ordinary high water and measuring 45' landward of the top of bank (31,956 s.f. - 5,784 s.f. trails = 26,172 s.f.) must meet the following requirements:		
1. 80% of the area must be covered in shrubs or ground cover. 26,172 s.f. x 80%= 20,938 s.f. req. planting 25,557 sf	26,962 s.f. planted area provided	26,370 sf
2. Shrubs. At least 80% of the required landscaped area must be planted in shrubs. 20,938 s.f. x 80%= 16,750 s.f. req. shrubs 20,446 sf	16,260 s.f. shrubs provided	23,060 sf
3. Trees. At least one tree must be planted for every 400 square feet of required landscaped area. 20,938 s.f./ 400 s.f. = 53 trees. 25,557 sf/ 400 sf = 63 Trees	53 trees provided	67 TREES
4. Ground cover. All of the required landscaped area that is not planted with shrubs must be fully covered with ground cover plants	10,702 s.f. ground cover provided on remaining area.	3,310 sf
5. Plant list. Only plants listed in the South Waterfront Greenway Subarea 2 and 3 Plant list of the Portland Plant List may be planted. At least eight different species must be planted.	All planting within subarea 2 is from Subarea 2 and 3 Plant List and eight species are provided	
6. Installation of landscaping. All planting must be of a sufficient size and number to meet the coverage standards within five years.	All plant material will meet min. size and spacing requirements to meet coverage standards within five years.	

Subarea 3 , the area beginning 45' landward of the top of bank to 100' landward of top of bank (36,897 s.f. - 12,833 s.f. trails = 13,470 sf 24,064 s.f.) must meet the following requirements: 23,427 sf		
1. 80% of the area must be covered in shrubs or ground cover. 24,064 s.f. x 80%= 19,251 s.f. req. planting 18,742 sf	23,212 s.f. planted area provided	20,627 sf (excluding lawn)
2. Shrubs. At least 60% of the required landscaped area must be planted in shrubs. At least 50% of the shrubs used to meet this requirement must be listed in the South Waterfront Greenway Subarea 2 and 3 Plant list. 19,251 s.f. x 60%= 11,551 s.f. shrubs 11,245 sf	13,296 s.f. shrubs provided	12,447 sf
3. Trees. At least 1 tree must be planted for every 1,000 s.f. of landscaped area. At least 50% of the trees used to meet this requirement must be listed in the South Waterfront Greenway Subarea 2 and 3 Plant List of the Portland Plant List. 19,251 s.f. / 1,000 s.f. = 19 trees required 18,742 sf/ 1,000 sf = 19 Trees	19 trees provided	27 TREES
4. Ground cover. All of the required landscaped area that is not planted with shrubs must be fully covered with ground cover plants. At least 50% of the ground cover plants must be listed in the South Waterfront Greenway Subarea 2 and 3 Plant List.	9,916 s.f. groundcover provided on remaining area	8,180 sf
Plant list. 50% of required planting must utilize the South Waterfront Greenway Subarea 2 and 3 Plant List. Plants included on the Nuisance Plants List or Required Eradication List of the Portland Plant List are prohibited.	50% of the required planting within subarea 3 is from the Subarea 2 and 3 Plant List	
5. Installation of landscaping. All planting must be of a sufficient size and number to meet the coverage standards within five years.	All plant material will meet min. size and spacing requirements to meet coverage standards within five years.	



GREENWAY/ SUB-AREAS 1, 2, & 3 PLANT LIST IMAGES



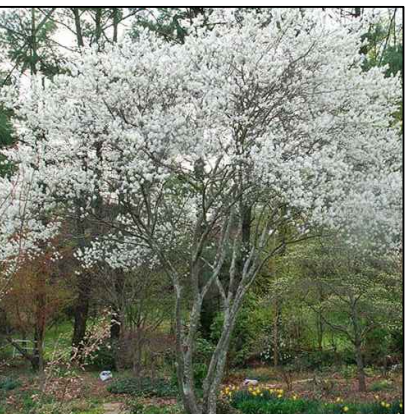
Acer macrophyllum



Acer palmatum
'Emperor I'



Alnus rubra



Amelanchier alnifolia



Betula nigra 'Cully'



Fraxinus latifolia



Parrotia persica



Picea sitchensis



Populus trichocarpa



Sequoia sempervirens



Thuja plicata



Tilia cordata
'Greenspire'



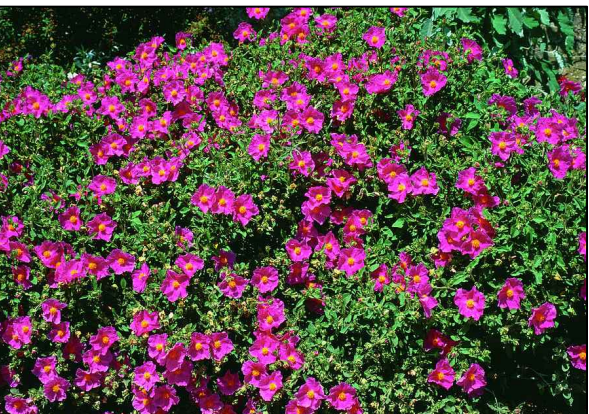
Umbellularia californica



Abelia grandiflora 'Edward Goucher'



Buxus sempervirens
'Suffruticosa'



Cistus Species



Gaultheria shallon



Iris sibirica



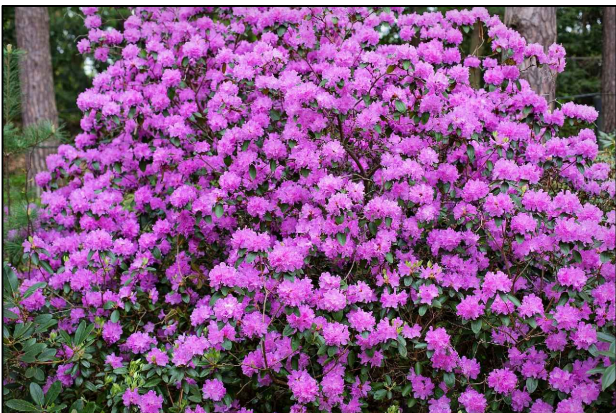
Mahonia aquifolium



Mahonia repens



Polystichum minitum



Rhododendron 'PJM'



Ribes sanguineum



Salix fluviatilis



Salix lucida



Salix sitchensis



Viburnum davidii



Arctostaphylos uva ursi



Carex obnupta



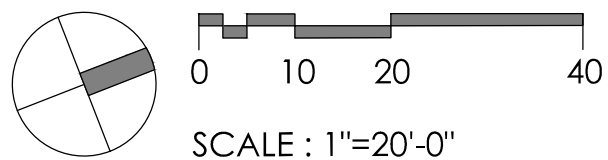
Trachelospermum jasminoides



Vancouveria hexandra



Spirea douglasii



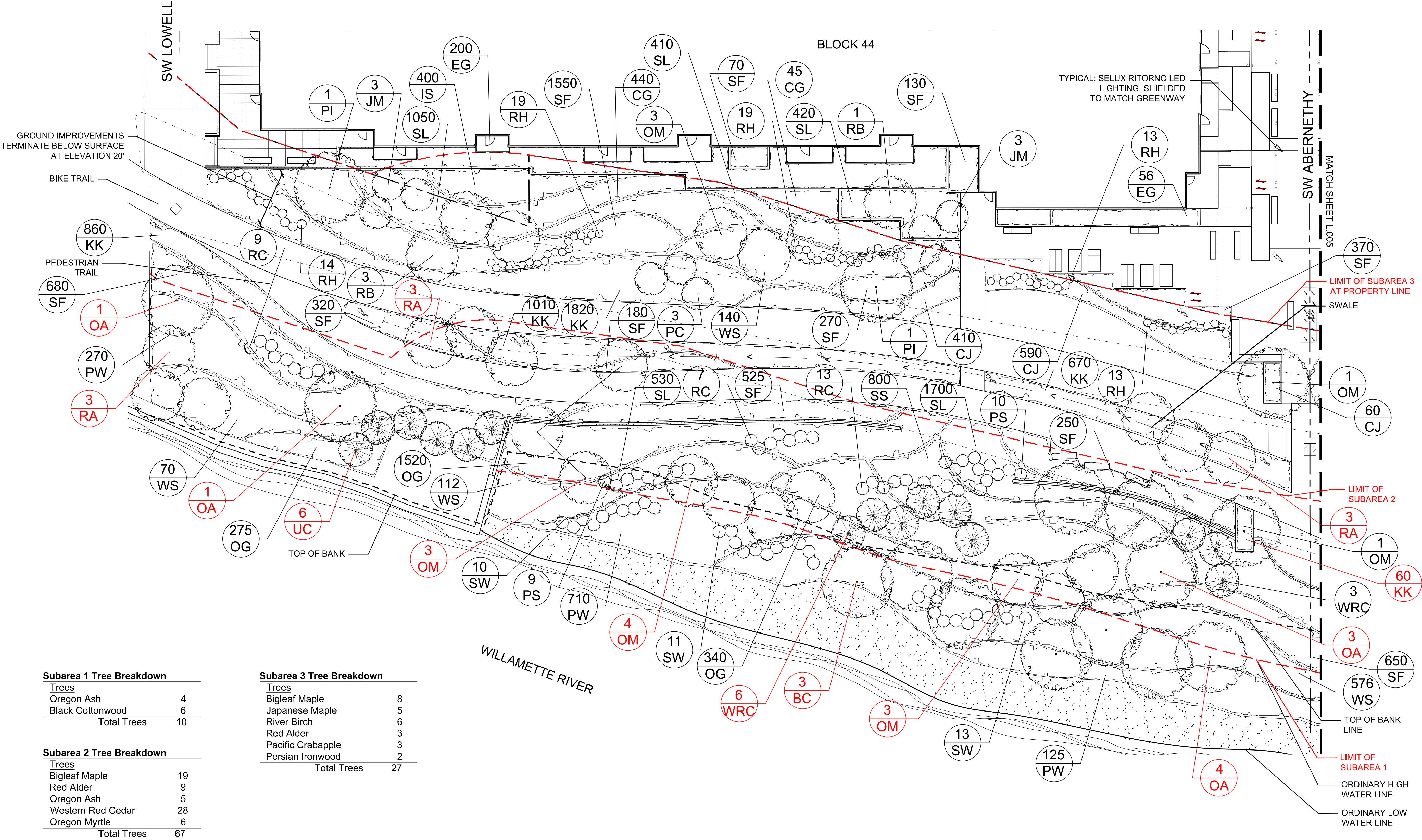
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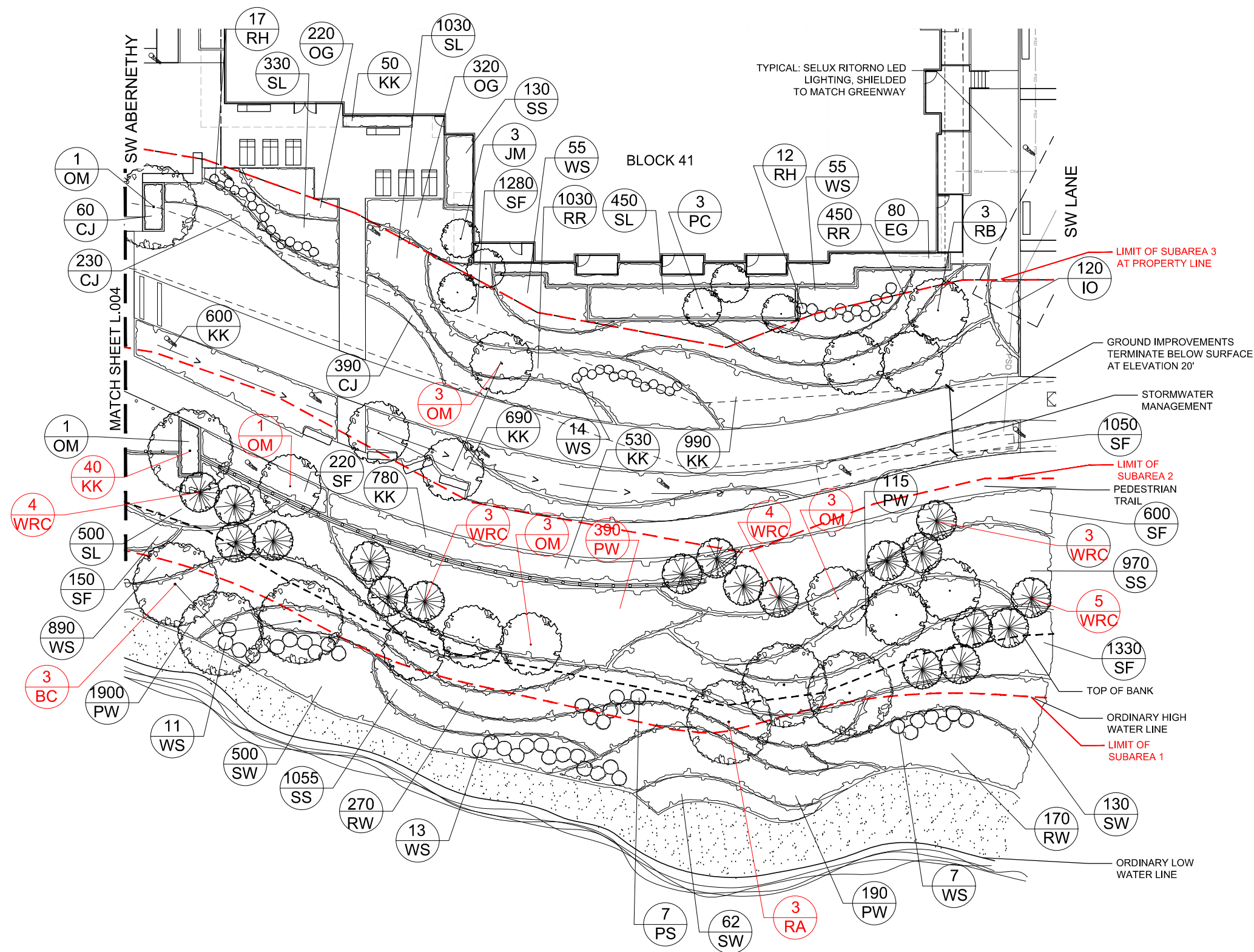


LANDSCAPE ARCHITECTS

LANDSCAPE - GREENWAY DEVELOPMENT PLAN- NORTH

GREENWAY REVIEW # (LU-20-102914 DZM GW) EXHIBIT L.003





Greenway / Public Space Plant List				
Key	Scientific Name	Common Name	SIZE	SPACING
Trees				
OM	<i>Acer macrophyllum</i>	Bigleaf Maple	4" cal.	Per Plan
JM	<i>Acer palmatum</i> 'Emperor 1'	Emperor 1 Japanese Maple	3" cal.	Per Plan
RA	<i>Alnus Rubra</i>	Red Alder	3" cal.	Per Plan
RB	<i>Betula nigra</i> 'Cully'	'Heritage' River Birch	3" cal.	Per Plan
OA	<i>Fraxinus latifolia</i>	Oregon Ash	3" cal.	Per Plan
PC	<i>Malus fusca</i>	Pacific Crabapple	8'-10' ht.	Per Plan
PI	<i>Parrotia persica</i> 'Vanessa'	Persian Ironwood 'Vanessa'	4" cal.	Per Plan
SP	<i>Picea sitchensis</i>	Sitka Spruce	8'-10' ht.	Per Plan
BC	<i>Populus trichocarpa</i>	Black Cottonwood	3" cal.	Per Plan
CR	<i>Sequoia sempervirens</i>	Coast Redwood	8'-10' ht.	Per Plan
WRC	<i>Thuja plicata</i>	Western Red Cedar	8'-10' ht.	Per Plan
LL	<i>Tilia cordata</i> 'Greenspire'	'Greenspire' Littleleaf Linden	4" cal.	Per Plan
UC	<i>Umbellularia californica</i>	Oregon Myrtle	3" cal.	Per Plan
Shrubs				
EG	<i>Abelia grandiflora</i> 'Edward Goucher'	'Edward Goucher' Abelia	5 gal.	2'-6" o.c.
PS	<i>Amelanchier alnifolia</i>	Pacific Serviceberry	5 gal.	4'-0" o.c.
RR	<i>Cistus species</i>	Rockrose	1 gal.	12" o.c.
SL	<i>Gaultheria shallon</i>	Salal	1 gal.	12" o.c.
IS	<i>Iris sibirica</i>	Siberian Iris	1 gal.	12" o.c.
OG	<i>Mahonia aquifolium</i>	Tall Oregon Grape	1 gal.	12" o.c.
CG	<i>Mahonia repens</i>	Creeping Oregon Grape	5 gal.	24" o.c.
SF	<i>Polystichum munitum</i>	Sword Fern	1 gal.	12" o.c.
RH	<i>Rhododendron</i> 'PJM'	'PJM Elite' Rhododendron	7 gal.	3'-0" o.c.
RC	<i>Ribes sanguineum</i>	Red-flowering Currant	5 gal.	2'-6" o.c.
RW	<i>Salix fluviatilis</i>	Columbia River Willow	5 gal.	24" o.c.
PW	<i>Salix lucida</i>	Pacific Willow	5 gal.	24" o.c.
SW	<i>Salix sitchensis</i>	Sitka Willow	5 gal.	24" o.c.
WS	<i>Spirea douglasii</i>	Western Spirea	5 gal.	2'-6" o.c.
DV	<i>Viburnum davidii</i>	David Viburnum	5 gal.	2'-6" o.c.
Ground Cover				
KK	<i>Arctostaphylos uva ursi</i>	Kinnikinnick	1 gal.	12" o.c.
SS	<i>Carex obnupta</i>	Sedge Sedge	1 gal.	12" o.c.
CJ	<i>Trachelospermum</i> jasminoides	Confederate Jasmine	1 gal.	12" o.c.
IO	<i>Vancouveria hexandra</i>	White Inside-Out Flower	1 gal.	12" o.c.

Subarea 1 Planting Breakdown	
<u>Shrubs</u>	
Columbia River Willow	975 sf
Pacific Willow	3,742 sf
Sitka Willow	2,219 sf
Western Spirea	3,140 sf
Subtotal	10,076 sf
<u>Ground Cover</u>	
Slough Sedge	890 sf
Total Planting	10,966 sf

Subarea 2 Planting Breakdown	
Shrubs	
Pacific Serviceberry	530 sf
Salal	2,695 sf
Tall Oregon Grape	3,200 sf
Sword Fern	5,460 sf
Red-flowering Currant	410 sf
Columbia River Willow	1,583 sf
Pacific Willow	5,718 sf
Sitka Willow	935 sf
Western Spirea	2,529 sf
Subtotal	23,060 sf
Ground Cover	
Kinnikinnick	2,205 sf
Slough Sedge	1,105 sf
Subtotal	3,310 sf
Total Planting	26,370 sf

Shrubs	
'Edward Goucher' Abelia	335 sf
Rockrose	360 sf
Salal	3,060 sf
Siberian Iris	60 sf
'PJM Elite' Rhododendron	640 sf
Tall Oregon Grape	265 sf
Creeping Oregon Grape	610 sf
Sword Fern	5,520 sf
Western Spirea	1,597 sf
Subtotal	12,447 sf
Ground Cover	
Kinnikinnick	6,080 sf
Confederate Jasmine	1,980 sf
White Inside-Out Flower	120 sf
Subtotal	8,180 sf
Total Planting	20,627 sf

ERRORS AND OMISSIONS ARE THE RESPONSIBILITY OF THE "ENGINEER OF RECORD". IF ERRORS OR OMISSIONS ARE FOUND AFTER THE PERMIT HAS BEEN ISSUED, THE PERMITTEE OR ITS CONTRACTOR SHALL CONTACT THE ENGINEER OF RECORD (BRIAN A. BALLERINI OF OTAK, INC. AT 503-415-2416) TO HAVE THE CORRECTIONS MADE. ALL CHANGES WILL REQUIRE THE APPROVAL OF THE CITY ENGINEER PRIOR TO THE WORK BEGINNING.

2. THE CONTRACTOR SHALL HAVE AT ALL TIMES ON-SITE, THE APPROVED CONSTRUCTION DRAWINGS & SPECIAL SPECIFICATIONS, CITY OF PORTLAND STANDARD SPECIFICATIONS & STANDARD DRAWINGS, AND ALL OTHER APPLICABLE SPECIFICATIONS BOOKS AND MANUALS. ELECTRONIC EQUIVALENT ARE ACCEPTABLE.

3. ALL CONSTRUCTION METHODS AND MATERIALS SHALL CONFORM TO THESE DRAWINGS AND THE APPLICABLE REQUIREMENTS OF THE 2010 EDITION OF THE CITY OF PORTLAND STANDARD CONSTRUCTION SPECIFICATIONS AND ALL REVISIONS AND SPECIAL SPECIFICATIONS.

4. A PRECONSTRUCTION CONFERENCE WITH CITY STAFF AND AN APPROVED TEMPORARY TRAFFIC CONTROL PLAN (ISSUED IN CONJUNCTION WITH A STREET /SIDEWALK CLOSURE PERMIT) ARE REQUIRED BEFORE COMMENCING WORK. SEE PERMIT FOR SCHEDULING A PRECONSTRUCTION CONFERENCE AND ACQUISITION OF THE TTPC.

5. ELEVATIONS ARE BASED ON CITY OF PORTLAND DATUM FROM BENCH MARK NO. 3754, ELEVATION = 35.449, LOCATED AT SW MOODY AVE AND SW WHITTAKER ST.

6. **ATTENTION EXCAVATORS:** OREGON LAW REQUIRES YOU TO FOLLOW RULES ADOPTED BY THE OREGON UTILITY NOTIFICATION CENTER. THOSE RULES ARE SET FORTH IN OAR 952-001-0010 THROUGH OAR 952-001-0090. YOU MAY OBTAIN COPIES OF THESE RULES FROM THE CENTER BY CALLING [503.232.1987]. IF YOU HAVE ANY QUESTIONS ABOUT THE RULES, YOU MAY CONTACT THE CALL CENTER. YOU MUST NOTIFY THE CENTER AT LEAST 2 BUSINESS DAYS, BUT NOT MORE THAN 10 BUSINESS DAYS, BEFORE COMMENCING AN EXCAVATION. CALL [811 OR 1-800-332-2344].

ENCROACHMENTS

7. STREET FURNISHINGS ARE SHOWN FOR REFERENCE ONLY. THE INSTALLATION OF ALL STREET FURNITURE INCLUDING BUT NOT LIMITED TO BENCHES, NON CITY INSTALLED BIKE RACKS, GARBAGE CANS, ELECTRICAL SYSTEMS (CONDUIT, CONDUCTORS, OUTLETS), AND PUBLIC ART, ARE NOT AUTHORIZED UNDER THIS PERMIT. A SEPARATE REVOCABLE PERMIT IS REQUIRED.

UNANTICIPATED CONTAMINATED MATERIAL

8. REMOVE AND DISPOSE (AT A PROPER LOCATION OR LANDFILL) ALL MATERIALS EXCAVATED FROM WORK IN THE RIGHT-OF-WAY. FOR DISPOSAL ON PRIVATE PROPERTY, SECURE A FILL PERMIT, PRIOR TO BEGINNING WORK FROM THE BUREAU OF DEVELOPMENT SERVICES (BDS). PROVIDE A COPY OF THE APPROVED FILL PERMIT TO THE STREET CONSTRUCTION INSPECTOR.

FOR UNANTICIPATED CONTAMINATED MEDIA ENCOUNTERED, THE PERMITTEE/APPLICANT OR ITS AGENT SHALL BE RESPONSIBLE FOR ALL COSTS ASSOCIATED WITH THE MANAGEMENT, AND DISPOSAL OF CONTAMINATED MEDIA ENCOUNTERED. THE PERMITTEE IS ALSO RESPONSIBLE FOR ALL RESULTANT DELAYS.

THE PERMITTEE OR ITS AGENT SHALL PROVIDE THE CITY (ENGINEERING AND INSPECTION) WITH COPIES OF ALL DISPOSAL PERMITS FROM THE PERMITTED DISPOSAL FACILITY, ANALYTICAL RESULTS USED TO GAIN ACCEPTANCE OF THE CONTAMINATED MEDIA, AND DISPOSAL RECEIPTS/DAILY WEIGH SLIPS. DAILY WEIGH SLIP AMOUNTS SHALL BE CHECKED AGAINST INSPECTOR'S DAILY REPORTS. THE PERMITTEE MUST USE AN OREGON FACILITY FOR DISPOSAL OF THE CONTAMINATED MEDIA.

UTILITIES

9. UTILITIES SHOWN ON THESE PLANS ARE FOR INFORMATION AND COORDINATION PURPOSES ONLY AND ARE NOT AUTHORIZED FOR INSTALLATION UNDER THE PUBLIC STREET IMPROVEMENT PERMIT. PRIVATE AND PUBLIC UTILITY COMPANIES ARE REQUIRED TO SECURE SEPARATE UTILITY PERMITS FROM THE PBOT FOR ALL WORK WITHIN THE PUBLIC RIGHT-OF-WAY.

10. COORDINATION OF ALL UTILITY RELOCATES, REMOVALS, OR INSTALLATION WITHIN THE LIMITS OF WORK IS THE RESPONSIBILITY OF THE PERMITTEE/CONTRACTOR.

11. STORM AND SANITARY SEWERS ARE BEING CONSTRUCTED UNDER JOB # ????, AS APPROVED BY THE BUREAU OF ENVIRONMENTAL SERVICES.

12. WATER MAINS AND SERVICES ARE BEING CONSTRUCTED UNDER JOB # ????, AS APPROVED BY THE WATER BUREAU.

STREET PAVEMENT

13. ALL MANHOLE LIDS AND VALVE BOXES SHALL BE ADJUSTED TO FINISHED STREET GRADE.

14. THE STREET INSPECTOR WILL MAKE THE FINAL DETERMINATION OF THE LIMITS OF PAVEMENT RESTORATION, INCLUDING SAWCUT LINES AND SKIN PATCHING. THE PERMITTEE/CONTRACTOR SHALL CONSULT WITH THE STREET INSPECTOR PRIOR TO SAWCUTTING OR DEMOLISHING OF PAVEMENT.

15. SAWCUTS SHALL BE STRAIGHT MATCHLINES TO CREATE A BUTT JOINT BETWEEN THE EXISTING PAVEMENT AND NEW PAVEMENT AND ALL NEW PAVEMENT JOINTS SHALL BE SAND SEALED.

16. EXISTING PAVEMENT SECTION WIDTHS OF 2 FEET OR LESS BETWEEN PROPOSED SAWCUT AND EXISTING PAVEMENT EDGE (I.E. UTILITY TRENCH REPAIR), SHALL BE RESTORED PER STD. DWG. P-505.

17. PAVEMENT SECTION SHALL BE AS SHOWN ON THE STREET TYPICAL SECTION(S) OR MATCH EXISTING PAVEMENT IF EXISTING IS A THICKER SECTION.

CURBS, SIDEWALKS, AND DRIVEWAYS

18. UTILITY LIDS, MANHOLE COVERS, VALVE COVERS (THAT ARE NOT SHOWN ON THESE CONSTRUCTION DRAWINGS) ARE NOT ALLOWED IN THE THROUGH PEDESTRIAN ZONE. THEY MUST BE PLACED IN THE SIDEWALK FURNISHING OR BUILDING ZONE IF THE PROPER PBOT UTILITY PERMIT HAS BEEN SECURED.

19. FULL HEIGHT CURBS SHALL BE CONSTRUCTED AT ALL LOCATIONS UNLESS A NEW DRIVEWAY IS CONSTRUCTED AT THE SAME TIME AS THE CURB.

20. ALL SIDEWALK CONTRACTION JOINTS SHALL BE PER SECTION 00759.49 - "CONTRACTION JOINTS" OF THE STANDARD CONSTRUCTION SPECIFICATION AND CITY STANDARD DWG P-551.

21. NO FUTURE DRIVEWAYS SHALL BE CONSTRUCTED UNLESS THERE IS A BUILDING PERMIT ISSUED FOR AN ON-SITE PARKING SPACE, OR OTHER APPROVAL FROM BDS.

22. CONTRACTOR MAY USE CONCRETE OR ASPHALT CONCRETE FROM THE PRE-APPROVED MIX DESIGNS LIST IF AVAILABLE. IF NOT, THE CONTRACTOR WILL NEED TO SUBMIT A MIX DESIGN FOR APPROVAL.

23. ONLY APPROVED DETECTABLE WARNING DEVICES FROM THE CITY'S CONSTRUCTION PRODUCTS LIST (CPL).

24. ALL DRIVEWAYS ARE REQUIRED TO HAVE A MINIMUM OF 3 FEET OF HARD SURFACING BEHIND SIDEWALK (SEE STD DWG P-536).

TOOD LILES
BUREAU OF TRANSPORTATION
1120 SW 5TH AVENUE, SUITE 800
PORTLAND, OR 97204
FAX: 503-823-6992
EMAIL: TODD.LILES@PORTLANDOREGON.GOV

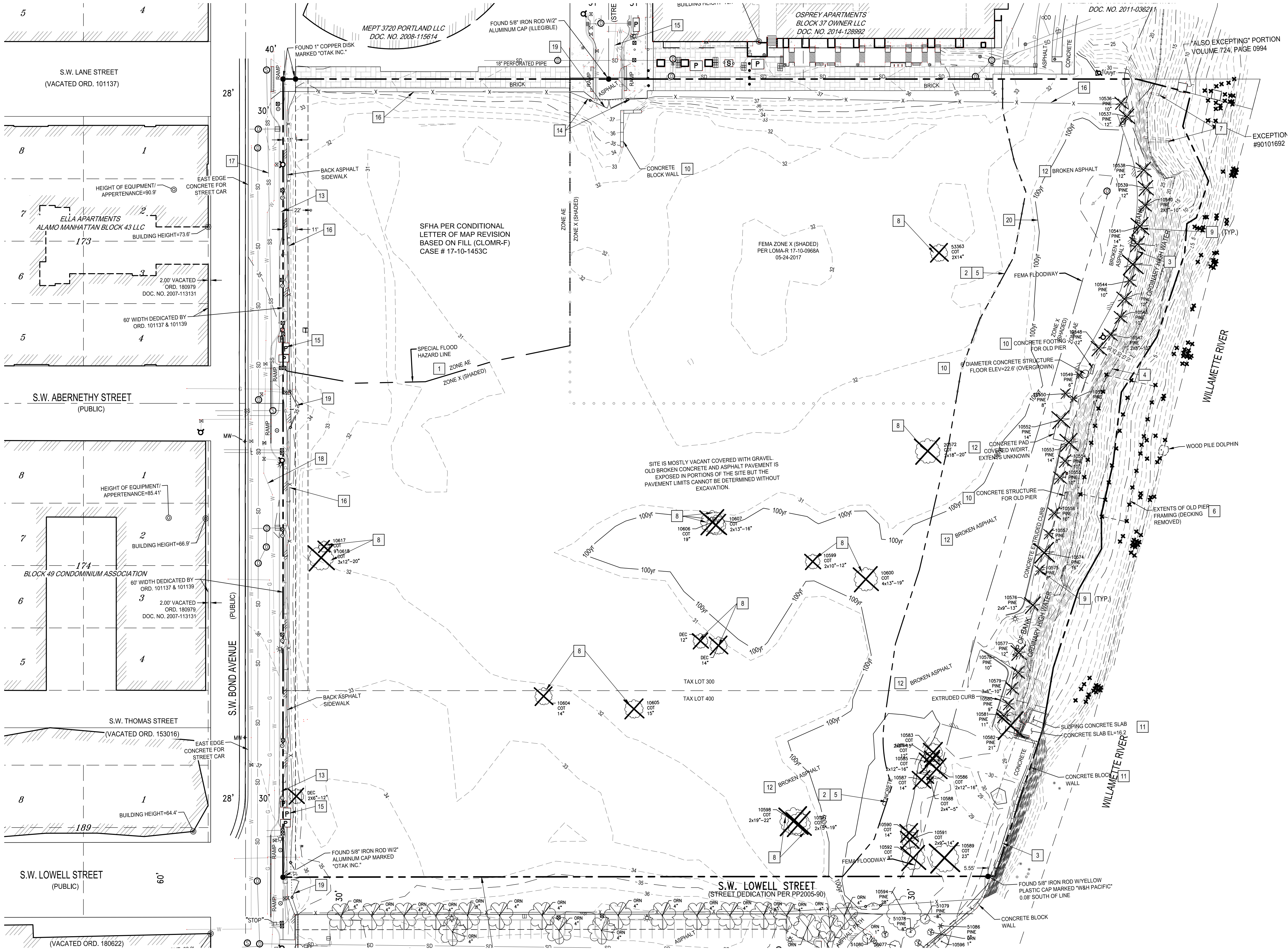
THE PROPOSED STORMWATER MANAGEMENT SYSTEM, DESIGNED IN ACCORDANCE WITH THE CITY OF PORTLAND'S STORMWATER MANAGEMENT MANUAL AND SEWER AND DRAINAGE FACILITIES DESIGN MANUAL, WILL INCLUDE LINED VEGETATED PLANTERS FOR WATER QUALITY TREATMENT AND A PIPED CONVEYANCE SYSTEM WHICH CONNECTS TO AN EXISTING STORM SEWER IMMEDIATELY SOUTH OF SW LOWELL STREET. THE PROPOSED FLOW CONTROL SYSTEM WILL BE DESIGNED USING THE CITY'S PRISMATIVE PIPING CALCULATOR (PAC) TOOL MEET POLLUTION REDUCTION REQUIREMENTS BY FILTERING STORM WATER THROUGH THE TPOXIL MISC SPECIFIED BY BES. THE PROPOSED IMPROVEMENTS MEET THE CRITERIA FOR EXEMPTION FROM FLOW CONTROL RUNOFF. PER SECTION 1.3.4 OF THE STORMWATER MANAGEMENT MANUAL, AS THE STORM LINE DISCHARGES DIRECTLY TO THE WILLAMETTE RIVER THROUGH THE EXISTING SW LOWELL STREET, THE PROPOSED IMPROVEMENTS DO NOT REQUIRE THE CITY TO CONVEY AND CONTAIN THE 10-YEAR, 5-MINUTE EVENT WITHOUT SURCHARGING AND THE 25-YEAR, 5-MINUTE STORM EVENT WITH AT LEAST 6 INCHES OF FREEBOARD.

STORM DRAIN	
STORM DRAIN MANHOLE	
STORM DRAIN DRY WELL	
STORM DRAIN CLEAN OUT	
STORM DRAIN CATCH BASIN	
STORM DRAIN DROP INLET	
STORM DRAIN AREA DRAIN	
STORM DRAIN MAIN	
STORM DRAIN LATERAL	
PRIVATE STORM LINE	
LIDA PLANTERS	
SAND FILTER	
SANITARY SEWER	
SANITARY SEWER MANHOLE	
SANITARY SEWER CLEAN OUT	
SANITARY SEWER MAIN	
SANITARY SEWER LATERAL	
PRIVATE SEWER LINE	
WATER	
WATER VALVE	
WATER BLOW-OFF	
WATER METER (VAULT)	
WATER MAIN	
WATER MAIN (BY PWB)	
FIRE HYDRANT	
FIRE DEPT. CONNECTION	
POST INDICATOR VALVE	
DOUBLE CHECK VALVE	
FIRE WATER MAIN	
ELECTRIC	
ELECTRIC JUNCTION BOX	
UTILITY POLE & GUY	
UTILITY POLE WITH LIGHT	
ELECTRIC LINE	
UNDERGROUND UTILITY TRENCH	
NATURAL GAS	
GAS VALVE	
GAS BLOW OFF	
GAS METER	
GAS LINE	
TELEPHONE	
TELEPHONE MANHOLE	
TELEPHONE RISER	
TELEPHONE POLE	
UNDERGROUND TELEPHONE	
OVERHEAD LINES	
CABLE TV / COMM	
CABLE RISER	
UNDERGROUND CABLE TV	
UNDERGROUND COMM	
STREET LIGHTING	
STREET LIGHT POLE	
STREET LIGHT JUNCTION BOX	
STREET LIGHT CONTROLLER	
UNDERGROUND CONDUIT	
100-YR FLOOD PLAIN	

LAND USE REVIEW# (LU 20-102914 DZM GW) EXHIBIT C.250

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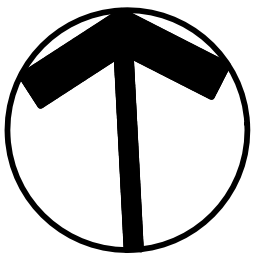
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EXISTING CONDITIONS AND DEMO NOTES

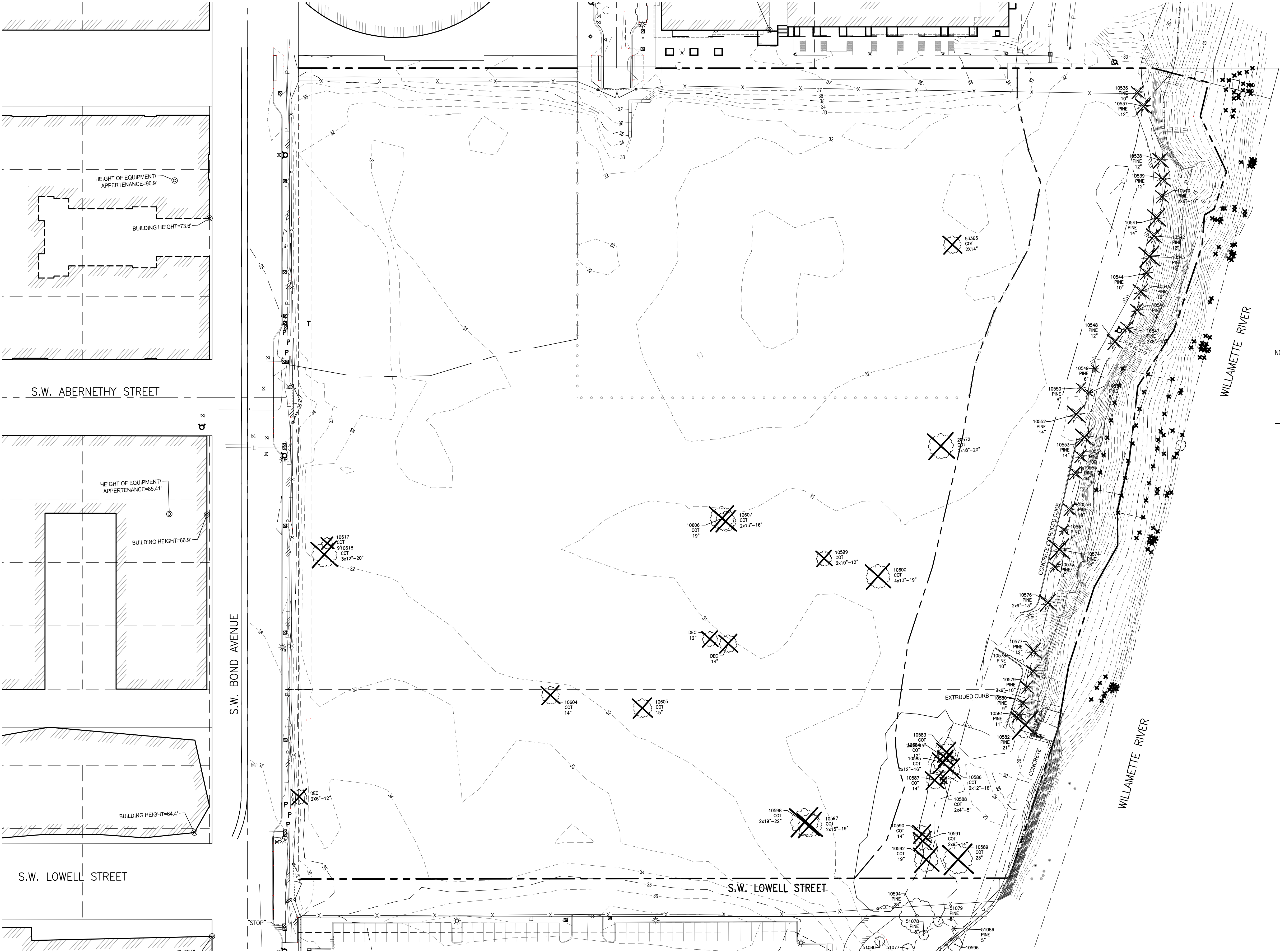
- 1 FEMA 100-YEAR FLOODWAY.
- 2 WILLAMETTE GREENWAY BOUNDARY.
- 3 TOP OF BANK 2002 SURVEY (TYPICAL).
- 4 ORDINARY HIGH WATER (OHW, ELEVATION 18.22').
- 5 LIMITS OF DISTURBANCE FOR BLOCK WORK.
- 6 PILINGS (TYPICAL) TO BE REMOVED.
- 7 EXISTING STORM DRAIN OUTFALLS TO REMAIN.
- 8 TREES WITHIN LIMITS OF DISTURBANCE TO BE REMOVED.
- 9 TREES WITHIN THE GREENWAY TO REMAIN UNDISTURBED.
- 10 CONCRETE SLABS OR STRUCTURES TO BE REMOVED.
- 11 CONCRETE SLABS OR STRUCTURES TO REMAIN.
- 12 THE ENTIRE SITE HAS AREAS OF AC PAVEMENT OR CONCRETE COVERED WITH SOIL AND VEGETATION. EXPOSE AND COMPLETELY REMOVE.
- 13 THE SW BOND AVE PERMANENT IMPROVEMENTS INCLUDING STREET, CURB, AND PUBLIC UTILITIES HAVE BEEN CONSTRUCTED AS PART OF THE WATERFRONT SOUTH NO. 2 DEVELOPMENT AND ARE TO REMAIN UNLESS OTHERWISE NOTED. THE TEMPORARY ASPHALT SIDEWALK ON THE EAST SIDE OF BOND SHALL BE REMOVED AND REPLACED WITH A PERMANENT CONCRETE WALK.
- 14 THE EXISTING STREET IMPROVEMENTS (IN RIVER PARKWAY) ARE TO REMAIN OR TO BE REPLACED IN KIND.
- 15 EXISTING FRANCHISE UTILITIES (PGE, CENTURYLINK, COMCAST, AND NW NATURAL) TO REMAIN.
- 16 EXISTING TEMPORARY FENCE TO BE REMOVED.
- 17 EXISTING 15-INCH SANITARY SEWER PIPE TO REMAIN.
- 18 EXISTING 12-INCH DUCTILE IRON WATER MAIN TO REMAIN.
- 19 EXISTING GATE TO BE REMOVED.
- 20 100-YEAR FLOODPLAIN (ELEVATION: 30.9').

NOTE: ELEVATIONS ARE BASED ON CITY OF PORTLAND DATUM.



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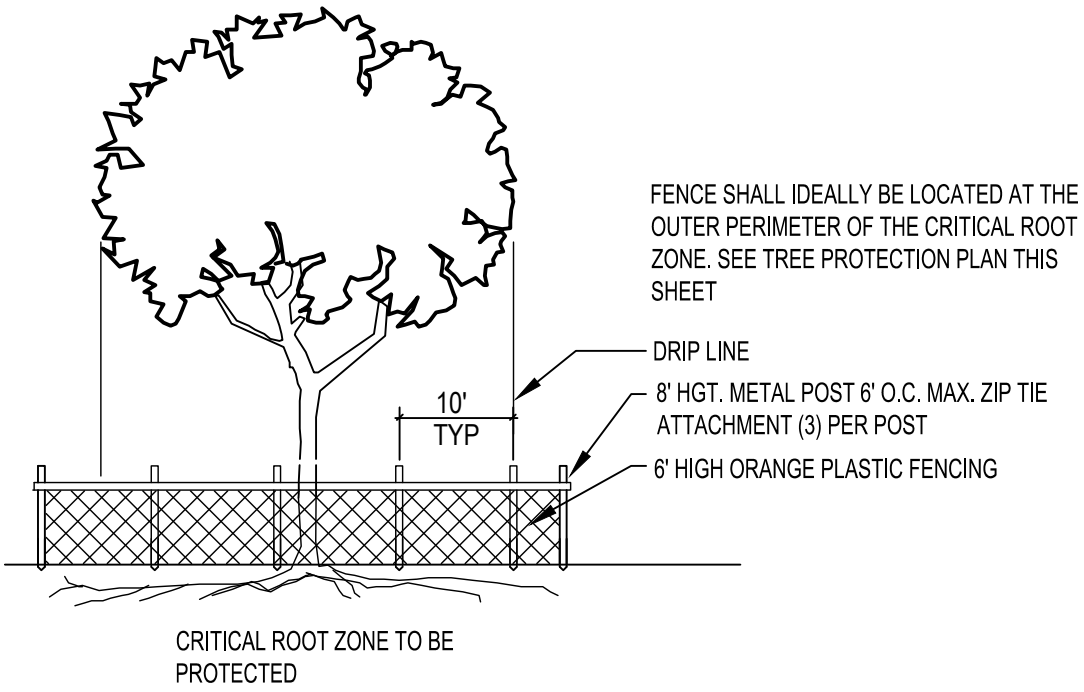
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LEGEND

- EXISTING TREE TO BE REMOVED
- EXISTING TREE TO REMAIN UNTIL IMPLEMENTATION OF GREEN WAY MASTER PLAN. SEE NARRATIVE
- DRIP LINE
- TREE PROTECTION FENCE

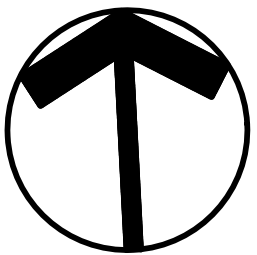
TOTAL	658" CALIPER : 50 TREES
REMOVED	658" CALIPER : 50 TREES



- NOTE:
- NOTIFY THE OWNER'S ARBORIST BEFORE CONDUCTING ANY WORK WITHIN THE CRITICAL ROOT ZONE OF TREES PROPOSED TO REMAIN.
 - FENCES SHALL BE IN PLACE PRIOR TO BEGINNING CONSTRUCTION! SEE GRADING PLAN

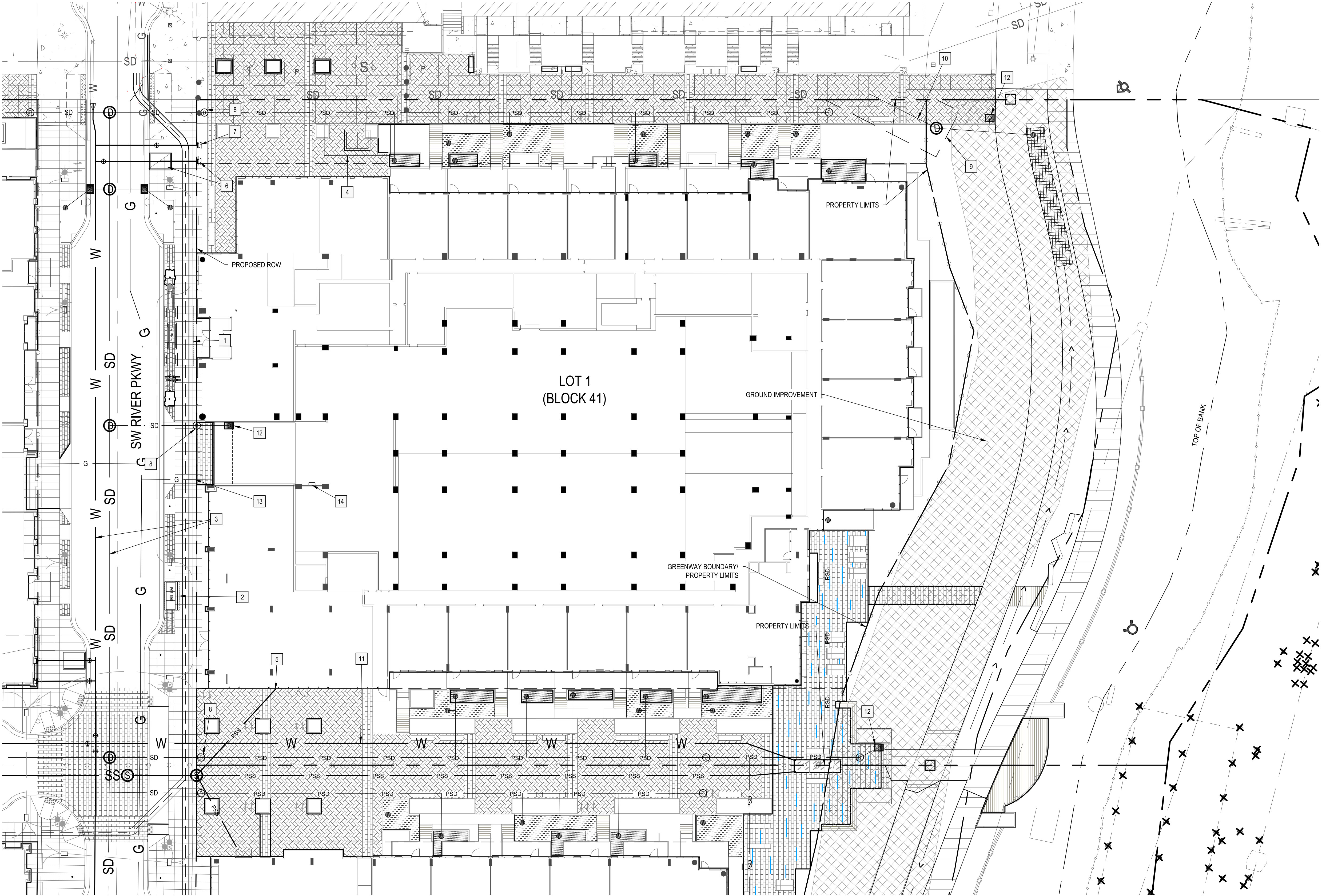
TREE PROTECTION DETAIL
(NOT TO SCALE)

- NOTES
- NO PERSON MAY CONDUCT ANY ACTIVITY BEYOND THE PROTECTED AREA OF ANY TREE DESIGNATED TO REMAIN, INCLUDING, BUT NOT LIMITED TO, PARKING EQUIPMENT, PLACING SOLVENTS WITHIN THE AREA, STORING BUILDING MATERIAL AND SOIL DEPOSITS, DUMPING CONCRETE WASHOUT AND LOCATING BURN HOLES. WHERE EXCAVATION FOR NEW CONSTRUCTION IS REQUIRED WITHIN THE CRITICAL ROOT ZONE, HAND CLEAR AND EXCAVATE TO MINIMIZE DAMAGE TO ROOT SYSTEMS. USE NARROW-TINE SPADING FORKS, COMB SOIL TO EXPOSE ROOTS AND CLEANLY CUT ROOTS AS CLOSE TO EXCAVATION AS POSSIBLE. COVER EXPOSED ROOTS WITH BURLAP AND WATER REGULARLY.
 - DURING CONSTRUCTION, NO PERSON SHALL ATTACH ANY OBJECT TO ANY TREE DESIGNATED FOR PROTECTION.
 - MAINTAIN TREES THROUGHOUT CONSTRUCTION PERIOD BY WATERING AND FERTILIZING.
 - MAINTAIN THE PROTECTIVE BARRIERS IN PLACE UNTIL THE ARBORIST AUTHORIZES THEIR REMOVAL OR A FINAL CERTIFICATE OF OCCUPANCY IS ISSUED, WHICHEVER OCCURS FIRST.
 - ANY LANDSCAPING DONE IN THE PROTECTED ZONE SUBSEQUENT TO THE REMOVAL OF THE BARRIERS SHALL BE ACCOMPLISHED WITH LIGHT MACHINERY OR HAND LABOR.
 - TREES TO BE RETAINED SHALL BE PROTECTED FROM EROSION AND SEDIMENTATION. CLEARING OPERATIONS SHALL BE CONDUCTED SO AS TO EXPOSE THE SMALLEST PRACTICAL AREA OF SOIL TO EROSION FOR THE LEAST POSSIBLE TIME.
 - PRUNE PROTECTED TREES AS REQUIRED TO AVOID DAMAGE FROM CONSTRUCTION. PRIOR TO ANY PROPOSED PRUNING CONTACT AND COORDINATE WITH THE OWNER'S ARBORIST. PRUNE PURSUANT TO NATIONAL ARBORIST ASSOCIATION STANDARDS.
 - REFER TO SPECIFICATION FOR ADDITIONAL INFORMATION.



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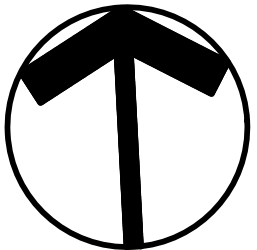


UTILITY NOTES

- 1. INSTALL NEW 1022 PGE VAULT (BACKBONE). COORDINATE WITH PGE.
- 2. INSTALL NEW 5106 PGE VAULT (BACKBONE). COORDINATE WITH PGE.
- 3. PROPOSED PUBLIC WORKS UTILITIES UNDER SEPARATE PUBLIC WORKS PERMIT.
- 4. INSTALL NEW 1024 PGE VAULT (BUILDING TRANSFORMER). COORDINATE WITH PGE.
- 5. INSTALL SEWER LATERAL FOR BUILDING SERVICE.
- 6. INSTALL 687 VAULT FOR METER AND WATER SERVICE TO BUILDING.
- 7. INSTALL 8" FIRE SERVICE FOR BUILDING.
- 8. INSTALL STORM LATERAL FOR BUILDING SERVICE.
- 9. PROPOSED PUBLIC STORM DRAIN EASEMENT.
- 10. PROPOSED PUBLIC STORM LINE (UNDER PWP PERMIT).
- 11. PROPOSED PRIVATE WATER LINE FOR WATER FEATURE.
- 12. PROPOSED PRIVATE STORMFILTER CATCH BASIN.
- 13. PROPOSED GAS SERVICE LATERAL. CONTINUATION IN BUILDING TO BE PART OF FINAL PLUMBING PLANS.
- 14. PROPOSED GAS METER LOCATION.

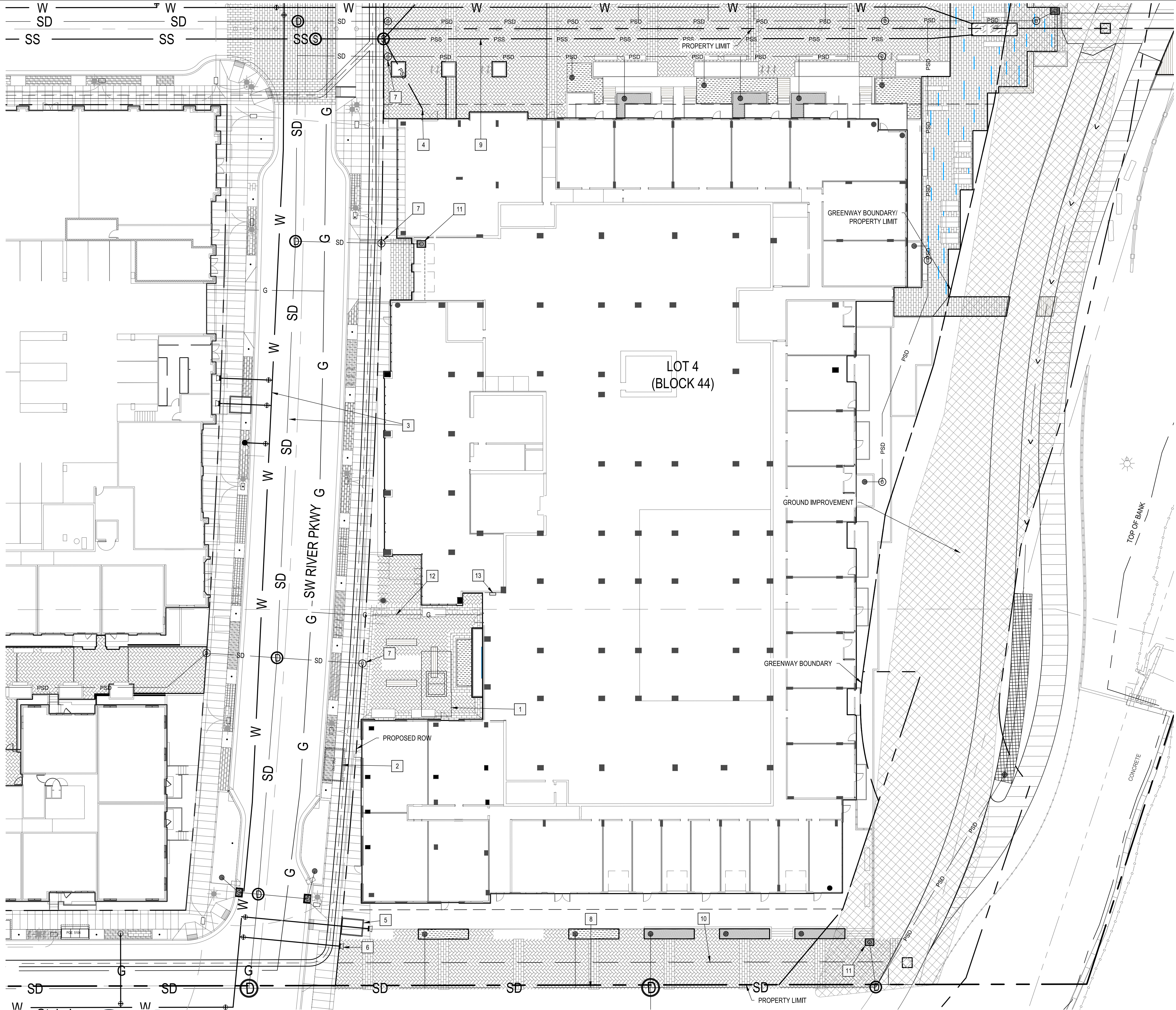
LEGEND

PUBLIC WATER LINE	W
PUBLIC SANITARY SEWER	SS
PUBLIC STORM DRAIN	SD
PRIVATE SEWER LINE	PSS
PRIVATE STORM LINE	PSD
FRANCHISE UTILITY CONDUIT	
FRANCHISE UTILITY VAULTS	
STORM DRAIN MANHOLE	
SANITARY SEWER MANHOLE	
STORMWATER PLANTER (ROOF TREATMENT)	
STORMWATER PLANTER (AT GRADE TREATMENT)	
SWALE	
CONVEYANCE CHANNEL	
TRENCH DRAIN	
GAS LINE	G



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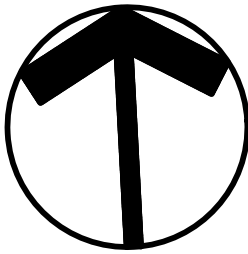


UTILITY NOTES

- 1. INSTALL NEW 1024 PGE VAULT (BUILDING TRANSFORMER). COORDINATE WITH PGE.
- 2. INSTALL NEW 712 PGE VAULT (BACKBONE). COORDINATE WITH PGE.
- 3. PROPOSED PUBLIC WORKS IMPROVEMENTS UNDER SEPARATE PUBLIC WORKS PERMIT.
- 4. INSTALL SEWER LATERAL FOR BUILDING SERVICE.
- 5. INSTALL 687 VAULT FOR METER AND WATER SERVICE TO BUILDING.
- 6. INSTALL 8" FIRE SERVICE FOR BUILDING.
- 7. INSTALL STORM LATERAL FOR BUILDING SERVICE.
- 8. PROPOSED PUBLIC STORM LINE (UNDER PWP PERMIT).
- 9. PROPOSED PRIVATE SANITARY SEWER FOR WATER FEATURE.
- 10. PROPOSED PUBLIC STORM DRAIN EASEMENT.
- 11. PROPOSED PRIVATE STORMFILTER CATCH BASIN.
- 12. PROPOSED GAS SERVICE LATERAL. CONTINUATION IN BUILDING TO BE PART OF FINAL PLUMBING PLANS.
- 13. PROPOSED GAS METER LOCATION.

LEGEND

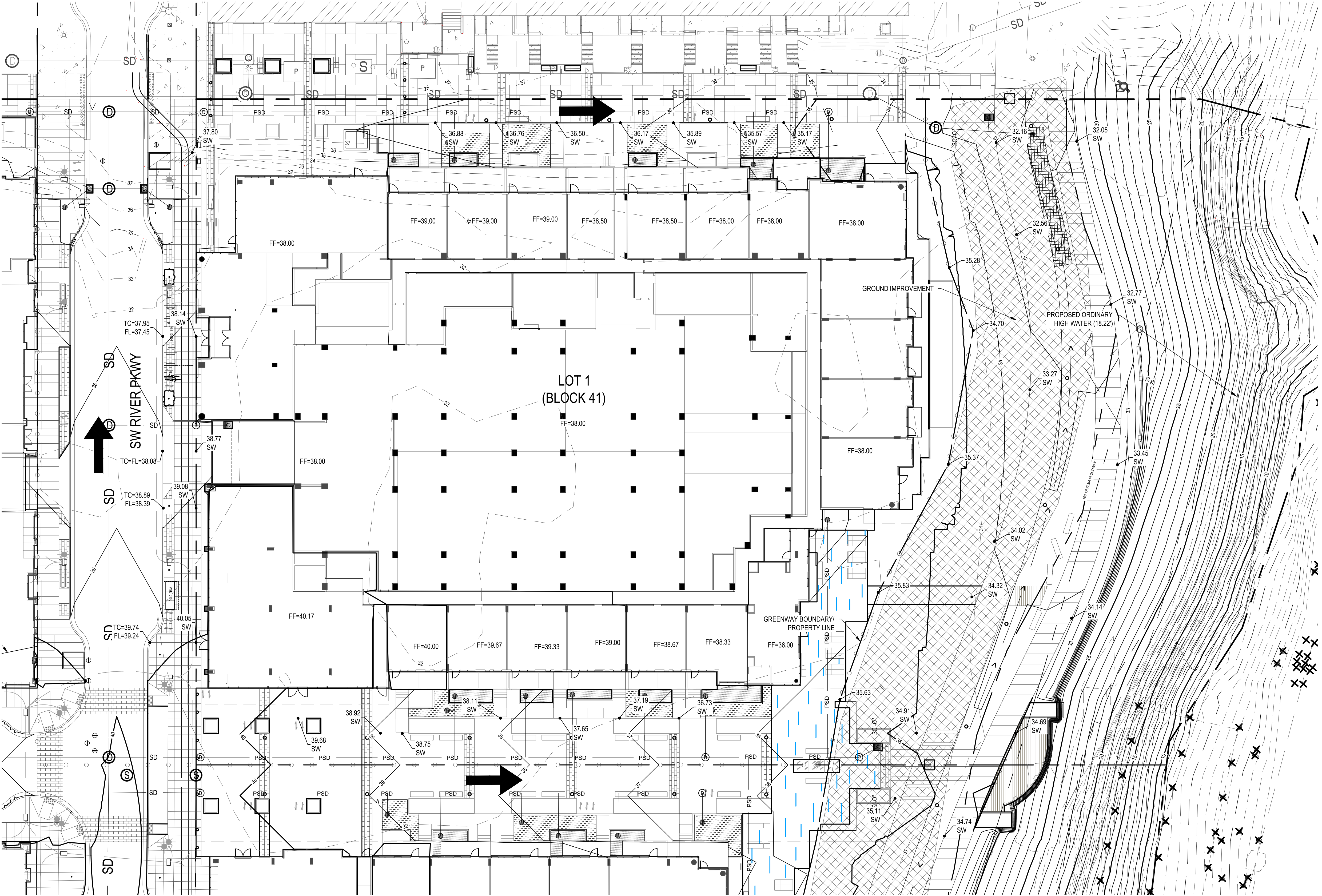
PUBLIC WATER LINE	W
PUBLIC SANITARY SEWER	SS
PUBLIC STORM DRAIN	SD
PRIVATE SEWER LINE	PSS
PRIVATE STORM LINE	PSD
FRANCHISE UTILITY CONDUIT	---
FRANCHISE UTILITY VAULTS	□
STORM DRAIN MANHOLE	⊙
SANITARY SEWER MANHOLE	⊙
STORMWATER PLANTER (ROOF TREATMENT)	▨
STORMWATER PLANTER (AT GRADE TREATMENT)	▨
SWALE	▨
CONVEYANCE CHANNEL	→
TRENCH DRAIN	- - -
GAS LINE	G



XREF LIST
Ltscale: 40
Resolved
C19050X002
C19050X230
C19050X600
S19050X190
C19050X430
C19050X101
L19050X230
O19050X440

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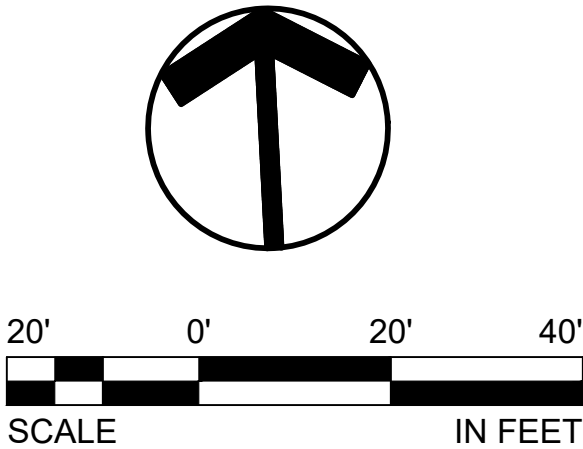
GRADING LEGEND

- EXISTING 1' CONTOUR
- EXISTING 5' CONTOUR
- PROPOSED 1' CONTOUR
- PROPOSED 5' CONTOUR
- PROPOSED STORM LINE
- PROPOSED PRIVATE STORM LINE
- 100 YEAR FLOOD WAY
- DRAINAGE FLOW DIRECTION
- PROPOSED FF ELEVATION
- SPOT ELEVATION
- STORMWATER PLANTER (ROOF TREATMENT)
- STORMWATER PLANTER (AT GRADE TREATMENT)
- SWALE

NOTE: ELEVATIONS ARE BASED ON CITY OF PORTLAND DATUM.

SPOT ELEV ABBREVIATIONS

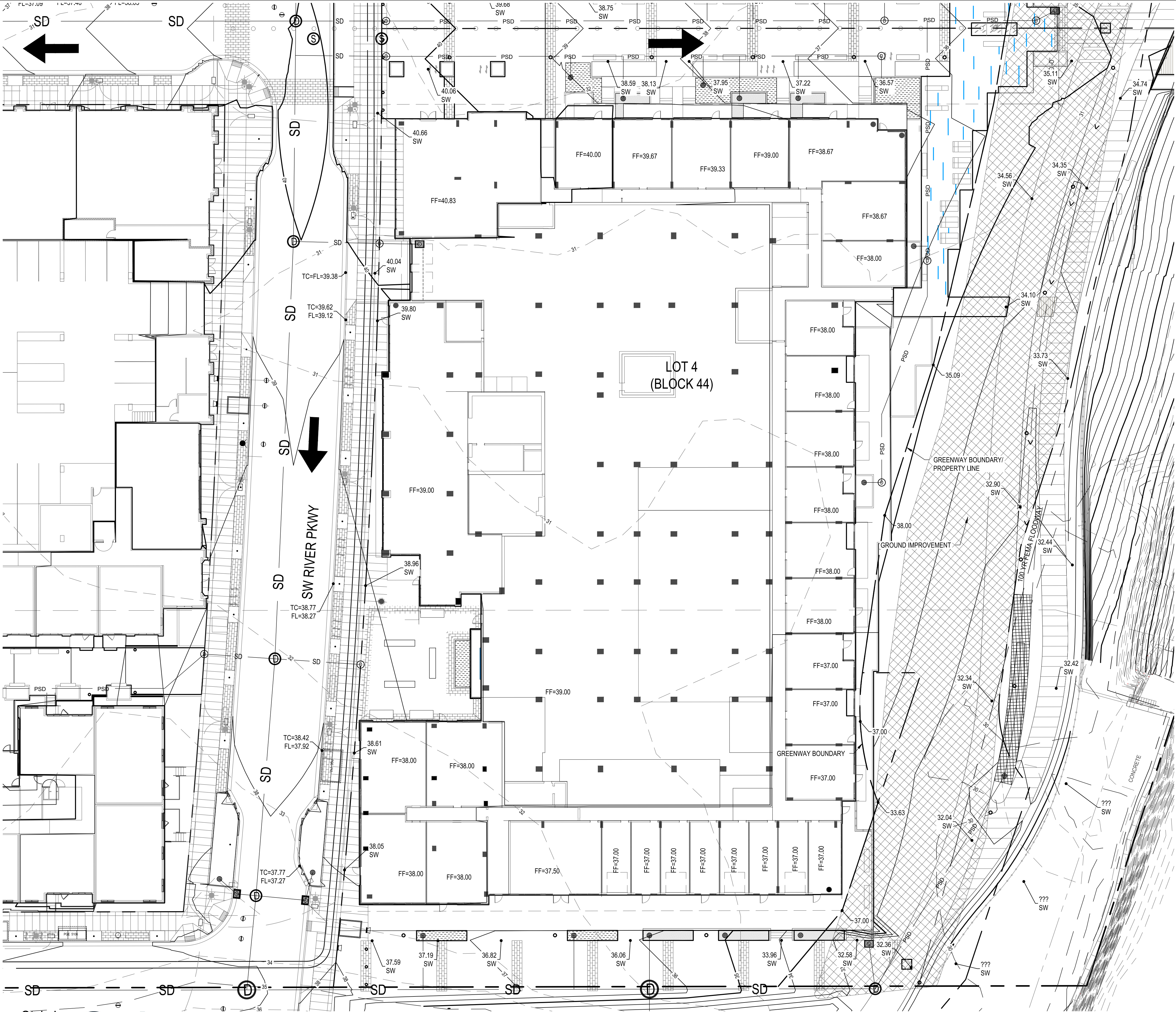
- SW SIDEWALK / PATH
- FL FLOW LINE
- TC TOP OF CURB



XREF LIST
Ltscale: 40
Resolved
C19050X002
C19050X230
C19050X600
S19050X190
C19050X430
C19050X101
L19050X230
O19050X440

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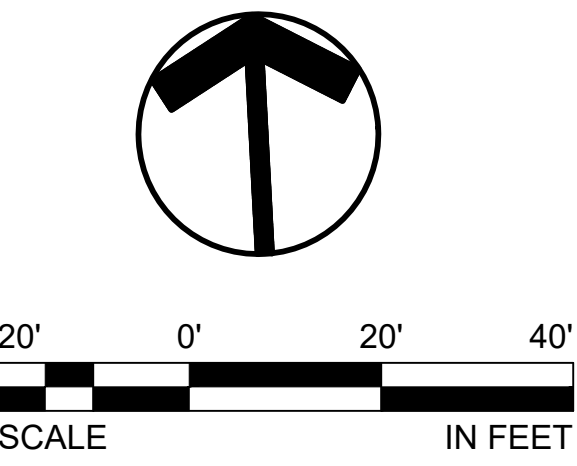
GRADING LEGEND

- EXISTING 1' CONTOUR
- EXISTING 5' CONTOUR
- PROPOSED 1' CONTOUR
- PROPOSED 5' CONTOUR
- PROPOSED STORM LINE
- PROPOSED PRIVATE STORM LINE
- 100 YEAR FLOOD WAY
- DRAINAGE FLOW DIRECTION
- PROPOSED FF ELEVATION
- SPOT ELEVATION
- STORMWATER PLANTER (ROOF TREATMENT)
- STORMWATER PLANTER (AT GRADE TREATMENT)
- SWALE

NOTE: ELEVATIONS ARE BASED ON CITY OF PORTLAND DATUM.

SPOT ELEV ABBREVIATIONS

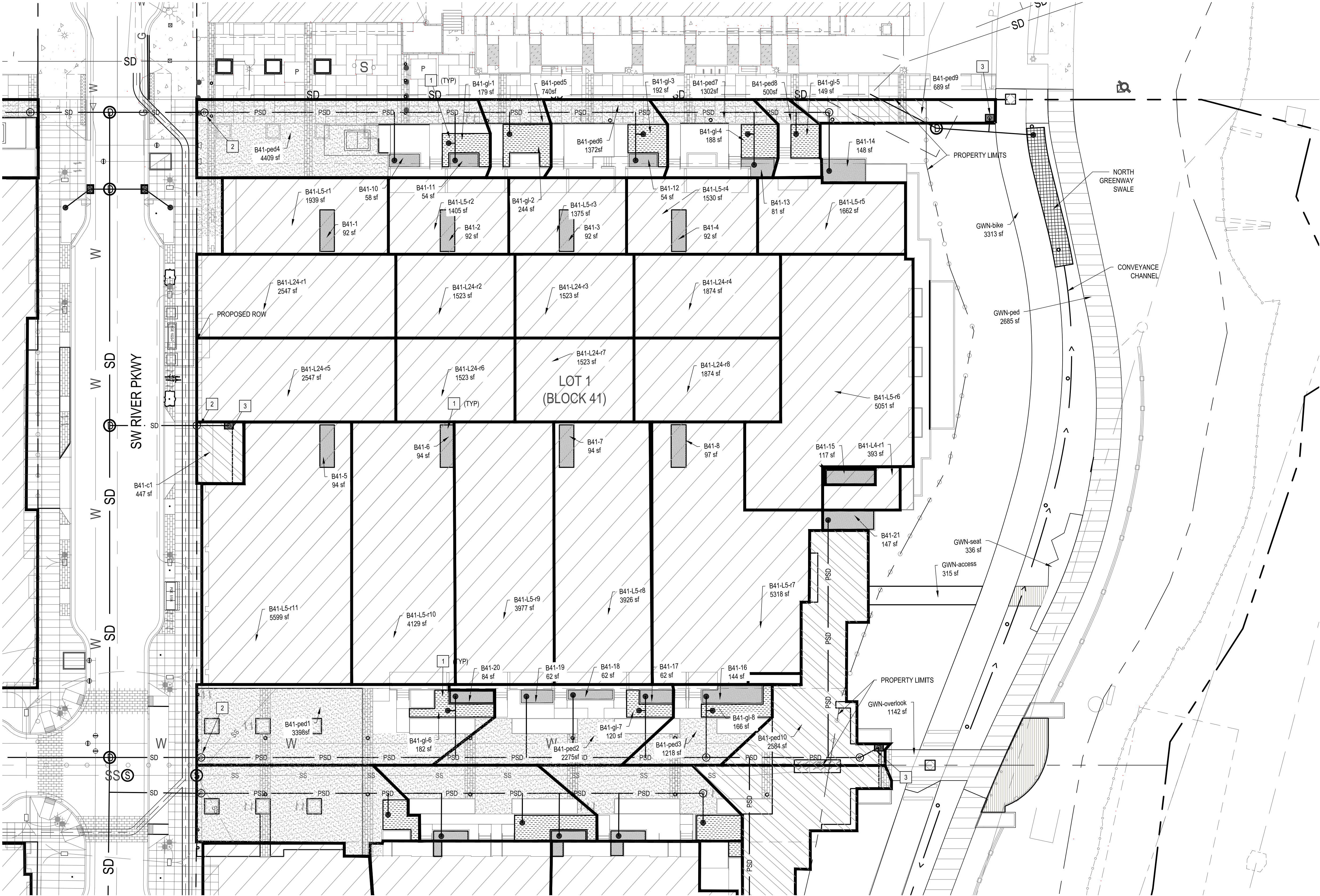
- SW SIDEWALK / PATH
- FL FLOW LINE
- TC TOP OF CURB



BLOCK 44 GRADING PLAN
LAND USE REVIEW# (LU 20-102914 DZM GW) EXHIBIT C.256

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STORMWATER NOTES

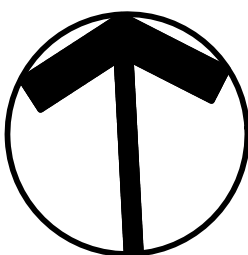
- 1 PROPOSED PRIVATE STORMWATER PLANTER.
- 2 PROPOSED STORMWATER LATERAL CONNECTION.
- 3 PROPOSED STORMFILTER CATCH BASIN.

STORMWATER NARRATIVE

THE PROPOSED STORMWATER MANAGEMENT SYSTEM, DESIGNED IN ACCORDANCE WITH THE CITY OF PORTLAND'S STORMWATER MANAGEMENT MANUAL AND SEWER AND DRAINAGE FACILITIES DESIGN MANUAL, WILL INCLUDE LINED VEGETATED PLANTERS FOR WATER QUALITY TREATMENT AND A PIPED CONVEYANCE SYSTEM WHICH CONNECTS TO AN EXISTING STORM SEWER IMMEDIATELY SOUTH OF SW LOWELL STREET. VEGETATED FLOW-THROUGH PLANTERS WERE SIZED USING THE CITY'S PRESUMPTIVE APPROACH CALCULATOR (PAC) TOOL MEET POLLUTION REDUCTION REQUIREMENTS BY FILTERING STORM WATER THROUGH THE TOPSOIL MIX SPECIFIED BY BES. THE PROPOSED IMPROVEMENTS MEET THE CRITERIA FOR EXEMPTION FROM FLOW CONTROL RUNOFF, PER SECTION 1.3.4 OF THE STORMWATER MANAGEMENT MANUAL, AS THE STORM LINE DISCHARGES DIRECTLY TO THE WILLAMETTE RIVER THROUGH THE EXISTING SW LOWELL STREET OUTFALL. THE STORMWATER CONVEYANCE SYSTEM HAS BEEN SIZED TO CONVEY AND CONTAIN THE 10-YEAR, 5-MINUTE EVENT WITHOUT SURCHARGING AND THE 25-YEAR, 5-MINUTE STORM EVENT WITH AT LEAST 6 INCHES OF FREEBOARD.

LEGEND

- BUILDING IMPERVIOUS AREA (TO STORMFILTER)
- BUILDING ROOF IMPERVIOUS AREA (TO PLANTER)
- PRIVATE STORMWATER PLANTER (ROOF TREATMENT)
- PROPOSED SWALE
- PED PATH IMPERVIOUS AREA (TO AT GRADE TREATMENT)
- COURTYARD IMPERVIOUS AREA (TO PLANTER)
- STORMWATER PLANTER (AT GRADE TREATMENT)



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STORMWATER NOTES

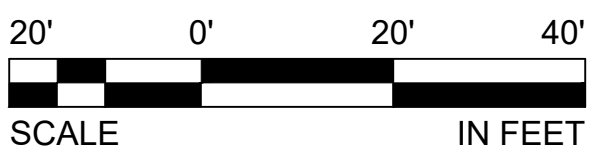
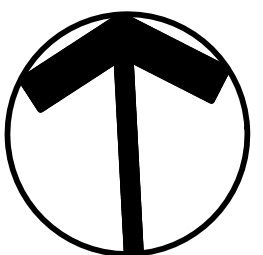
- 1 PROPOSED PRIVATE STORMWATER PLANTER.
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- 3 PROPOSED STORMFILTER CATCH BASIN.

STORMWATER NARRATIVE

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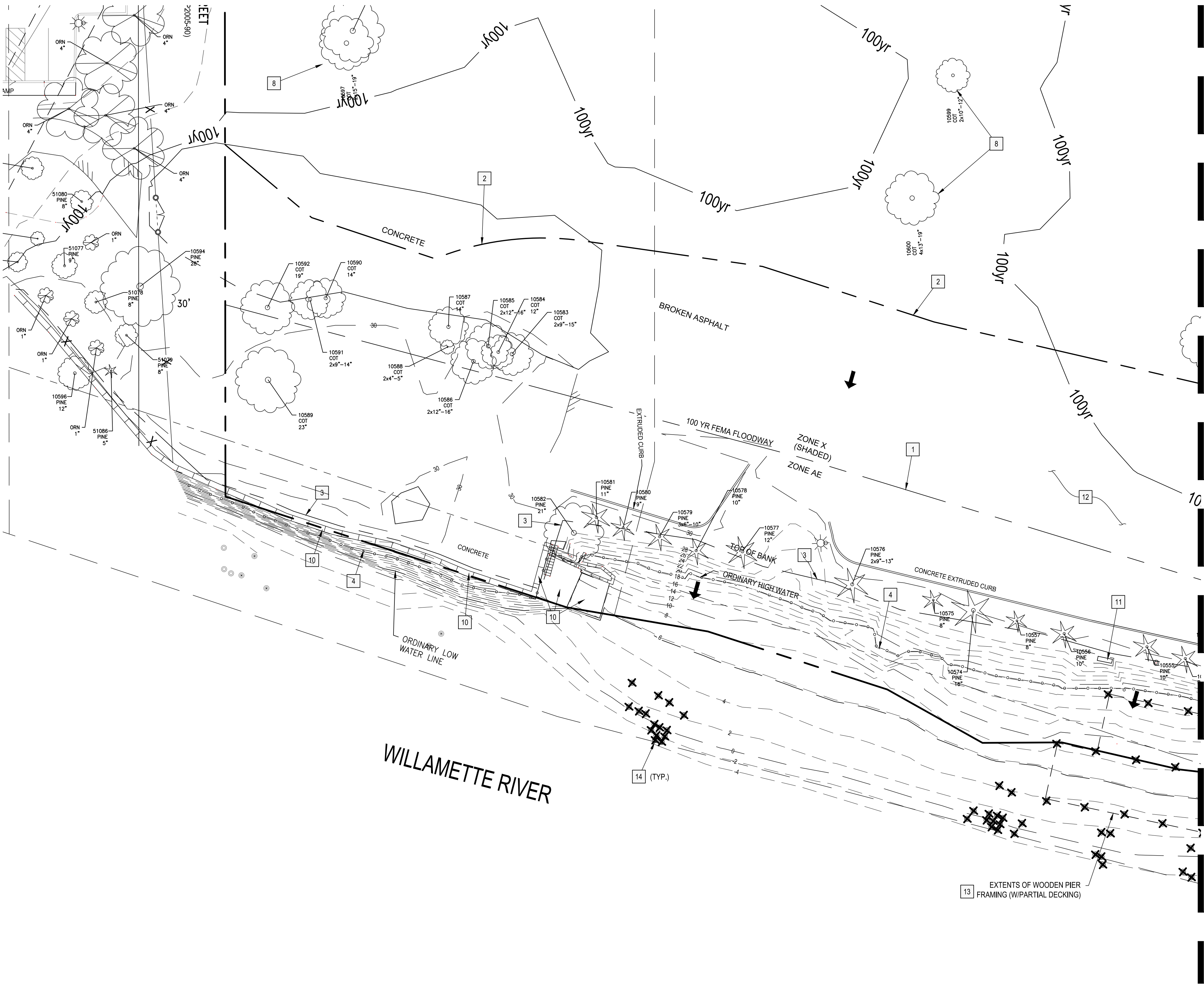
LEGEND

BUILDING IMPERVIOUS AREA (TO STORMFILTER)	
BUILDING ROOF IMPERVIOUS AREA (TO PLANTER)	
PRIVATE STORMWATER PLANTER (ROOF TREATMENT)	
PROPOSED SWALE	
PED PATH IMPERVIOUS AREA (TO AT GRADE TREATMENT)	
COURTYARD IMPERVIOUS AREA (TO PLANTER)	
STORMWATER PLANTER (AT GRADE TREATMENT)	



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EXISTING CONDITIONS AND DEMO NOTES

- 1 FEMA 100-YEAR FLOODWAY.
- 2 WILLAMETTE GREENWAY BOUNDARY.
- 3 TOP OF BANK (2002 LINE).
- 4 ORDINARY HIGH WATER (OHW, ELEVATION 18.22').
- 5 ORDINARY LOW WATER (OLW, ELEVATION 5.90')
- 6 EXISTING TEMPORARY FENCE TO BE REMOVED.
- 7 EXISTING STORM DRAIN STRUCTURE/PIPE TO BE REMOVED.
- 8 TREES TO BE REMOVED PER LAND DIVISION APPROVAL.
- 9 EXISTING WATER HYDRANT TO BE REMOVED.
- 10 EXISTING CONCRETE PIER, MONOLITHIC WALL, AND ADJACENT CONCRETE SLABS TO REMAIN.
- 11 EXISTING CONCRETE SLABS OR STRUCTURES TO BE REMOVED.
- 12 THE ENTIRE SITE HAS AREAS OF AC PAVEMENT OR CONCRETE COVERED WITH SOIL AND VEGETATION. EXPOSE AND COMPLETELY REMOVE.
- 13 REMOVE EXISTING WOOD PIER AND DECKING. REMOVE PIERS IN THEIR ENTIRETY UNLESS DEEMED HISTORICALLY SIGNIFICANT BY ARCHAEOLOGICAL STUDY.
- 14 EXISTING WOOD PILING TO BE REMOVED.

LEGEND

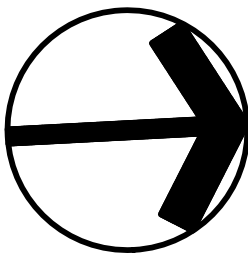
- 2' CONTOUR — 18 —
- 10' CONTOUR — 20 —
- ORDINARY HIGH WATER (OHW, ELEV 18.22') — o — o — o —
- TOP OF BANK (2002 LINE) — — — —
- DRAINAGE FLOW ARROW →
- EXISTING TREE
- 100-YEAR FLOODPLAIN (ELEV 30.9') — 100-yr —

NOTE: ALL EXISTING TREES WITHIN GREENWAY TRACT TO BE REMOVED.

TOTAL TREE DBH REMOVED (WITHIN GREENWAY TRACT)
COTTONWOOD: 243" DBH
PINE: 350" DBH

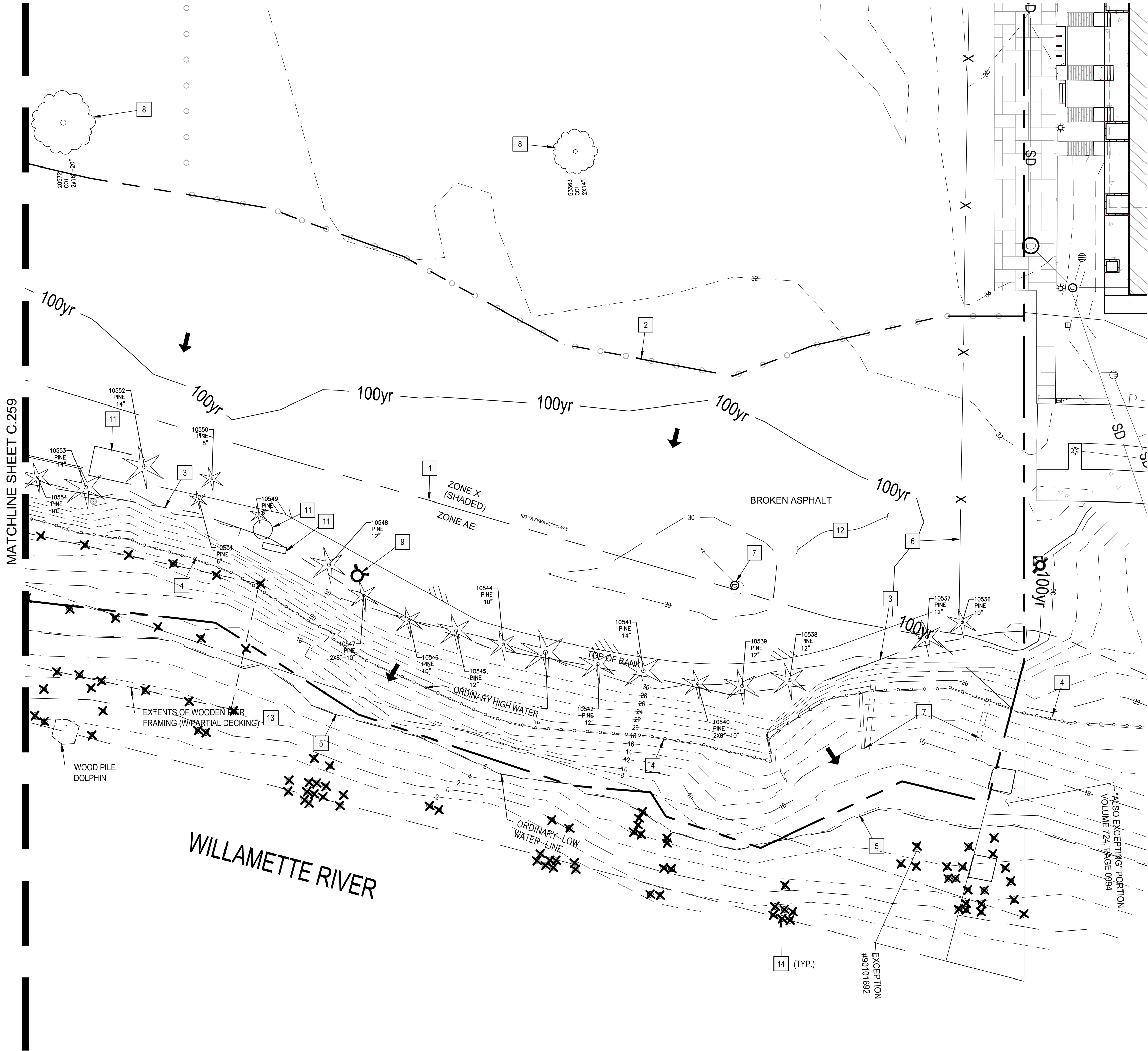
NOTE: ELEVATIONS ARE BASED ON CITY OF PORTLAND DATUM.

ZONING NOTE:
SUBJECT SITE LIES ENTIRELY WITHIN COP ZONE CX dg.



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EXISTING CONDITIONS AND DEMO NOTES

- 1 FEMA 100-YEAR FLOODWAY.
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- 3 TOP OF BANK (2002 LINE).
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- 13 REMOVE EXISTING WOOD PIER AND DECKING. REMOVE PIERS IN THEIR ENTIRETY UNLESS DEEMED HISTORICALLY SIGNIFICANT BY ARCHAEOLOGICAL STUDY.
- 14 EXISTING WOOD PILING TO BE REMOVED.

LEGEND

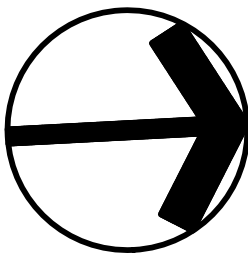
- 2' CONTOUR — 18 —
- 10' CONTOUR — 20 —
- ORDINARY HIGH WATER (OHW, ELEV 18.22') —○—○—○—
- TOP OF BANK (2002 LINE) ————
- DRAINAGE FLOW ARROW →
- EXISTING TREE  
- 100-YEAR FLOODPLAIN (ELEV 30.9') —100-yr—

NOTE: ALL EXISTING TREES WITHIN GREENWAY TRACT TO BE REMOVED.

TOTAL TREE DBH REMOVED (WITHIN GREENWAY TRACT)
COTTONWOOD: 243" DBH
PINE: 350" DBH

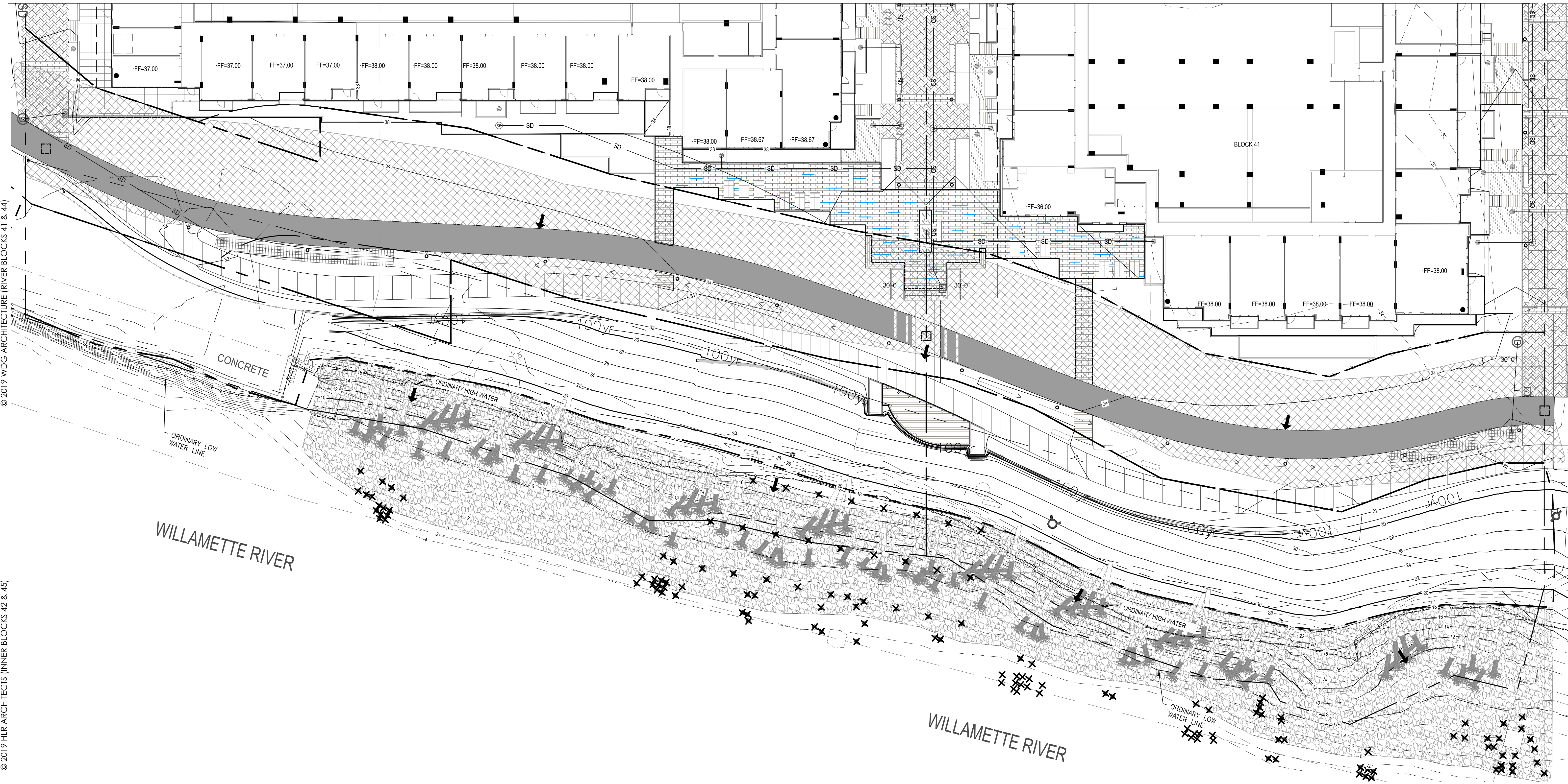
NOTE: ELEVATIONS ARE BASED ON CITY OF PORTLAND DATUM.

ZONING NOTE:
SUBJECT SITE LIES ENTIRELY WITHIN COP ZONE CX dg.



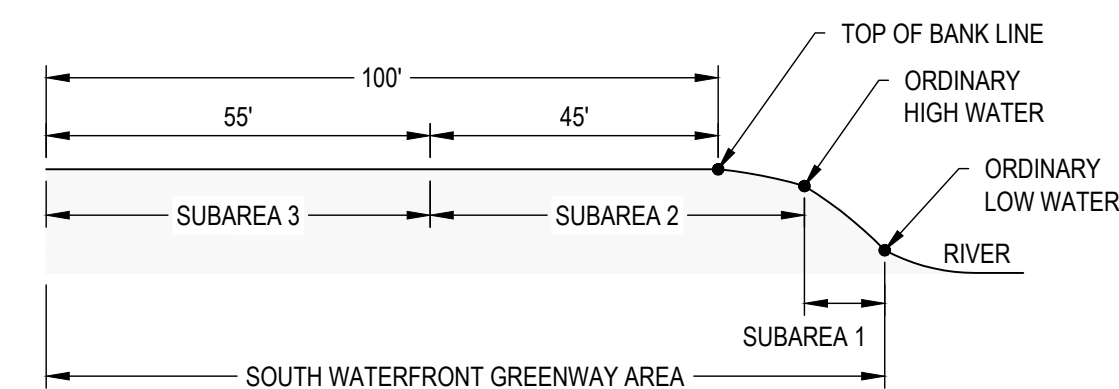
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LEGEND

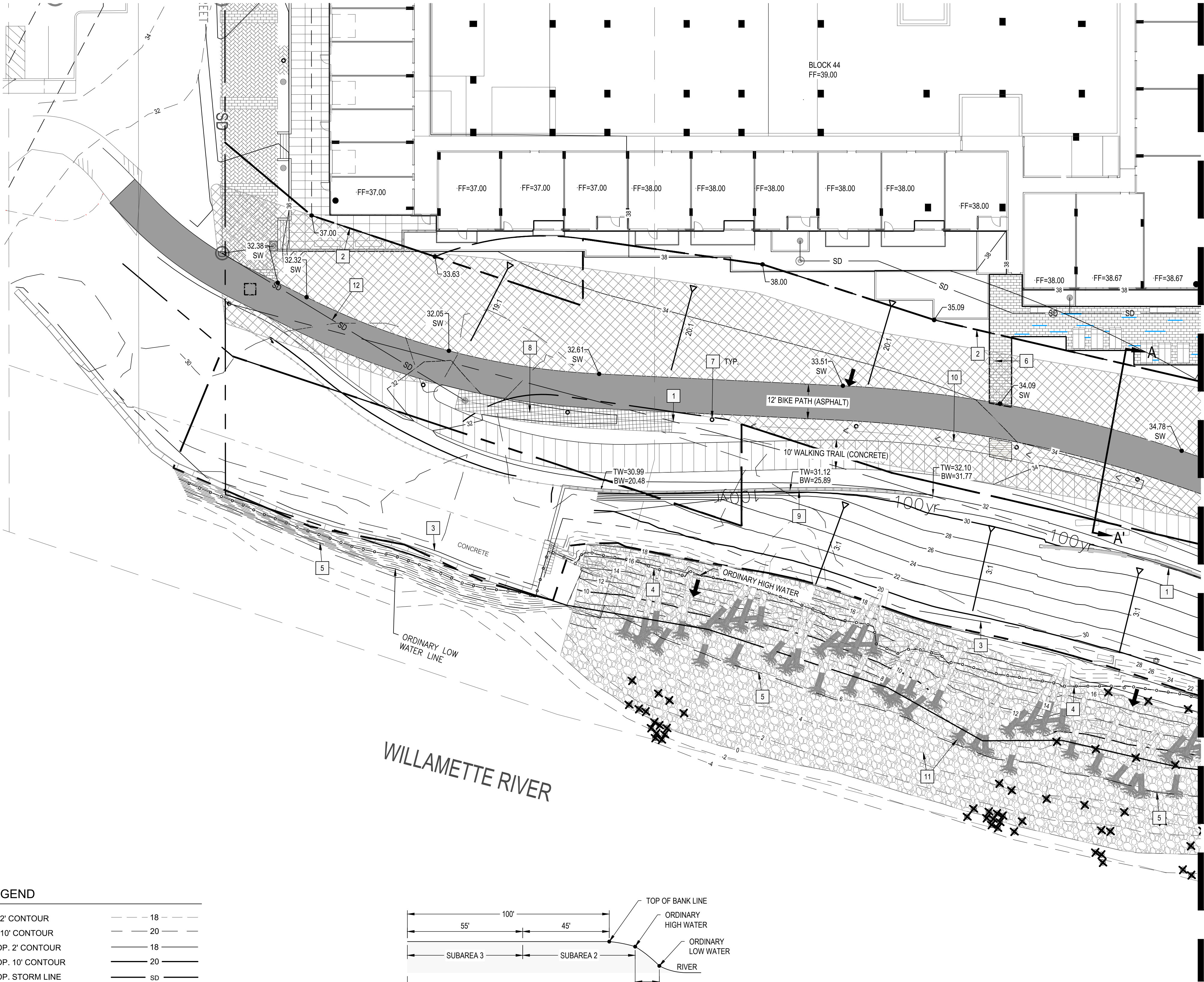
EX. 2' CONTOUR	---	18
EX. 10' CONTOUR	---	20
PROP. 2' CONTOUR	---	18
PROP. 10' CONTOUR	---	20
PROP. STORM LINE	---	SD
DRAINAGE ARROW	→	
OHW	—○—○—○—○—	
TOP OF BANK (2002 LINE)	---	
GROUND STABILIZATION		
100-YEAR FLOODPLAIN (30.9')		100yr



NOTE: ELEVATIONS ARE BASED ON CITY OF PORTLAND DATUM.

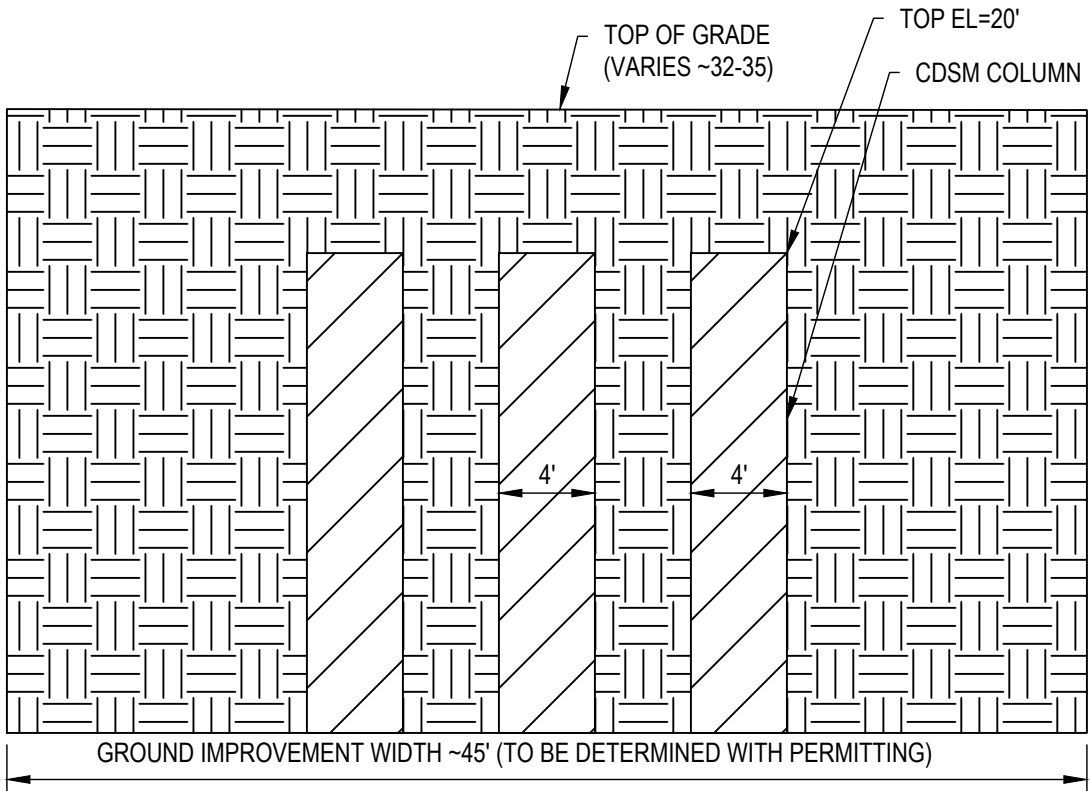
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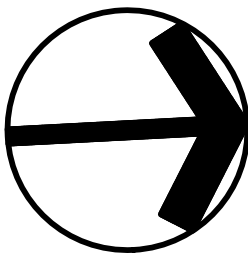


- SITE NOTES**
- 1 FEMA 100-YR FLOODWAY
 - 2 WILLAMETTE GREENWAY BOUNDARY
 - 3 TOP OF BANK (2002 LINE)
 - 4 ORDINARY HIGH WATER (OHW, ELEVATION 18.22')
 - 5 ORDINARY LOW WATER (OLW, ELEVATION 5.90')
 - 6 SIDEWALK
 - 7 TRAIL LIGHTING
 - 8 STORM WATER QUALITY FEATURE (SWALE)
 - 9 RETAINING WALL WITH GUARDRAIL
 - 10 CONVEYANCE CHANNEL
 - 11 WOODY DEBRIS AND RIP RAP. SEE BANK STABILIZATION PLAN FOR DETAILS.
 - 12 STORM CONNECTION FROM SWALE TO PUBLIC STORM MANHOLE

SEE SHEETS C2.0 - C3.0 FOR PRELIMINARY BANK STABILIZATION PLANS AND CROSS-SECTIONS

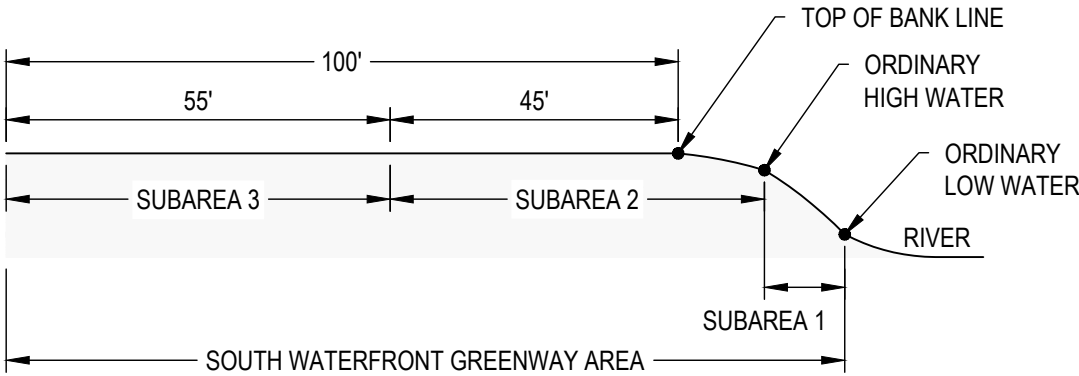


SECTION A-A' - GROUND STABILIZATION SECTION
NTS



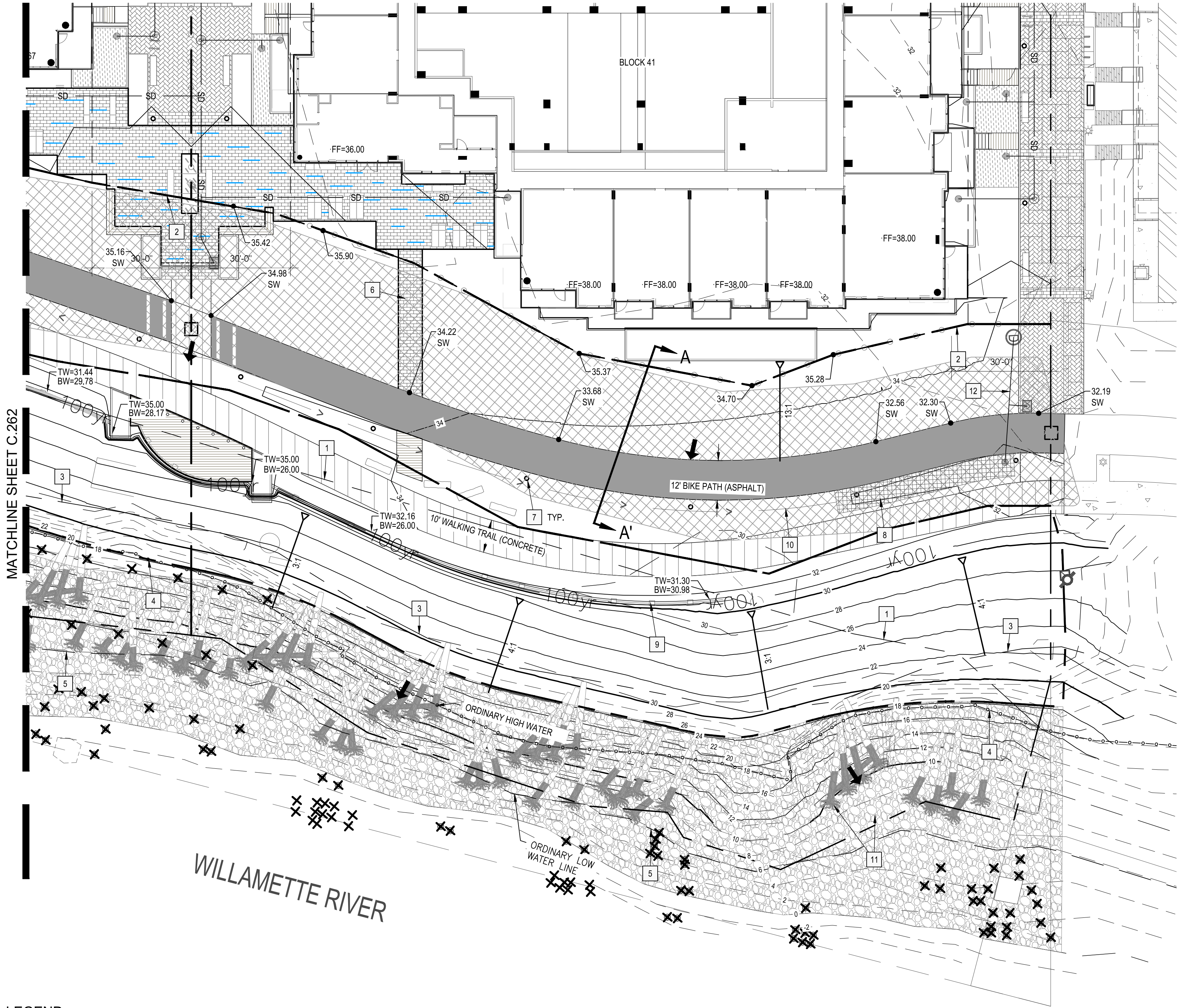
NOTE: ELEVATIONS ARE BASED ON CITY OF PORTLAND DATUM.

- LEGEND**
- EX. 2' CONTOUR ——— 18 ———
 - EX. 10' CONTOUR ——— 20 ———
 - PROP. 2' CONTOUR ——— 18 ———
 - PROP. 10' CONTOUR ——— 20 ———
 - PROP. STORM LINE ——— SD ———
 - DRAINAGE ARROW →
 - OHW ———
 - TOP OF BANK (2002 LINE) ———
 - GROUND STABILIZATION (BELOW GRADE) [Cross-hatched pattern]
 - RETAINING WALL [Line with cross-ticks]
 - 100-YEAR FLOODPLAIN (30.9') ——— 100yr ———



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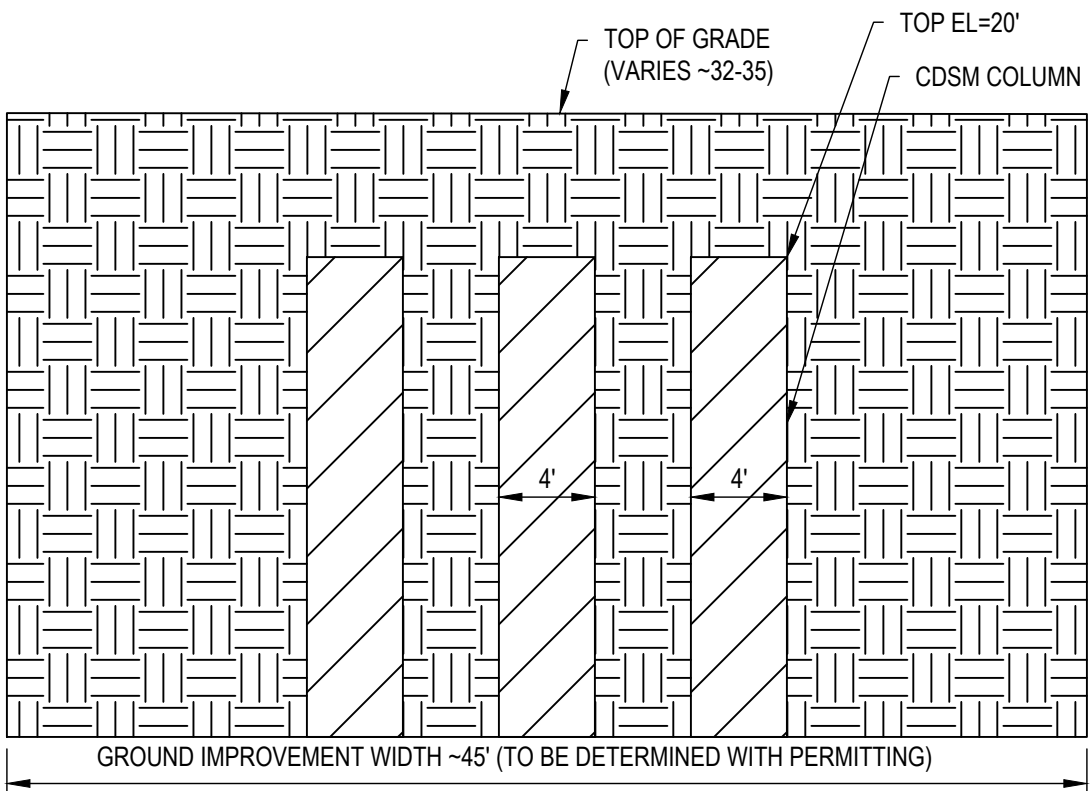
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SITE NOTES

- 1 FEMA 100-YR FLOODWAY
- 2 WILLAMETTE GREENWAY BOUNDARY
- 3 TOP OF BANK (2002 LINE)
- 4 ORDINARY HIGH WATER (OHW, ELEVATION 18.22')
- 5 ORDINARY LOW WATER (OLW, ELEVATION 5.90')
- 6 SIDEWALK
- 7 TRAIL LIGHTING
- 8 STORM WATER QUALITY FEATURE (SWALE)
- 9 RETAINING WALL WITH GUARDRAIL
- 10 CONVEYANCE CHANNEL
- 11 WOODY DEBRIS AND RIP RAP. SEE BANK STABILIZATION PLAN FOR DETAILS.
- 12 STORM CONNECTION FROM SWALE TO PUBLIC STORM MANHOLE.

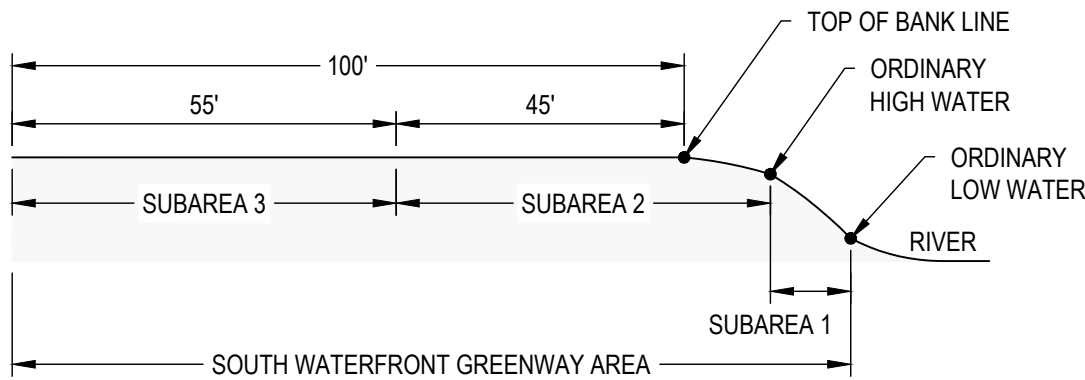
SEE SHEETS C2.0 - C3.0 FOR PRELIMINARY BANK STABILIZATION PLANS AND CROSS-SECTIONS



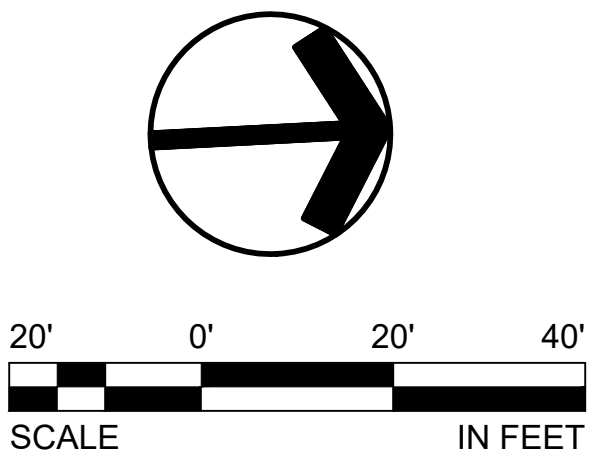
SECTION A-A' - GROUND STABILIZATION SECTION
NTS

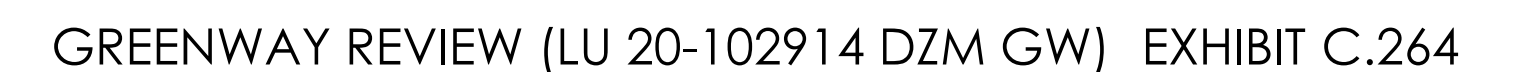
LEGEND

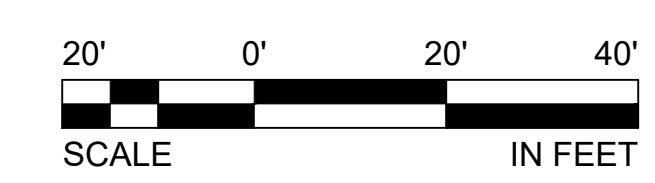
- EX. 2' CONTOUR
- EX. 10' CONTOUR
- PROP. 2' CONTOUR
- PROP. 10' CONTOUR
- PROP. STORM LINE
- DRAINAGE ARROW
- OHW
- TOP OF BANK (2002 LINE)
- GROUND STABILIZATION (BELOW GRADE)
- RETAINING WALL
- 100-YEAR FLOODPLAIN (30.9')



NOTE: ELEVATIONS ARE BASED ON CITY OF PORTLAND DATUM.





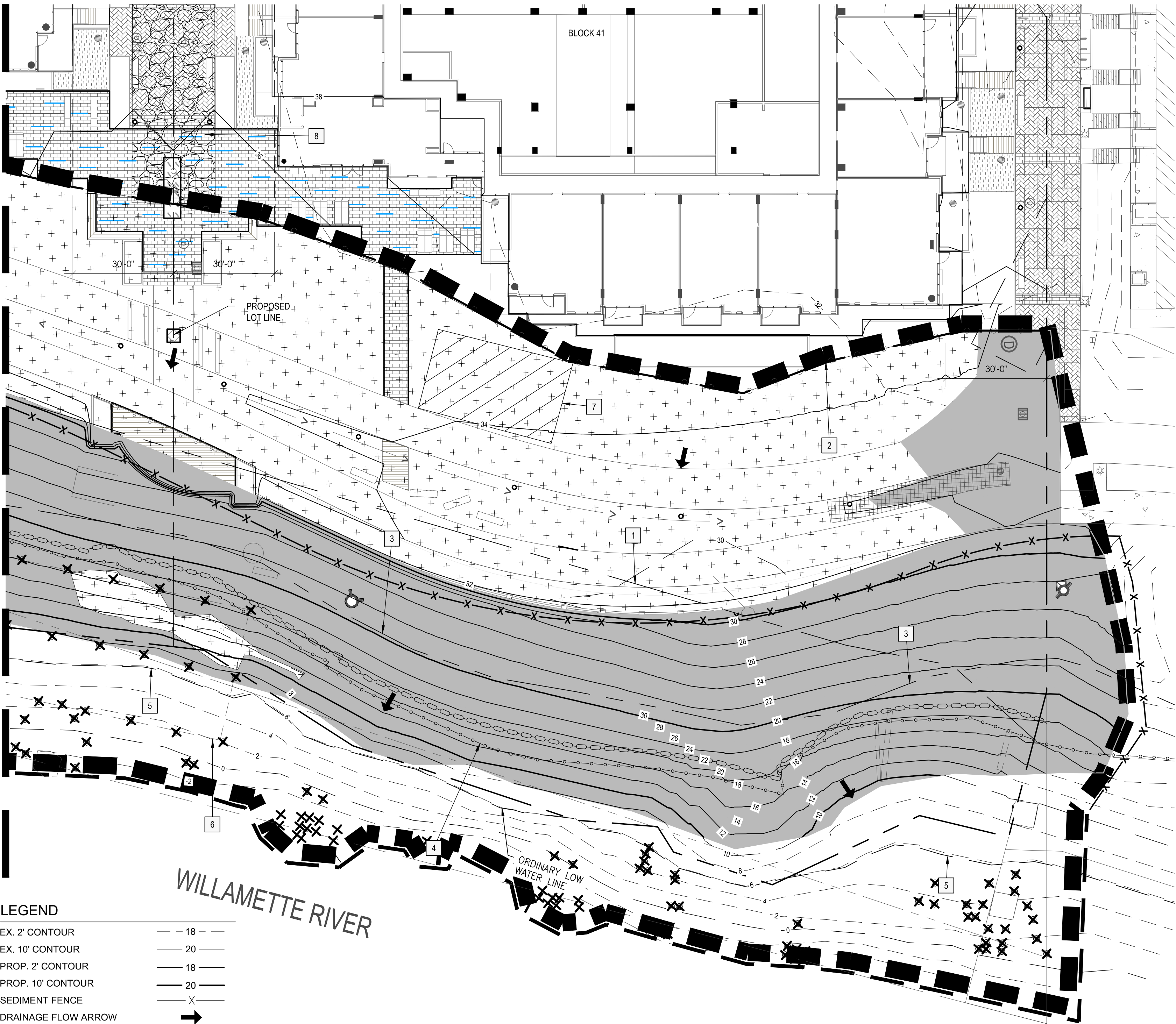


GREENWAY CONSTRUCTION MANAGEMENT PLAN - SOUTH
GREENWAY REVIEW (LU 20-102914 DZM GW) EXHIBIT C.265

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MATCHLINE SHEET C.265



CONSTRUCTION MANAGEMENT NOTES

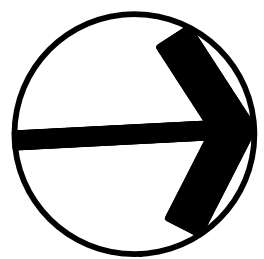
- 1 FEMA 100-YEAR FLOODWAY
- 2 WILLAMETTE GREENWAY BOUNDARY
- 3 TOP OF BANK 2002 LINE (TYPICAL)
- 4 ORDINARY HIGH WATER (OHW, ELEVATION 18.22')
- 5 ORDINARY LOW WATER (OLW, ELEVATION 5.90')
- 6 REMOVE EXISTING WOOD PIER AND DECKING. REMOVE PIERS IN THEIR ENTIRETY UNLESS DEEMED HISTORICALLY SIGNIFICANT BY ARCHAEOLOGICAL STUDY.
- 7 PROPOSED STAGING/MATERIAL AREA
- 8 PROPOSED CONSTRUCTION INGRESS/EGRESS

NOTE: ELEVATIONS ARE BASED ON CITY OF PORTLAND DATUM.

LEGEND

- EX. 2' CONTOUR
- EX. 10' CONTOUR
- PROP. 2' CONTOUR
- PROP. 10' CONTOUR
- SEDIMENT FENCE
- DRAINAGE FLOW ARROW
- EXISTING TREES
- STRAW WATTLES
- TURBIDITY CURTAIN
- SEDIMENT FENCE
- AREAS OF EXCAVATION WITHIN GREENWAY (CUT)
- AREAS OF EMBANKMENT WITHIN GREENWAY (FILL)
- LIMITS OF DISTURBANCE
- CONSTRUCTION INGRESS/EGRESS
- STAGING/MATERIAL AREA
- STOCKPILE

NOTE:
ALL EXISTING TREES WITHIN GREENWAY TRACT TO BE REMOVED.





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AERIAL PERSPECTIVE FROM SE
LAND USE REVIEW # (LU-20-102914 DZM GW) EXHIBIT APP.200

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AERIAL PERSPECTIVE FROM NE
LAND USE REVIEW # (LU-20-102914 DZM GW) EXHIBIT APP.201

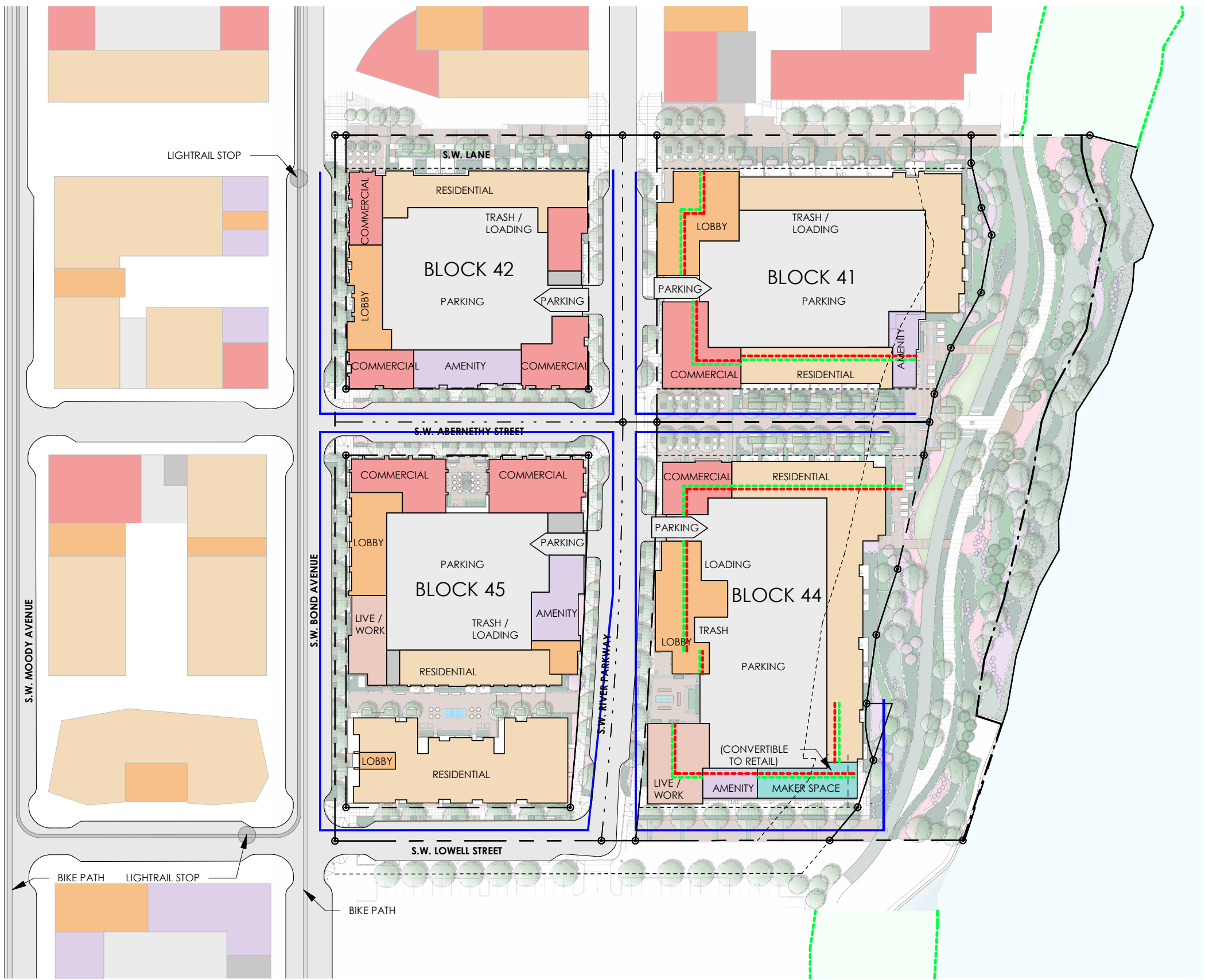


AERIAL PERSPECTIVE FROM NW
LAND USE REVIEW # (LU-20-102914 DZM GW) EXHIBIT APP.202



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RESIDENTIAL
LIVE / WORK
COMMERCIAL
PARKING
LOBBY
AMENITY
SERVICE
MAKER SPACE

- GROUND FLOOR ACTIVE USES (33.510.225)**
- THIS STANDARD MUST BE MET ALONG AT LEAST 50% OF THE GROUND FLOOR OF WALLS THAT FRONT ONTO A SIDEWALK, PLAZA, OR OTHER PUBLIC OPEN SPACE.
1. DISTANCE FROM FINISHED FLOOR TO BOTTOM OF STRUCTURE MUST BE AT LEAST 12 FEET.
 2. THE AREA MUST BE AT LEAST 25 FT. DEEP.
 3. ACTIVE USES INCLUDE BUT ARE NOT LIMITED TO: LOBBIES COMMERCIAL, RESIDENTIAL, AND OFFICE.

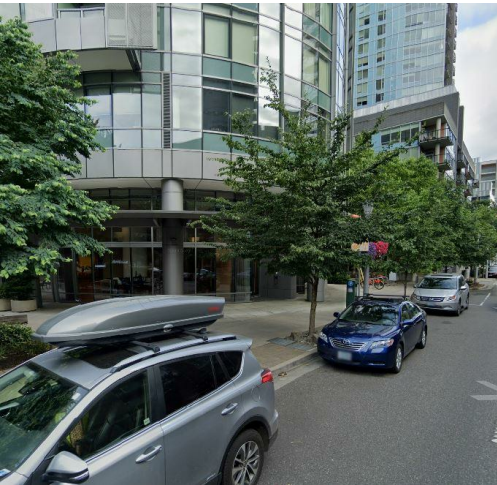
ACTIVE USE FACADE	
COMPLIANT WITH REQUIRED 25' DEPTH	
COMPLIANT WITH REQUIRED 12' CLEAR HEIGHT	



Ardea (No Setback)



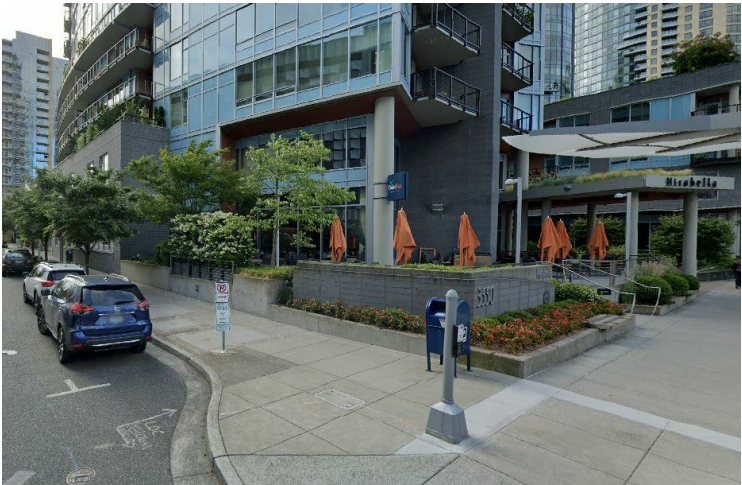
John Ross (No Setback)



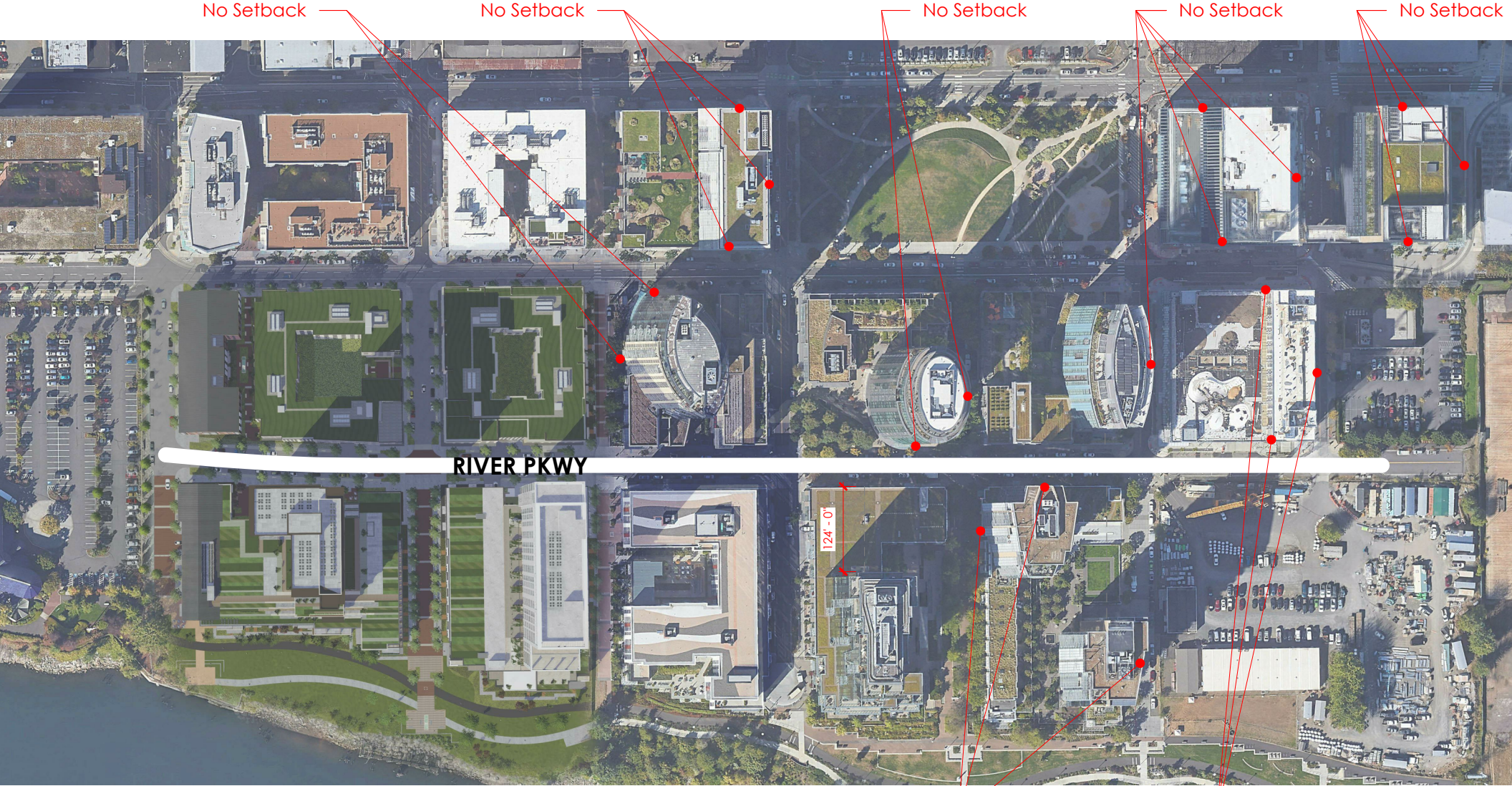
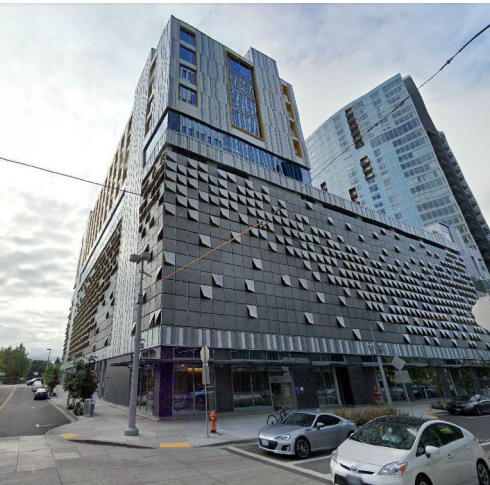
Meriwether (No Setback)



Mirabella (No Setback)



Rood Family Pavilion (No Setback)



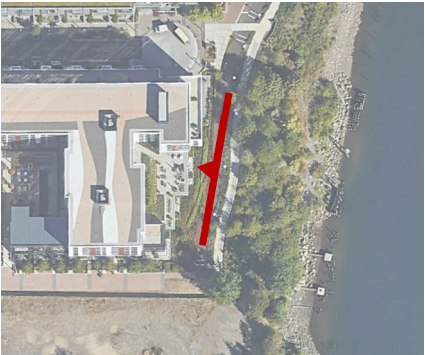
River Pkwy View Corridor



0 4 8 16

SCALE : 1" = 200'-0"

© 2020 WDG ARCHITECTURE (RIVER BLOCKS 41 & 44)



© 2020 WDG ARCHITECTURE (RIVER BLOCKS 41 & 44)



© 2020 WDG ARCHITECTURE (RIVER BLOCKS 41 & 44)



TANDEM PARKING

(33.266.130.F.1.a)

All parking areas, except stacked parking areas, must be designed so that a vehicle may enter or exit without having to move another vehicle.

PROPOSAL

We propose to use selected parking bays in the private garages for these blocks as tandem stalls, in that the front stall does not have access to the drive aisle without moving the vehicle behind it adjacent to the aisle. See Parking Plans.

APPROVAL CRITERIA

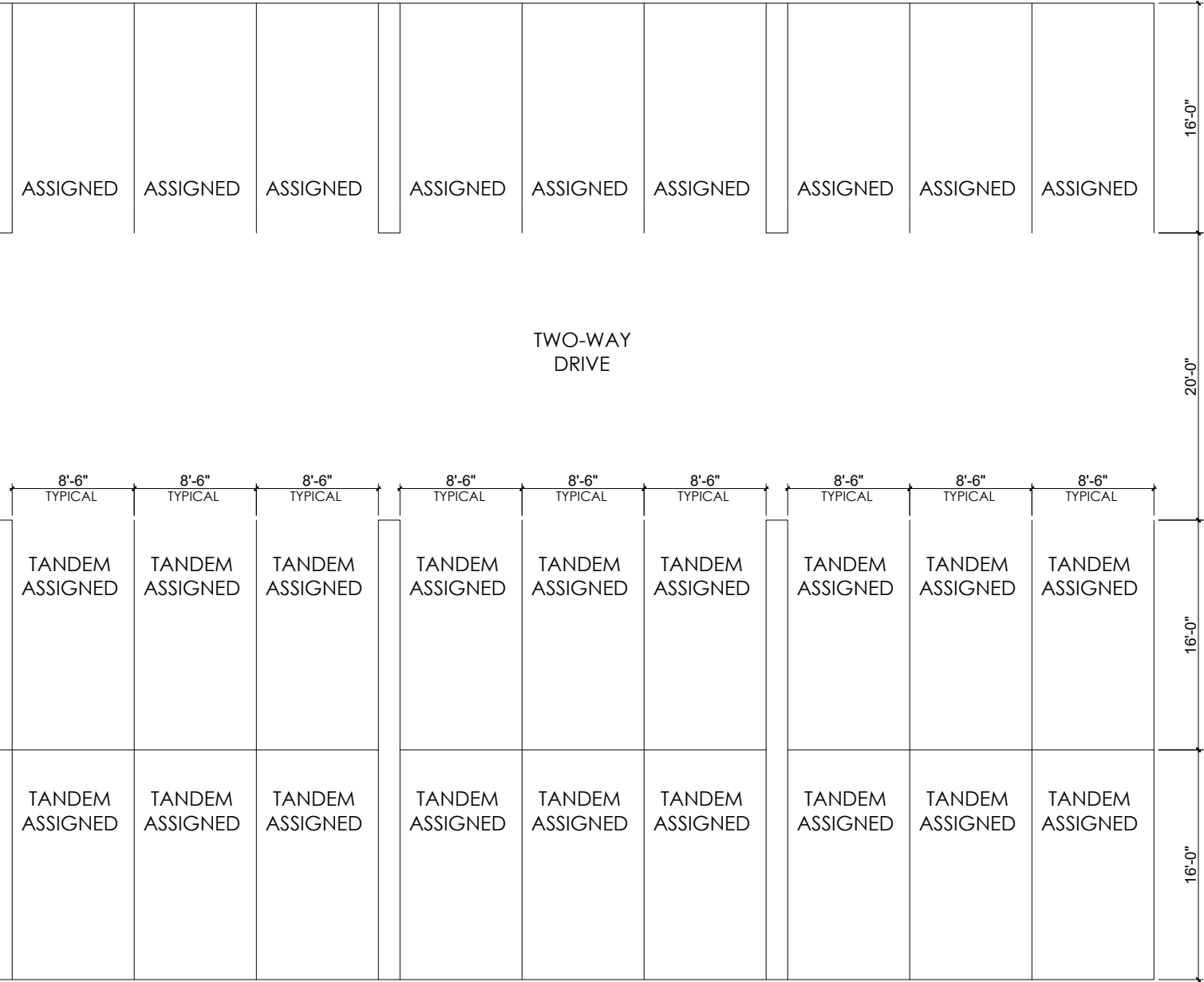
A. Granting the adjustment will equally or better meet the purpose of the regulation to be modified

Tandem stalls support the applicable guidelines in that they allow for greater vehicle density to be parked in smaller amount of developed footprint while also relieving pressure from surface/street, or above grade structured parking that might otherwise be necessary.

B. The proposal will be consistent with purpose of the standard for which a modification is requested

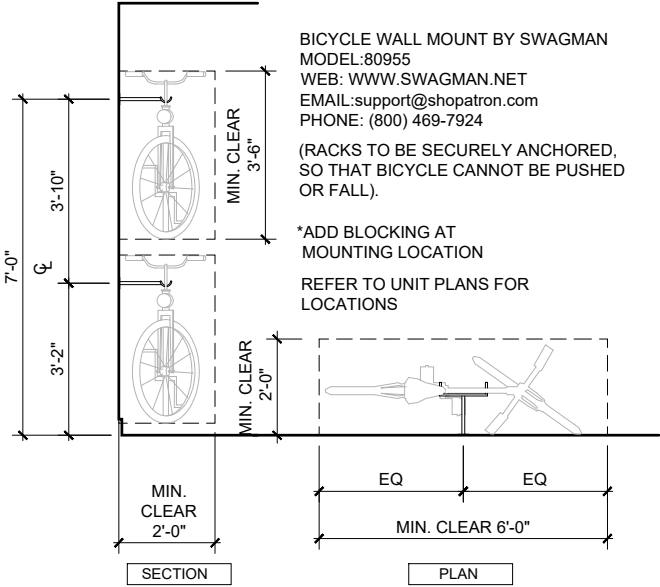
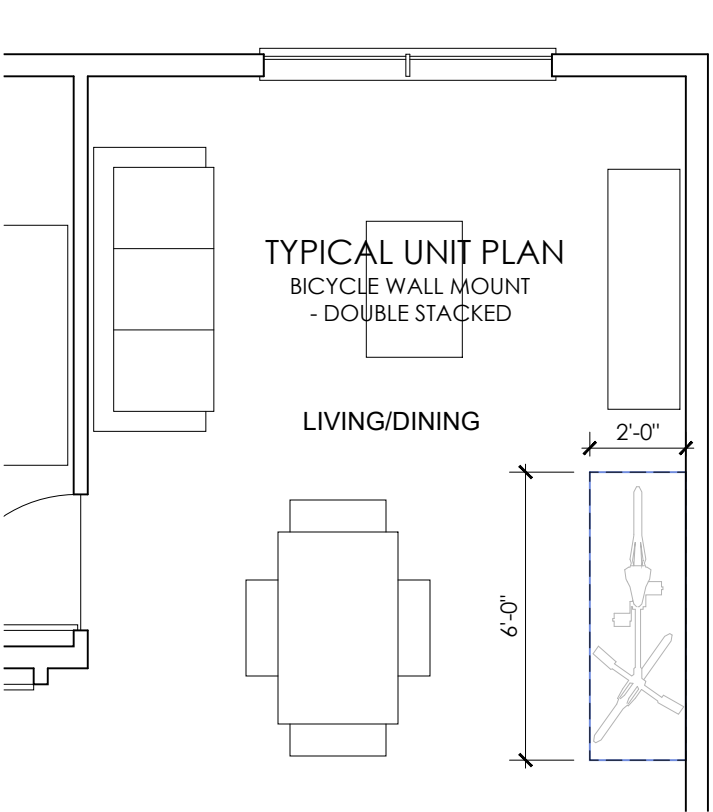
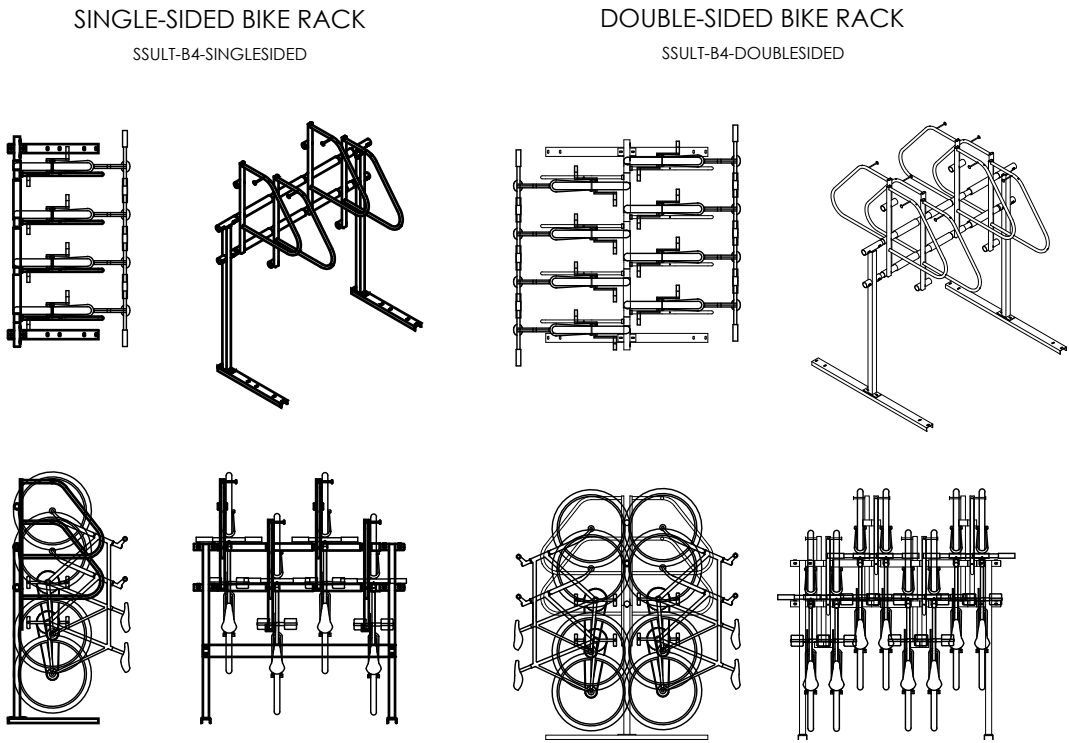
The design of Tandem stalls coincides with sustainable development, particularly for projects within dense urban cores because it is efficient and sensible use of space and land.

- a. Additionally, it should be considered that these Tandem stalls are for use on a private residential project and each pair of stalls is only intended and practical to be leased “in tandem” to the same unit tenants. Consequently, the tenants of that unit and the tandem stalls are effectively each other's full-time attendants and the use of the stalls is not impacted in a substantial manner. The number of Tandem stalls will be significantly less than the 2-bedroom and 1-bedroom unit count and so the buildings easily support “in tandem” use.



TANDEM PARKING

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LONG - TERM TYPICAL BIKE ROOM RACK

BICYCLE PARKING STANDARDS

(33.266.220.c.3.b.)

...3. Bicycle racks. The Portland Bureau of Transportation maintains a handbook of racks and siting guidelines that meet the standards of this paragraph. Required bicycle parking may be provided in floor, wall, or ceiling racks. Where required bicycle parking is provided in racks, the racks must meet the following standards:

- The bicycle frame and one wheel can be locked to the rack with a high security, U-shaped shackle lock if both wheels are left on the bicycle;
- A space 2 feet by 6 feet must be provided for each required bicycle parking space, so that a bicycle six feet long can be securely held with its frame supported so that the bicycle cannot be pushed or fall in a manner that will damage the wheels or components. See Figure 266-11; and
- The rack must be securely anchored.

PROPOSAL

For the long-term parking provided in the garage, we are proposing to use a vertical rack system with staggered rack heights (Dero ultra space saver vertical racks). This rack model is listed under the City of Portland Bike Parking Guide as pre-approved model that provide 2 points of contact with the bike wheel and frame, allow use of a U-lock through the rack, the wheel, and the frame, and may be used by bikes with mounted fenders without damaging fenders. The proposal includes the recommended 60" access aisles width, with the racks anchored to the structural slab of the garage. The City of Portland Bicycle rack handbook indicates that these racks must be used with a 24" per bike spacing, but the manufacturer suggests that 18" spacing is adequate. We request a modification to allow the vertical storage racks to be staggered on the wall at an 18" OC spacing, as per manufacturer's recommendation.

For the long-term parking provided in the units, we are proposing a wall rack system that is excluded from the 2 points of contact with the bike wheel and frame and the use of a U-lock through the rack, the wheel, and the frame. This type of long-term bike storage is already in a secured private space so security for the rack is no longer necessary.

APPROVAL CRITERIA

A. Granting the adjustment will equally or better meet the purpose of the regulation to be modified

LONG - TERM TYPICAL TENANT UNIT RACK

The proposed solution meets the intent of providing sufficient space, access and security. This spacing has been approved elsewhere by the City of Portland, and even at 18" there is adequate room for access to locks. These racks are proposed to be used for long-term storage in a central controlled-access bike storage room intended for use by residents and tenants. Because these racks will be used by residents and tenants, it can be assumed that they will have some familiarity with the rack systems and therefore the more generous 24" spacing required by the City of Portland guidelines is not required, and the manufacturer recommended 18" spacing is sufficient. We intend to maintain the 24" x 72" required footprint for short term bike parking available to the public.

B. The proposal will be consistent with purpose of the standard for which a modification is requested

The proposed design for the bicycle parking is consistent with intent of the zoning code desire to provide safe and accessible bicycle parking for its long-term bike riders. The primary design strategy is to create long term bicycle parking rooms that are easily accessible, usable and safe for our tenants and occupants. The rooms have been located in a variety of locations for convenient access from the garage and from units at floors above and are located in locked rooms to keep the tenants and their equipment safe. The rack system proposed is easy to use and will help keep tenants' bicycles organized and safe.

a. The proposal meets the intent of the zoning code.

PARKING ACCESS

(33.510.267.F.6.b.)

...b. Parking access on other streets. New motor vehicle access to any parking area or structure is not allowed on the streets shown on Map 510-9.

Map 510-9 shows that access on SW River Parkway is only granted under adjustments procedures.

PROPOSAL

For this development, we propose to locate along SW River Parkway all the parking access points for the 4 blocks. Due to the constrains on other streets surrounding the proposed buildings, SW River Parkway is the only street that provides adequate parking access.

On Block 41 and Block 44, SW River parkway is the only street that provides frontage for those building, all other streets are pedestrian access only or designs with active uses that will not work with parking access.

It's a similar case for Block 42 and Block 45, SW Lane is a pedestrian accessway, SW Abernethy is the main active street, SW Lowell is all residential, leaving SW River Parkway as the only possible option for the parking access.

APPROVAL CRITERIA

A. Granting the adjustment will equally or better meet the purpose of the regulation to be modified.

Moving the parking access to SW River Parkway on this case will equal the purpose of the regulation since these buildings sit on dense urban environment. Parking access on busy streets is common on this type of neighborhoods and by locating the access points away from the middle streets in the four blocks, the pedestrian links through the blocks is preserved better.

A study on turning lanes and access to gates on the parking access was provided to BPOT where it shows that impact to pedestrian and vehicular traffic is minimal on SW Parkway.

B. If in a residential, CI1, or IR zone, the proposal will not significantly detract from the livability or appearance of the residential area, or if in an OS, C, E, I, or CI2 zone, the proposal will be consistent with the classifications of the adjacent streets and the desired character of the area.

Criteria does not apply.

C. If more than one adjustment is being requested, the cumulative effect of the adjustments results in a project which is still consistent with the overall purpose of the zone.

Only one adjustment is being requested.

D. City-designated scenic resources and historic resources are preserved.

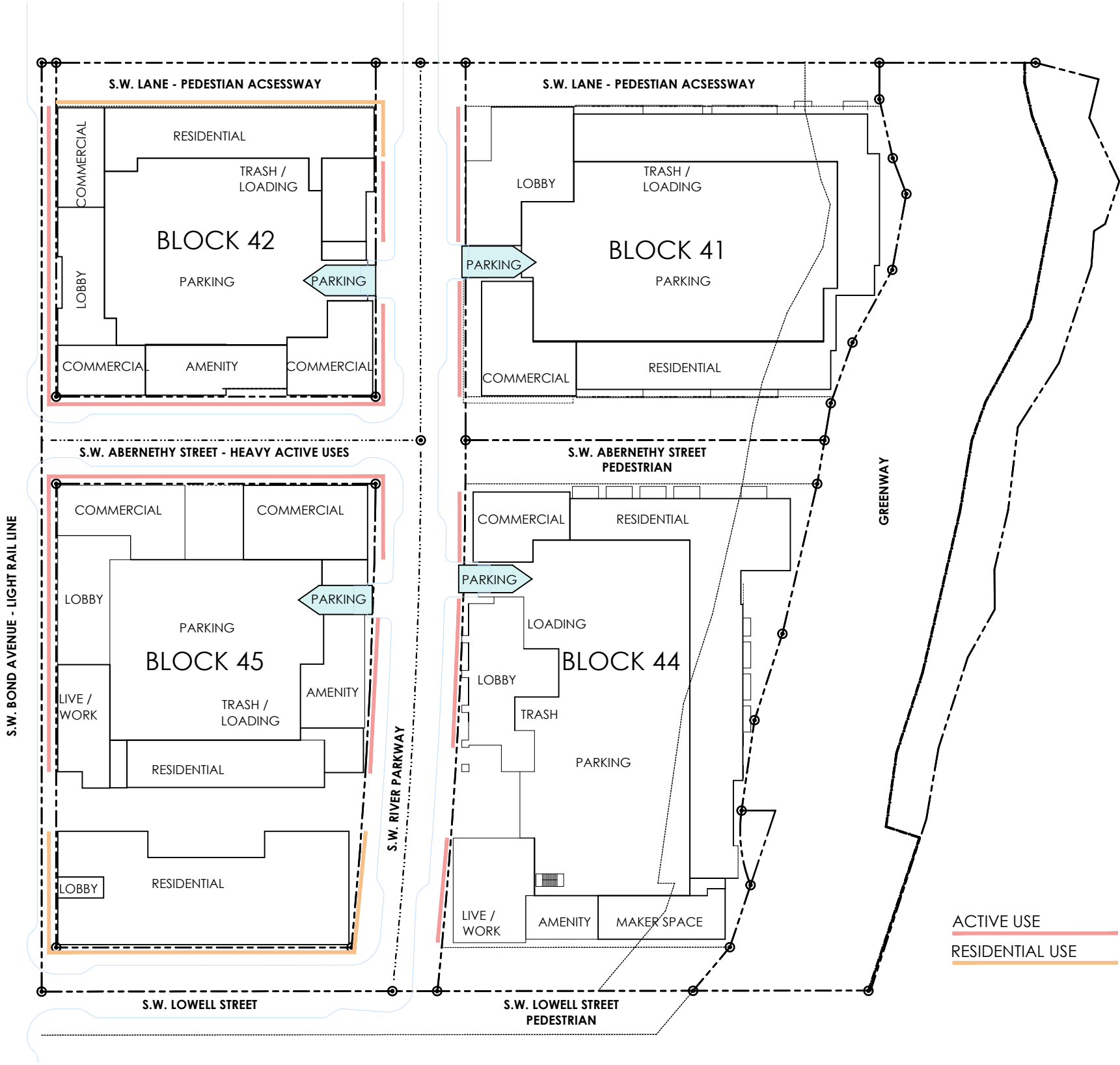
Criteria does not apply.

E. Any impacts resulting from the adjustment are mitigated to the extent practical; and

See response on criteria A.

F. If in an environmental zone, the proposal has a few significant detrimental environmental impacts on the resource and resource values as is practicable;

Criteria does not apply.



PARKING ACCESS

ADJUSTMENT 1 - PARKING ACCESS