



Residential Infill Project

Scale of Houses (a primer)

Stakeholder Advisory Committee
October 6, 2015



Bureau of Planning and Sustainability
Innovation. Collaboration. Practical Solutions.



Overview

- Standards vs. Review Criteria
- Purpose of Development Standards
- Standards addressing “scale of houses”
 - Purpose
 - Application
 - Data
 - Examples



Standards versus Reviews

Standards are “clear and objective”

– like a math problem:

“The maximum height is 30 feet.”

- **Benefits:** provide certainty, easy to apply
45% of the City is single-dwelling zoned
3,760 SFR permits (2013)
- **Limitations:** inflexible, written for “normal” lots



Standards versus Reviews

- Land Use Reviews are “discretionary”
 - like a critical thinking exercise:
 - “Height should be consistent with the heights of adjacent buildings”
 - Benefits: provide flexibility, context sensitive
 - Limitations: can be interpreted in multiple ways, costly and time intensive to administer
 - 130 adjustments (2013)



Oregon's Two-Track System

- ORS 197.307 – local governments must apply “clear and objective standards” to housing development.
- Standards and procedures can not result in unreasonable cost or delay.
- May have a discretionary process if there is an alternative standards track.
- Some exceptions (historic districts, e.g.)



Plan Checks

- Multiple bureaus involved
 - BDS – **zoning standards**, grading, building code
 - PBOT – street improvements
 - BES – stormwater and sewer
 - Water – water service
 - Parks/Urban Forestry – street trees



Development Standards

Purpose

- Preserve the character of neighborhoods
- Differentiate densities and development standards by zone
- Promote desirable residential areas
- Allow for development flexibility
- Provide certainty



Development Standards

Basic Building Form

- Housing Type
- Setbacks
- Building Coverage
- Outdoor Yard Area
- Height
- "BZD's" -main entrance, windows, garages

CITY OF PORTLAND OREGON - BUREAU OF DEVELOPMENT SERVICES

ZONING CODE
INFORMATION GUIDE

Development Standards in the Single-Dwelling Zones, Ch. 33.110

The following is not a complete list of standards. For all regulations that apply to your site, please review the Zoning Map at www.portlandmaps.com and the Zoning Code at www.portlandonline.com/zoningcode. Refer to the Zoning Code section listed next to the standard for additional information. These standards may be superseded by the regulations of an overlay zone or plan district.

Table 110-3
Summary of Development standards in Single-Dwelling zones

Standard	RF	R20	R10	R7	R5	R2.5	
						detached	attached
Maximum Height (33.110.215)	30 ft.	30 ft.	30 ft.	30 ft.	30 ft.	35 ft.	35 ft.
Minimum Setbacks (33.110.220)							
• Front building	20 ft.	20 ft.	20 ft.	15 ft.	10 ft.	10 ft.	10 ft.
• Side building	10 ft.	10 ft.	10 ft.	5 ft.	5 ft.	5 ft.	0/5 ft. ^[1]
• Rear building	10 ft.	10 ft.	10 ft.	5 ft.	5 ft.	5 ft.	5 ft.
• Garage entrance	18 ft.	18 ft.	18 ft.	18 ft.	18 ft.	18 ft.	18 ft.
Required Outdoor Area (33.110.235)							
• Minimum area	250 sq. ft.	250 sq. ft.	250 sq. ft.	250 sq. ft.	250 sq. ft.	250 sq. ft.	200 sq. ft.
• Minimum dimension ^[4]	12' x 12'	12' x 12'	12' x 12'	12' x 12'	12' x 12'	12' x 12'	10' x 10'

Notes:
 [1] Per 33.110.240.C, the side building setback on the side containing the common wall is reduced to zero.
 [2] No side, rear, or garage entrance setback is required from a lot line abutting an alley.
 [3] The lot in front of a flag lot may reduce its side building setback along the flag pole lot line to 3 feet.
 [4] The shape of the outdoor area must be such that a square of the stated dimension will fit entirely in the outdoor area.

Table 110-4
Maximum building coverage allowed in the RF through R2.5 Zones^{[1][2]}

Lot size	Maximum building coverage
Less than 3,000 sq. ft.	50% of lot area
3,000 sq. ft. or more but less than 5,000 sq. ft.	1,500 sq. ft. + 37.5% of lot area over 3,000 sq. ft.
5,000 sq. ft. or more but less than 20,000 sq. ft.	2,250 sq. ft. + 15% of lot area over 5,000 sq. ft.
20,000 sq. ft. or more	4,500 sq. ft. + 7.5% of lot area over 20,000 sq. ft.

Notes:
 [1] Group Living uses are subject to the maximum building coverage for institutional development stated in Table 110-5.
 [2] Only the flag portion of a flag lot is considered when calculating building coverage.

For more information visit or call the Planning and Zoning staff at the Development Services Center at 1900 SW 4th Avenue, Suite 1500, 503-823-7526
 For current Portland Zoning Code visit www.portlandonline.com/zoningcode

DEVELOPMENT STANDARDS IN THE SINGLE DWELLING ZONES 1

Housing Types

House

Manufactured Home

Attached House

Duplex

Attached Duplex

Multi-dwelling Structure

Multi-dwelling
Development



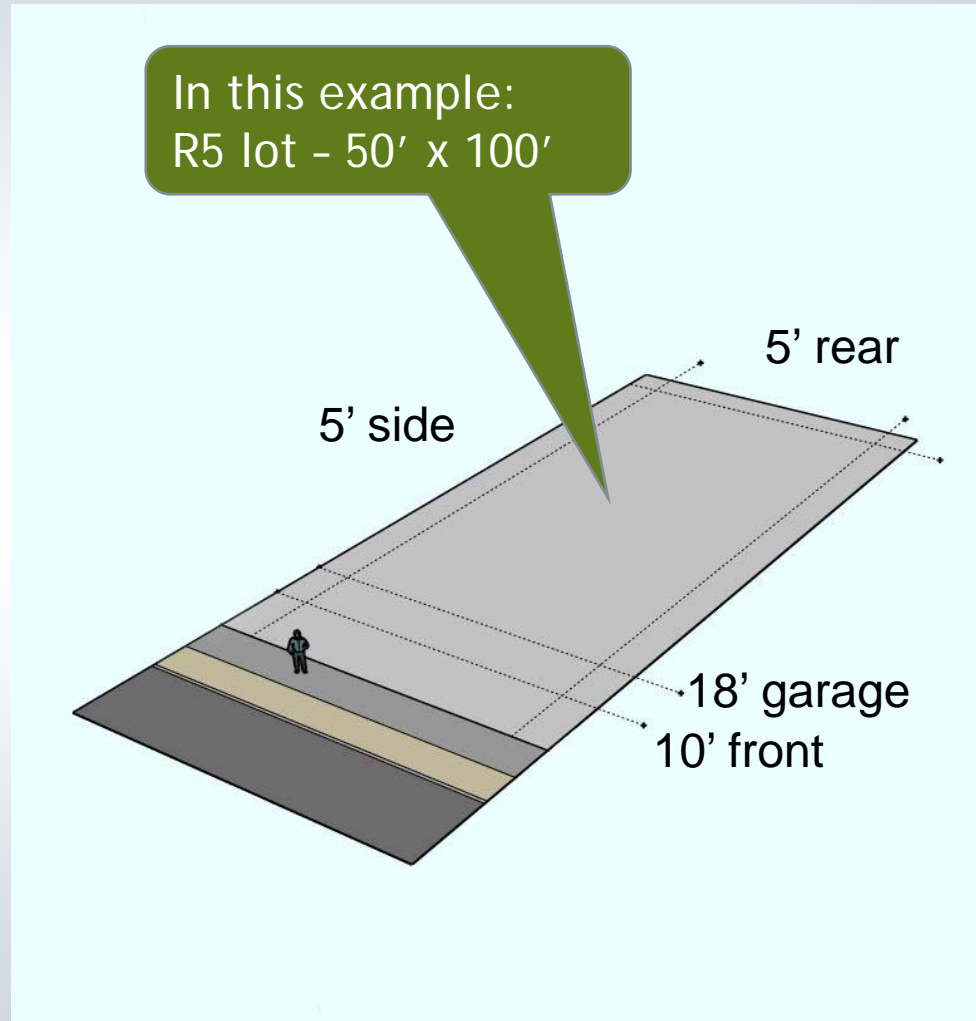
Setbacks

Purpose: to “maintain light, air, separation, and options for privacy”

“reflect general scale and placement of houses”

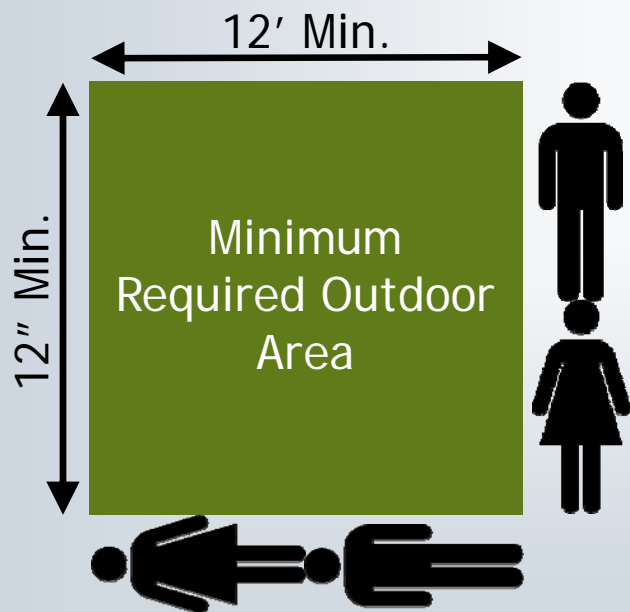
“provide flexibility for a building to be compatible, fit the topography, and allow architectural diversity”

- 33.110.220



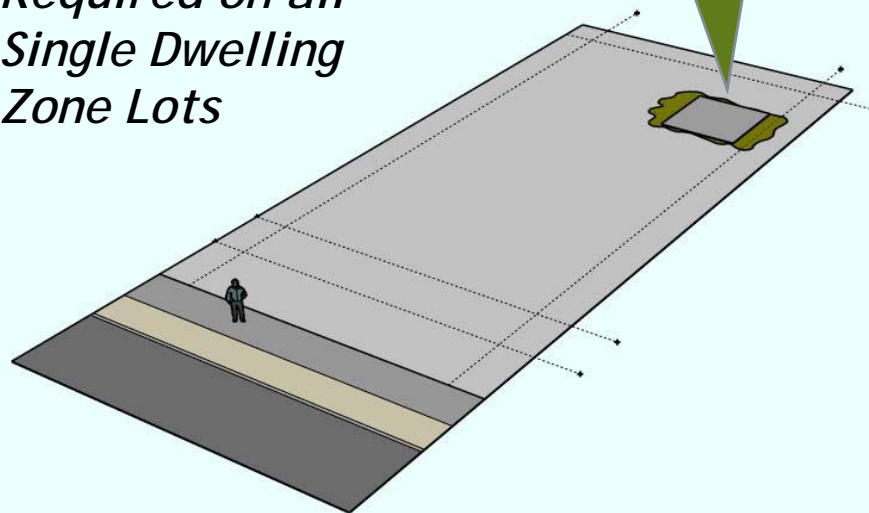
Outdoor Area

Purpose: to “assure opportunities”... “for outdoor recreation or relaxation.” - 33.110.235



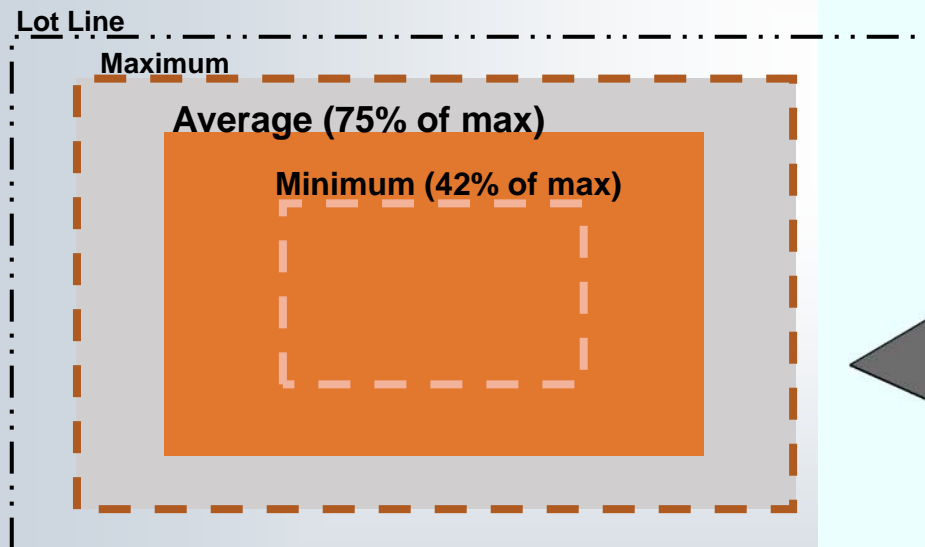
*Required on all
Single Dwelling
Zone Lots*

250 s.f. that can fit
a 12'x12' square



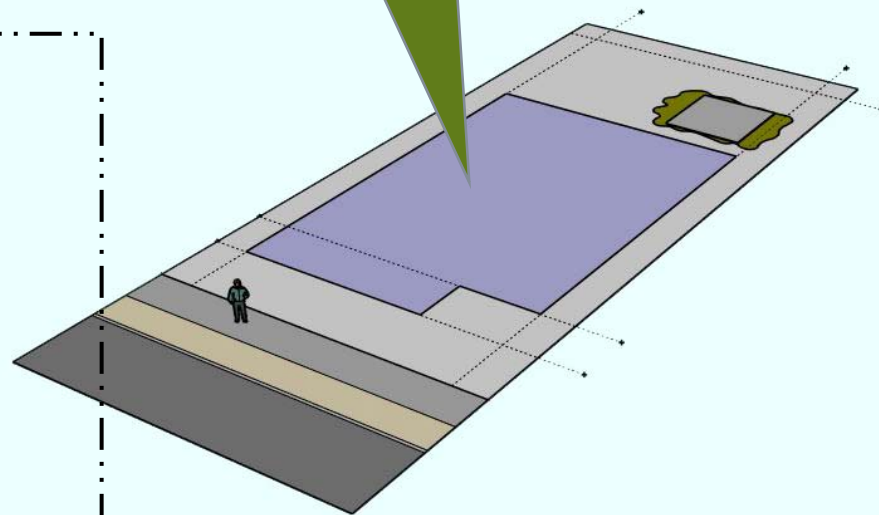
Building Coverage

Maximum coverage varies by lot size (not by zone)



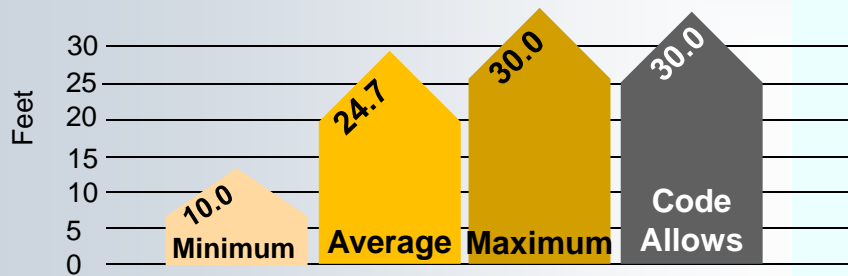
Building Coverage – Lots 4,951 to 6,999 Sq. Ft.
Zones R2.5, R5 and R7 - 2013

On a 5,000 s.f. lot,
max coverage is
2,250 s.f. (45%)



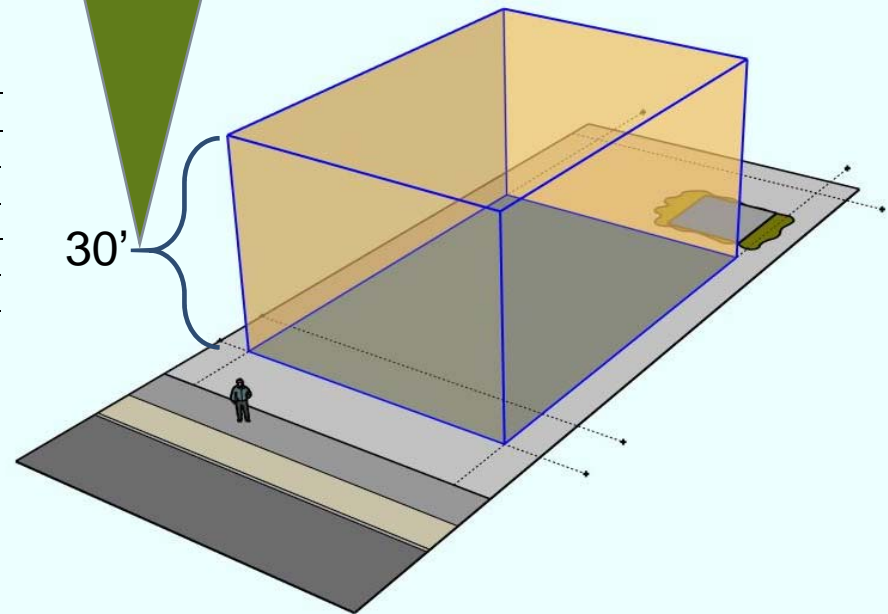
Height

2013 SFR permit data



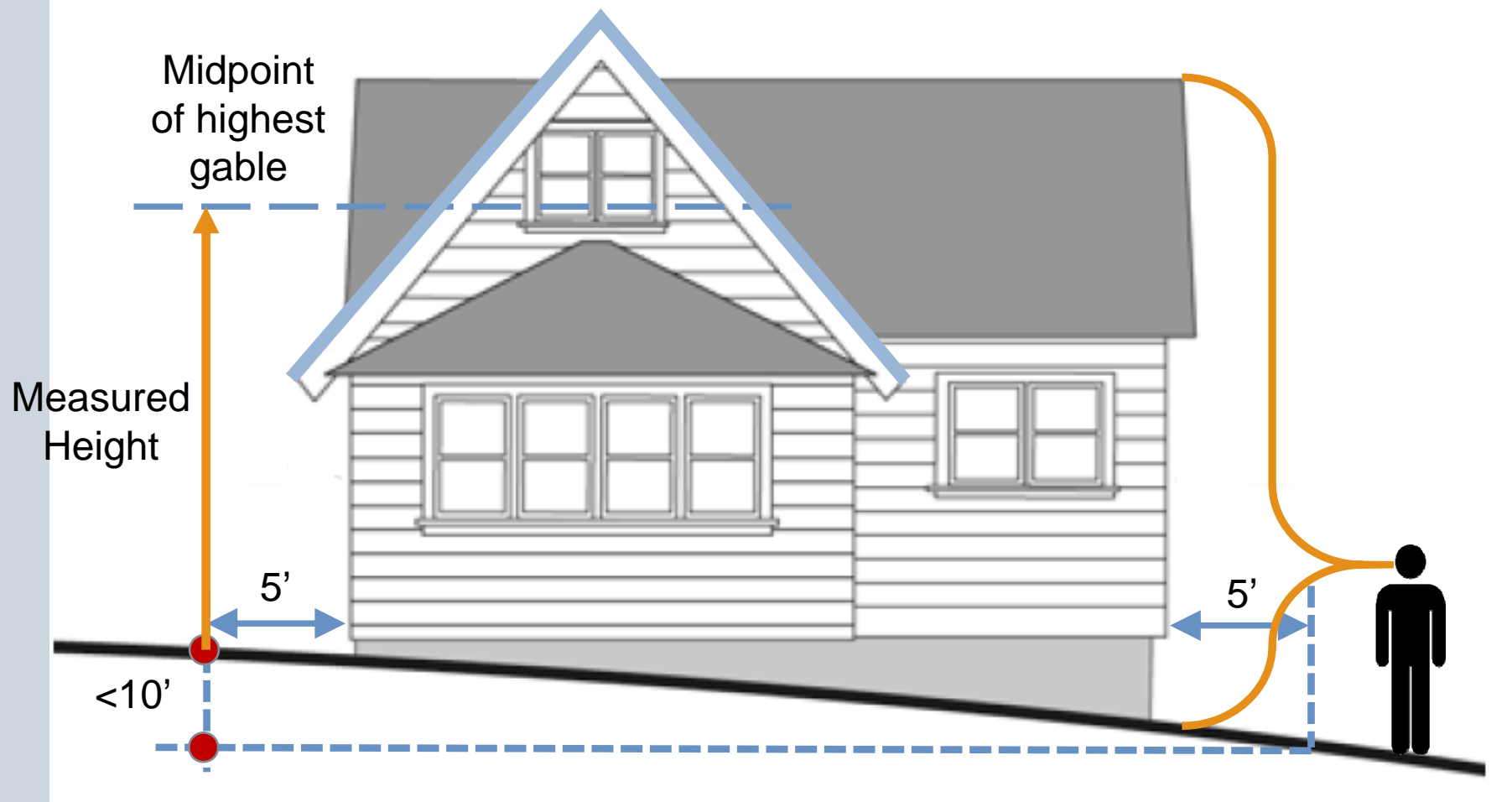
Building Heights – R5 Zone

Max height:
RF - R5 zones is 30 feet
R2.5 zone is 35 feet



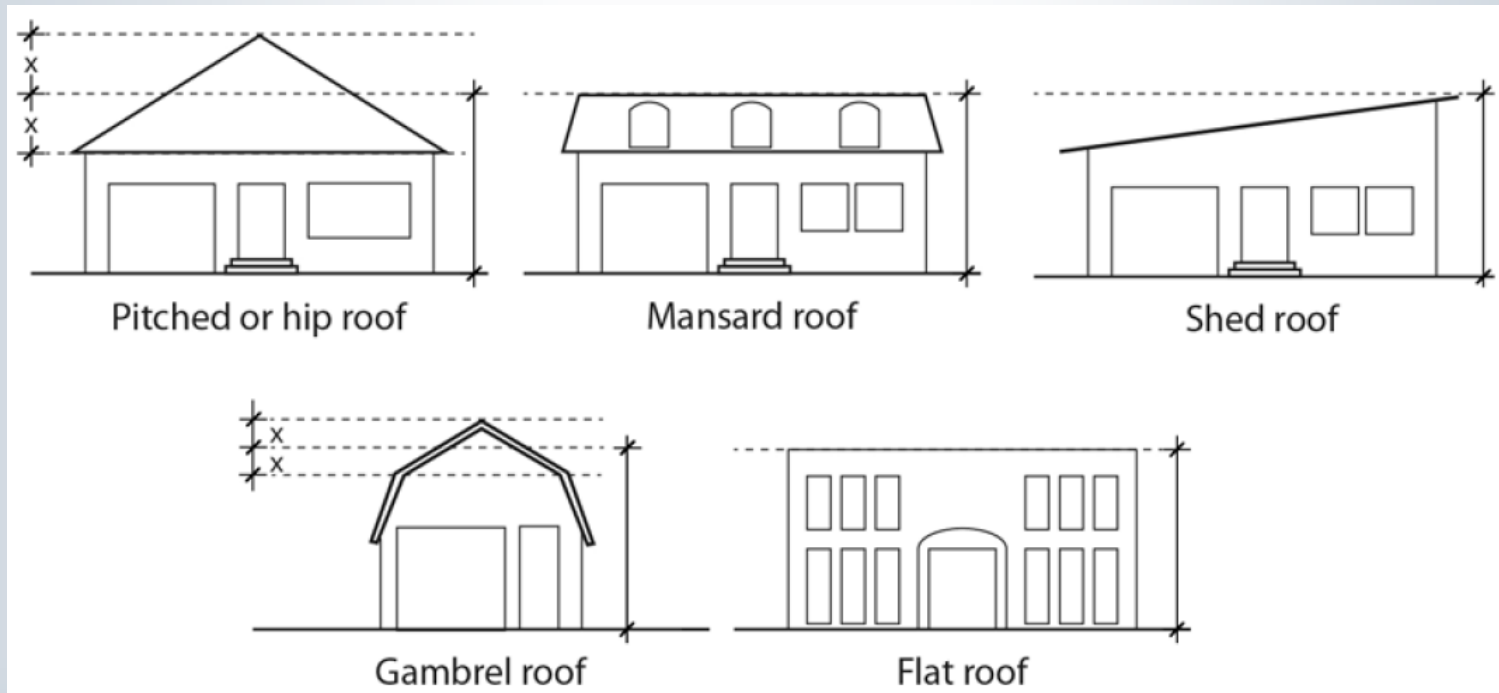
Height Measurement

Base Point 1 (flat lot)



Height Measurement

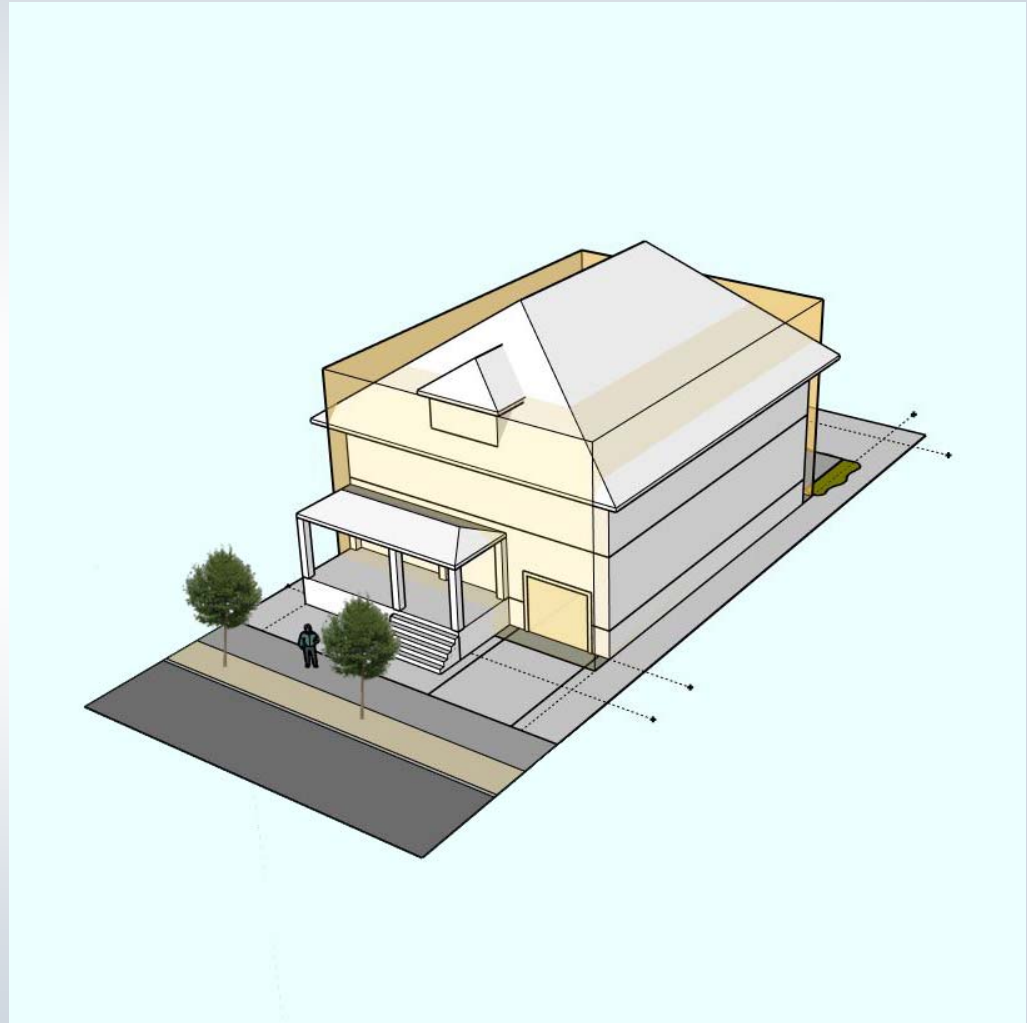
- Other roof forms



Maximum Scale House

Building coverage: 2,250 s.f.
(max allowed)

Height: 30 feet
(max allowed)

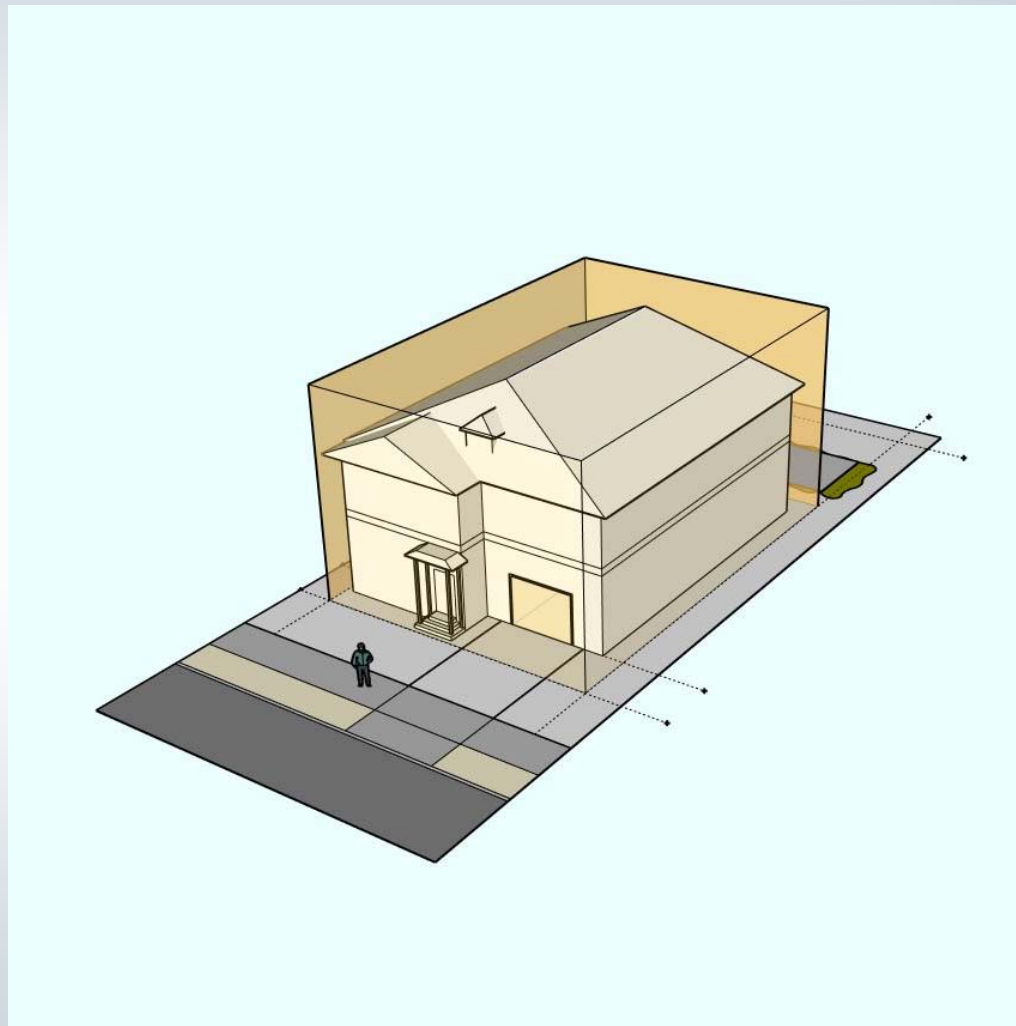


Average Scale House (2013)

Building coverage: 1,690 s.f.
(75% of max allowed)

Height: 24.7 feet
(82% of max allowed)

Average house size: 2,443 s.f.



R5 zone 4,400 s.f. lot

- Average height
- Average building coverage



Total house size	2,288 s.f.	
Floor to Area Ratio	0.52	Percent of Max
Building Coverage	1467 s.f.	78 % (near average)
Height	25 ft.	83 % (near average)
Front setback	10.5 ft.	95 %
Rear setback	39 ft.	13 %
Side setback	5 ft./5 ft.	100%/100%



R5 zone 4,000 s.f. lot

- Average height
- Maximum building coverage



Total house size	2,340 s.f.	
Floor to Area Ratio	0.59	Percent of Max
Building Coverage	1875 s.f.	100 %
Height	24.11 ft.	80 % (near average)
Front setback	10 ft.	100 %
Rear setback	34 ft.	15 %
Side setback	5 ft./6 ft.	100%/83%



R5 zone 3,750 s.f. lot

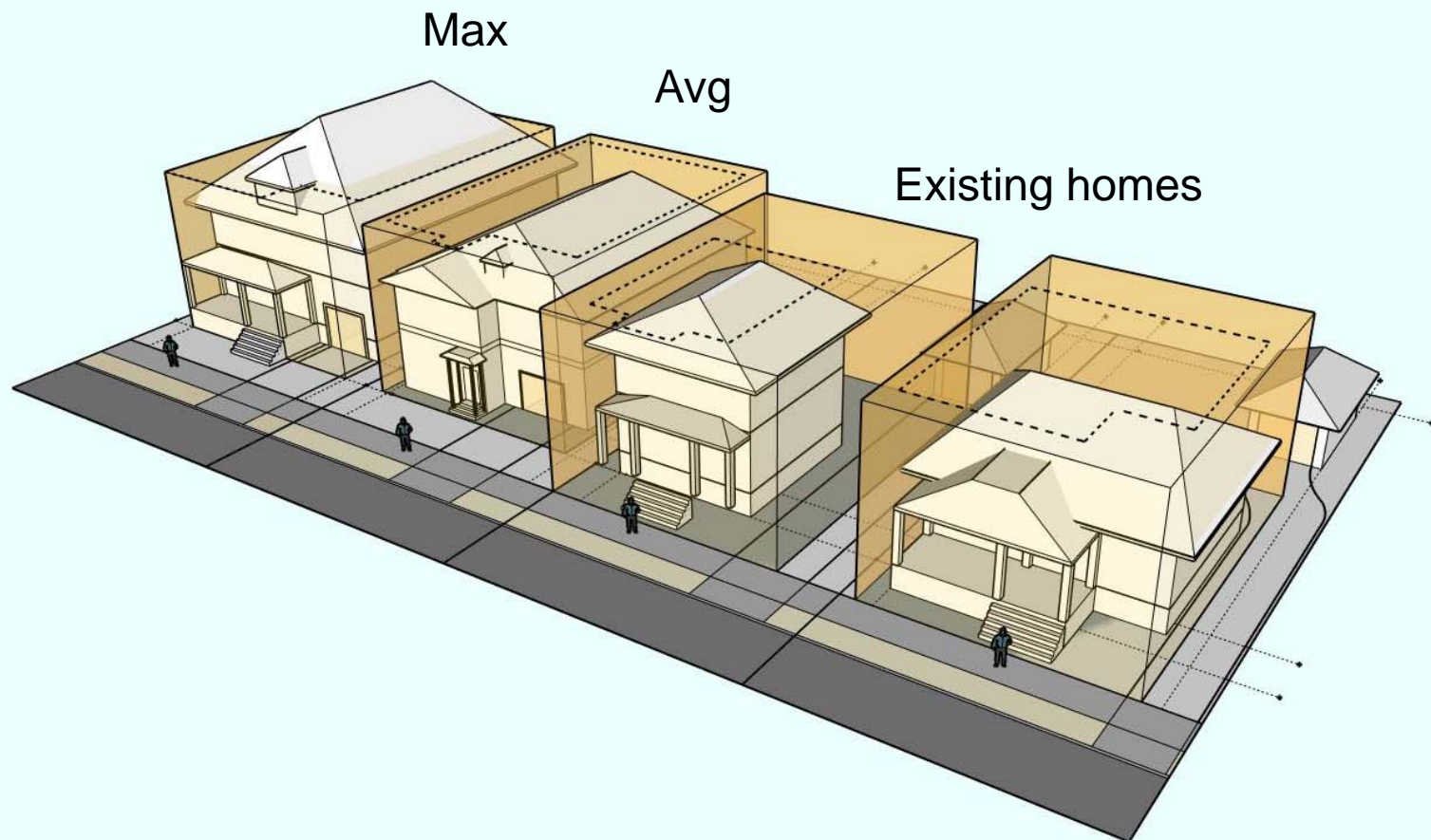
- Maximum height
- Average building coverage



Total house size	3,715 s.f.	
Floor to Area Ratio	0.99	Percent of Max
Building Coverage	1510 s.f.	85 % (near average)
Height	30 ft.	100 %
Front setback	10 ft.	100 %
Rear setback	5 ft.	100 %
Side setback	5.5 ft./5.5 ft.	91%/91%



Comparison along block



Comparison along block



Some principles to ponder

- Front yard versus back yard
(semi private versus private space)
- Uniformity versus variety
(height, roof form, style)
- Up versus out
(taller or single-level living)
- Natural versus built environment
- Patterns
(House width, spaces between, porches,
alignment of facades, building orientation)

