



EVERETT HOTEL

DESIGN ADVICE REQUEST #1

July 22, 2019
Public Meeting Date: August 8, 2019

Project Team

Applicant/
Owner/Developer

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Suite 300
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Structural Engineer

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Portland, OR 97205

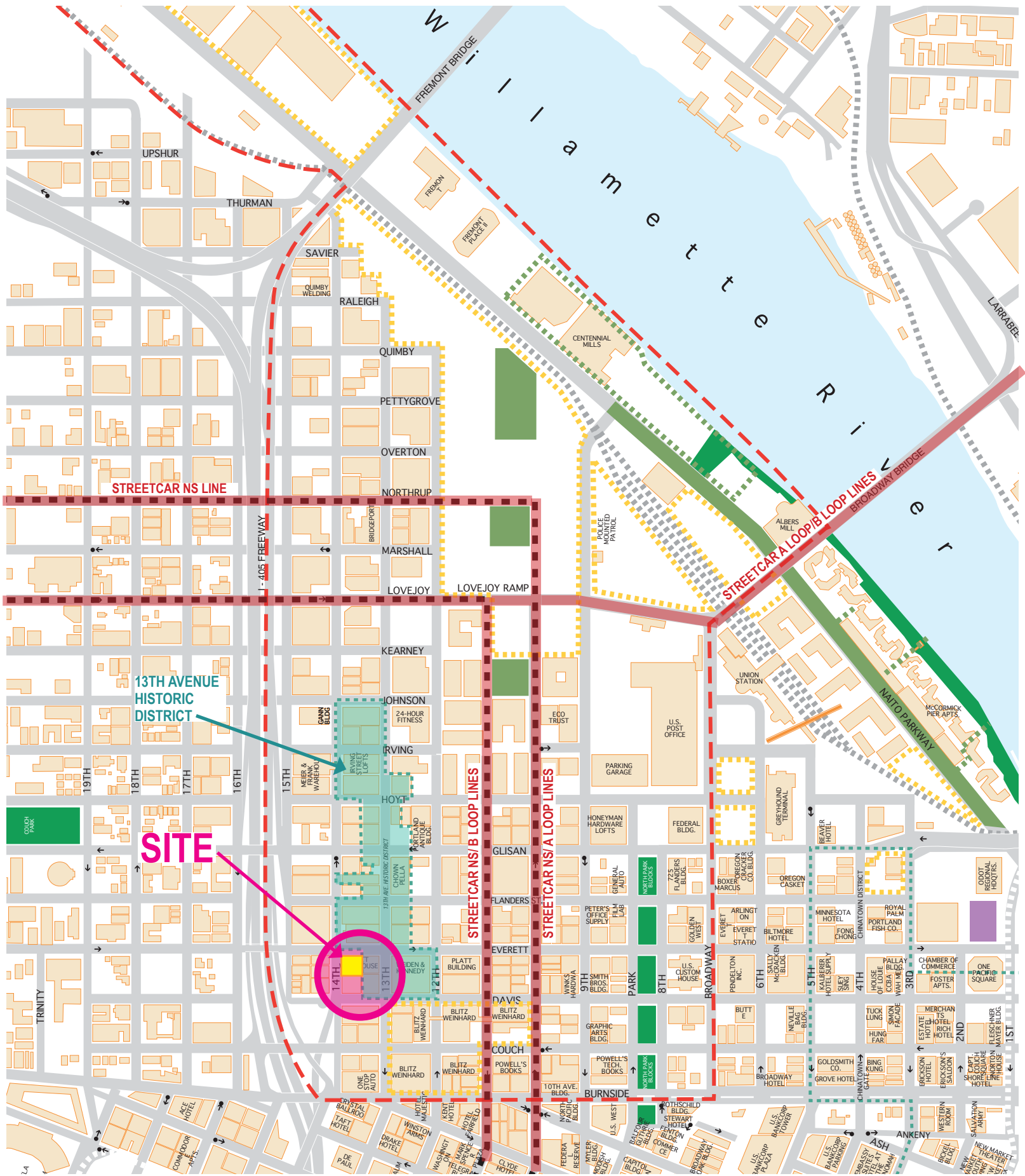
Civil Engineer

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Portland, OR 97214

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SITE CONTEXT



Project Data & Application Request Summary

Site Address
234 NW 14th Avenue

Site Area
10,000 Square Feet

Zoning
EXd (Central Employment with Design overlay in the River District subdistrict)

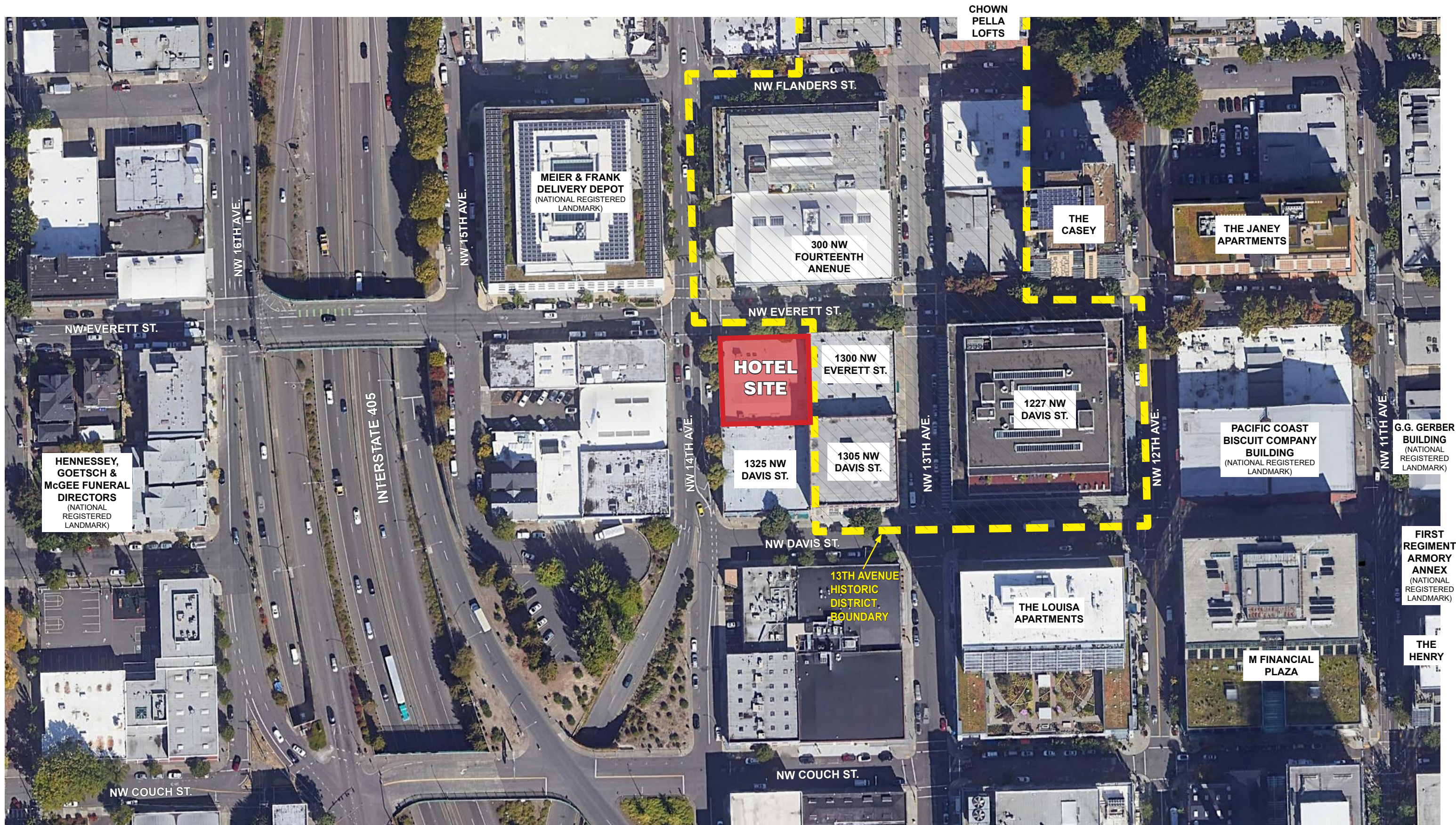
Neighborhood
Pearl District

Design Advice Request Public Meeting
August 8, 2019

Application Request
Type III Design Review for a new construction 13-story, limited service hotel. The building shall comprise of a hotel lobby, lounge, meeting room, a bar and market spaces, along with loading and back-of-house spaces at the ground level, 221 guestrooms located at Levels 2-13 above, with fitness room at Level 13. The building is approximately 105,800 gross square feet. The Applicant requests approval of site usage and building as detailed in the architectural drawings with the following modifications:

Number of Loading Spaces [33.266.310.2.c]:
The project proposes a reduction in the required loading spaces from two berths to one in order to increase the amount of building street frontage available for active uses.





Zoning Summary

Central Employment Base Zone Standards

The hotel site is zoned EXd (Central Employment with Design overlay in the River District Subdistrict). Applicable standards of the Base Zone and Central City Plan regulations are addressed as follows:

33.140.100: Primary Uses
Per 33.920.250, a hotel falls under the use category of Retail Sales and Services. As defined in Table 140–1, Retail Sales and Services is a permitted use in the EX zone.

33.140.200: Lot Size
The site meets the referenced 33.614.100 section C standard that the front lot line is at least 10 feet long.

33.140.205: Floor Area Ratio
The FAR standards of plan districts supersede the FAR standards of this chapter. See response to 33.510.200 in Central City Plan District Standards.

33.140.210: Height
Per 33.140.04, plan district regulations supersede the height standards of this chapter. See response to 33.510.205 in Central City Plan District Standards.

33.140.215: Setbacks
Per Table 140–2, there is no minimum building setback. Additional maximum setback standards are required per Central City Plan District Standard 33.510.215 Building Lines.

33.140.220: Building Coverage
There is no limit to building coverage as defined in Table 140–2.

33.140.225: Landscaped Areas
There is no requirement for minimum landscaped areas as defined in Table 140–2.

33.140.227: Street Trees
Street Trees will be mitigated per Chapter 11.50.

33.140.230: Ground Floor Windows
Per the standard of 33.140.230 section B, paragraph 3, Ground floor windows must be at least 50% of the frontage length and at least 25% of the ground level wall area. The proposal anticipates complying with this minimum criteria for both NW Everett Street and NW 14th Avenue.

33.140.235: Screening
Garbage and recycling is proposed to be collected and stored internal to the building within the Service bay area, and therefore does not require screening at the ground level. Mechanical equipment is proposed to be located at both the Level 2 lower roof and tower roof. The Level 2 roof is entirely screened from view by the tower massing to the north and west. Equipment at the upper tower roof shall be screened in compliance with 33.140.235.

33.140.240: Pedestrian Standards
The building main lobby pedestrian entrance is proposed at the corner of NW Everett Street and NW 14th Avenue and thus provides a connection to the sidewalk at both streets.

33.140.280: Demolitions
There are no historic resources on site.

33.140.295: Parking and Loading
No parking required per section 33.266, Table 266–1. The design proposal includes no parking. A minimum of 2 long-term and 2 short-term bicycle parking spaces are required per section 33.266, Table 266–6. Two loading spaces are required per section 33.266.310. The design proposes to include one enclosed loading space complying with Standard A requirements. Recycling areas will be incorporated into the garbage collection areas inside the building, and so will not require screening. Appropriate signage will be included in the design of all recycling areas.

33.140.300: Signs
Signs will comply with the regulations of Title 32, Signs and Related Regulations.

33.140.315: Recycling Areas
Recycling areas will be incorporated into the garbage collection areas located inside the enclosed service bay.

Central City Plan District Standards

The hotel site is located within the Central City District as shown on Map 510–1.

33.510.116: Retail Sales and Service Use for Specified Sites in the CX and EX Zones
The net building area limitations do not apply to hotel uses.

33.510.200: Floor Area Ratios
As defined on Map 510–2, the maximum floor area ratio for this site is 6:1. The gross site area is 10,000 sq.ft. and the proposed total building gross area is approximately 105,800 sq.ft. Therefore, the project will be seeking an increase to the FAR through floor area transfer from an Historic Resource in accordance with 33.510.205.D.1.

33.510.205: Height
As defined on Map 510–3, the maximum building height is 100 feet and the building site is located within the area eligible for height increase. A maximum bonus height of 250’ is allowed as defined on Map 510–4. The proposed building is approximately 131’ in height, and will seek additional building height through FAR transfer in accordance with 33.510.210.D.3.b.(3).

33.510.210: Floor Area and Height Bonus Options
The project will seek to increase the FAR through floor area transfer from a Historic Resource per 33.510.205.D.1. The project will seek to earn additional height through 33.510.210.D.3.b.(3).

33.510.215: Required Building Lines
The proposed building extends to the street lot line along >75% of the lot line at the NW Everett Street frontage. Along NW 14th Avenue, the proposed building is set back approximately 4 feet in response to an anticipated 4’ Right Of Way dedication to be imposed by PBOT. Along 75% of this frontage, the space between the lot line and building is intended to be designed as an extension of the sidewalk and committed to active uses.

33.510.220: Ground Floor Windows
This standard requires compliance with the base zone standard (EX Central Employment). The proposal anticipates complying with the minimum length percentage and wall area percentage criteria for both NW Everett Street and NW 14th Avenue.

33.510.221: Required Windows Above the Ground Floor
The proposed building design intends to include greater than 15% window coverage above the ground level wall area for all street-facing facades.

33.510.223: Bird-Safe Exterior Glazing
The building intends to use bird-safe exterior glazing per 33.510.223.

33.510.225: Ground Floor Active Uses
As defined on Map 510–9, ground floor active use standards apply to the frontage of NW Everett Street. Lobby, lounge, bar and a market are planned for greater than 50% of the street frontage, with ceiling heights greater than 12’ and a north-south plan depth of >25’.

33.510.243: Ecoroofs
The proposed building design intends to comply with the ecoroof standards outlined in 33.510.243. However, the percentage of roof area to be occupied by mechanical equipment, stairwell and elevator enclosures, skylights, and other equipment is not yet determined.

Zoning Summary

Miscellaneous Site Restrictions

In addition to zoning regulations, the project must re-
spond to the following imposed restrictions:

1. Portland Bureau of Transportation District Right-
Of-Way Guidelines:

PBOT will impose a dedication of 4 feet along the NW
14th Avenue property line, thereby effectively decreasing
the developable project site area from 10,000 sq.ft. to
approximately 9,600 sq.ft.

2. Portland Bureau of Transportation Loading
Restriction:

PBOT will require that no loading bay, loading access, or
curb cuts be located along the NW 14th Avenue project
site frontage.

Central City Fundamental Design Guidelines

A Portland Personality

- A1 Integrate the River
- A2 Emphasize Portland Themes
- A3 Respect the Portland Block Structures
- A4 Use Unifying Elements
- A5 Enhance, Embellish and Identify Areas
- A6 Reuse/ Rehabilitate/ Restore Buildings
- A7 Establish and Maintain a Sense of Urban Enclosure
- A8 Contribute to a Vibrant Streetscape
- A9 Strengthen Gateways

B Pedestrian Emphasis

- B1 Reinforce and Enhance the Pedestrian System
- B2 Protect the Pedestrian
- B3 Bridge Pedestrian Obstacles
- B4 Provide Stopping and Viewing Places
- B5 Make Plazas, Parks and Open Space Successful
- B6 Develop Weather Protection
- B7 Integrate Barrier-Free Design

C Project Design

- C1 Enhance View Opportunities
- C2 Promote Quality and Permanence in Development
- C3 Respect Architectural Integrity
- C4 Complement the Context of Existing Buildings
- C5 Design for Coherency
- C6 Develop Transitions Between Buildings and Public Spaces
- C7 Design Corners that Build Active Intersections
- C8 Differentiate the Sidewalk-Level of Buildings
- C9 Develop Flexible Sidewalk-Level Spaces
- C10 Integrate Encroachments
- C11 Integrate Roofs and Use Rooftops
- C12 Integrate Exterior Lighting
- C13 Integrate Signs

River District Design Guidelines

A Portland Personality

- A1-1 Link the River to the Community
- A3-1 Provide Convenient Pedestrian Linkages
- A5-1 Reinforce Special Areas
 - A5-1-1 Reinforce the Identity of the Pearl District Neighborhood
 - A5-1-2 Reinforce the Identity of the North Park Blocks Area
 - A5-1-3 Reinforce the Identity of Chinatown
 - A5-1-4 Reinforce the Identity of the Union Station Area
 - A5-1-5 Reinforce the Identity of the Waterfront Area
- A5-2 Emphasize N.W. Broadway Bright Lights
- A5-3 Incorporate Water Features
- A5-4 Integrate Works of Art
- A8-1 Design Fences, Walls, and Gateways to be Seen Over
- A9-1 Provide a Distinct Sense of Entry and Exit

B Pedestrian Emphasis

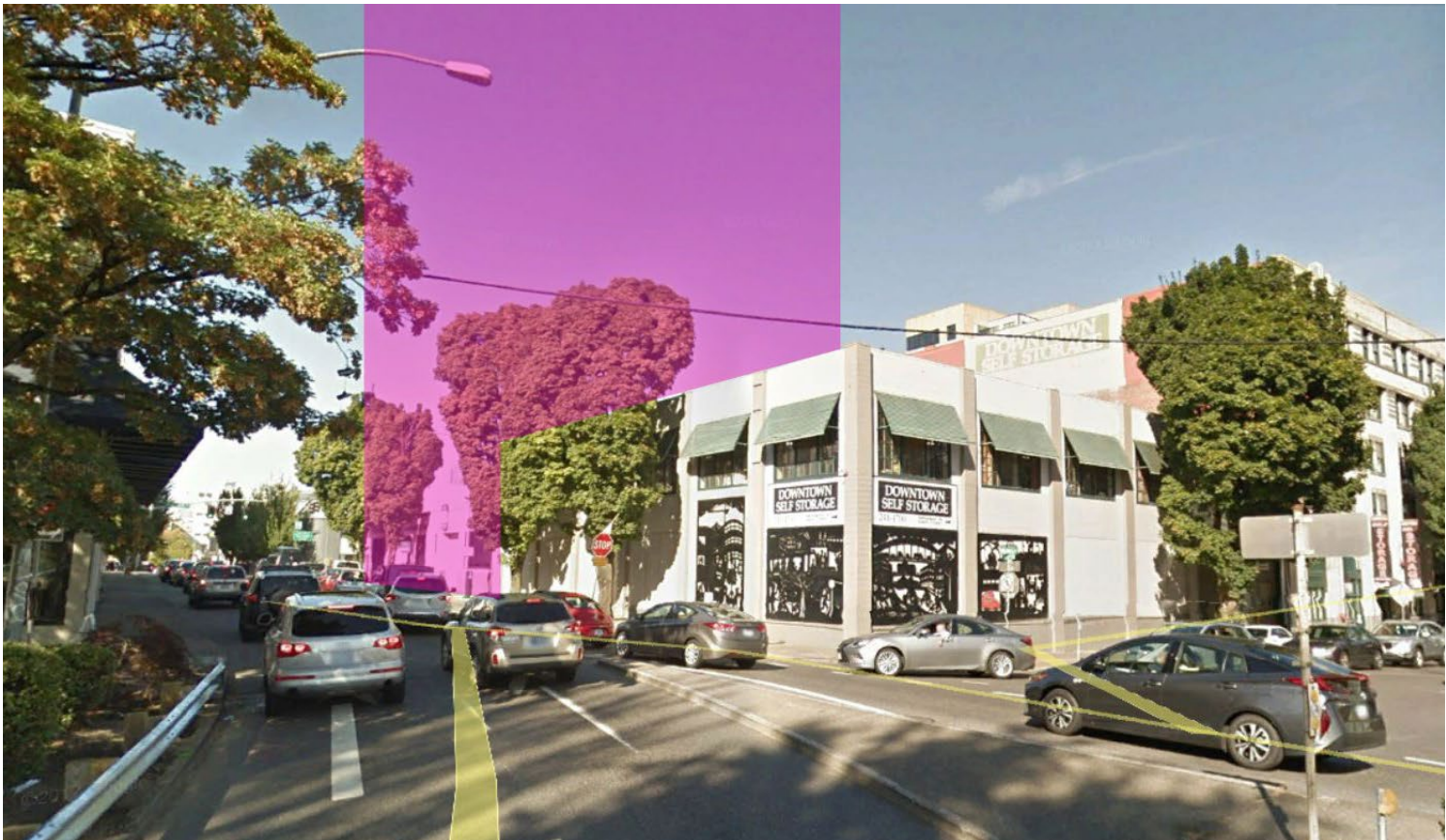
- B1-1 Provide Human Scale to Buildings Along Walkways
- B5-1 Recognize the Roles of the Tanner Creek Parks
- B5-2 Strengthen the Significance of the Classical Chinese Garden

C Project Design

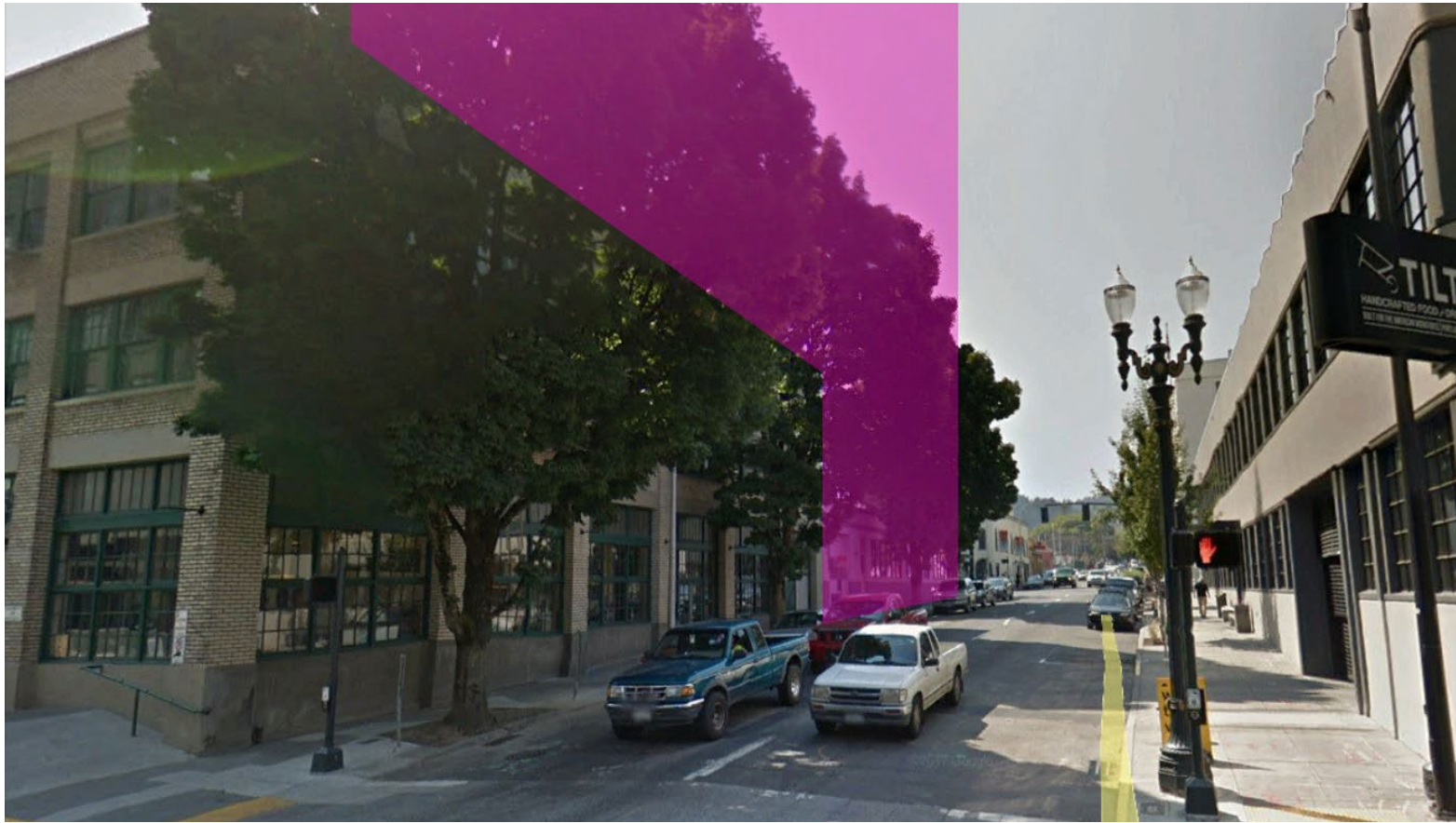
- C1-1 Increase River View Opportunities
- C3-1 Integrate Parking
- C9-1 Reduce the Impact of Residential Unit Garages on Pedestrians



NW 14th Avenue Looking South

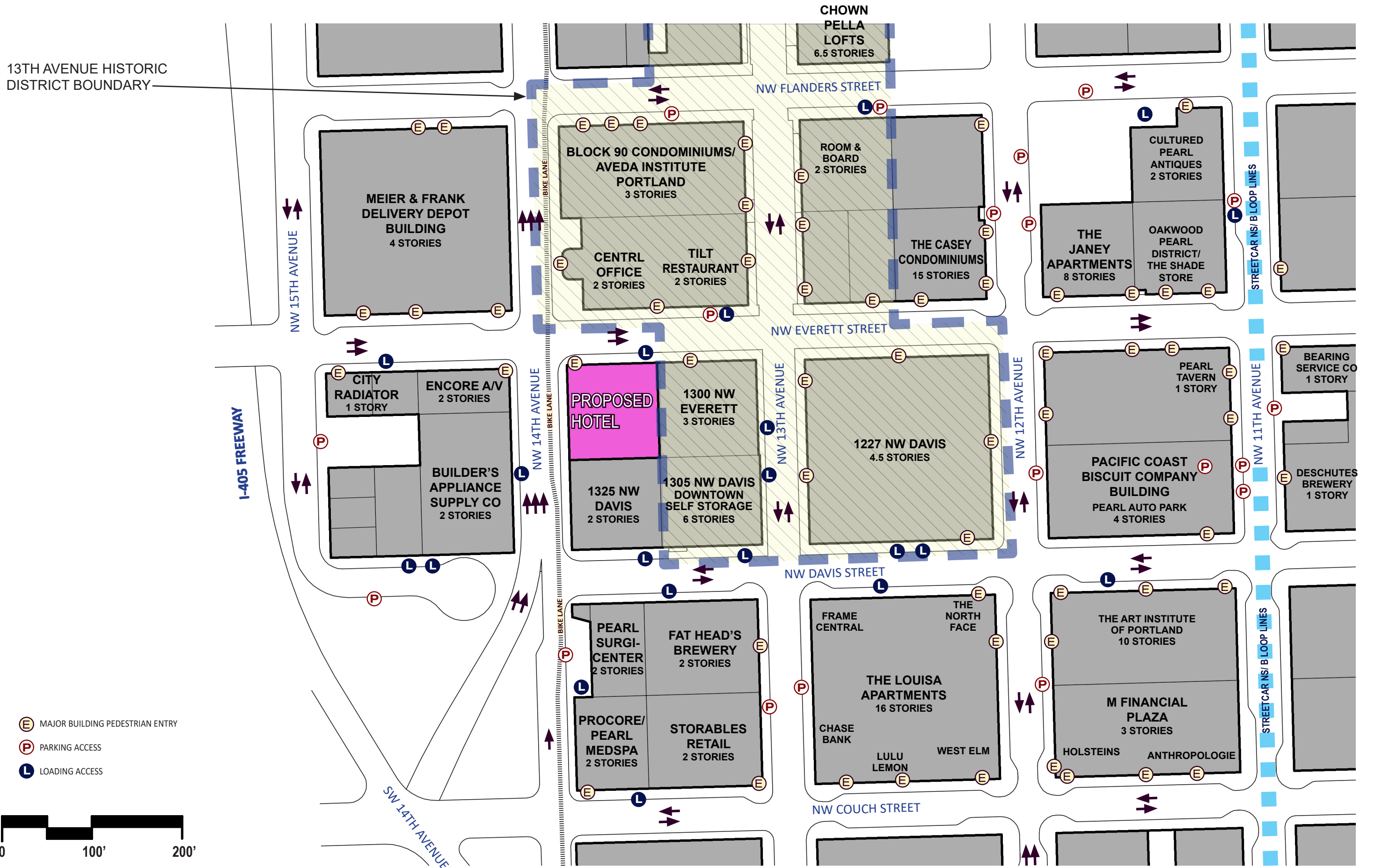


NW 14th Avenue Looking North



NW Everett Street Looking West

13TH AVENUE HISTORIC DISTRICT BOUNDARY

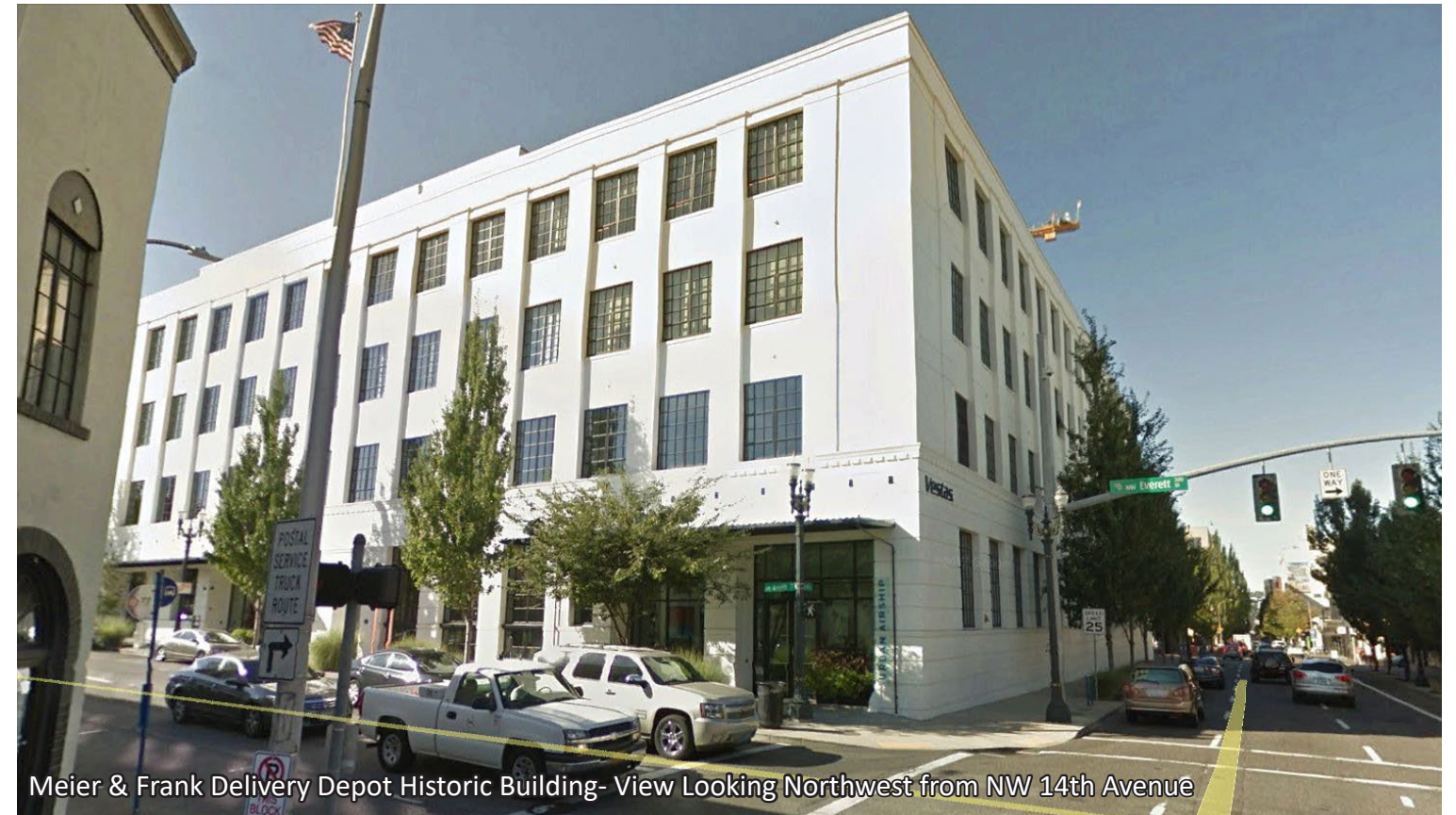


- (E) MAJOR BUILDING PEDESTRIAN ENTRY
- (P) PARKING ACCESS
- (L) LOADING ACCESS





View Looking Northeast at NE 2nd Ave. from Intersection of NW Everett & NW 14th Avenue



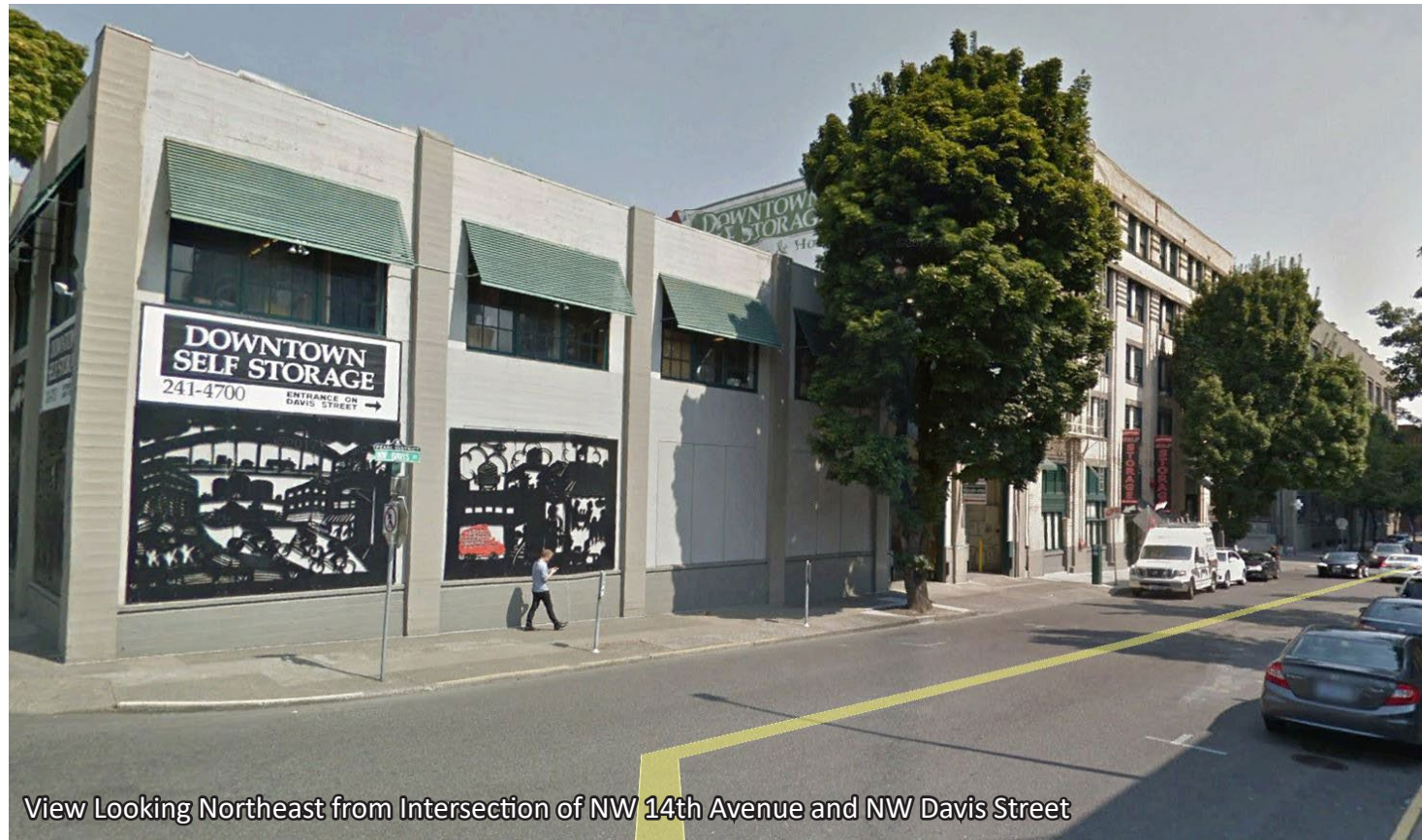
Meier & Frank Delivery Depot Historic Building- View Looking Northwest from NW 14th Avenue



View Looking East along NW Everett Street from NW 14th Avenue Intersection



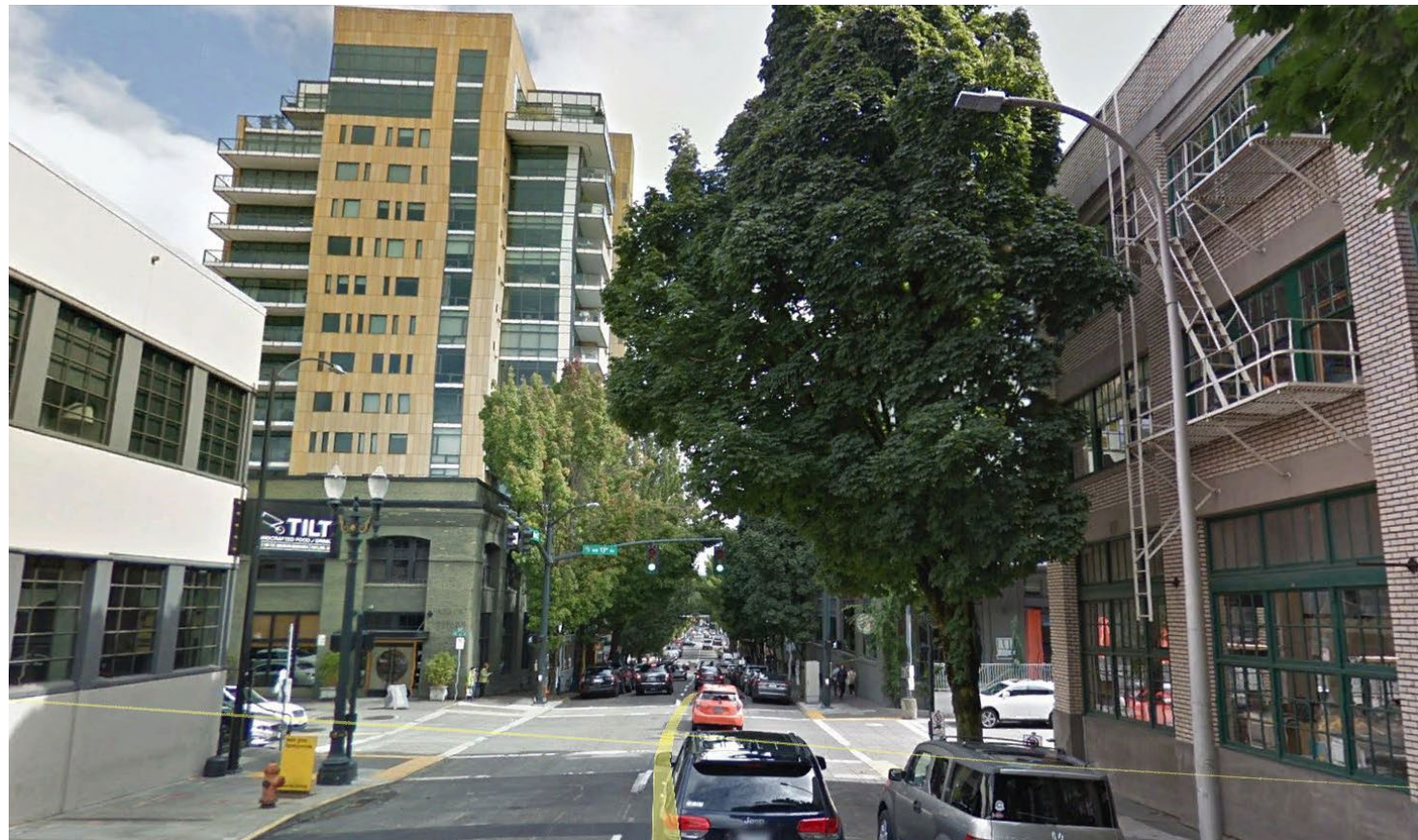
View Looking West along NW Everett Street from NW 14th Avenue Intersection



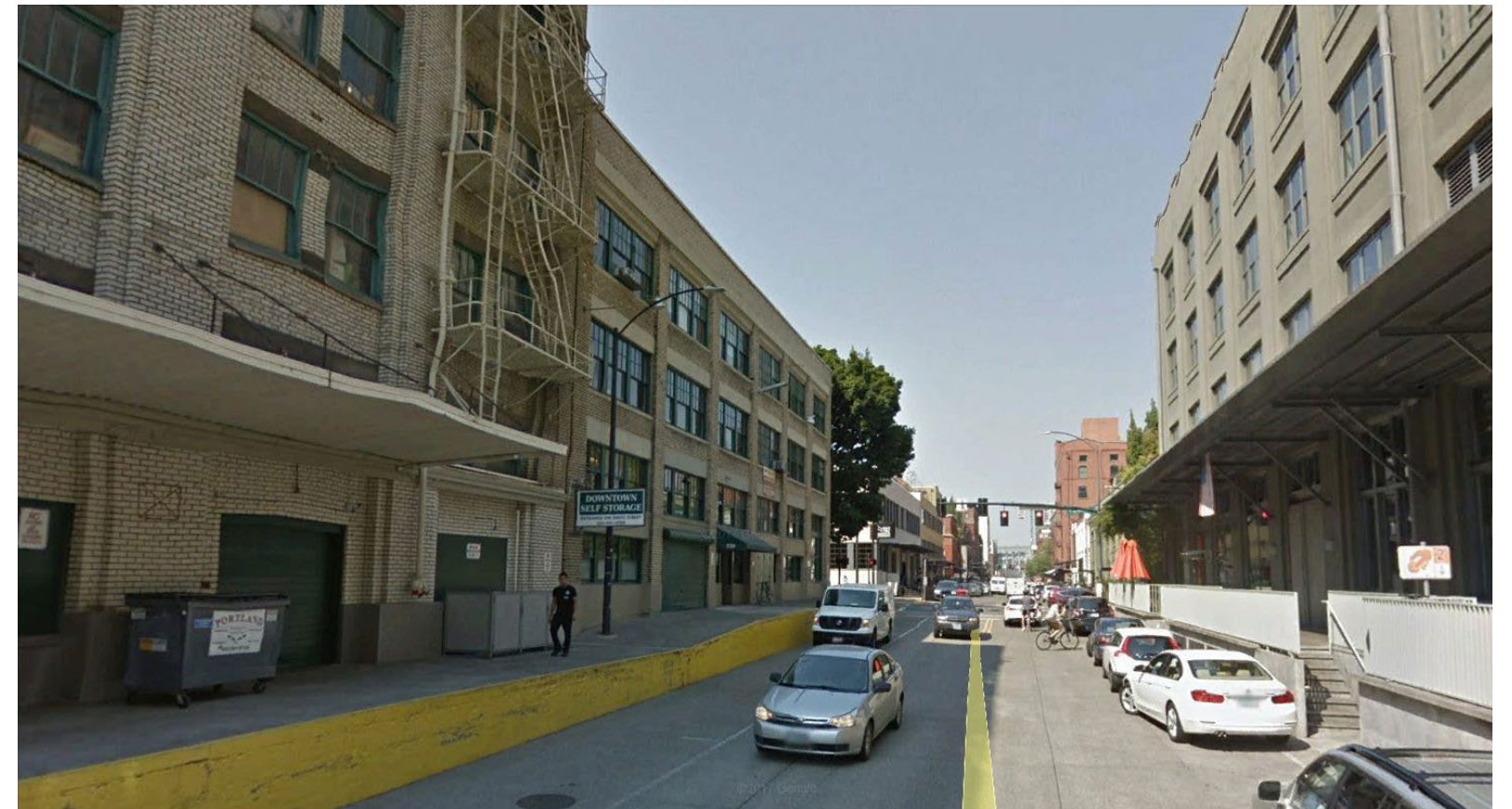
View Looking Northeast from Intersection of NW 14th Avenue and NW Davis Street



View Looking North along NW 13th Avenue from NW Davis Street Intersection



View Looking East along NW Everett toward The Casey from Mid-block between NW 14th and NW 13th Avenues



View of NW 13th Avenue Loading Corridor Looking North toward NW Everett Intersection

13th Avenue Historic District Context

- *Scale*: Predominantly 1 to 7-Story structures of industrial heritage
- *Character*: Formal and volumetric simplicity, restrained ornamentation, load-bearing masonry exterior, regularized window organization and patterning, typical reticent expression of a base, middle and top.



NW 13th Avenue Corridor



Crane Lofts at NW Irving Street Frontage



Irving Street Lofts



Avenue Lofts at NW Irving Street Frontage

14th Avenue Corridor Context

- *Scale:* Wider mix of building heights from 1-story to 15-stories
- *Character:* More eclectic from historic masonry structures to contemporary high rises with brick, metal panel, fiber cement panel and composite panel cladding systems and higher-percentage glass enclosures



NW 14th Avenue Corridor



1410 NW Kearney Street



The Rodney, Ankrom Moisan Architects



1455 Pearl West from NW 14th Avenue & NW Irving Street



Modera Glisan, SERA Architects (*Under Construction*)



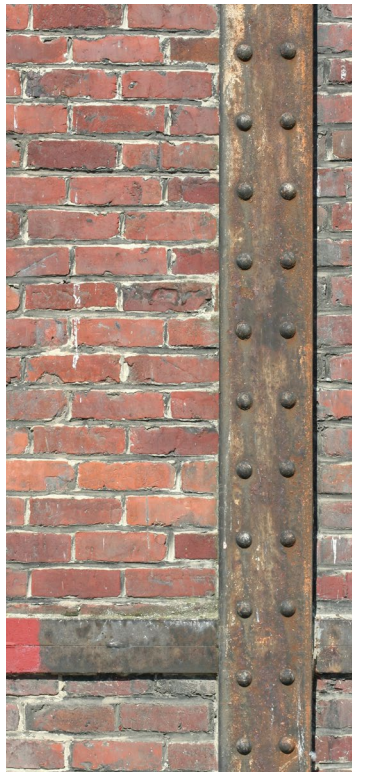
Elevation Detail: Theory Building



Moxy Hotel, Chelsea



Gansevoort Hotel, NYC



10 Bond Street, Selldorf Architects



International Center of Photography



First Steel Bridge, Portland, 1888



EVERETT HOTEL

CONCEPT IMAGES

July 22, 2019

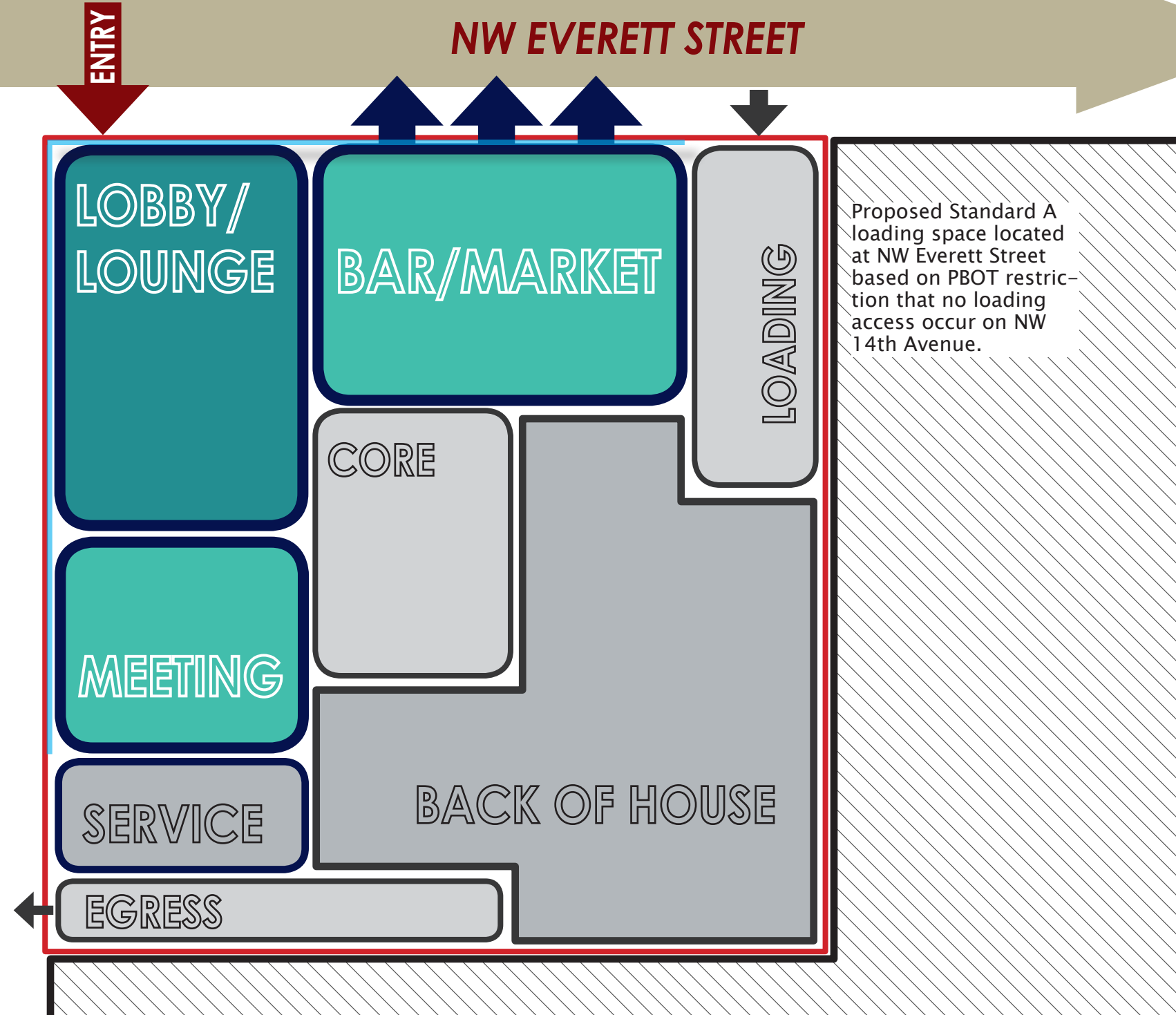
DESIGN CONCEPT STUDIES

Located on a quarter-block site at the southeast corner of the intersection of NW 14th Avenue and NW Everett Street in the Pearl District, the design proposal seeks to enhance the pedestrian character of the district by directly addressing the following relevant Design Guidelines:

- A3-1:** *Provide Convenient Pedestrian Linkages*
- A8:** *Contribute to a Vibrant Streetscape*
- B1:** *Reinforce and Enhance the Pedestrian System*
- B1-1:** *Provide Human Scale to Buildings along Walkways*
- B4:** *Provide Stopping and Viewing Places*

Consistent with the Central City Plan District Standards, the proposal acknowledges NW Everett Street as the primary pedestrian frontage for the project. Thus, a series of Ground Floor Active Use spaces central to the vibrancy of the hotel experience are concentrated along this street, including the Lobby, Lounge, Bar and Market. The primary hotel entrance is strategically located at the northwest building corner in order to establish a visual presence on both Everett and NW 14th Avenue. Extended hotel Lobby functions and adaptable Meeting space continue the Active Use agenda along the majority of the 14th Avenue frontage. With these important public programmatic spaces pushed to the perimeter to engage the pedestrian realm, the various Back Of House and Service spaces are appropriately relegated to the interior corner of the block.

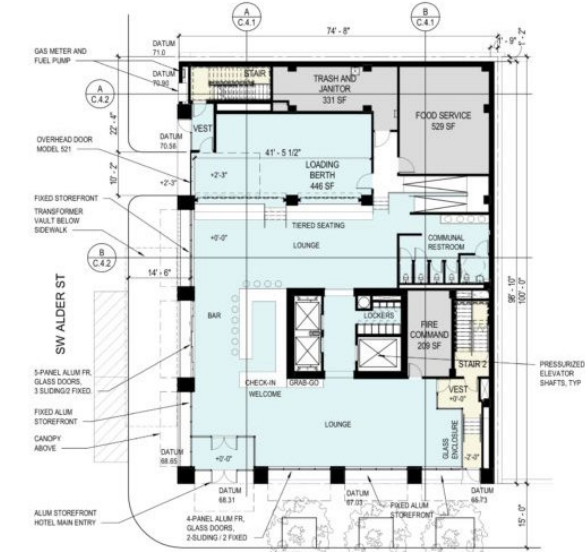
NW 14TH AVENUE



Proposed Standard A loading space located at NW Everett Street based on PBOT restriction that no loading access occur on NW 14th Avenue.



MOXY HOTEL, DLR GROUP



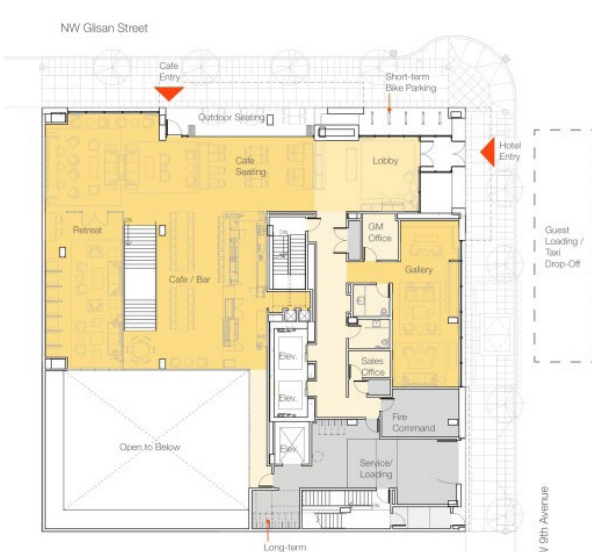
MOXY HOTEL- GROUND FLOOR PLAN



MOXY HOTEL- TYPICAL FLOOR PLAN



CANOPY HOTEL, ZGF ARCHITECTS



CANOPY HOTEL- GROUND FLOOR PLAN



CANOPY HOTEL- TYPICAL FLOOR PLAN



HYATT CENTRIC HOTEL, SERA ARCHITECTS



HYATT CENTRIC HOTEL- GROUND FLOOR PLAN



HYATT CENTRIC HOTEL- TYPICAL FLOOR PLAN



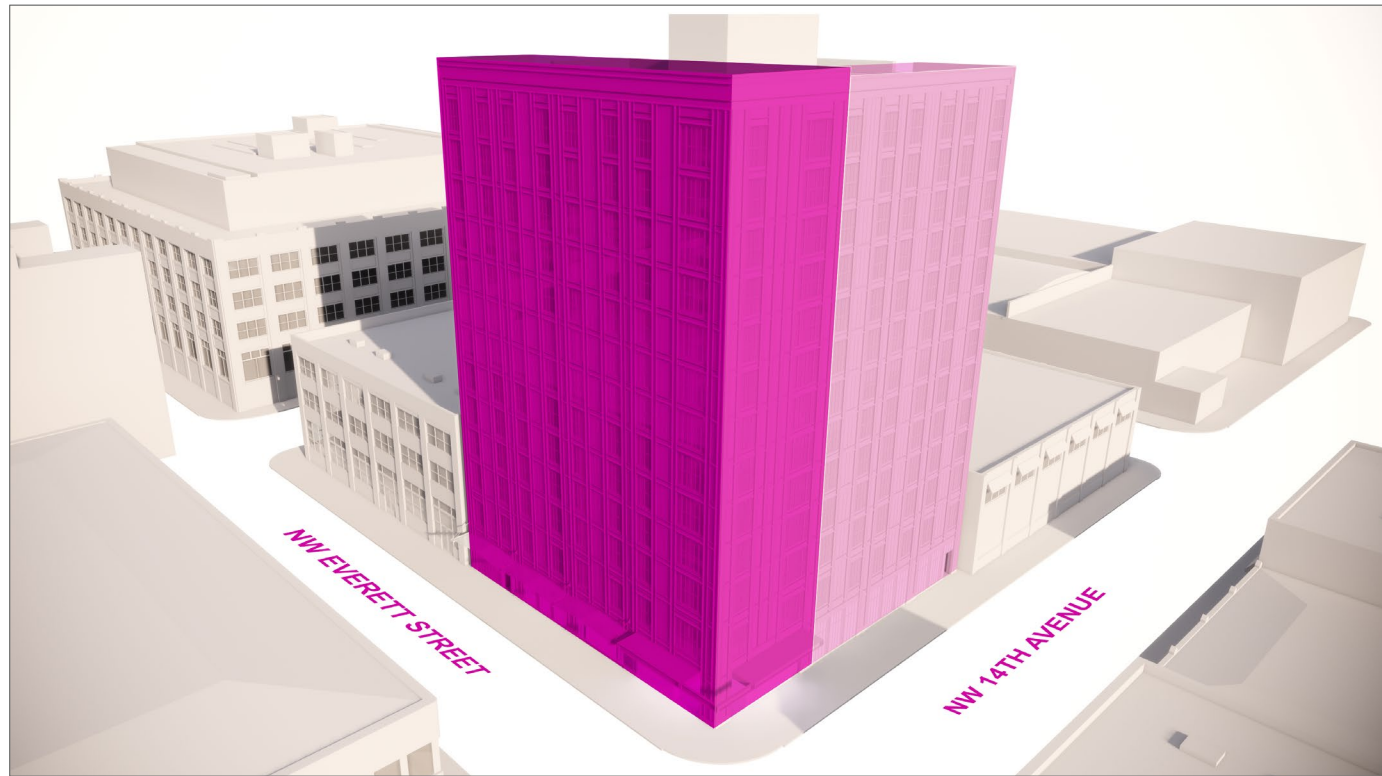
AC MARRIOTT HOTEL, SERA ARCHITECTS



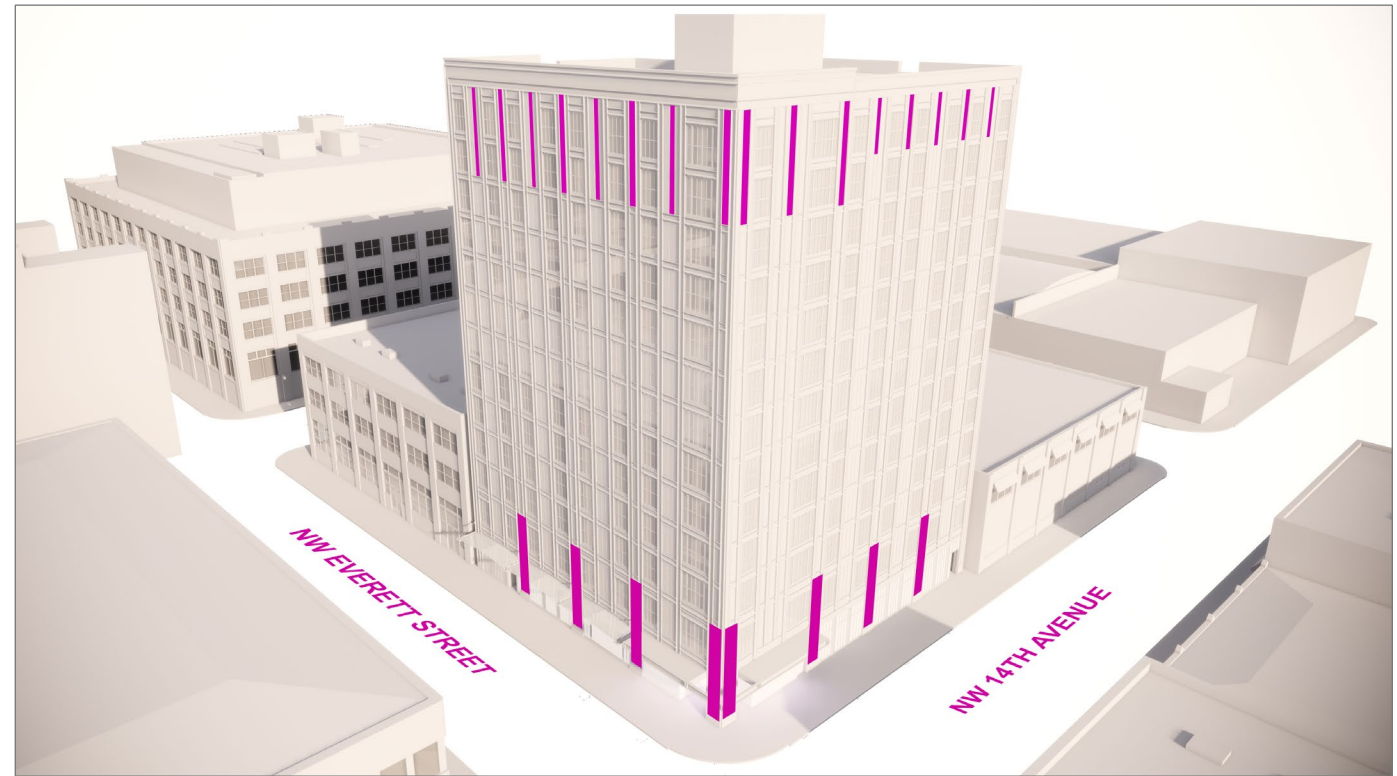
AC MARRIOTT HOTEL- GROUND FLOOR PLAN



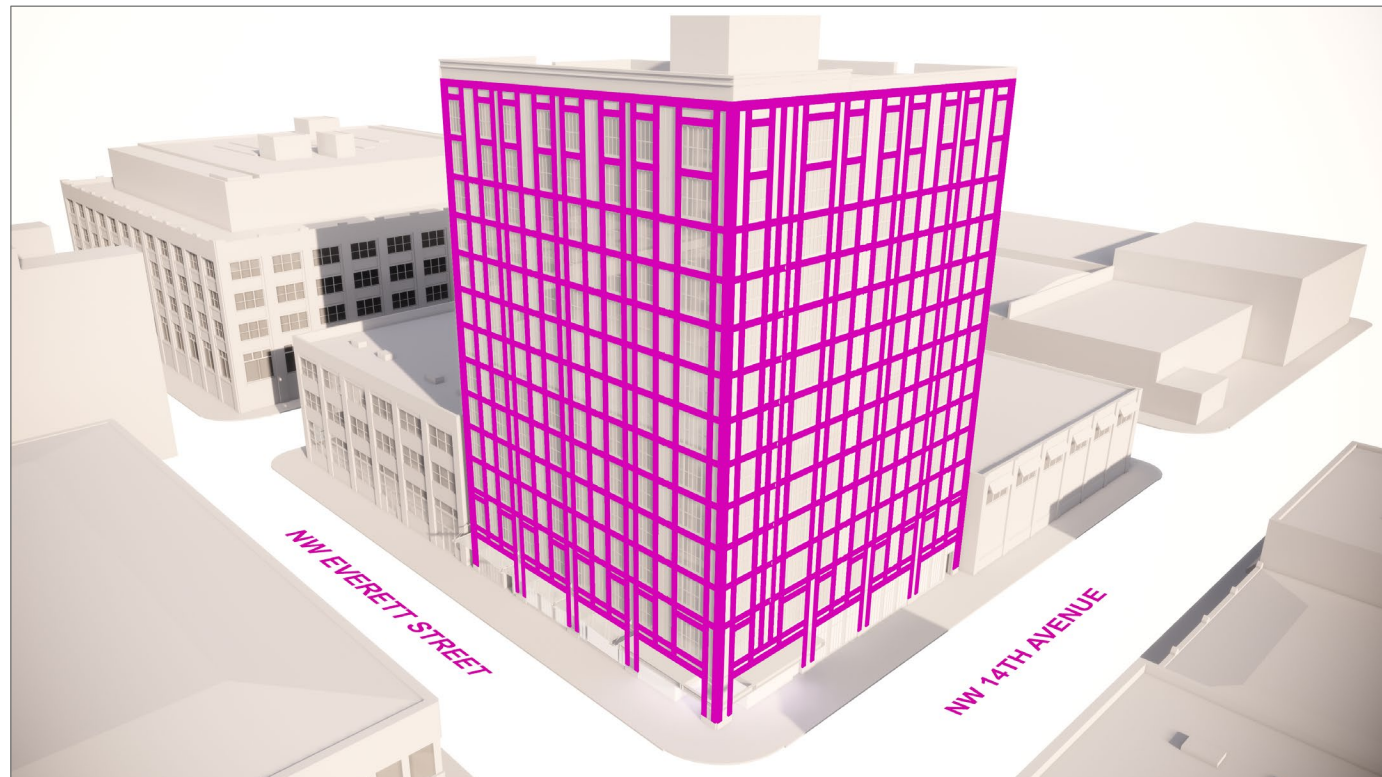
AC MARRIOTT HOTEL- TYPICAL FLOOR PLAN



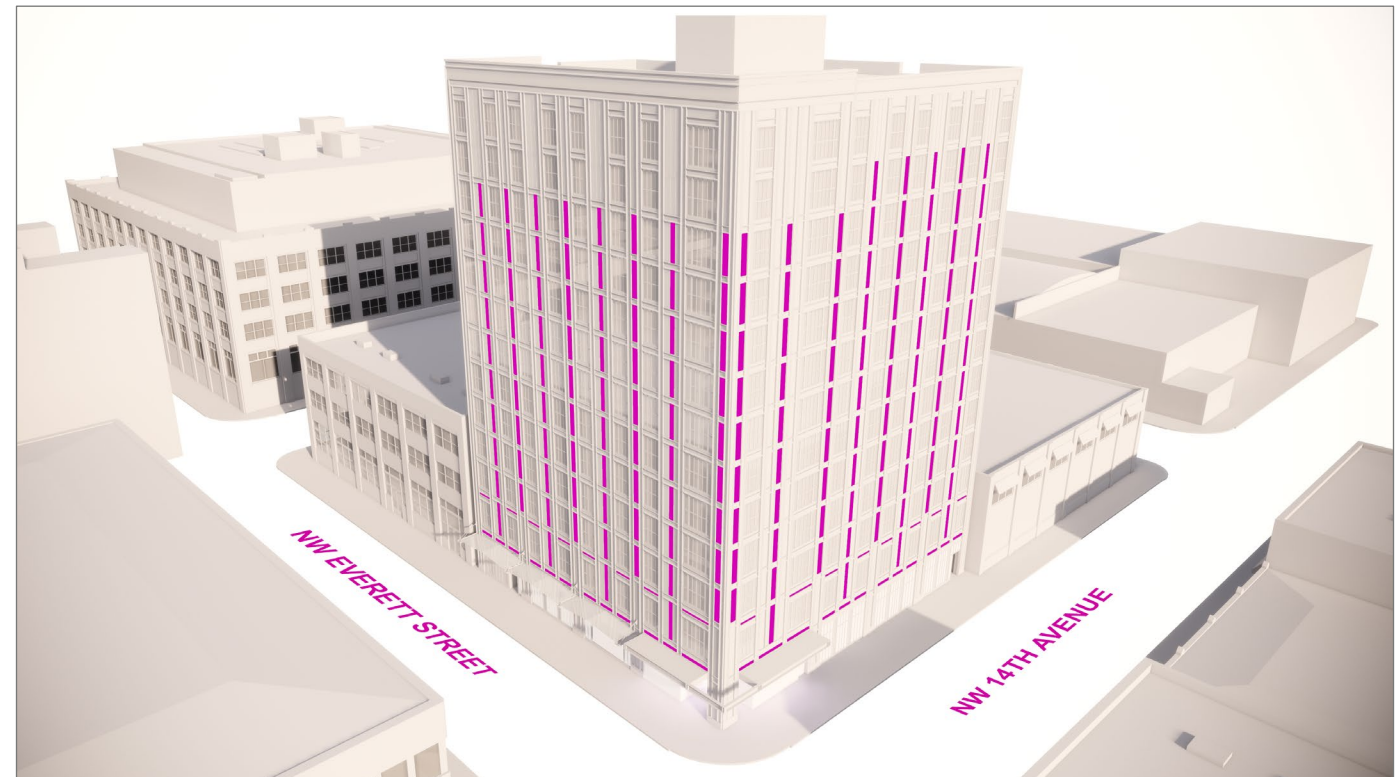
PRIMARY - SECONDARY MASSING



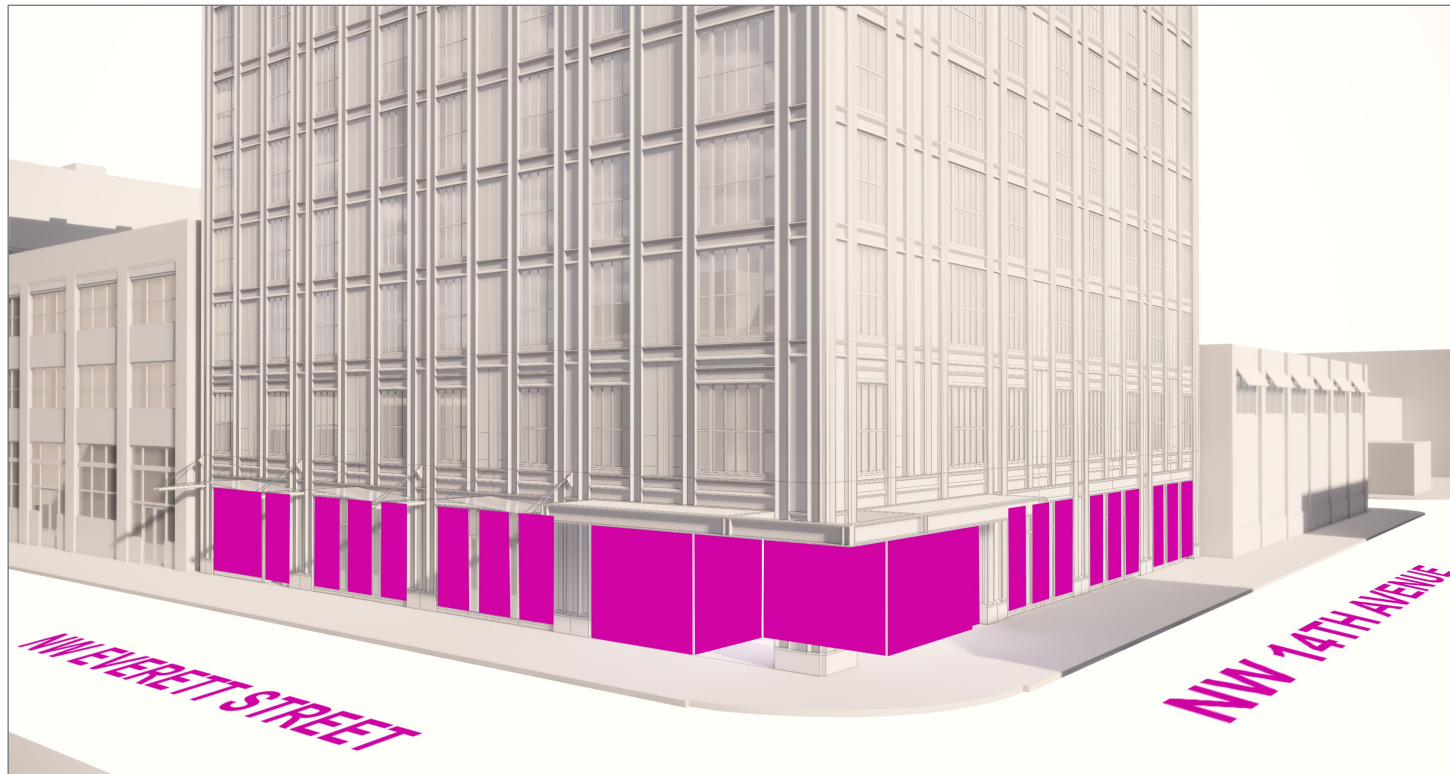
BASE-TOP EXPRESSION



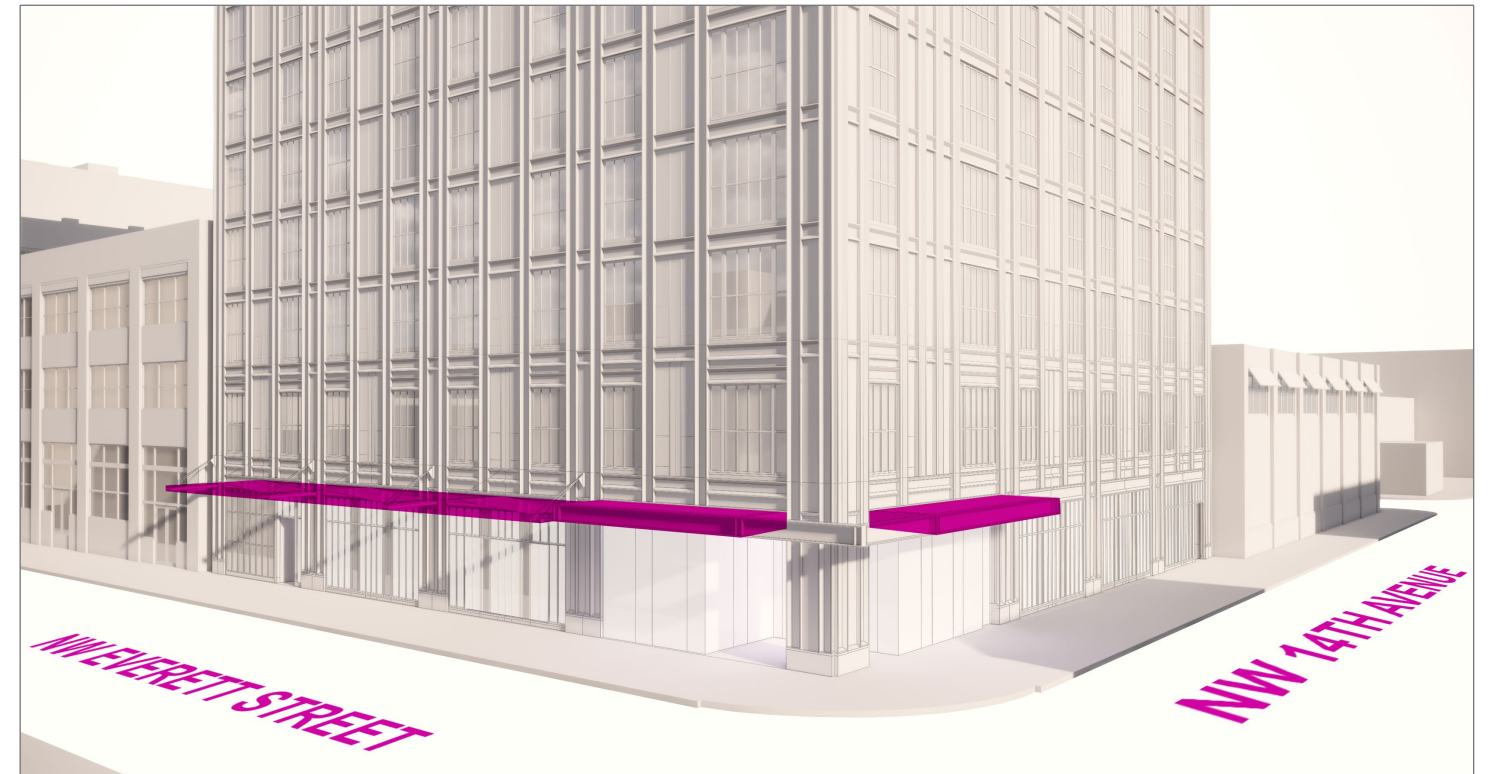
METAL FRAME/ ORGANIZING GRID



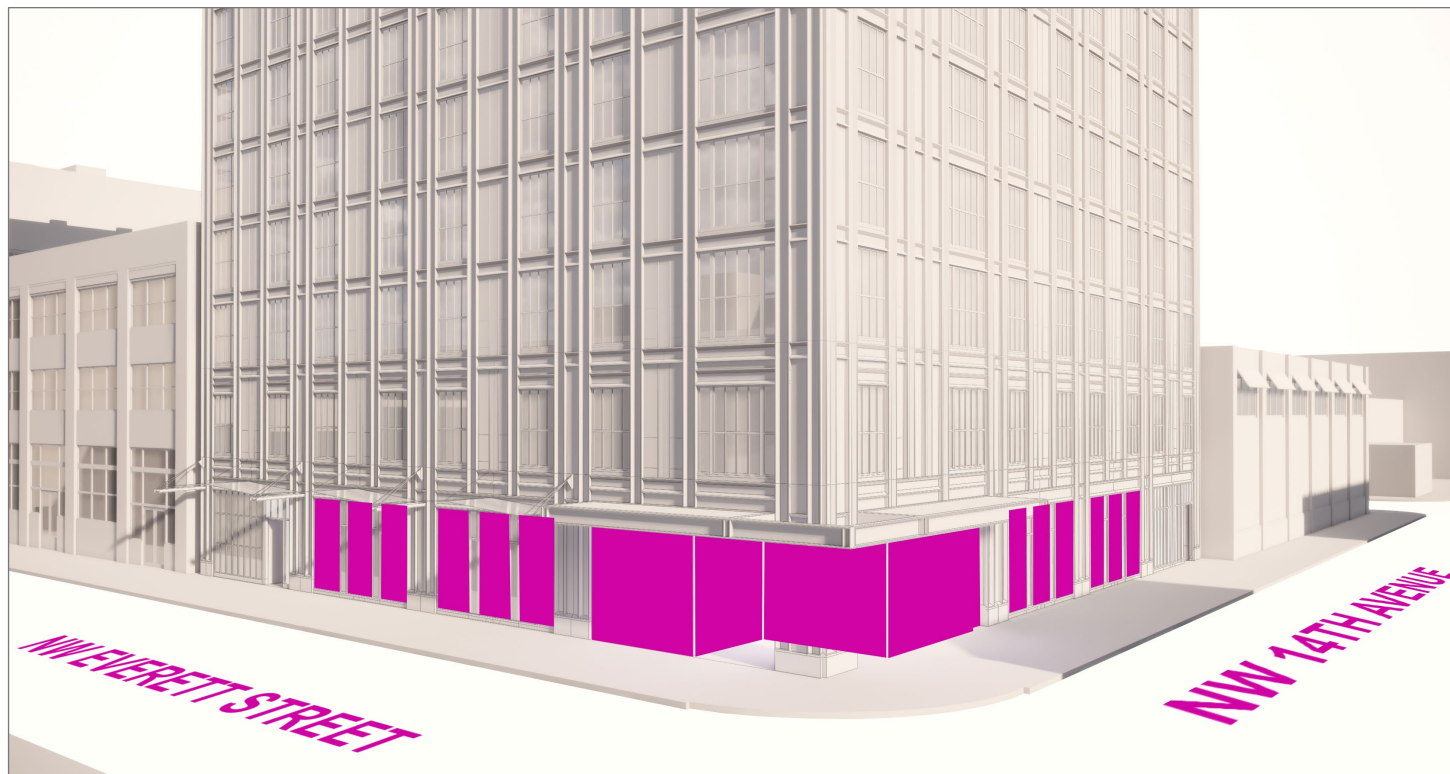
ACCENT PANEL LAYER



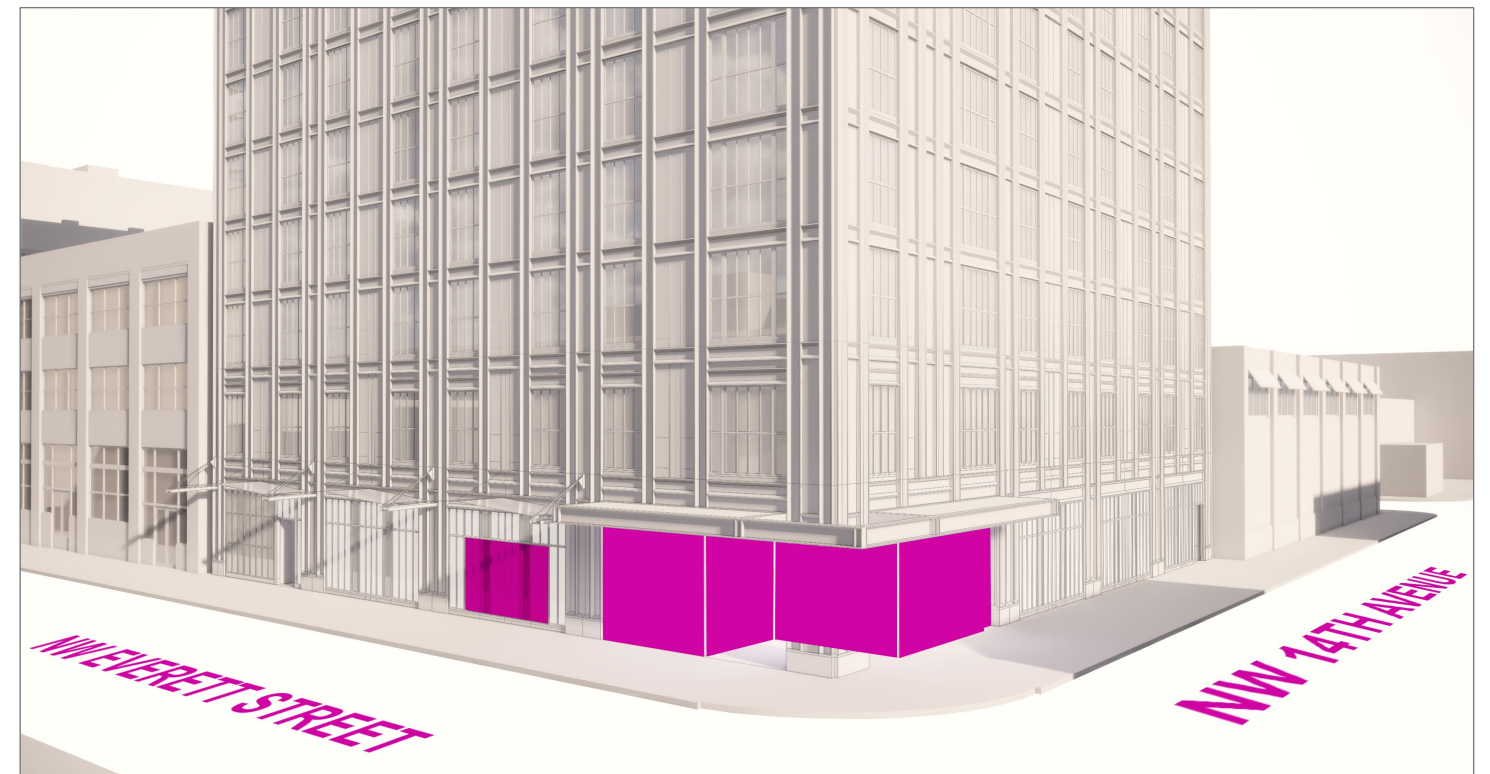
STREET LEVEL GLAZING: EXTENT & CONTINUITY



WEATHER PROTECTION

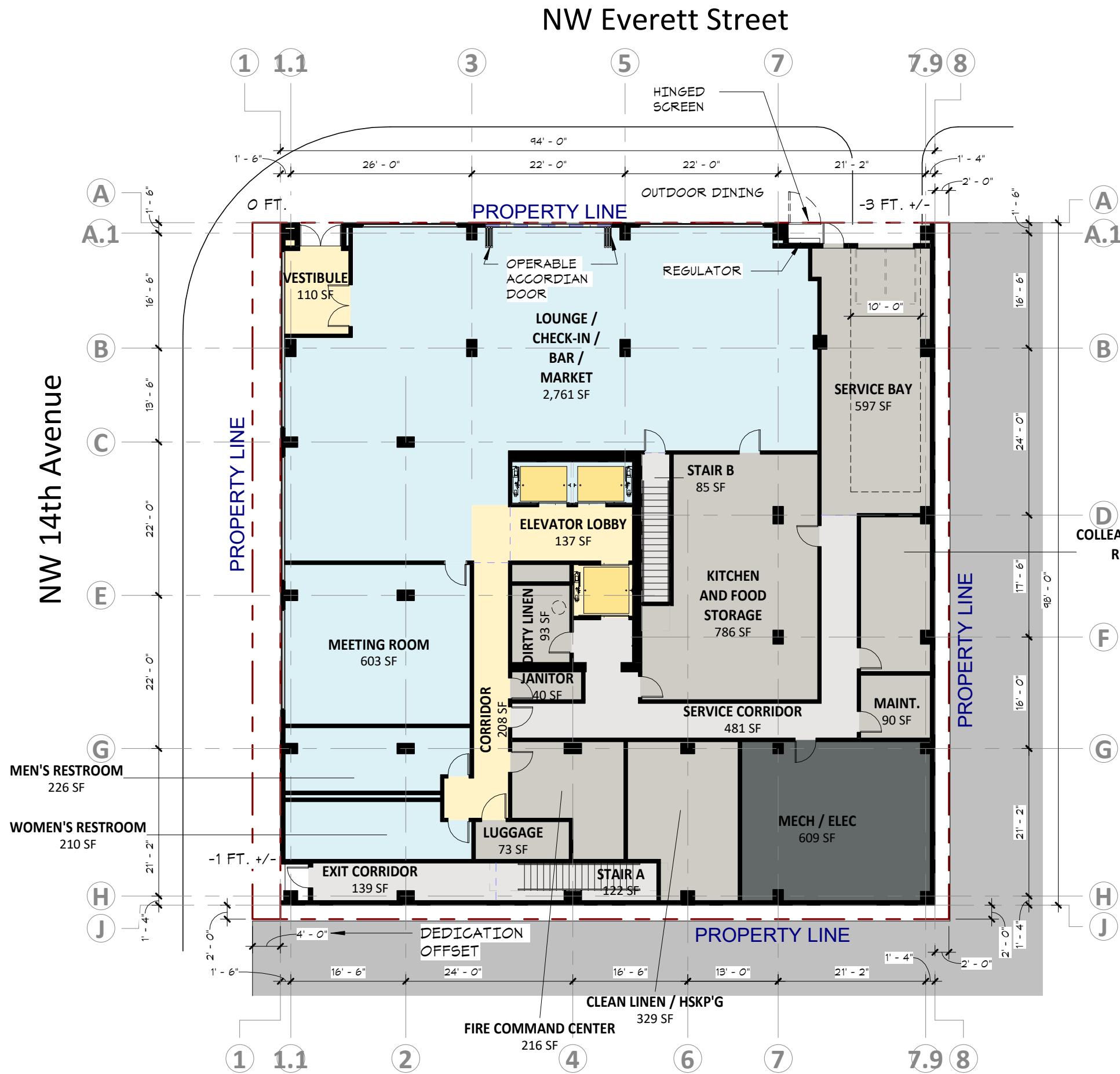


QUALIFYING GROUND FLOOR WINDOWS



SPECIALTY GLAZING SYSTEMS

DESIGN CONCEPT ARCHITECTURAL DRAWINGS



AREA SCHEDULE - GROSS BUILDING	
Level	Area
LEVEL 1	9,120 SF
LEVEL 2	7,954 SF
LEVEL 3	7,954 SF
LEVEL 4	7,954 SF
LEVEL 5	7,954 SF
LEVEL 6	7,954 SF
LEVEL 7	7,954 SF
LEVEL 8	7,954 SF
LEVEL 9	7,954 SF
LEVEL 10	7,954 SF
LEVEL 11	7,954 SF
LEVEL 12	7,954 SF
LEVEL 13	7,954 SF
ROOF LEVEL	1,233 SF
	105,800 SF

Department Legend

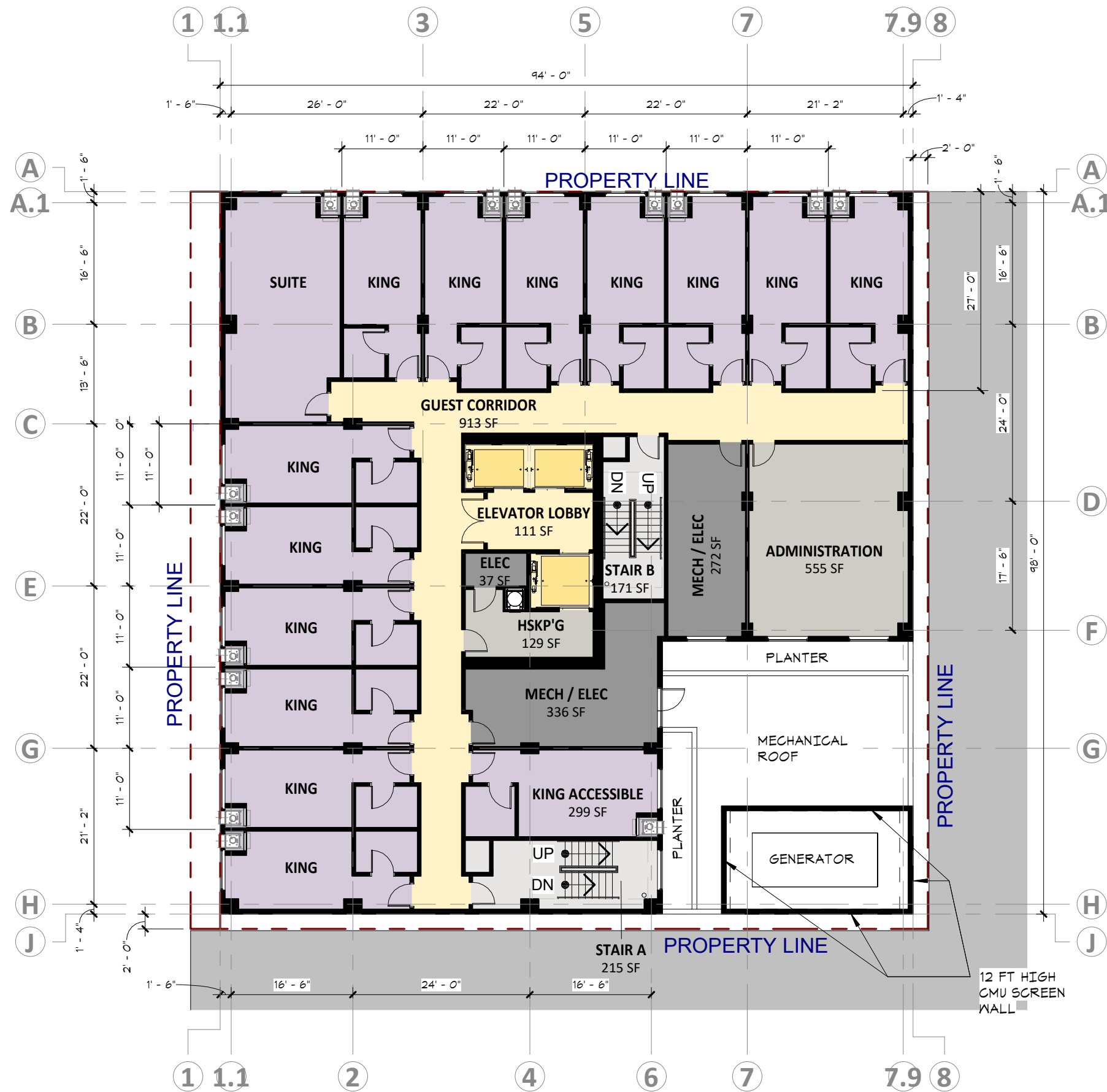
- BOH
- BOH CIRC
- CIRCULATION
- CORE
- MECH / ELEC
- PUBLIC



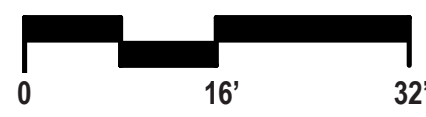
GROUND LEVEL FLOOR PLAN

EVERETT HOTEL

July 22, 2019



- Department Legend**
- BOH
 - BOH CIRC
 - CIRCULATION
 - CORE
 - HOTEL ROOM
 - MECH / ELEC



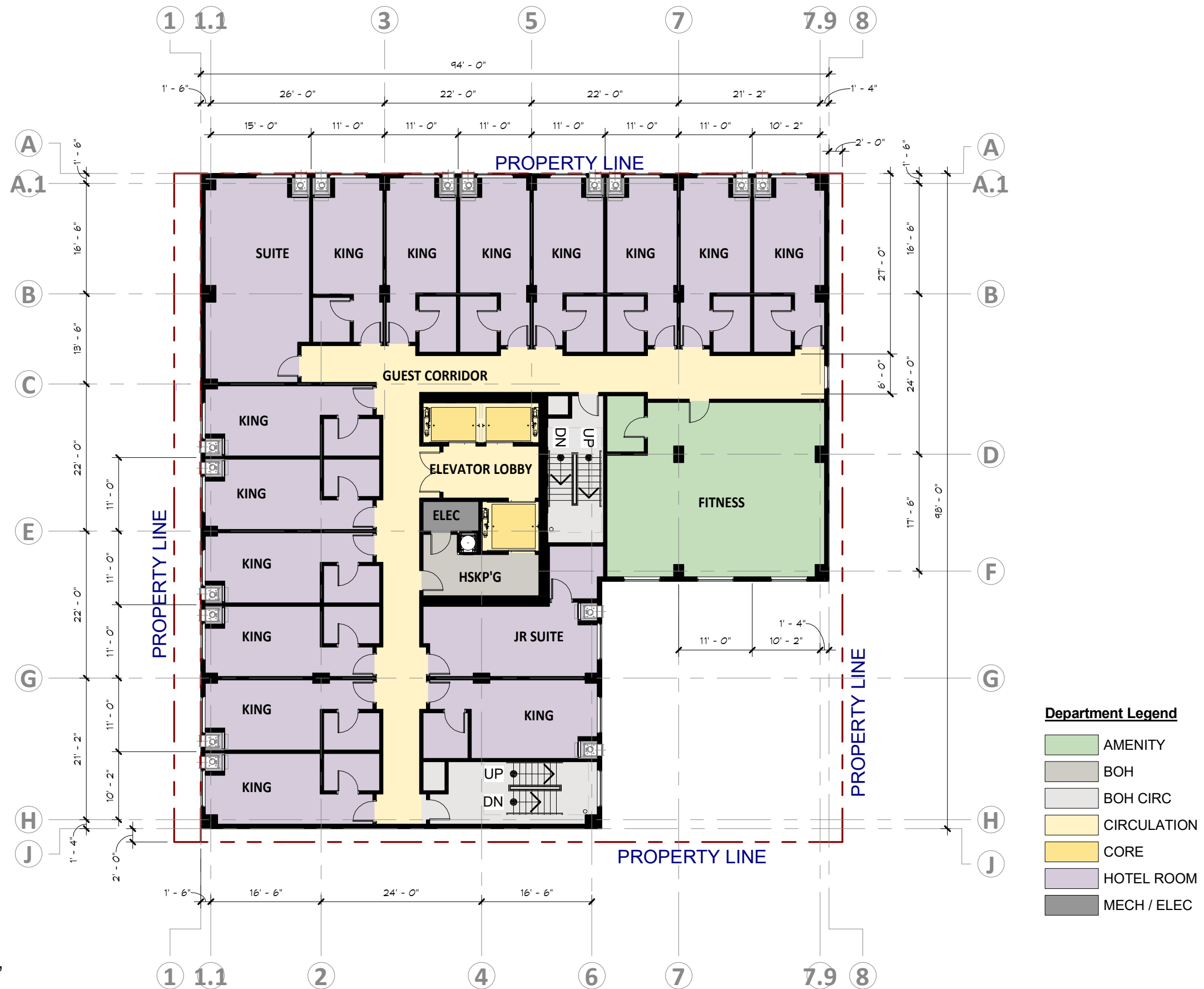


Department Legend

	BOH
	BOH CIRC
	CIRCULATION
	CORE
	HOTEL ROOM
	MECH / ELEC

AREA SCHEDULE - DEPARTMENTS	
Area Department	Area
AMENITY	
AMENITY	911 SF
	911 SF
BOH	
BOH	6,531 SF
	6,531 SF
BOH CIRC	
BOH CIRC	6,744 SF
	6,744 SF
CIRCULATION	
CIRCULATION	15,273 SF
	15,273 SF
CORE	
CORE	1,539 SF
	1,539 SF
HOTEL ROOM	
HOTEL ROOM	69,009 SF
	69,009 SF
MECH / ELEC	
MECH / ELEC	2,771 SF
	2,771 SF
PUBLIC	
PUBLIC	2,926 SF
	2,926 SF
	105,703 SF

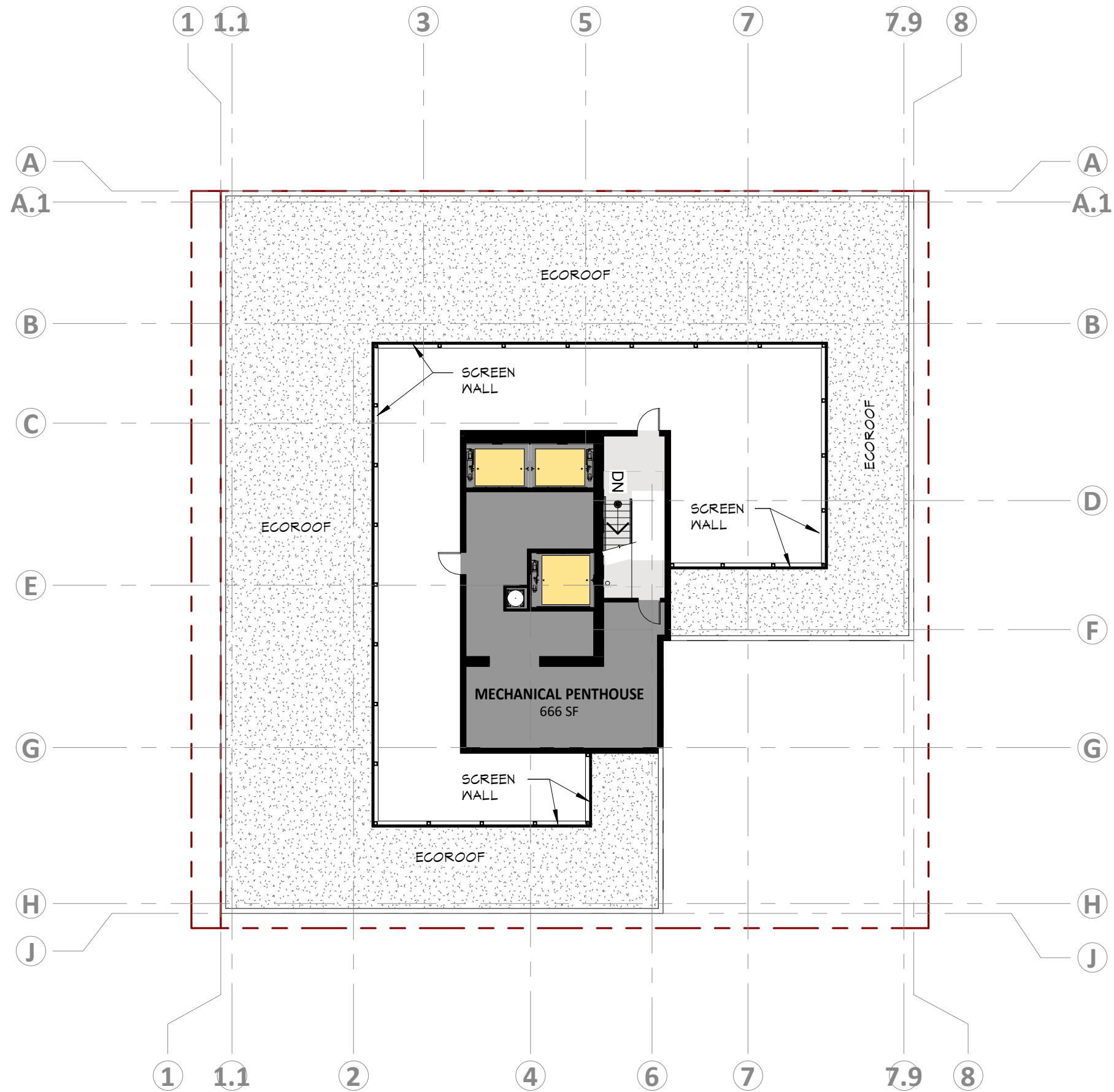




Department Legend

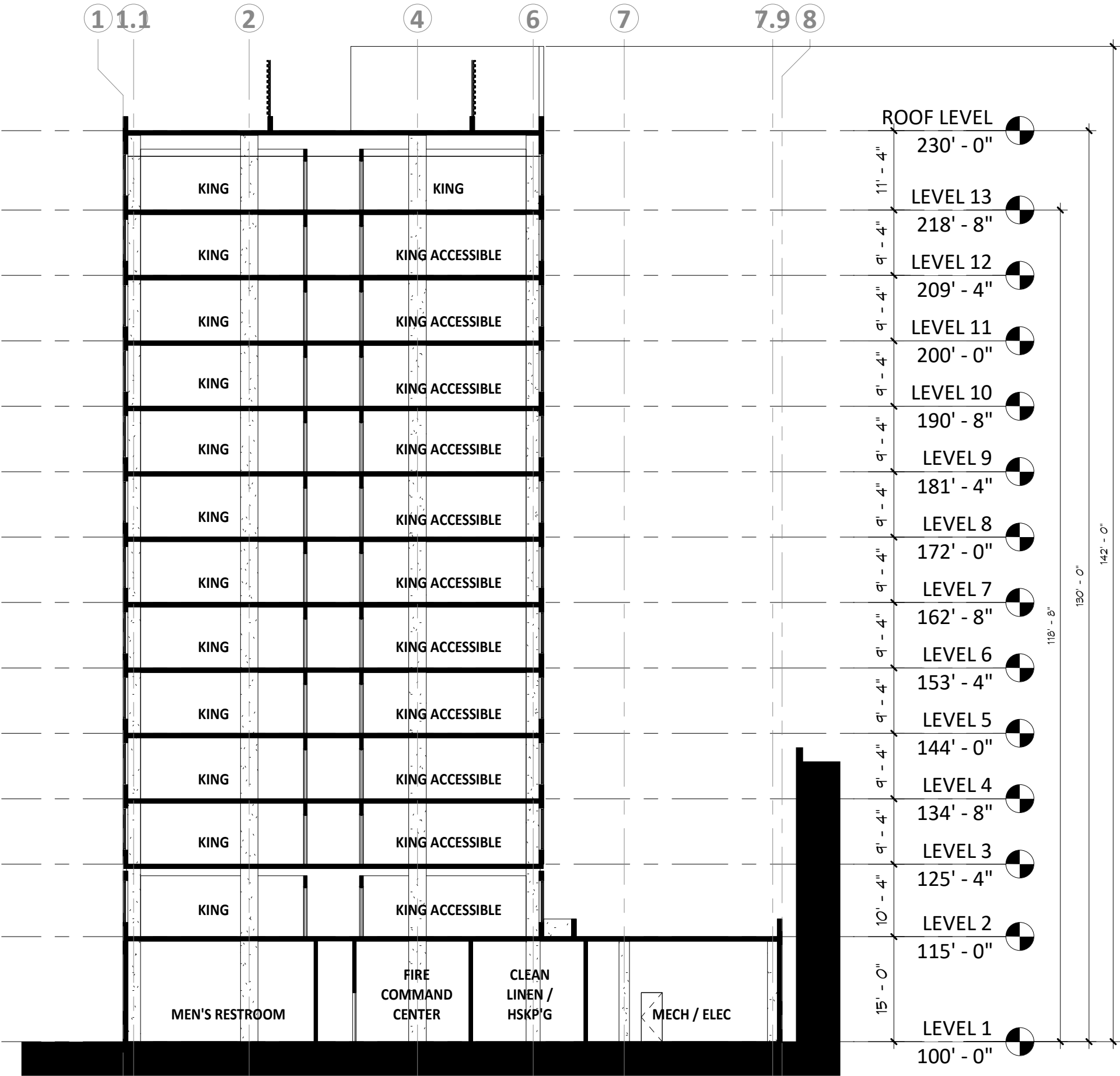
	AMENITY
	BOH
	BOH CIRC
	CIRCULATION
	CORE
	HOTEL ROOM
	MECH / ELEC

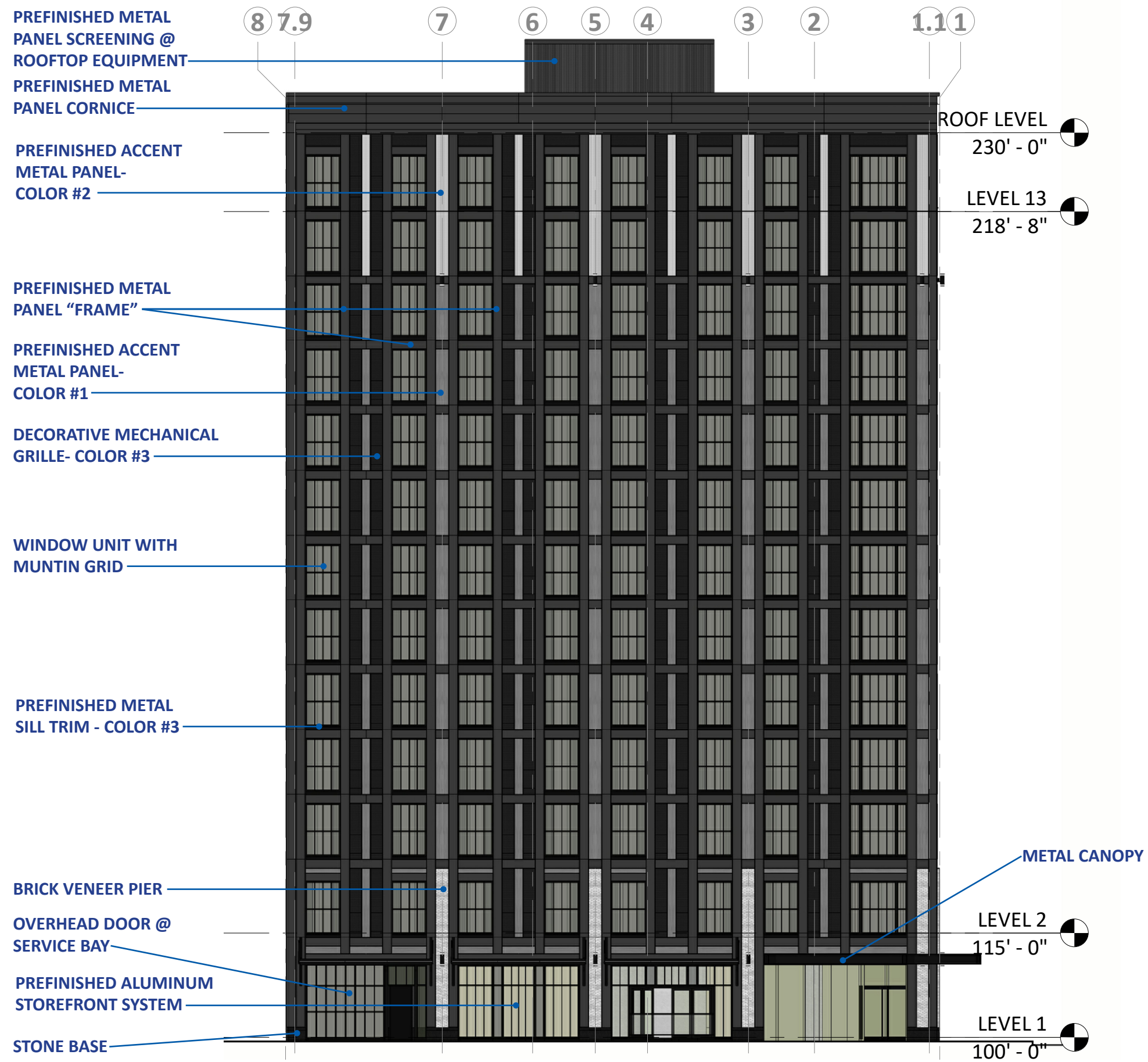


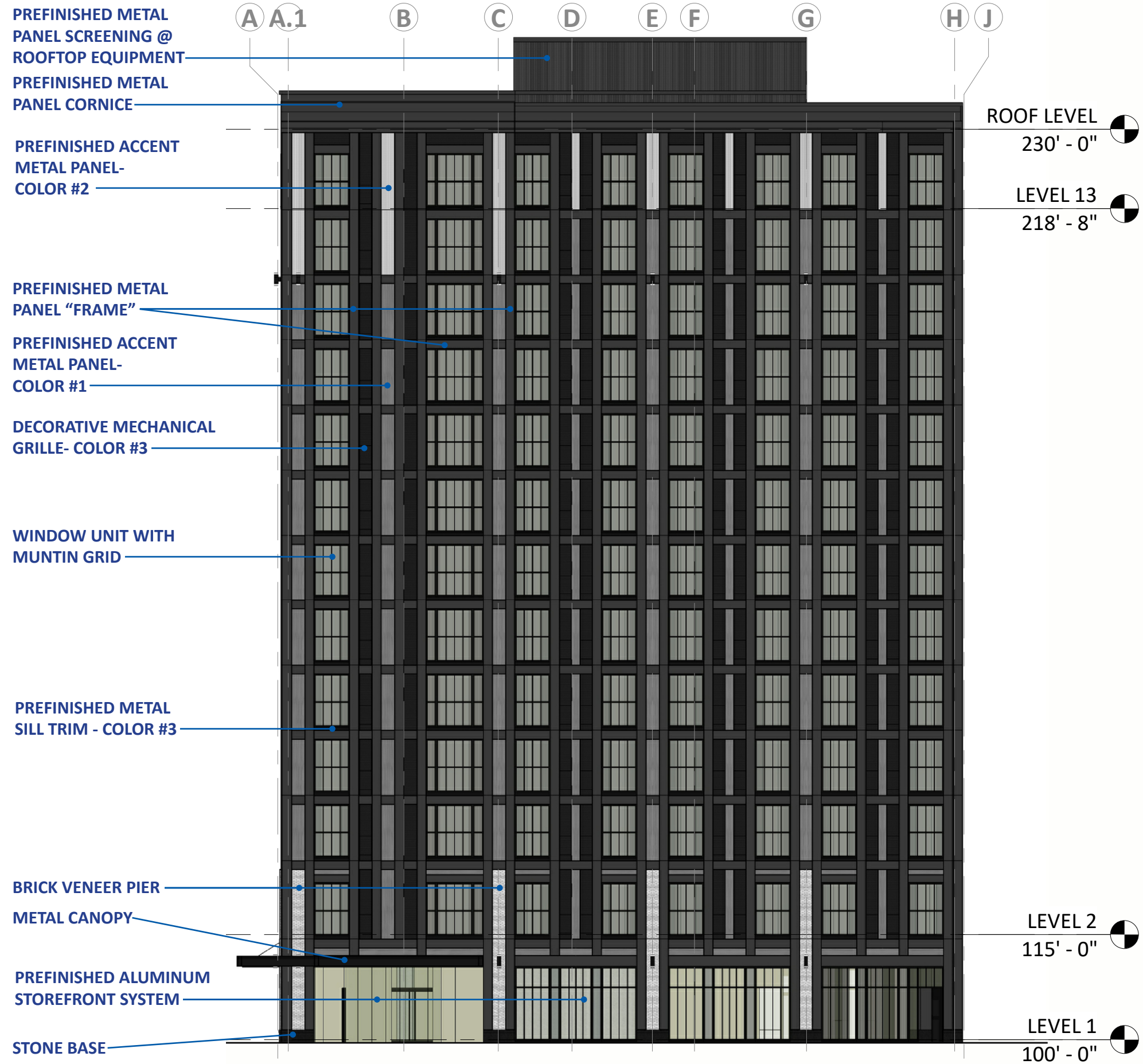


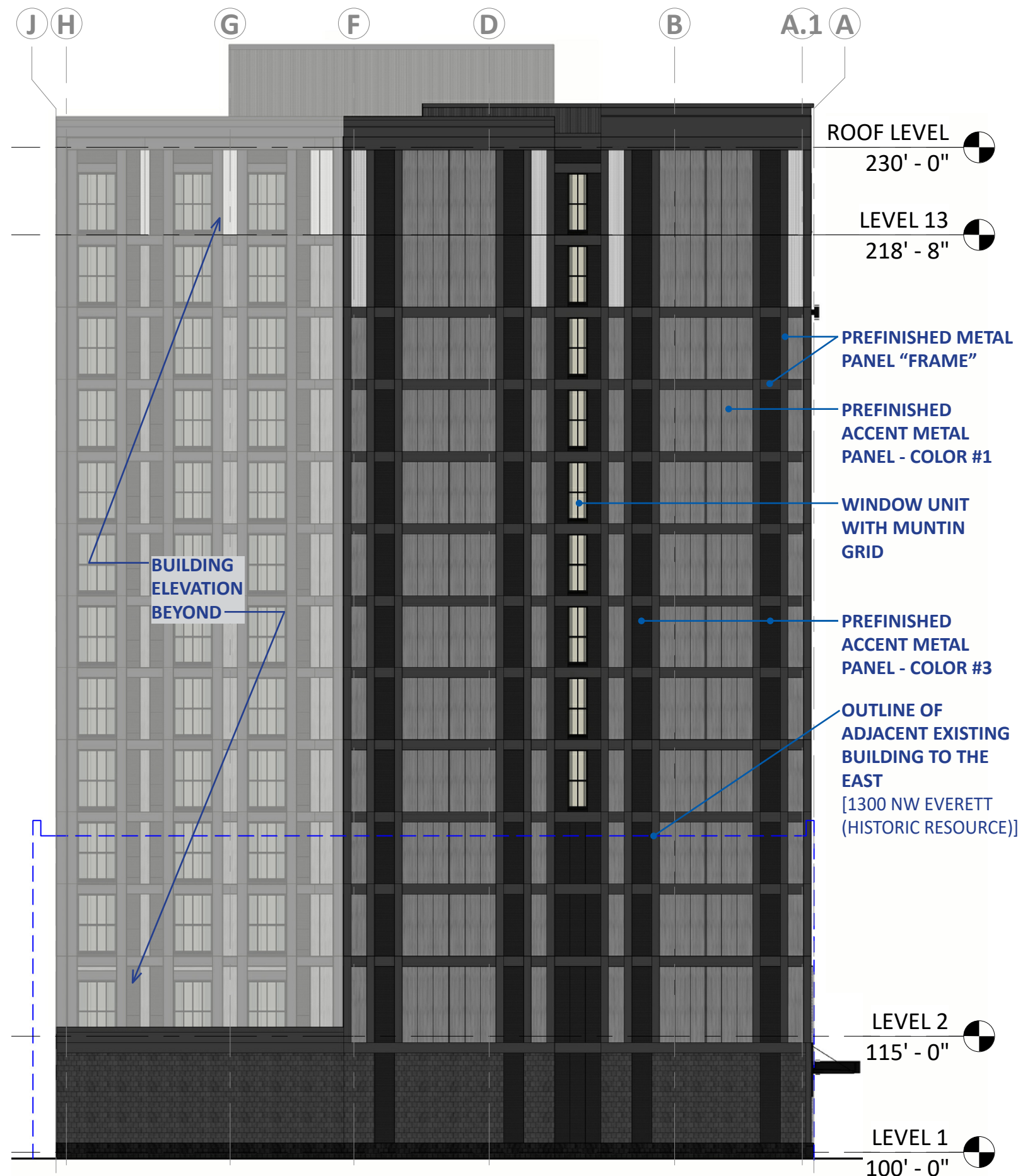
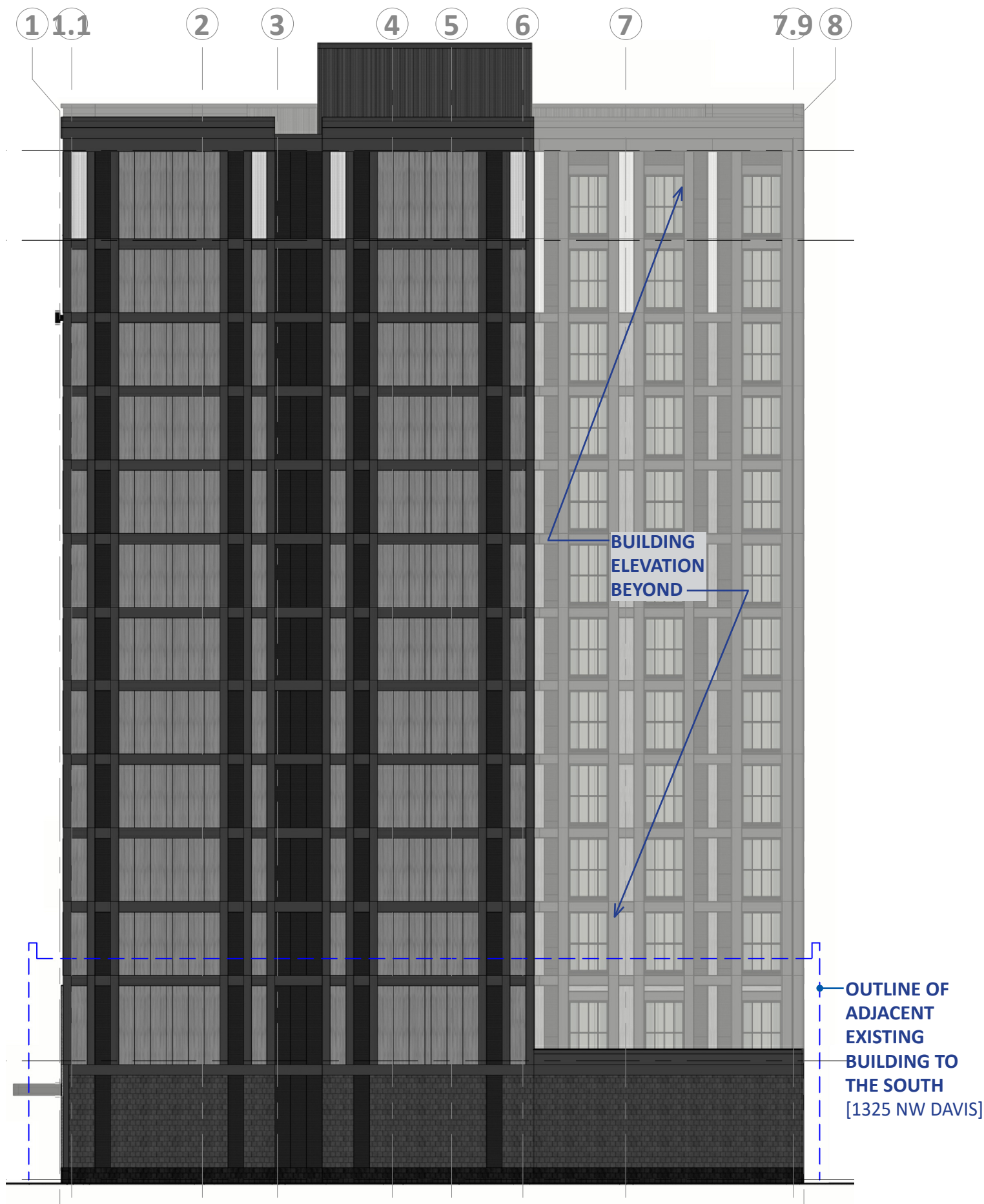
Height Limiting Factors

- Top occupied floor < 120' above the lowest level of fire department vehicle access to avoid enhanced fire service safety features per high-rise requirements.
- Preserve a minimum 9'-4" floor-to-floor height at typical guestroom levels for market-appropriate finish ceiling heights.









SOUTH & EAST END WALL
BUILDING ELEVATIONS

EVERETT HOTEL





CANOPY HOTEL SOUTH END WALL



ART HOUSE WEST END WALL



CANOPY HOTEL WEST END WALL



ART HOUSE SOUTH END WALL



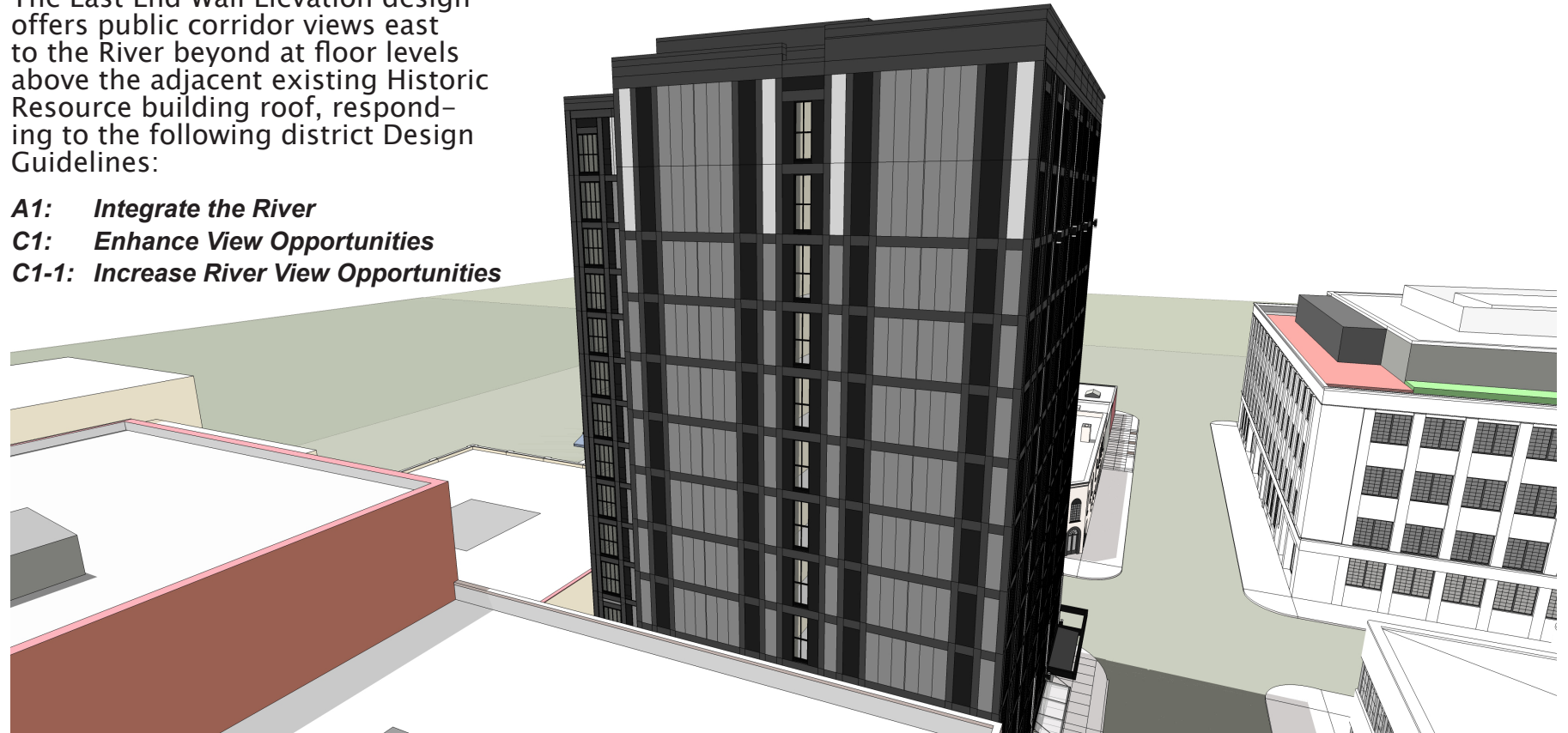
COUCH9 NORTH END WALL



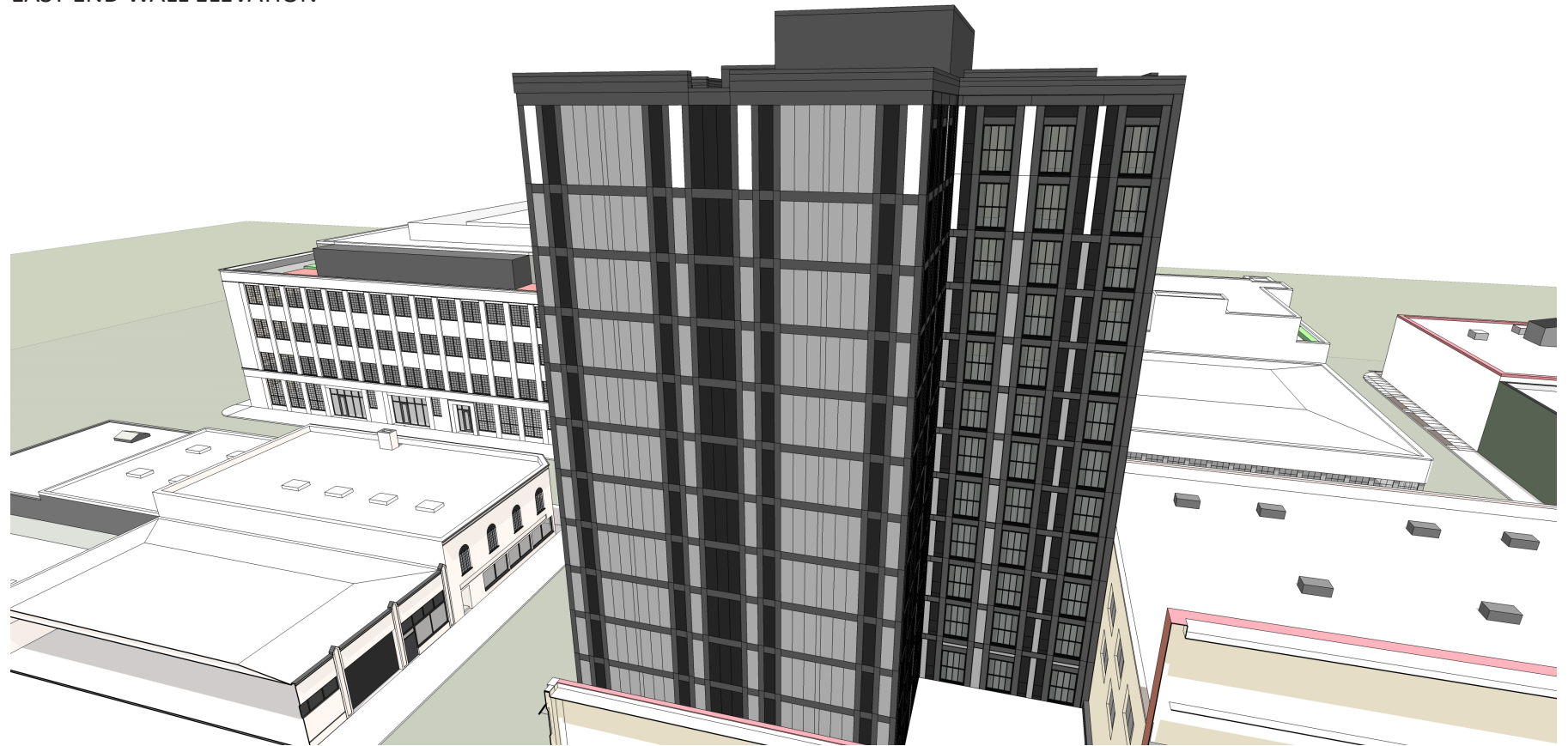
THE CASEY NORTH END WALL

The East End Wall Elevation design offers public corridor views east to the River beyond at floor levels above the adjacent existing Historic Resource building roof, responding to the following district Design Guidelines:

- A1:** *Integrate the River*
- C1:** *Enhance View Opportunities*
- C1-1:** *Increase River View Opportunities*



EAST END WALL ELEVATION



SOUTH END WALL ELEVATION

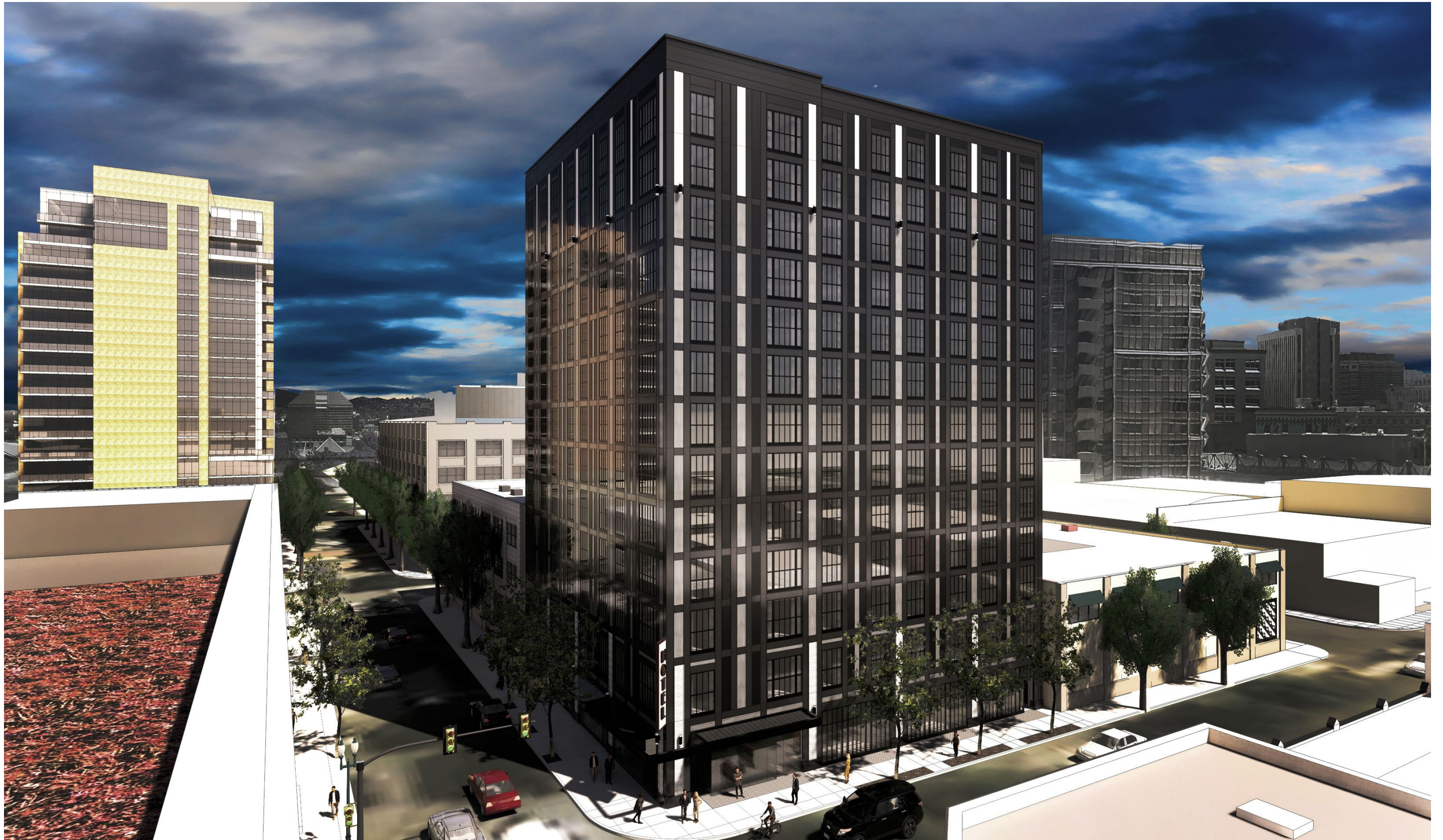
RENDERINGS



VIEW OF NORTH ELEVATION FROM
NW EVERETT & NW 14TH INTERSECTION

EVERETT HOTEL

July 22, 2019





VIEW OF EAST END ELEVATION FROM
NW EVERETT STREET

EVERETT HOTEL

July 22, 2019





STREET LEVEL VIEW FROM NW 14TH &
NW EVERETT INTERSECTION

EVERETT HOTEL

July 22, 2019





STREET LEVEL VIEW ALONG
NW EVERETT LOOKING WEST

EVERETT HOTEL

July 22, 2019





STREET LEVEL VIEW OF ENTRY @
NW EVERETT & NW 14TH AVENUE

EVERETT HOTEL

July 22, 2019

