

PORTLAND ART MUSEUM - ROTHKO PAVILION



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DESIGN TEAM

CLIENT



PORTLAND ART MUSEUM
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PORTLAND, OREGON 97205
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TABLE OF CONTENTS

SHEET NAME

A_ Project Overview
PROJECT DESCRIPTION
PROJECT DATA
CONTEXT
HISTORIC CONDITIONS
CURRENT CONDITIONS
B_ Development Standards
ZONING STANDARDS
MODIFICATIONS & ADJUSTMENTS
PREVIOUS LAND USE REVIEWS
PROJECT GOALS & OPPORTUNITIES
APPLICABLE DESIGN GUIDELINES
DESIGN GUIDELINE RESPONSE
C_ Drawings
SITE DETAILS
SITE PLANS
SITE UTILITY PLAN
SITE PLANS
DEMOLITION ELEVATIONS
DEMOLITION PLANS
DEMOLITION SECTIONS
FLOOR PLANS
ELEVATIONS
SECTIONS
D_ App. Exhibits
PUBLIC REALM DIAGRAMS
PERSPECTIVES

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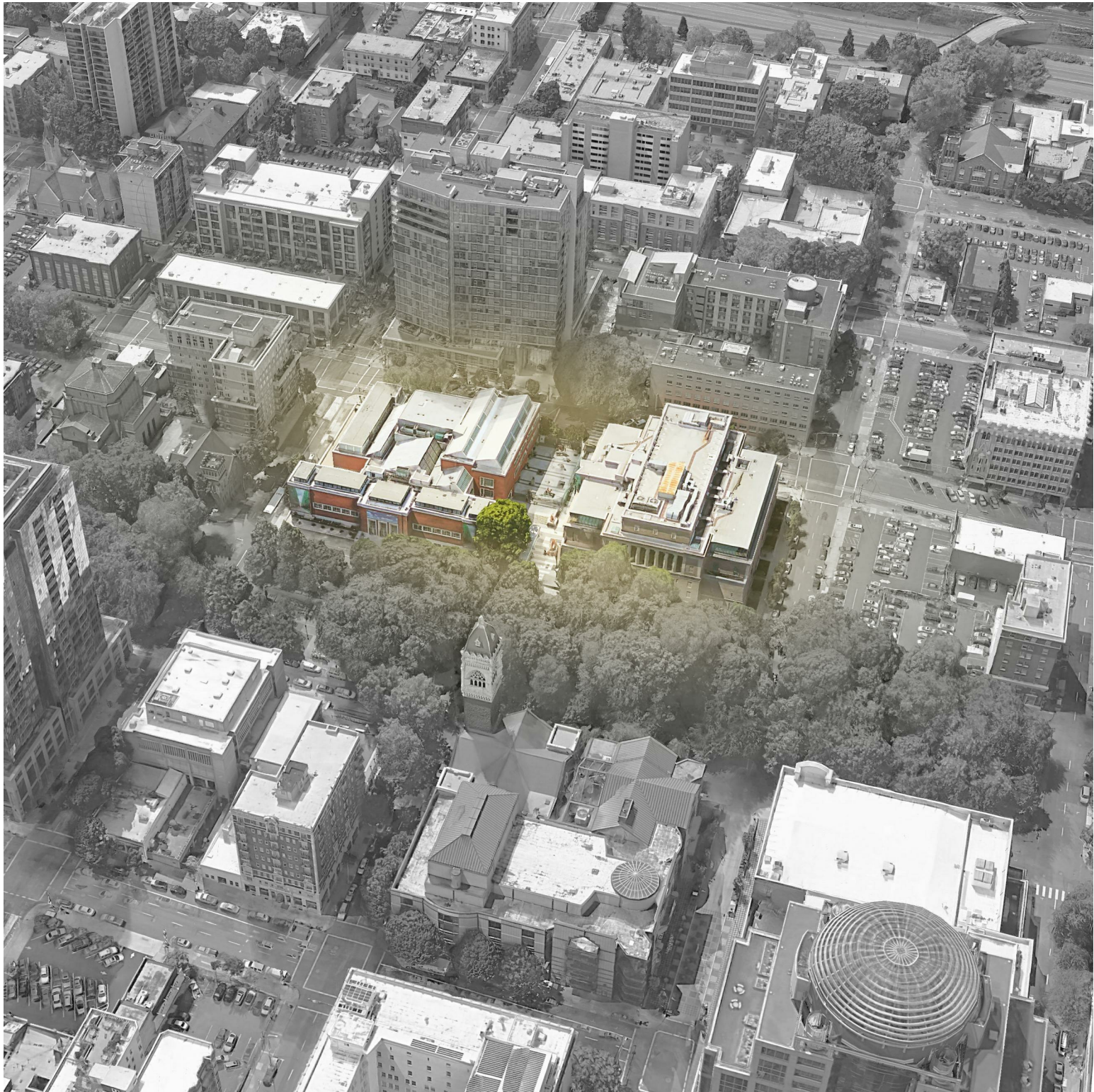
PROJECT DESCRIPTION

The Rothko Pavilion is a new transparent structure named to honor the legacy of painter and Portland native-son Mark Rothko. In honoring one of the postwar's most influential artists, paired with the partnership established between the museum and the Rothko family, this project represents an important cultural investment in Portland and future generations.

The main goal of the pavilion is to improve the connection between the museum buildings, providing expanded accessibility to art and its public spaces throughout. The four-story above-grade pavilion placed between the existing Main and Mark Buildings provides refined, universally accessible circulation patterns incorporating new elevators and restrooms. A new community commons and expanded gallery spaces further the physical and intellectual connections between the museum's collections and programs.

Permeability through the site will be enhanced via an exterior public passage that will maintain current pedestrian routes through the museum campus. Additionally, the passage provides views into the museum galleries, affording the general public to experience the art within. The revised landscaping will contribute to a welcoming and beautiful space to experience art for everyone that enters or passes through. Combined with the glazed transparency of the pavilion, the passage creates an open invitation to experience art.

PROJECT OVERVIEW_A



PROJECT INFORMATION

APPLICANT:
HENNEBERY EDDY ARCHITECTS, INC.

PROJECT CONTACTS:
TIM EDDY - HENNEBERY EDDY ARCHITECTS
ANDREW SMITH - HENNEBERY EDDY ARCHITECTS

ADDRESS:
1119 & 1219 SW PARK AVE.
PORTLAND, OR 97205-2430

REQUEST:
TYPE III HISTORIC RESOURCE REVIEW
LU 18-198009 HR AD

TYPE II CONDITIONAL USE REVIEW
LU 18-197999 CU

SITE LOCATION:
WEST OF SW PARK AVE. BETWEEN SW JEFFERSON ST.
AND SW MAIN ST.

SITE AREA:
92,000 SQ FT

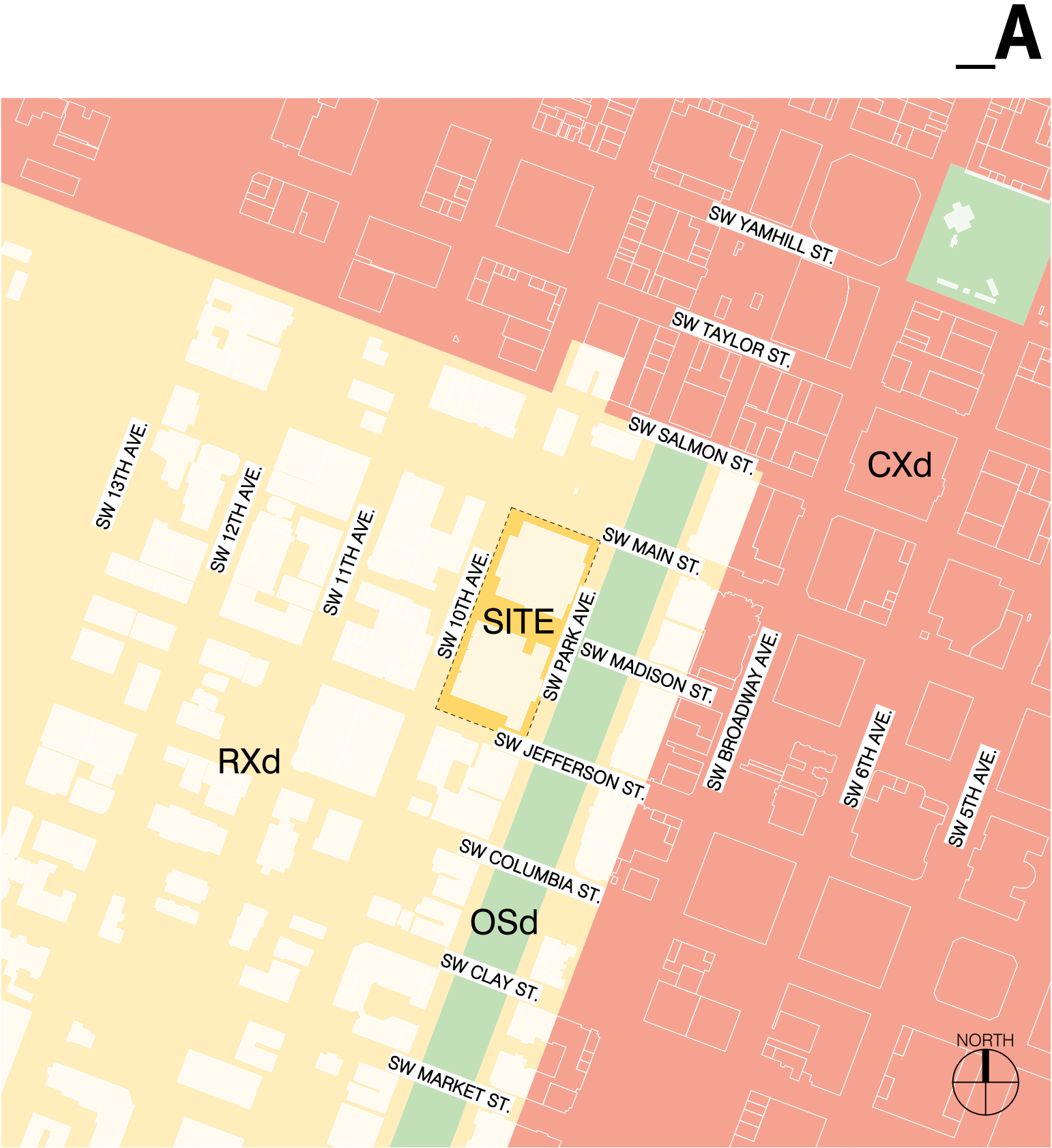
SITE TAX ACCOUNT NUMBERS:
R246482, R246483

STATE ID NUMBER:
1S1E04AA 06300, 1S1E04AA 06400

ZONING:
BASE ZONING: RX - CENTRAL RESIDENTIAL
OVERLAY: d - DESIGN ZONE
PLAN DISTRICT: CENTRAL CITY
SUBDISTRICT: DOWNTOWN
SUB AREA: WEST END

PRE-APPLICATION CONFERENCE:
APRIL 4, 2018

DEVELOPMENT STAFF REVIEWERS:
HILLARY ADAM (503) 823-3581
MARK MOFFETT (503) 823-7806



PROJECT CONTEXT

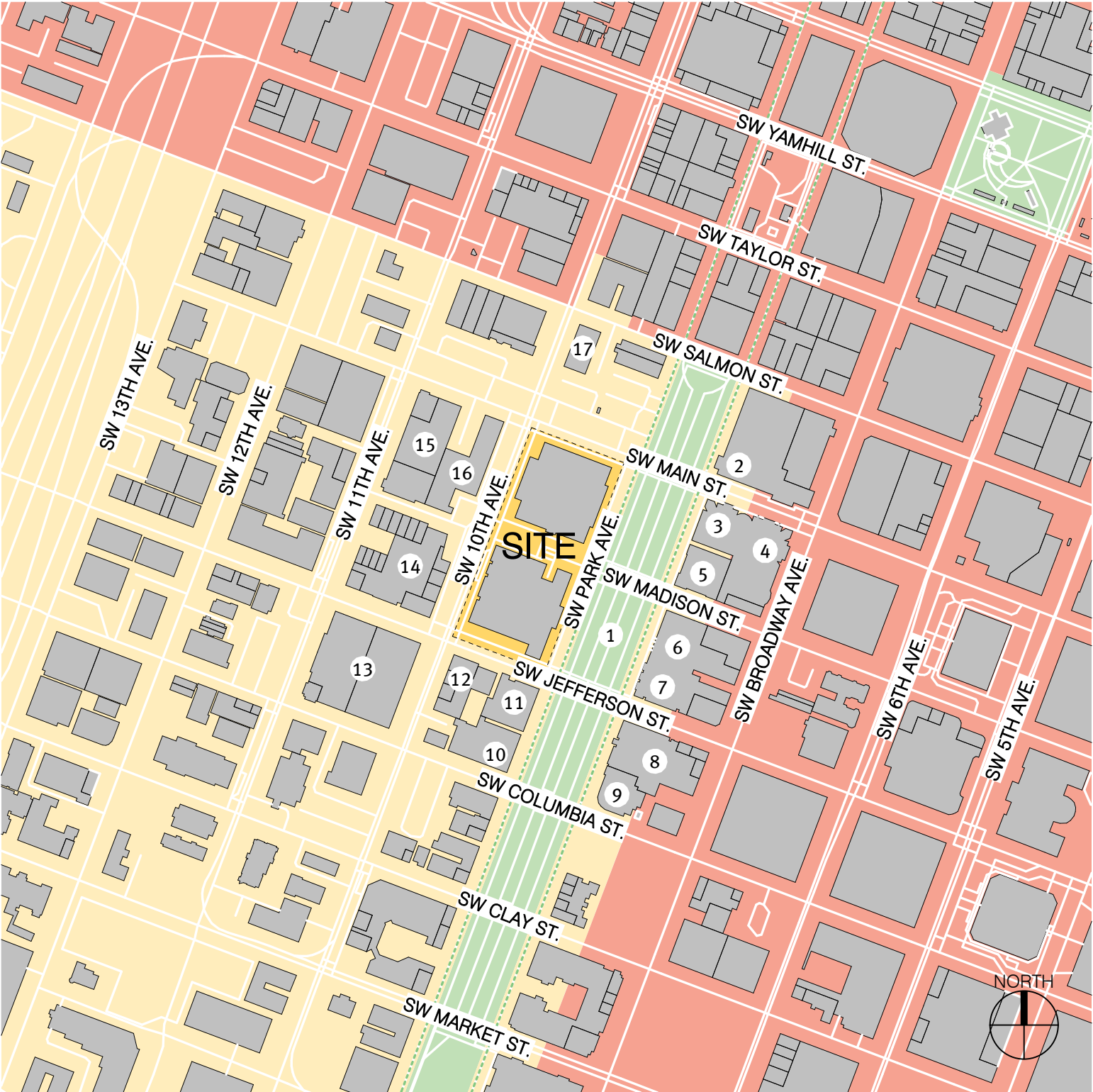
The project is located on the existing Portland Art Museum campus, on the west edge of the South Park Blocks in downtown Portland.

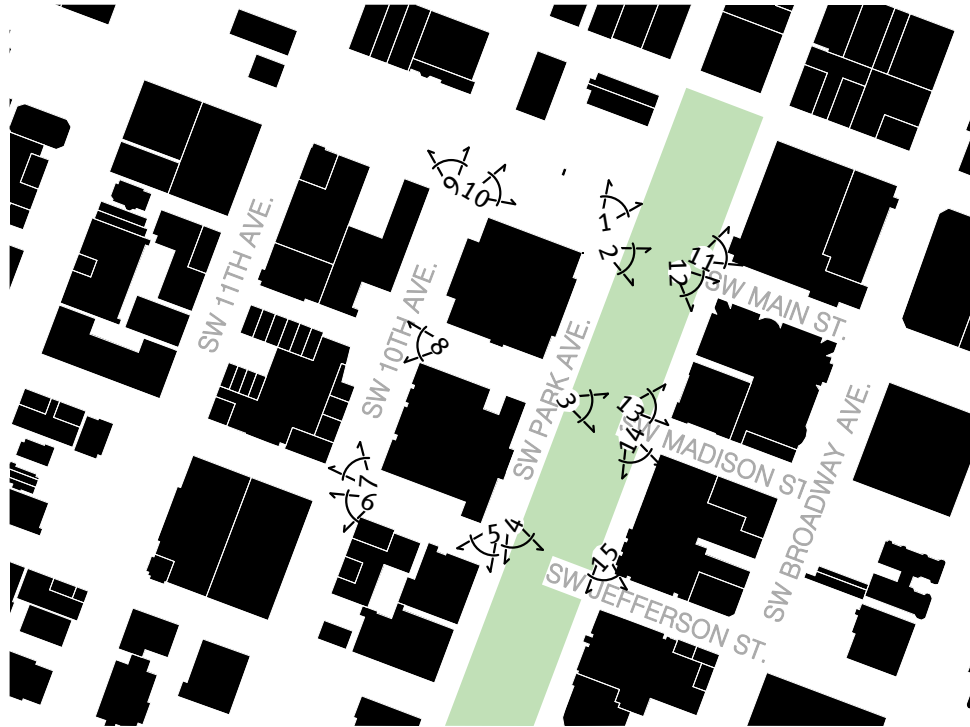
Located within the central city, neighboring properties include St. James Lutheran Church and Apartments, Eliot Tower condominiums, and the Safeway complex. The site is zoned RX with a design overlay, though the area contains many diverse cultural uses including several churches, the Oregon Historical Society, concert halls, and the museum itself.

The site is bordered by SW Park Ave. and SW 10th Ave. to the East and West, respectively, SW Jefferson St. to the South, and SW Main St. to the North. SW Jefferson is classified as a *transit access street*, with vehicle, bike and bus traffic limited to the westbound direction. SW 10th Ave. is also classified as a *transit access street*, with one-way northbound traffic as well as the NS and A loop streetcar lines.

The Main building, including the original 1932 Belluschi building, is classified as an Individual National Register Resource and the Mark Building is designated as a Portland Historic Landmark.

- 1 - SW PARK BLOCKS
- 2 - ARLENE SCHNITZER CONCERT HALL
- 3 - DOLORES WINSTEAD THEATRE
- 4 - PORTLAND 5 CENTERS FOR THE ARTS
- 5 - FIRST CONGREGATIONAL UNITED CHURCH OF CHRIST
- 6 - OREGON HISTORICAL SOCIETY
- 7 - OREGON HISTORICAL SOCIETY MUSEUM
- 8 - LADD TOWER
- 9 - FIRST CHRISTIAN CHURCH
- 10 - SIXTH CHURCH OF CHRIST SCIENTIST
- 11 - ST. JAMES LUTHERAN CHURCH
- 12 - ST. JAMES APARTMENTS
- 13 - SAFEWAY
- 14 - THE ELIOT TOWER
- 15 - ST. FRANCIS APARTMENTS
- 16 - YWCA
- 17 - NW FILM CENTER





1



2



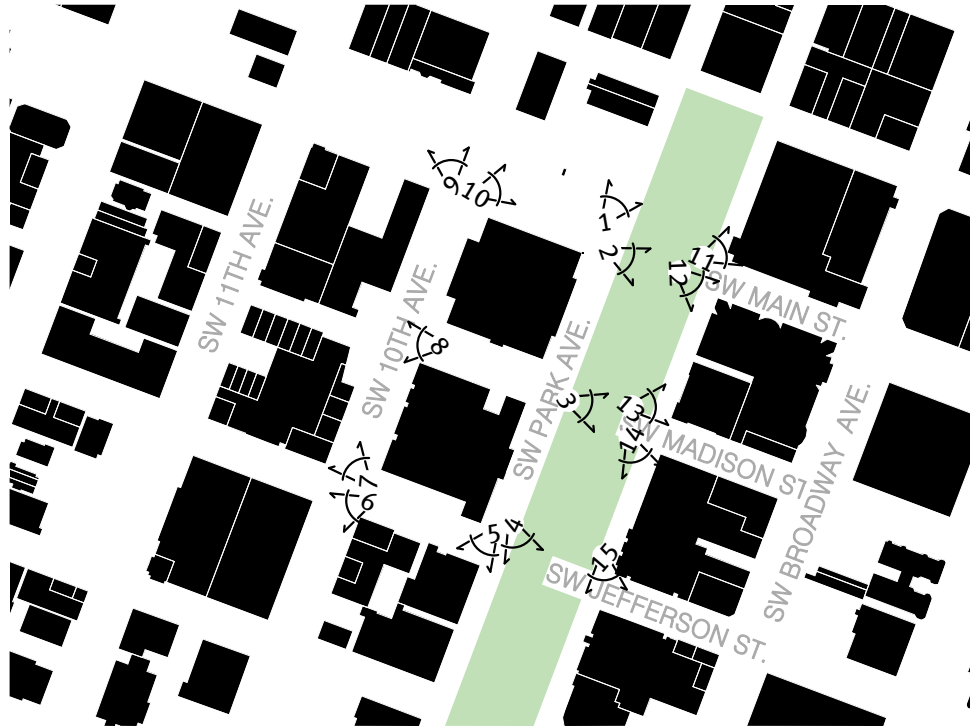
3

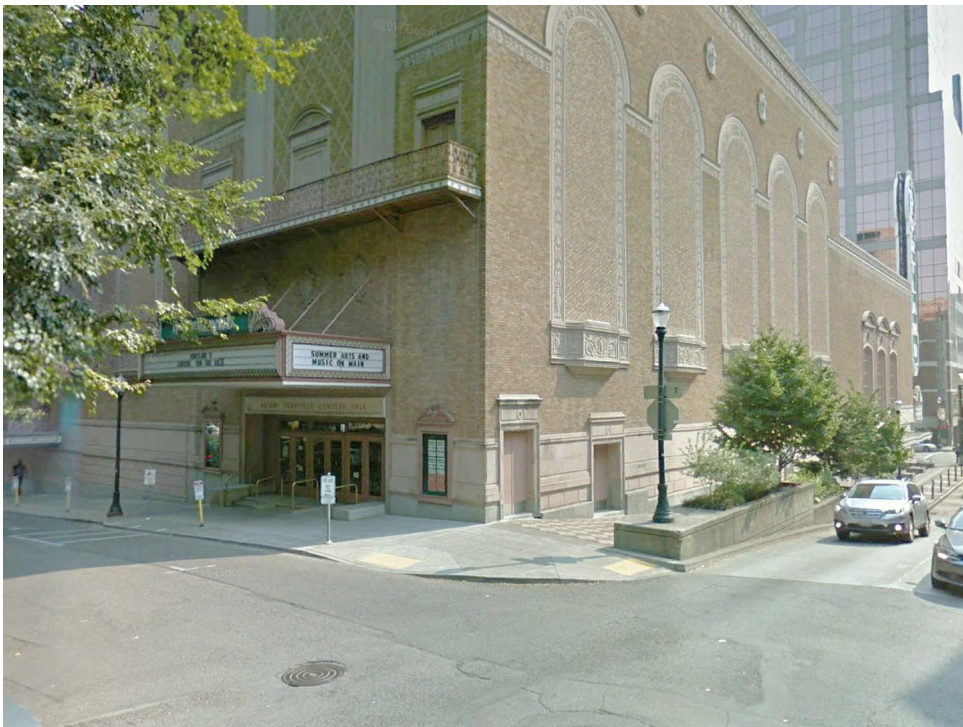
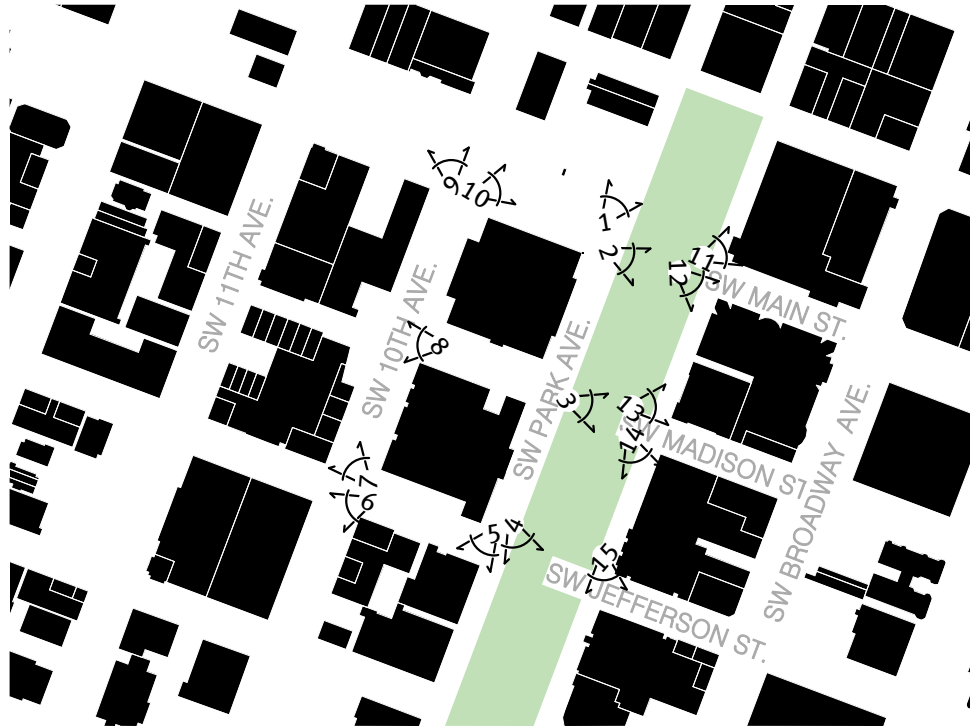


4



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11



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15

1876 Ladd School - Named for school director William S. Ladd and located at SW Park and Jefferson Streets, the east portion of the building was demolished in 1931.

1927 Portland Masonic Lodge building completed; Frederick Fritsch credited with design.

1932 Portland Art Museum - Ayer Wing by Pietro Belluschi completed adjacent to and incorporating remnants of the old Ladd School.

1938 Hirsch Wing addition by Belluschi completed with partial demolition, partial re-use, and renovation of pre-existing building. (Ladd School)

1970 Hoffman Wing (Madison Street Wing) addition including auditorium and facilities for the Museum Art School as well as a multi-level sculpture court "mall" on a portion of vacated Madison Street.

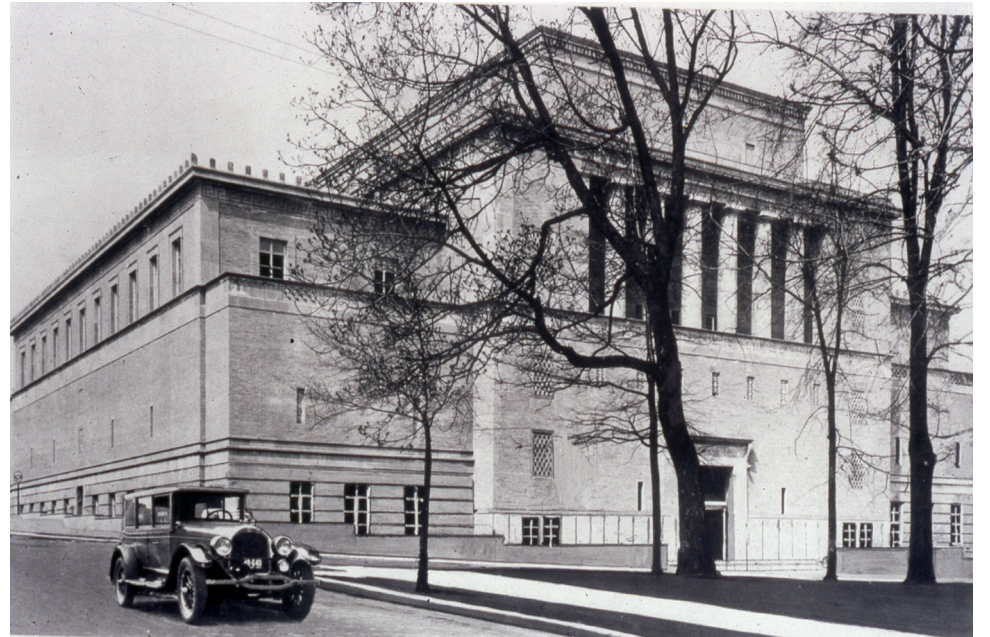
1994 Mark Building acquired by PAM.

2000 Hoffman Wing remodeled for special exhibition area and auditorium installed in basement level at the area of 1970's sunken sculpture court. An enclosed sculpture court was constructed level with Madison Street.

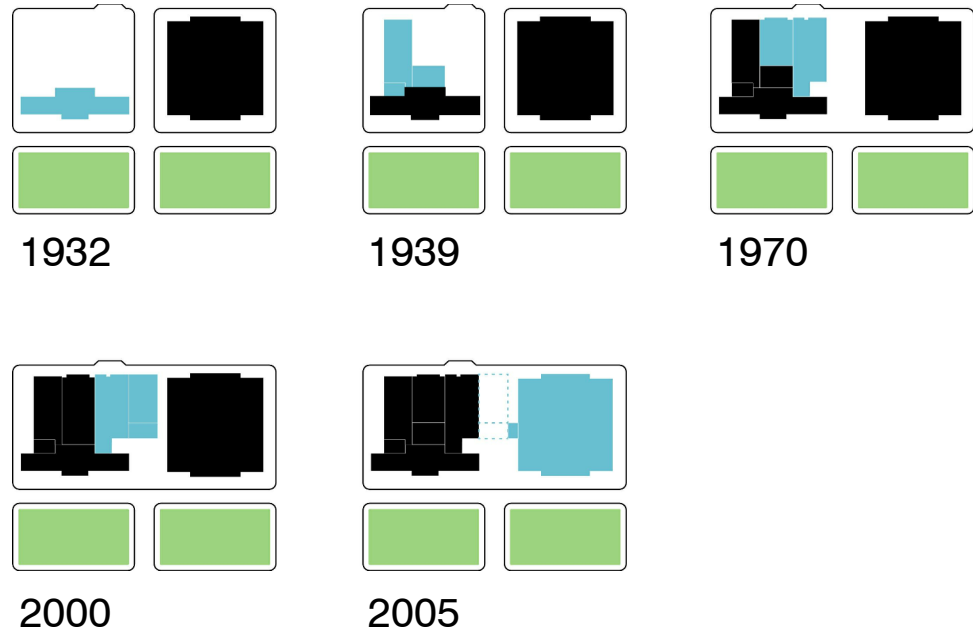
2005 Completed expansion into Mark Building (former Masonic Lodge) includes super-structure and glazed "pleat" and large doors on south elevation.



Ladd School building at southwest corner of Park and Jefferson, ca. 1903.



Masonic Temple building view at southwest corner of Park and Madison, ca. 1928
Architect: Fred Fritsch



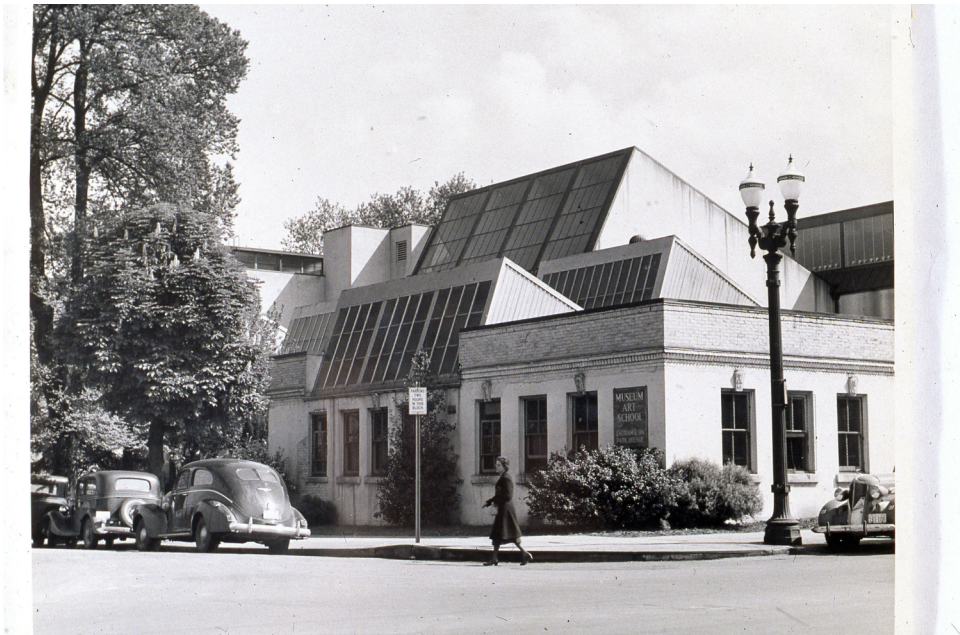
Pietro Belluschi design for Portland Art Museum (Ayer Wing), 1931



Construction of Ayer Wing, 1932 facing south from Madison toward Jefferson St.



Belluschi - designed Hirsch Wing addition, completed 1939.
(Photo ca. 1968)



Hirsch Wing addition with remnant of Museum School, at corner of Madison and 10th St. (Photo ca. 1940)



Madison Street, facing 10th Ave., ca. 1967



Museum Art School and Sculpture Court, facing Park Ave.
ca. 1974



Museum Art School and Sculpture Court, facing 10th Ave.
ca. 1974



Construction of Sculpture Court, ca. 2000



1



2



3



4



5

CITY OF PORTLAND ZONING CODE. TITLE 33, PLANNING AND ZONING

CHAPTER 33.846 HISTORIC RESOURCE REVIEW

33.846.060 HISTORIC RESOURCE REVIEW

B.1. Neighborhood Contact.

N/A. Proposal does not create more than three new dwelling units, more than 10,000 gross square feet of commercial or industrial use, nor is the subject site located in an IR zone.

B.2 For Historic Landmarks.

Per Table 846-1, a Type III review procedure is required.

D. Models of proposals in the Central City plan district.

Per Table 846-1, a model will be provided prior to permit issuance.

F. Approval criteria in the Central City plan district.

Proposal will respond to approval criteria of the Central City Fundamental Design Guidelines, the subdistrict guidelines, and criteria in 33.846.060 G.

G. Other approval criteria. Requests for historic resource review will be approved if the review body finds that the applicant has shown that all of the applicable approval criteria have been met. The approval criteria are:

1. Historic character. *The historic character of the property will be retained and preserved. Removal of historic materials or alteration of features and spaces that contribute to the property's historic significance will be avoided;*

Response: Historic characteristics proportion, detailing, and material expression of existing buildings will be fully preserved.

2. Record of its time. *The historic resource will remain a physical record of its time, place, and use. Changes that create a false sense of historic development, such as adding conjectural features or architectural elements from other buildings will be avoided;*

Response: Proposed pavilion elements will be of a unique character and material palette to differentiate from historic elements of the existing buildings. Historic elements will be retained; where new elements are required they will not attempt to create a false sense of history.

3. Historic changes. *Most properties change over time. Those changes that have acquired historic significance will be preserved;*

Response: The subject property has undergone significant changes; the proposal respects the most significant portions of the site and attempts to remedy elements that distract from the overall historic character. The proposal references and continues the tradition of expansion to create a more complete and accessible campus.

CITY OF PORTLAND ZONING CODE. TITLE 33, PLANNING AND ZONING

CHAPTER 33.846 HISTORIC RESOURCE REVIEW (CONT.)

4. Historic features. *Generally, deteriorated historic features will be repaired rather than replaced. Where the severity of deterioration requires replacement, the new feature will match the old in design, color, texture, and other visual qualities and, where practical, in materials. Replacement of missing features must be substantiated by documentary, physical, or pictorial evidence;*

Response: Historic elements of the existing buildings will fully be preserved and restored where possible. Removal of materials required for the addition will be kept to a minimum and repurposed to repair existing elements.

5. Historic materials. *Historic materials will be protected. Chemical or physical treatments, such as sandblasting, that cause damage to historic materials will not be used;*

Response: Historic materials of the existing buildings will be protected; detrimental treatments kept to a minimum.

6. Archaeological resources. *Significant archaeological resources affected by a proposal will be protected and preserved to the extent practical. When such resources are disturbed, mitigation measures will be undertaken;*

Response: No known archaeological elements are present on the site. If discovered during the project, appropriate action will be implemented to extract and preserve resources.

7. Differentiate new from old. *New additions, exterior alterations, or related new construction will not destroy historic materials that characterize a property. New work will be differentiated from the old;*

Response: Character of the proposal is appropriately detailed in order to appear deferential to the existing character of the site. New work is defined by transparent cladding to contrast the solid historic character.

8. Architectural compatibility. *New additions, exterior alterations, or related new construction will be compatible with the resource's massing, size, scale, and architectural features. When retrofitting buildings or sites to improve accessibility for persons with disabilities, design solutions will not compromise the architectural integrity of the historic resource;*

Response: Massing and proportion of the proposal reference existing elements of the site; generous reveals and steps are utilized to mitigate differences between existing historic references of the site. Additional massing and features required to enhance accessibility are recessed and scaled to respect the existing architectural integrity.

9. Preserve the form and integrity of historic resources. *New additions and adjacent or related new construction will be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic resource and its environment would be unimpaired;*

Response: The proposed addition inserts into "voids" created by the existing architecture. Primary elements of the addition may be constructed in a method to allow future removal without undo detriment to historic resources.

CITY OF PORTLAND ZONING CODE. TITLE 33, PLANNING AND ZONING

CHAPTER 33.846 HISTORIC RESOURCE REVIEW (CONT.)

10. Hierarchy of compatibility. *Exterior alterations and additions will be designed to be compatible primarily with the original resource, secondarily with adjacent properties, and finally, if located within a Historic or Conservation District, with the rest of the district. Where practical, compatibility will be pursued on all three levels.*

Response: The proposal is situated between the two existing elements of the site and references these elements almost exclusively. Where the intervention presents itself to surrounding context, transparent and reflective elements are implemented to enhance adjacent site features.

APPLICABLE DESIGN GUIDELINES:

A_A PORTLAND PERSONALITY	
A2	Emphasize Portland Themes
A3	Respect the Portland Block Structures
A4	Use Unifying Elements
A5	Enhance, Embellish, and Identify Areas
A6	Reuse / Rehabilitate / Restore Buildings
A7	Establish and Maintain a Sense of Urban Enclosure
A8	Contribute to a Vibrant Streetscape
B_PEDESTRIAN EMPHASIS	
B1	Reinforce and Enhance the Pedestrian System
B2	Protect the Pedestrian
B3	Bridge Pedestrian Obstacles
B4	Provide Stopping and Viewing Places
B5	Make Plazas, Parks and Open Space Successful
B6	Develop Weather Protection
B7	Integrate Barrier-Free Design
C_PROJECT DESIGN	
C1	Enhance View Opportunities
C2	Promote Quality and Permanence in Development
C3	Respect Architectural Integrity
C4	Complement the Context of Existing Buildings
C5	Design for Coherency
C6	Develop Transitions Between Buildings and Public Spaces
C8	Differentiate the Sidewalk-Level of Buildings
C9	Develop Flexible Sidewalk-Level Spaces
C10	Integrate Encroachments
C11	Integrate Roofs and Use Rooftops
C12	Integrate Exterior Lighting
C13	Integrate Signs
D_SPECIAL AREAS	
D1	Park Blocks
*_DESIGN GUIDELINES DO NOT APPLY	
A1	Integrate the River
A9	Strengthen Gateways
C7	Design Corners that Build Active Intersections

PROJECT GOALS

This proposal incorporates multiple strategies to solve a complex design problem. The Rothko Pavilion is comprised of four main components: the relocation of the art delivery sequence and enhanced public realm experience, the open pedestrian connection through the site, gallery extensions between the historic structures, and the revised entry experience.

Components: The Plazas, the Passage, the Concourse, and Community Commons.

In order to produce a cohesive design between these disparate elements, five themes were developed to lend clarity and purpose while responding to the Central City Fundamental Design Guidelines.

Themes: Respect/Enhance. Access. Activate. Connect. Define.

Since its relocation to the South Park blocks in 1932 the museum campus has undergone countless changes, and in the process has become a Portland icon. Overwhelmingly, these changes to the campus have served to improve the condition, though some alterations were detrimental to the urban fabric. A principle component of the proposal is remedying the few shortcomings while **respecting and enhancing** the historic context. Relocating art delivery allows expanded **Plazas**, improving the pedestrian experience.

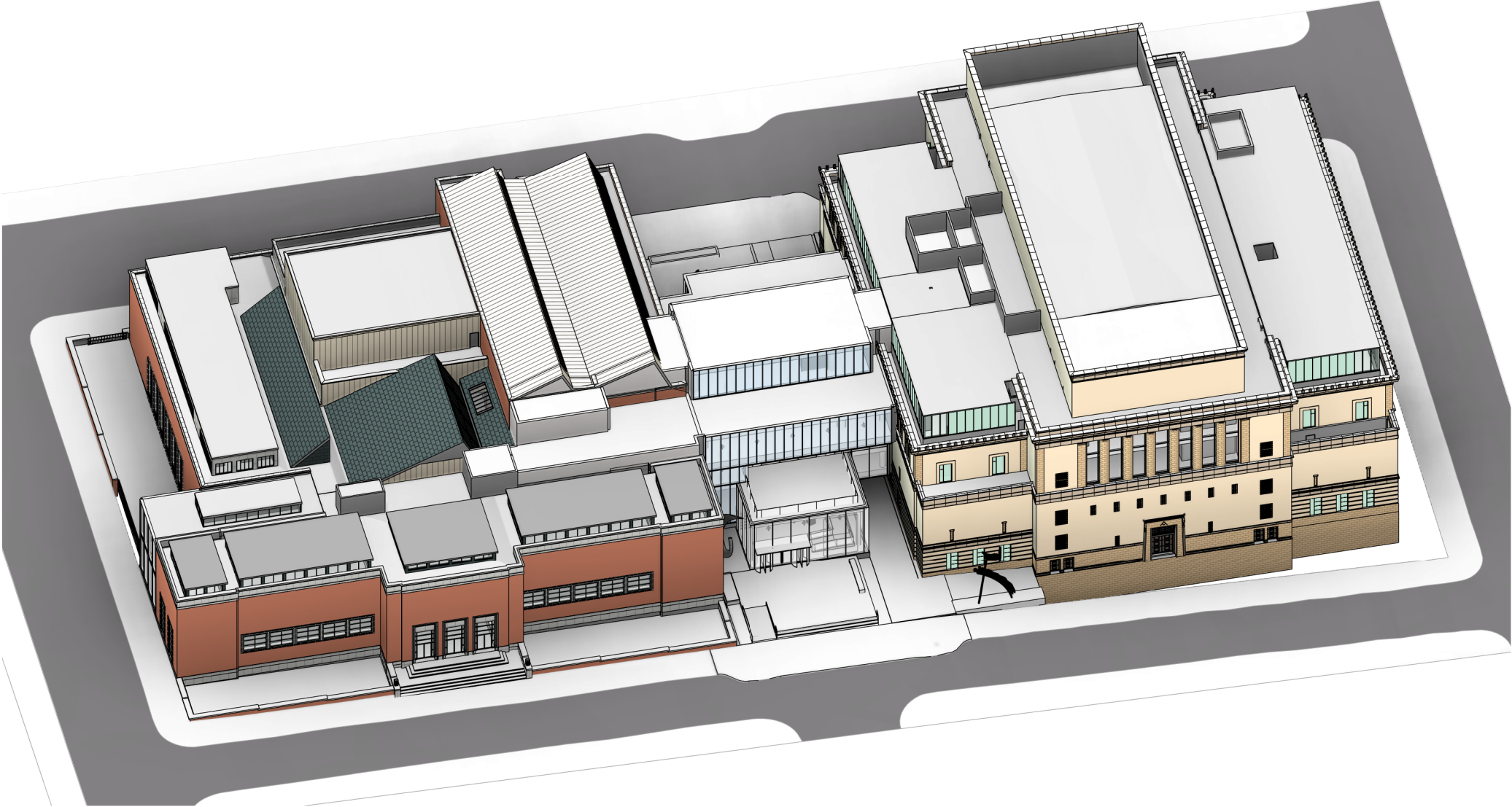
The proposal opens formerly isolated galleries within the Main and Mark buildings via new linkages, providing **access** to patrons throughout all levels of the buildings - an obstacle presently only accomplished via circulation through the basement. In addition to creating a unified structure, the **Concourses'** horizontal circulation patterns are consistent among floors, include auditory and tactile directional cues, introduce gender-neutral washroom facilities, and are complemented by new passenger elevators.

A major objective of the project is to **activate** the public realm between SW Park Avenue and SW 10th Avenue. Relocating art delivery to the south plaza alleviates interruptions associated with functional requirements of the museum while allowing for increased programing of the East and West **Plazas**. These plazas open to the public project out to the surrounding blocks encouraging active dialog between the museum and the city.

A key element of this proposal is enhancing **connection** through the site. This is accomplished via the open-air **Passage** designed to provide clear views into galleries and imbued with lighting and human-scale elements, providing comfortable passage.

New pavilion facades are clad with a transparent glazing system **defining** the new interventions while complementing the existing historic context. As a response to solar environmental concerns, these elements are highlighted with vertically expressed mullions creating a transparent device that reduces solar gains while allowing natural daylight to permeate circulation routes.

Serving as a counterpoint to the existing condition, the ground floor of the pavilion comprises a **Community Commons**, envisioned as a flexible cultural space integrated into the urban realm. It is an ideal space to announce special exhibitions or host events. Fully visible from outside the building, the Pavilion is a cultural beacon along the Park Blocks proposed Green Loop, inviting everyone to connect with art. This dynamic space will serve to engage diverse communities throughout Portland, provide new ways to access the film center, and invite all to experience the museum's exceptional collections.



B

01 RESPECT AND ENHANCE THE HISTORIC NATURE OF THE EXISTING ARCHITECTURE

B

HOW IS THIS ACCOMPLISHED?

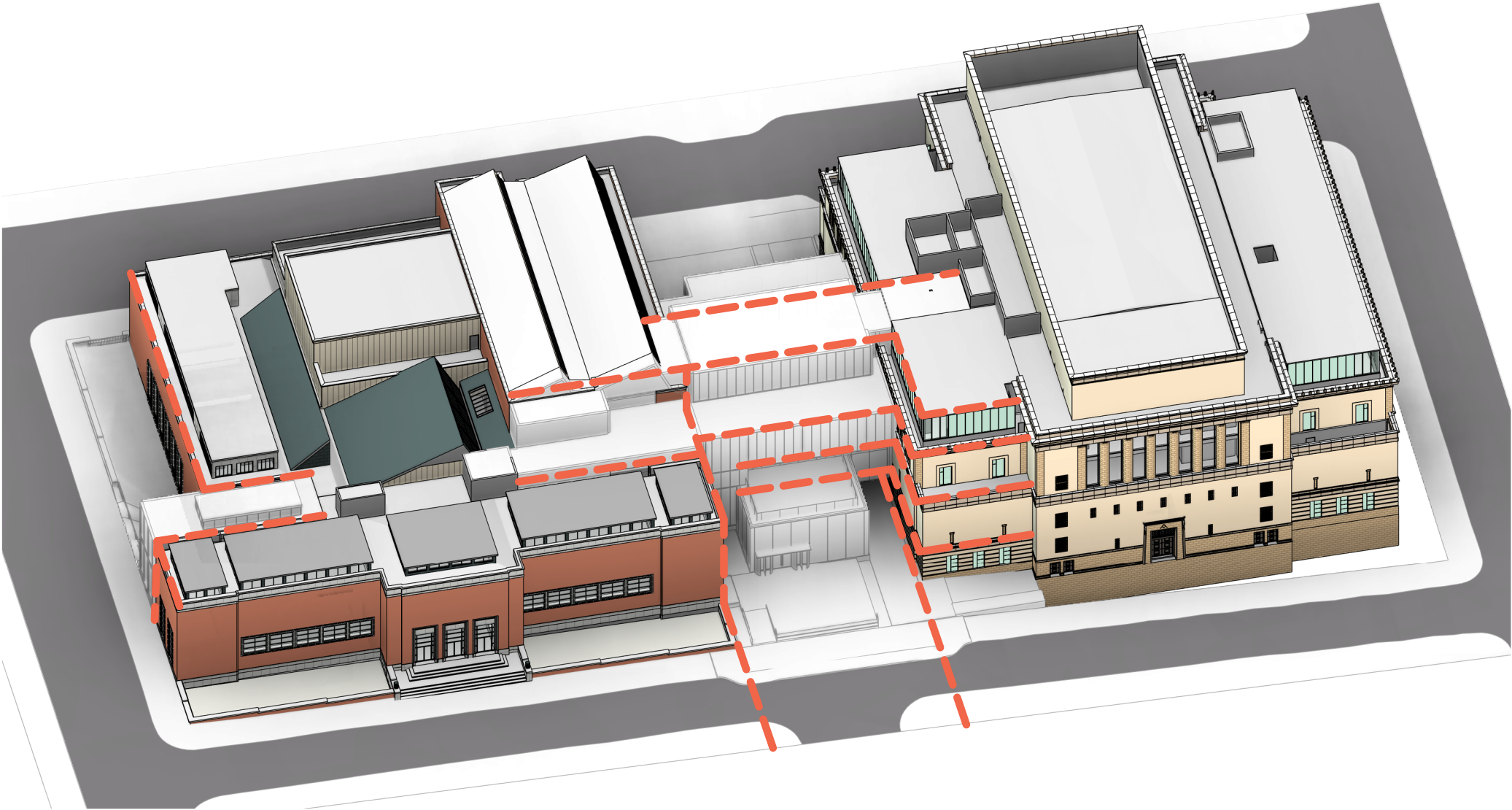
The Portland Art Museum has been operating at this location since 1932, while the Mark building was constructed in 1926. Historic features of these existing buildings will be retained and repaired.

The proposed massing is derived from the existing proportions and references datum lines of the existing architecture.

New elements are designed to be deferential in character to the existing structures.

The proposal references and continues the tradition of expansion to create a more complete and accessible campus.

The new material palette is intended to preserve and enhance visual identity of the existing historic structures.



RELATED DESIGN GUIDELINES

- A2 - EMPHASIZE PORTLAND THEMES
- A5 - ENHANCE, EMBELLISH, AND IDENTIFY AREAS
- A6 - REUSE/ REHABILITATE/ RESTORE BUILDINGS
- C2 - PROMOTE QUALITY AND PERMANENCE IN DEVELOPMENT
- C3 - RESPECT ARCHITECTURAL INTEGRITY
- C4 - COMPLEMENT THE CONTEXT OF THE EXISTING BUILDINGS

02 ACCESS

PRIORITIZE UNIVERSAL DESIGN PRINCIPLES

B

HOW IS THIS ACCOMPLISHED?

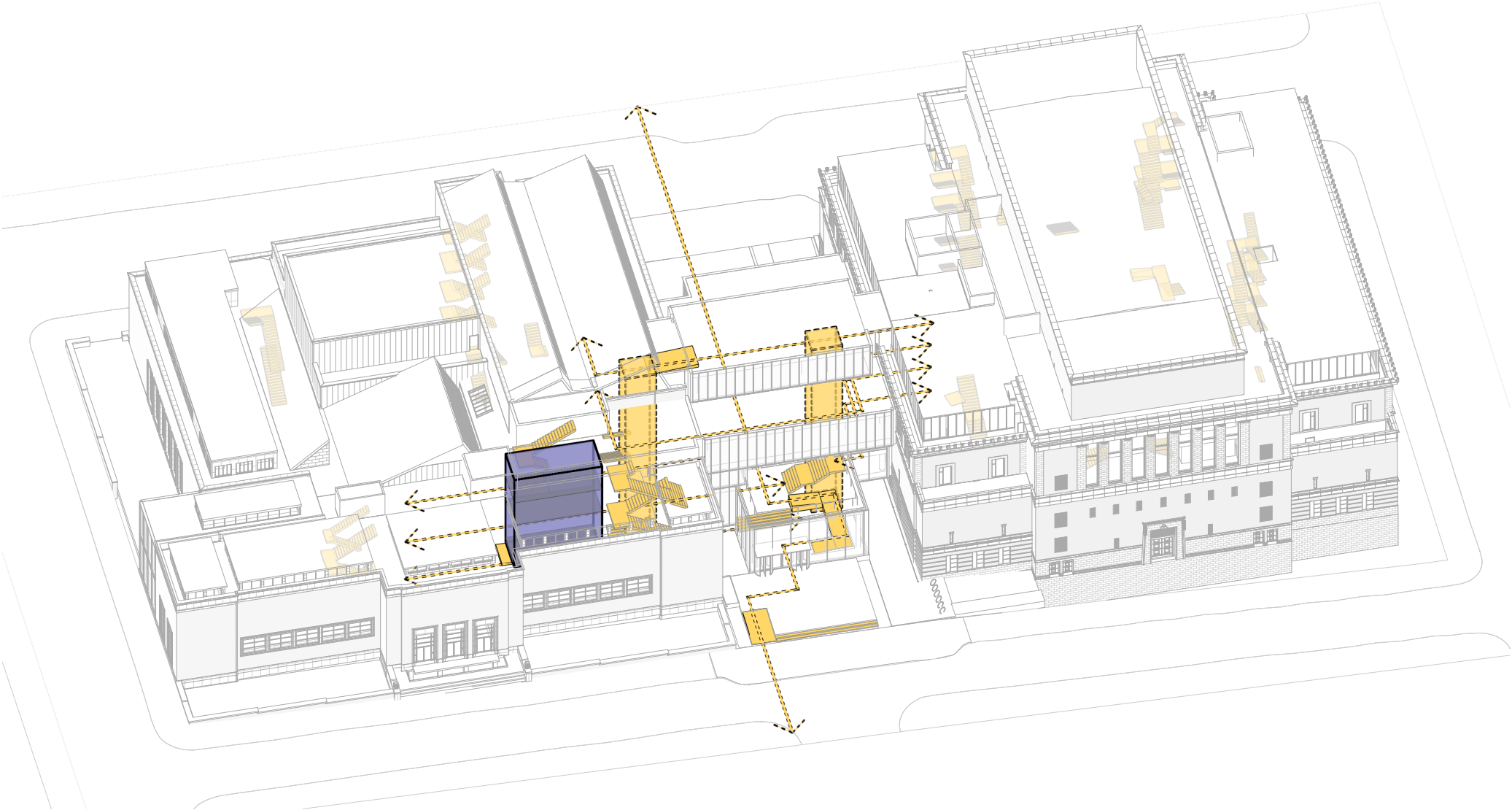
Reconfiguring access and designing to universal design principles is a primary objective guiding the proposal.

A new singular, accessible point of entry will clarify circulation patterns of the museum as well as improve public connections across the campus.

New circulation paths are clearly delineated throughout the project.

Elevators and sloped surfaces provide equitable access to all levels of the museum.

Gender-neutral washrooms are provided in portions of new work to promote inclusivity.



RELATED DESIGN GUIDELINES:

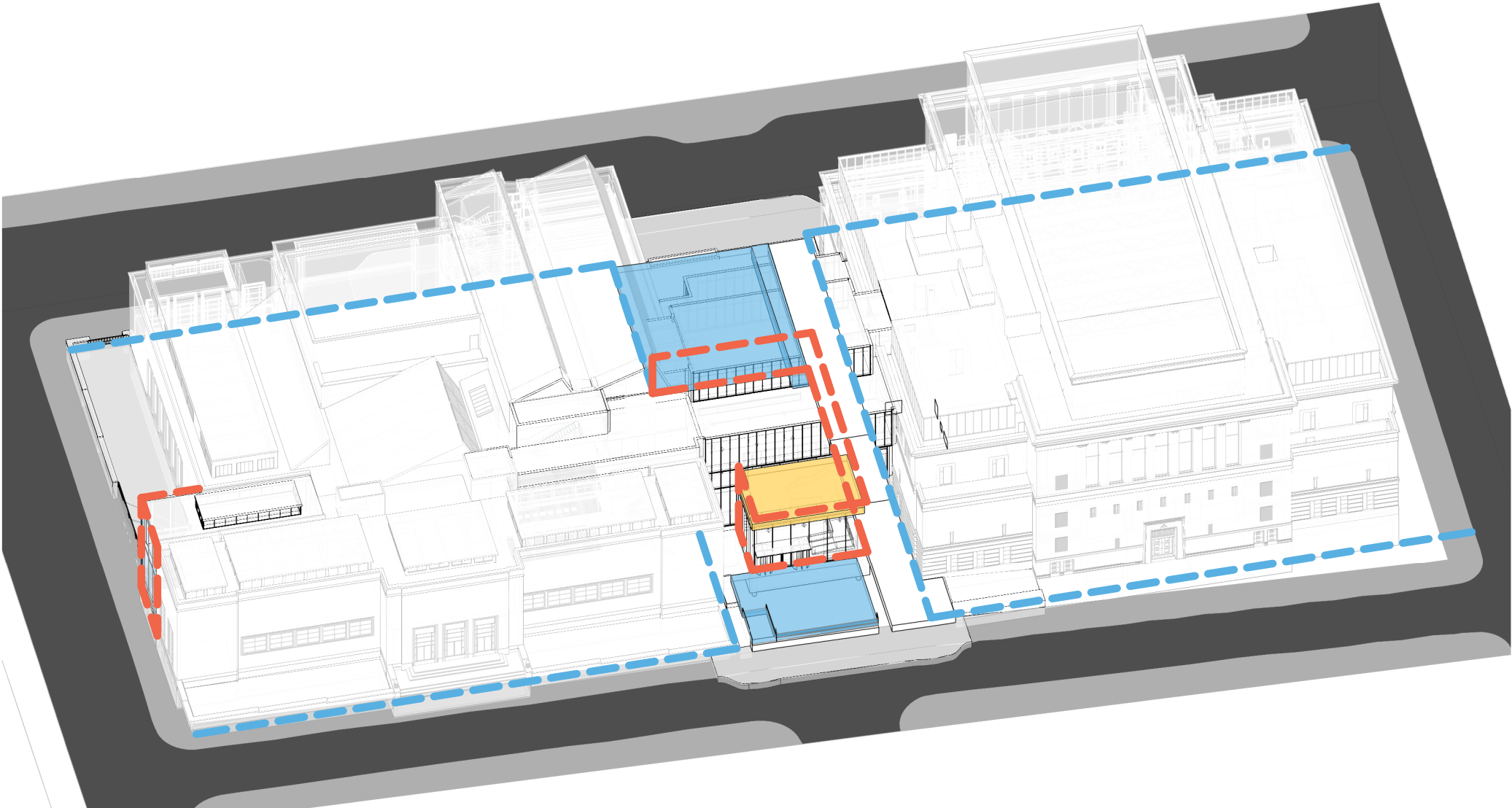
- B1 - REINFORCE AND ENHANCE THE PEDESTRIAN SYSTEM
- B2 - PROTECT THE PEDESTRIAN
- B3 - BRIDGE PEDESTRIAN OBSTACLES
- B5 - MAKE PLAZAS, PARKS, AND OPEN SPACE SUCCESSFUL
- B7 - INTEGRATE BARRIER-FREE DESIGN
- C5 - DESIGN FOR COHERENCY
- C6 - DEVELOP TRANSITIONS BETWEEN BUILDINGS AND PUBLIC SPACES
- C13 - INTEGRATE SIGNS

03 ACTIVATE
HIGHLY TRANSPARENT GROUND FLOOR TO INTERACT WITH THE STREETScape

B

HOW IS THIS ACCOMPLISHED?

- Highly transparent entry pavilion increases visual permeability to the museum.
- Plaza spaces are revised to allow special events to bridge between the commons and exterior spaces.
- Along the pedestrian passage, transparency creates a dialog between interior and exterior spaces.
- Rooftop terrace creates moments of pause and reflection, and allows the museum experience to flow between indoor and outdoor spaces.
- Revised site lighting creates new experiences and promotes safety as natural light fades.



RELATED DESIGN GUIDELINES:

- A8 - CONTRIBUTE TO A VIBRANT STREETScape
- B5 - MAKE PLAZAS, PARKS, AND OPEN SPACE SUCCESSFUL
- B6 - DEVELOP WEATHER PROTECTION
- C1 - ENHANCE VIEW OPPORTUNITIES
- C6 - DEVELOP TRANSITIONS BETWEEN BUILDINGS AND PUBLIC SPACES
- C10 - INTEGRATE ENCROACHMENTS
- C11 - INTEGRATE ROOFS AND USE ROOFTOPS
- C12 - INTEGRATE EXTERIOR LIGHTING
- D1 - PARK BLOCKS

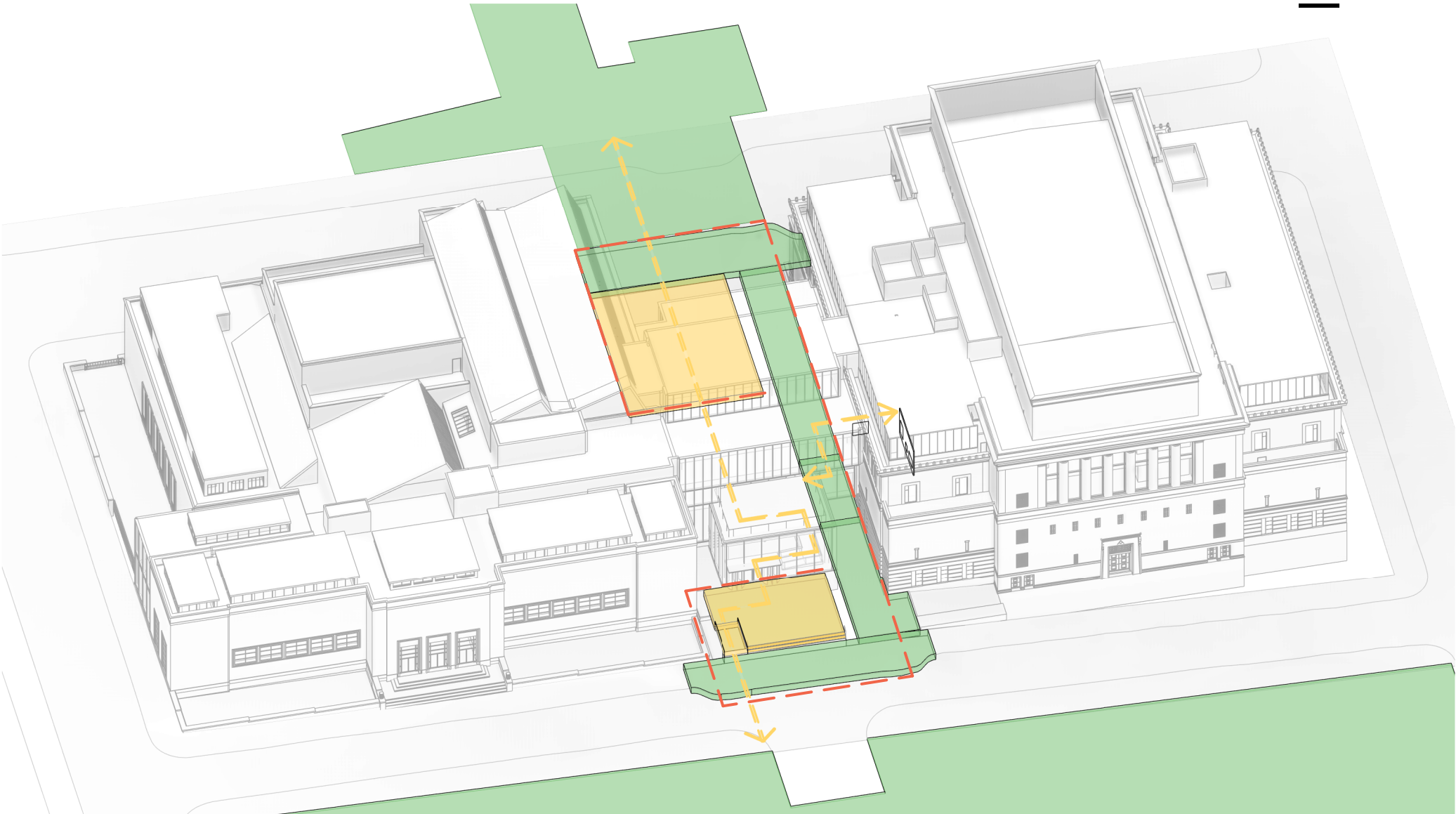
04 CONNECT

CREATE PLAZAS TO INTEGRATE WITH SOUTH PARK BLOCKS AND SURROUNDING URBAN FABRIC

B

HOW IS THIS ACCOMPLISHED?

- Revised plazas on the east and west of the site create a new front door to the museum and improve connection to the surrounding community.
- The integrated connection between 10th Ave. and the Park Blocks allows views into museum spaces throughout the day.
- Utilization of the passage as a changing exhibit extends the museum experience into the public realm, reducing barriers to art-viewing.
- New wayfinding elements will enhance the user experience.



RELATED DESIGN GUIDELINES:

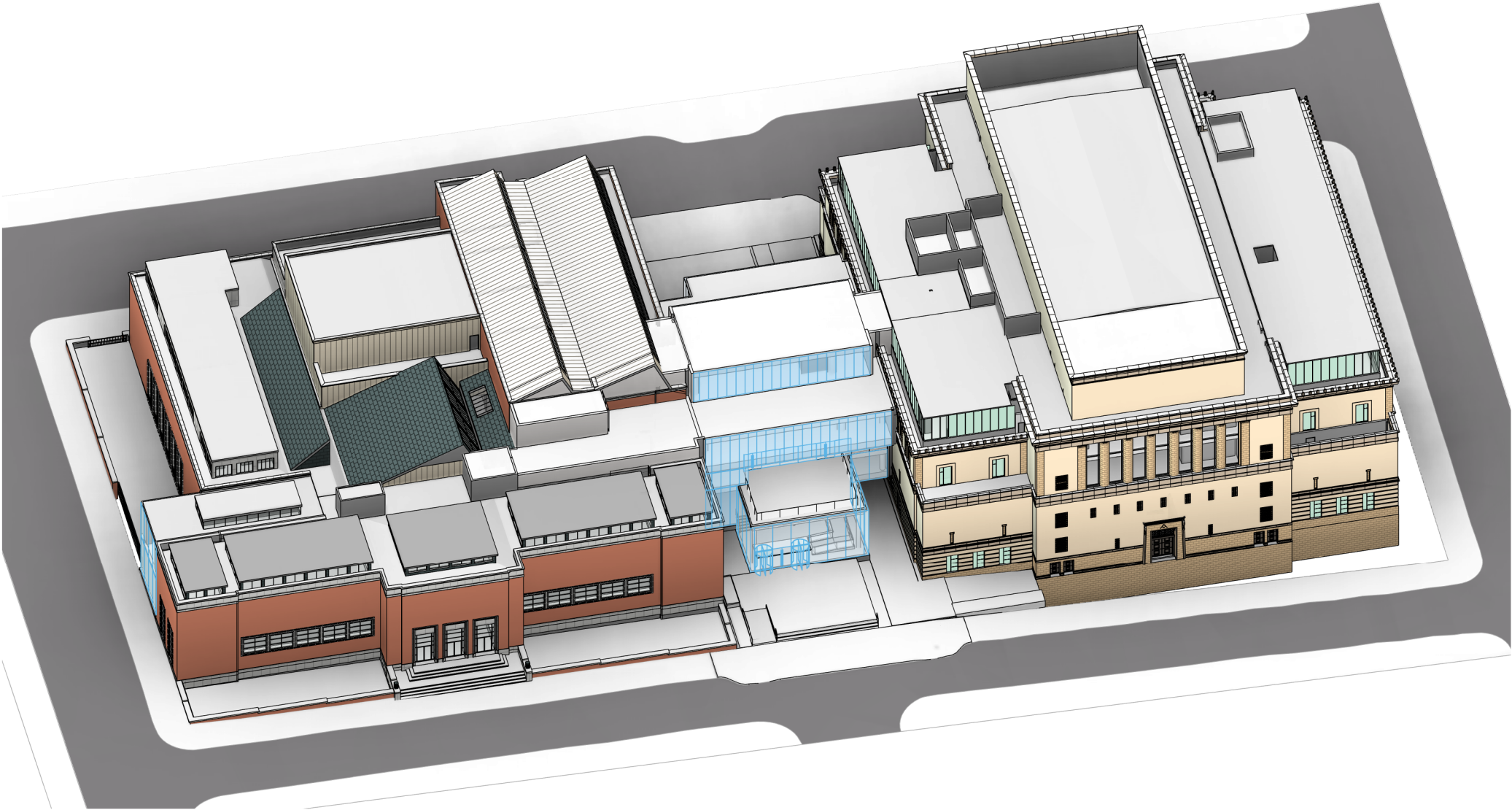
- A3 - RESPECT THE PORTLAND BLOCK STRUCTURES
- A4 - USE UNIFYING ELEMENTS
- A7 - ESTABLISH AND MAINTAIN A SENSE OF URBAN ENCLOSURE
- A8 - CONTRIBUTE TO A VIBRANT STREETScape
- B4 - PROVIDE STOPPING AND VIEWING PLACES
- B5 - MAKE PLAZAS, PARKS, AND OPEN SPACE SUCCESSFUL
- C6 - DEVELOP TRANSITIONS BETWEEN BUILDINGS AND PUBLIC SPACES
- C8 - DIFFERENTIATE THE SIDEWALK-LEVEL OF BUILDINGS
- C9 - DEVELOP FLEXIBLE SIDEWALK-LEVEL SPACES
- D1 - PARK BLOCKS

05 DEFINE & DIFFERENTIATE
CONSISTENT DESIGN LANGUAGE WILL UNIQUELY DEFINE THE PAVILION CONNECTION

B

HOW IS THIS ACCOMPLISHED?

- Unique set of materials creates new identity for the museum, while preserving the integrity of the historic resources.
- The new massing language responds to context, bridging two distinct architectural expressions.
- Recalling the historic orientation, the East Entry is lowered to create a formal entry experience complemented by the South Park Blocks.
- Contiguous materials span from the exterior through the entry level, delineating the new entry sequence from the surrounding site.
- Exterior expression of the Pavilion responds to programmatic and environmental design needs.

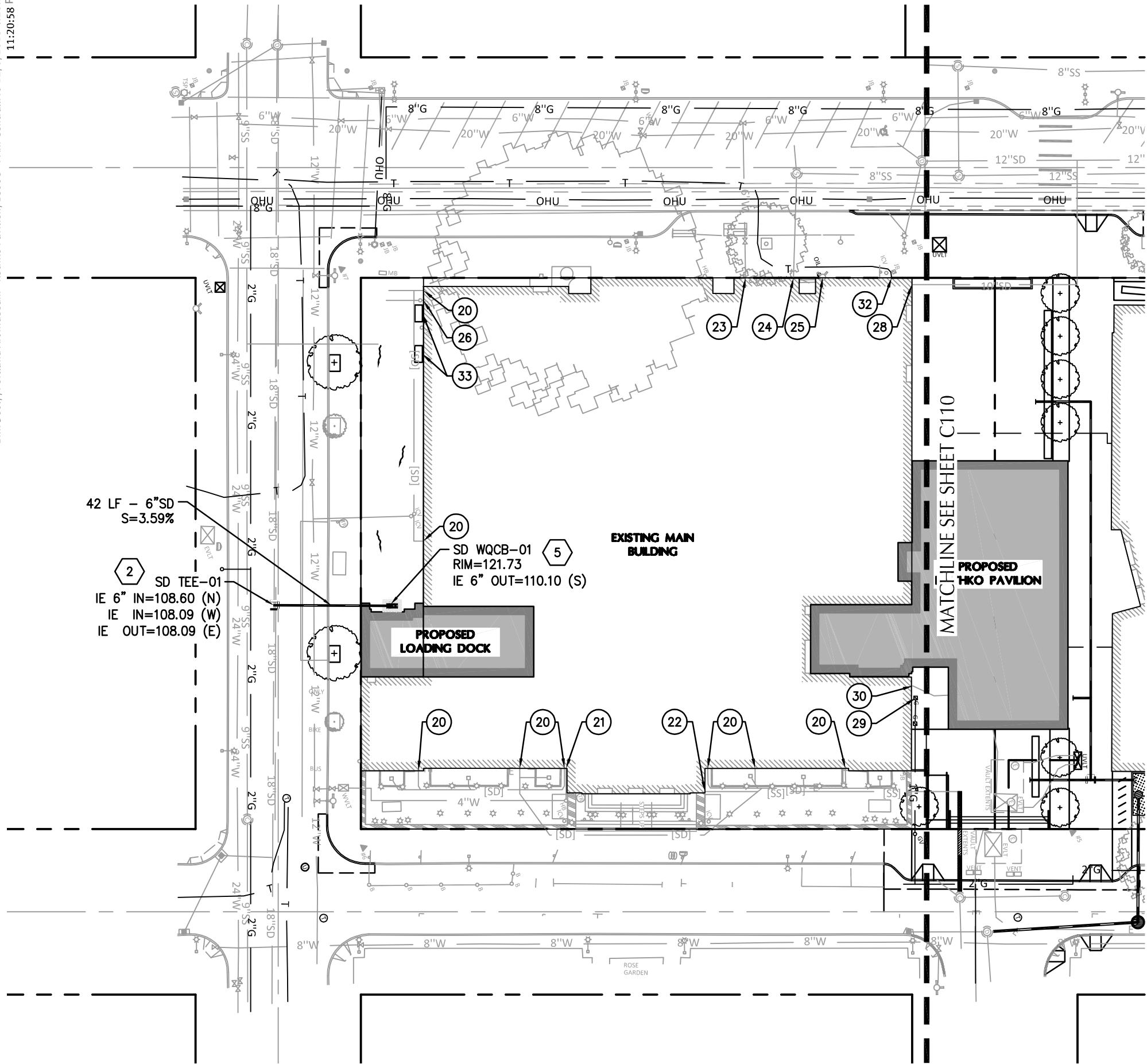


RELATED DESIGN GUIDELINES:

- A4 - USE UNIFYING ELEMENTS
- A5 - ENHANCE, EMBELLISH, AND IDENTIFY AREAS
- A6 - REUSE/ REHABILITATE/ RESTORE BUILDINGS
- C2 - PROMOTE QUALITY AND PERMANENCE IN DEVELOPMENT
- C3 - RESPECT ARCHITECTURAL INTEGRITY
- C4 - COMPLEMENT THE CONTEXT OF EXISTING BUILDINGS
- C5 - DESIGN COHERENCY

DRAWINGS_C

C_Drawings	
C_0.01	SURVEY
C_0.02	SITE UTILITY PLANS
C_0.03	SITE UTILITY PLANS
C_0.04	STORMWATER PLANTER DETAILS
C_0.05	EXISTING TREE PLAN
C_0.06	SITE PLAN
C_0.07	MATERIALS KEY PLAN
C_0.08	MATERIALS ENLARGEMENT PLAN
C_0.09	MATERIALS ENLARGEMENT PLAN
C_0.10	MATERIALS ENLARGEMENT PLAN
C_0.11	PLANTING PLAN
C_1.01	DEMOLITION DIAGRAM
C_1.30	DEMOLITION ELEVATIONS
C_1.31	DEMOLITION ELEVATIONS
C_1.32	DEMOLITION ELEVATIONS
C_1.40	DEMOLITION SECTIONS
C_2.00	GROUND FLOOR DIAGRAM
C_2.01	BASEMENT
C_2.02	LEVEL 01
C_2.03	LEVEL 01.5
C_2.04	LEVEL 02
C_2.05	LEVEL 03
C_2.06	LEVEL 04
C_2.07	LEVEL 04
C_3.01	ELEVATIONS
C_3.02	ELEVATIONS
C_4.01	SECTIONS



C

SHEET NOTES

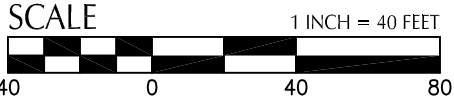
1. PIPE BEDDING AND TRENCH BACKFILL AND SURFACING PER CITY STD DWG P-100 AND P-101.

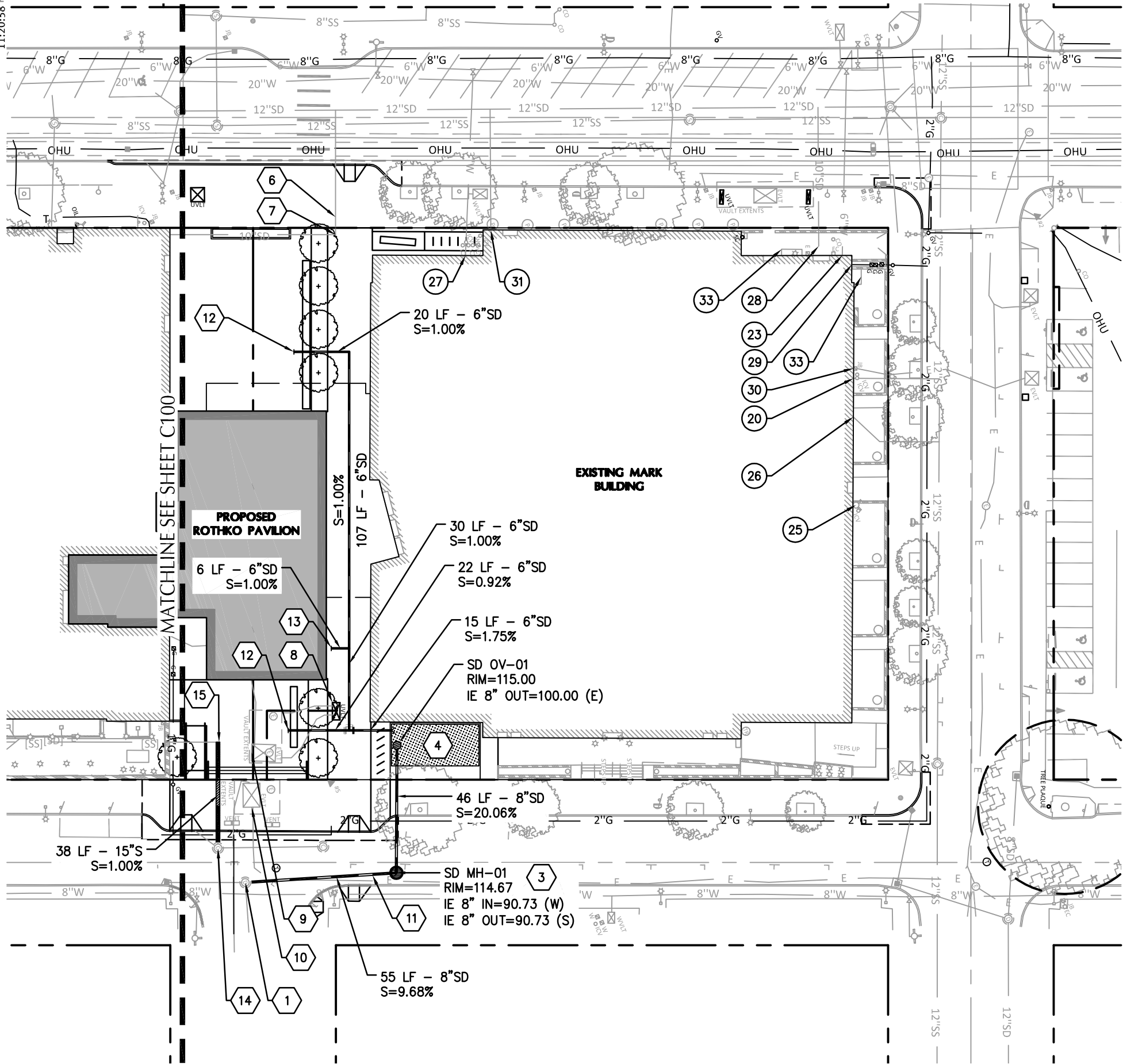
UTILITY KEY NOTES

- 2 CONNECT TO EXISTING 18" COMBINED SEWER MAIN
5 CONTECH (1) CARTRIDGE 27" WATER QUALITY CATCH BASIN

EXISTING BUILDING CONNECTION KEY NOTES

- 20 STORM DRAIN BUILDING CONNECTION
21 4" DOMESTIC WATER SERVICE BUILDING CONNECTION
22 6" SANITARY SEWER BUILDING CONNECTION
23 6" WATER SERVICE BUILDING CONNECTION
24 12" SANITARY SEWER BUILDING CONNECTION
25 BUILDING FIRE DEPARTMENT CONNECTION
26 SANITARY SEWER BUILDING CONNECTION
28 10" STORM DRAIN BUILDING CONNECTION
29 NATURAL GAS BUILDING CONNECTION
30 ELECTRICAL BUILDING CONNECTION
32 TELECOM BUILDING CONNECTION
33 BUILDING VENT





SHEET NOTES

1. PIPE BEDDING AND TRENCH BACKFILL AND SURFACING PER CITY STD DWG P-100 AND P-101.



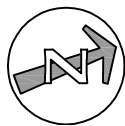
UTILITY KEY NOTES

- 1 CONNECT TO EXISTING STORM MANHOLE
- 3 CONSTRUCT PRECAST CONCRETE MANHOLE WITH CAST IN PLACE BASE AS EXTENSION OF EXISTING 12" PUBLIC STORM MAIN AT POINT OF CONNECTION PER CITY OF PORTLAND P-150 AND P-151
- 4 CONSTRUCT NEW PRIVATE STORMWATER PLANTER WITH OVERFLOW DRAIN
- 6 EXISTING 12-INCH STORM LATERAL TO REMAIN FOR ART SCHOOL DRAINAGE BASIN WHICH WILL CONTINUE TO ROUTE THROUGH EXISTING STORMWATER QUALITY MANHOLE
- 7 EXISTING WATER QUALITY MANHOLE TO REMAIN
- 8 RELOCATE EXISTING UTILITY VENT
- 9 ONSITE PGE TRANSFORMER VAULT TO REMAIN. ADJUST LID AS REQUIRED TO PROPOSED GRADE
- 10 PGE SWITCH VAULT TO REMAIN
- 11 STORM MAIN EXTENSION TO BE CONSTRUCTED UNDER SEPARATE PUBLIC WORKS PERMIT TO ALLOW ACCESS TO STORM ONLY MAIN
- 12 CONNECT PLAZA DRAINAGE TO ONSITE STORM DRAINAGE SYSTEM
- 13 CONNECT PAVILION ROOF DRAINAGE TO ONSITE DRAINAGE SYSTEM
- 14 CONNECT TO EXISTING SANITARY MANHOLE
- 15 CONNECT TO EXISTING BUILDING SANITARY LATERAL



EXISTING BUILDING CONNECTION KEY NOTES

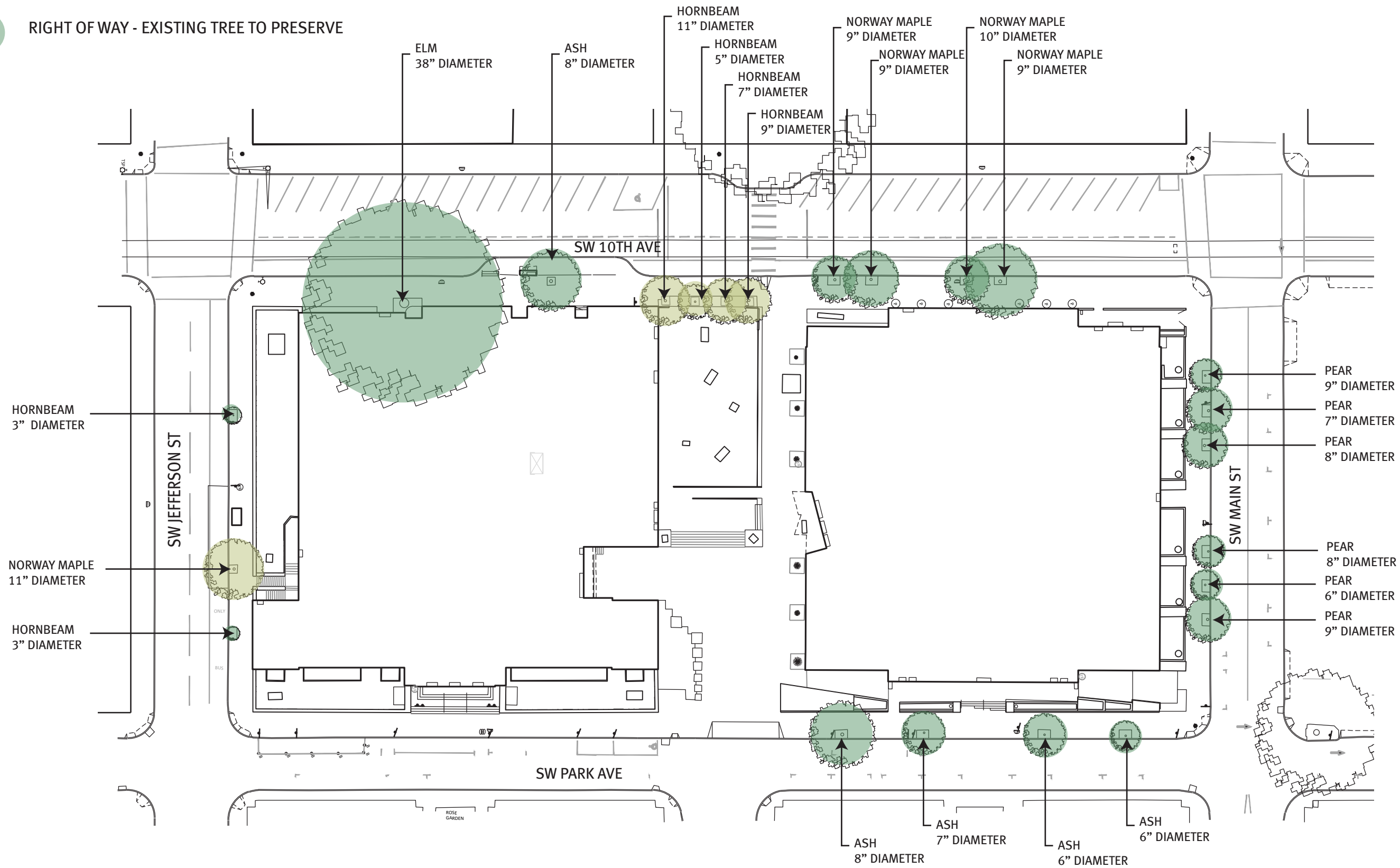
- 20 STORM DRAIN BUILDING CONNECTION
- 23 6" WATER SERVICE BUILDING CONNECTION
- 25 BUILDING FIRE DEPARTMENT CONNECTION
- 26 SANITARY SEWER BUILDING CONNECTION
- 27 3" DOMESTIC WATER SERVICE BUILDING CONNECTION
- 28 10" STORM DRAIN BUILDING CONNECTION
- 29 NATURAL GAS BUILDING CONNECTION
- 30 ELECTRICAL BUILDING CONNECTION
- 31 8" STORM DRAIN BUILDING CONNECTION
- 33 BUILDING VENT



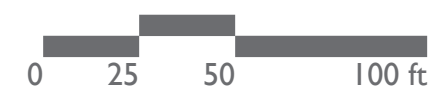
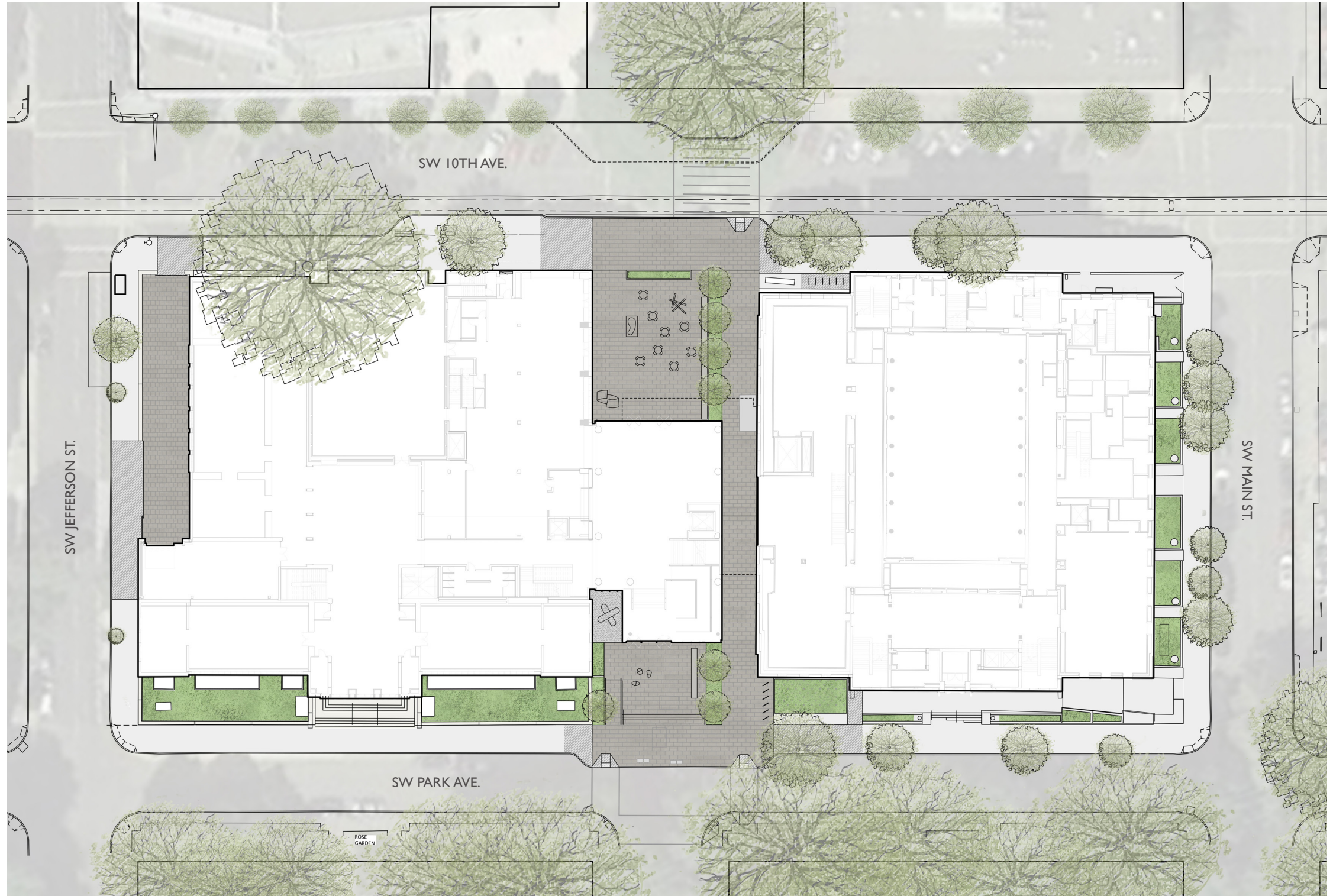
SCALE



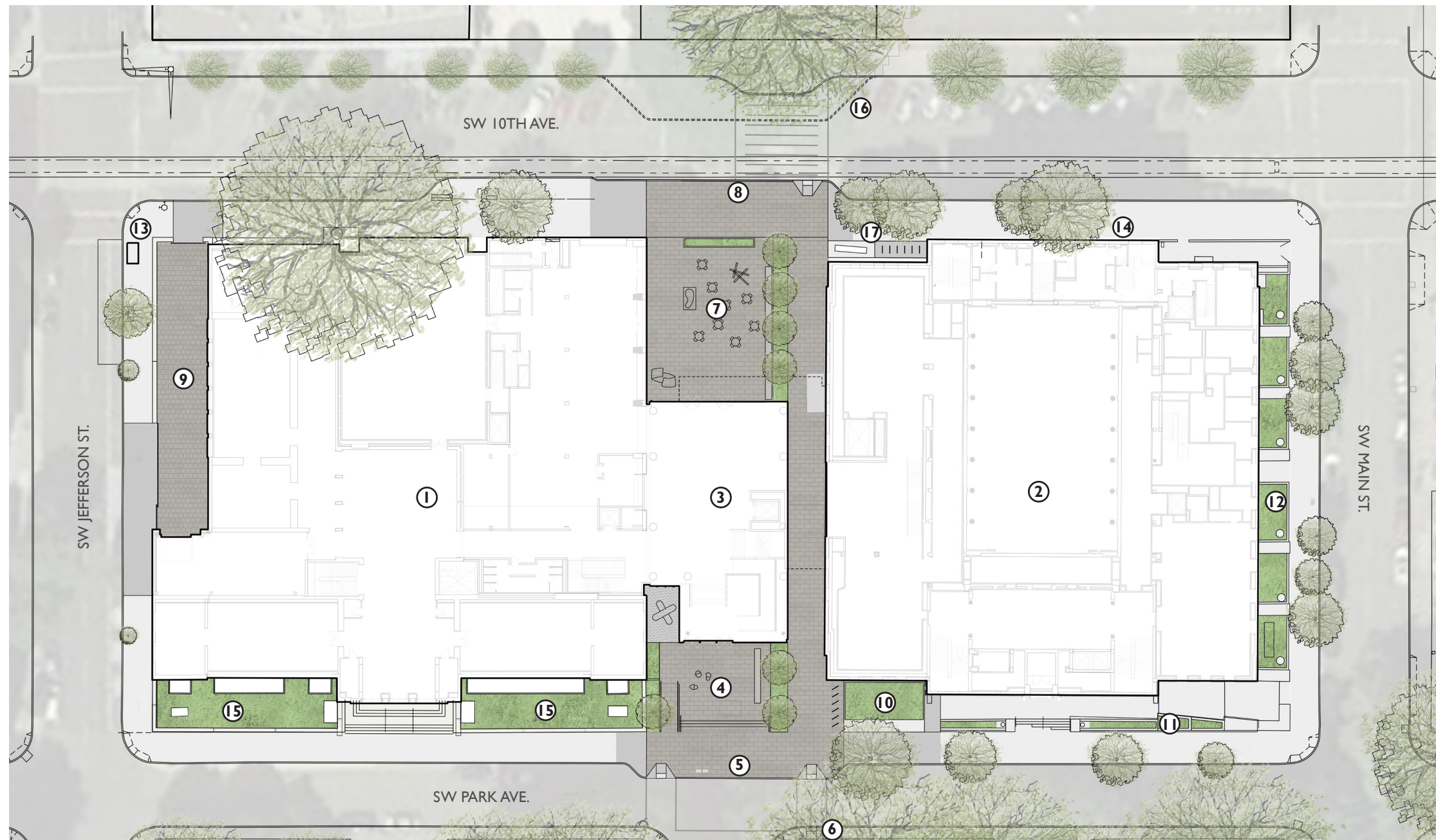
- RIGHT OF WAY - EXISTING TREE FOR REMOVAL
- RIGHT OF WAY - EXISTING TREE TO PRESERVE



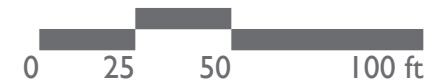
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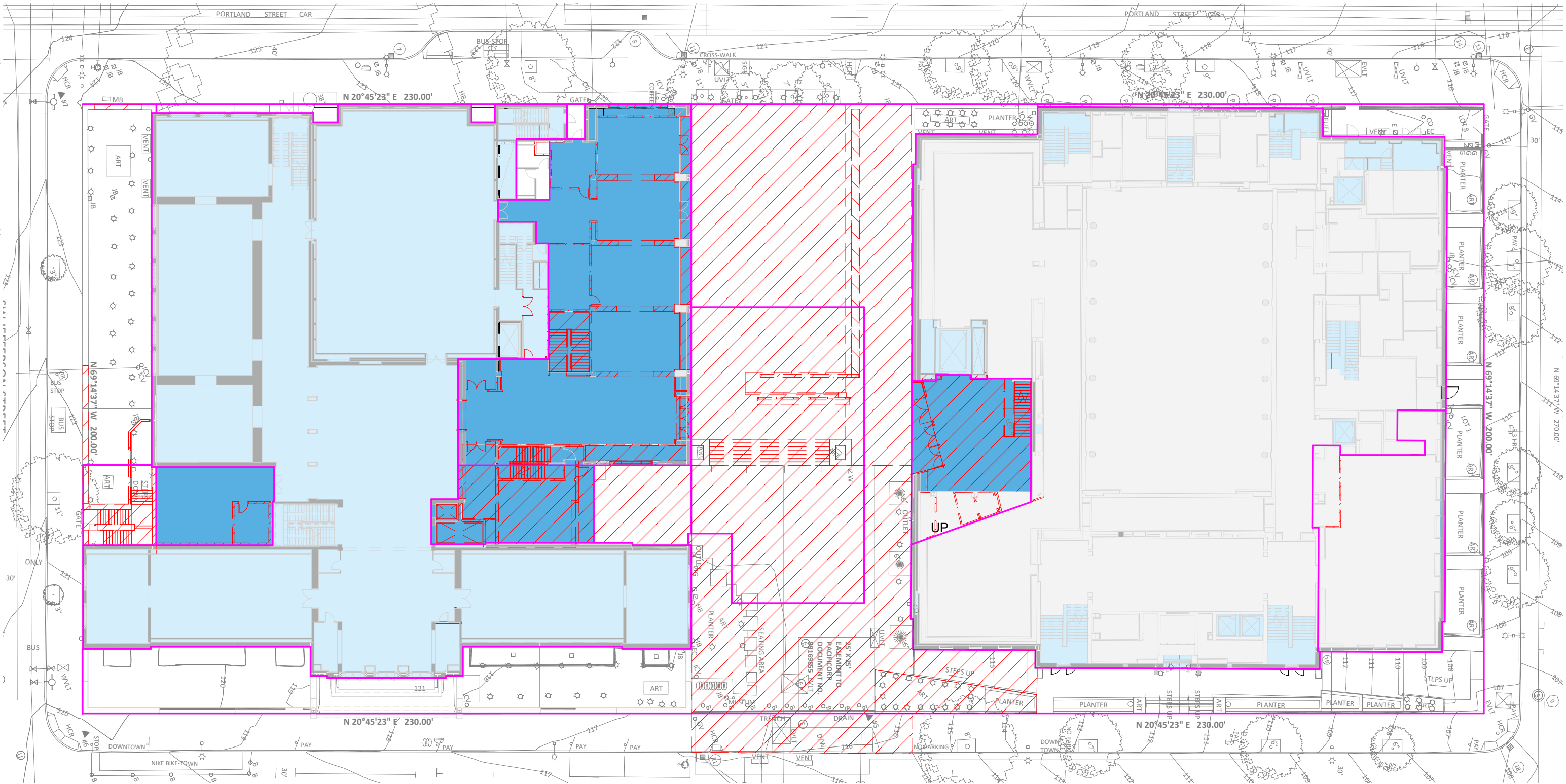


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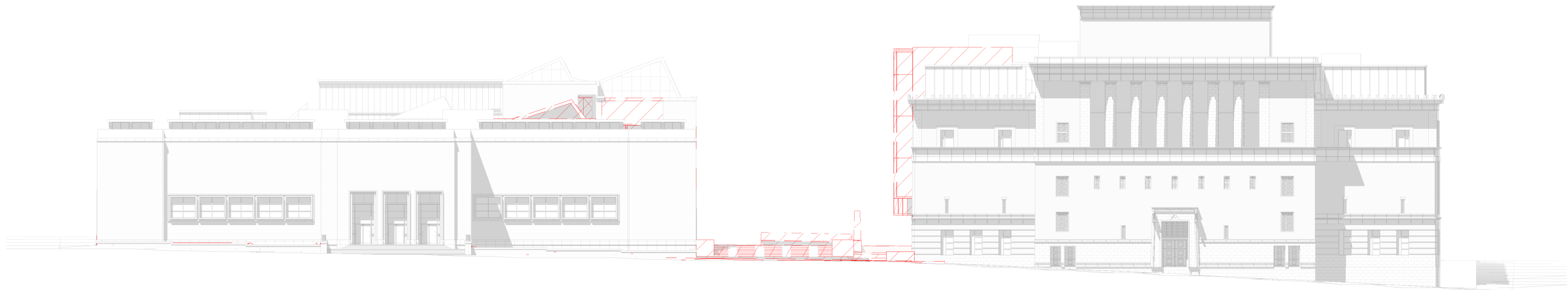
- ①** Main Building
- ②** Mark Building
- ③** Rothko Pavilion
- ④** East Plaza
- Stone Pavers
 - New Stone Planters and Tree planting
 - Sculptural Seating, stone bench
 - 1 New/Relocated Sculpture
 - Replace Utility Lift Out Panels
 - Replace manhole covers with recessed covers with stone paver infill
- ⑤** East Plaza Bump Out
- Bump out 6'-0" into Park Ave. parking lane
 - Extend plaza paving to back of curb
- ⑥** Update Crosswalks / Ramps in South Park Blocks
- ⑦** West Plaza
- Stone Pavers
 - New Planters and Trees
 - Sculptural Seating
 - Stone bench
 - 4 New/Relocated Sculptures
- ⑧** West Plaza Bump Out
- Widen Crosswalk
 - Extend plaza paving to back of curb
- ⑨** South Plaza / Loading
- Stone Pavers over vehicular slab
 - 2 Relocated Sculptures
 - Raise perimeter walls with reclaimed brick
 - Create openings with custom steel gates
- ⑩** East Entry to Mark Building
- 1 Relocated Sculpture
 - Remove Steps and Sculpture plinth, replace with Bicycle parking and stormwater treatment planter (min 352 sq. ft.)
- ⑪** East Planters
- Refresh Planting
 - Remove Metal Cladding on Walls
 - Replace planter walls
 - Widen accessible opening
- ⑫** North Planters
- Refresh Planting
 - Remove Urns
 - Relocate 4 Sculptures
- ⑬** Relocated Bus Stop
- ⑭** Remove 6 urns on 10th
- ⑮** Remove gravel and replace with planting
- ⑯** Possible future bump out on West side of 10th by others
- ⑰** Remove sculpture plinth, replace with lowered plinth and Bicycle parking





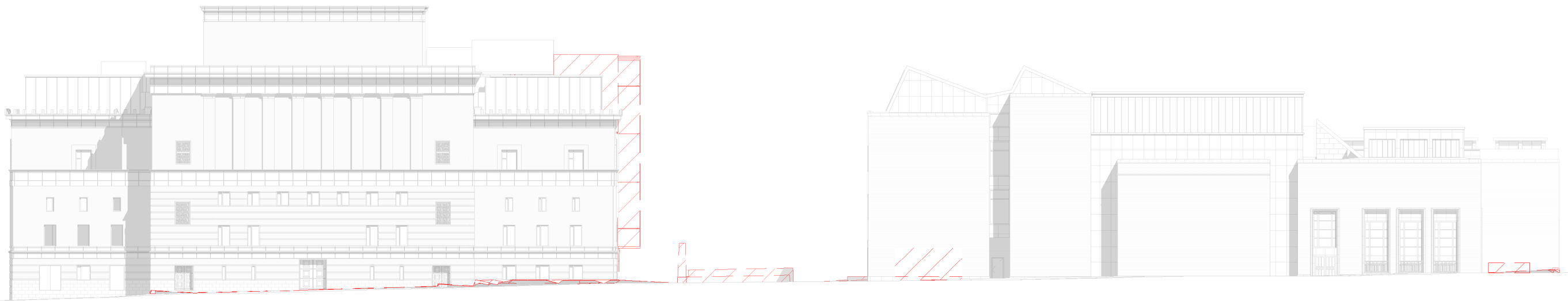


C



_EAST ELEVATION DEMO

C



_WEST ELEVATION DEMO



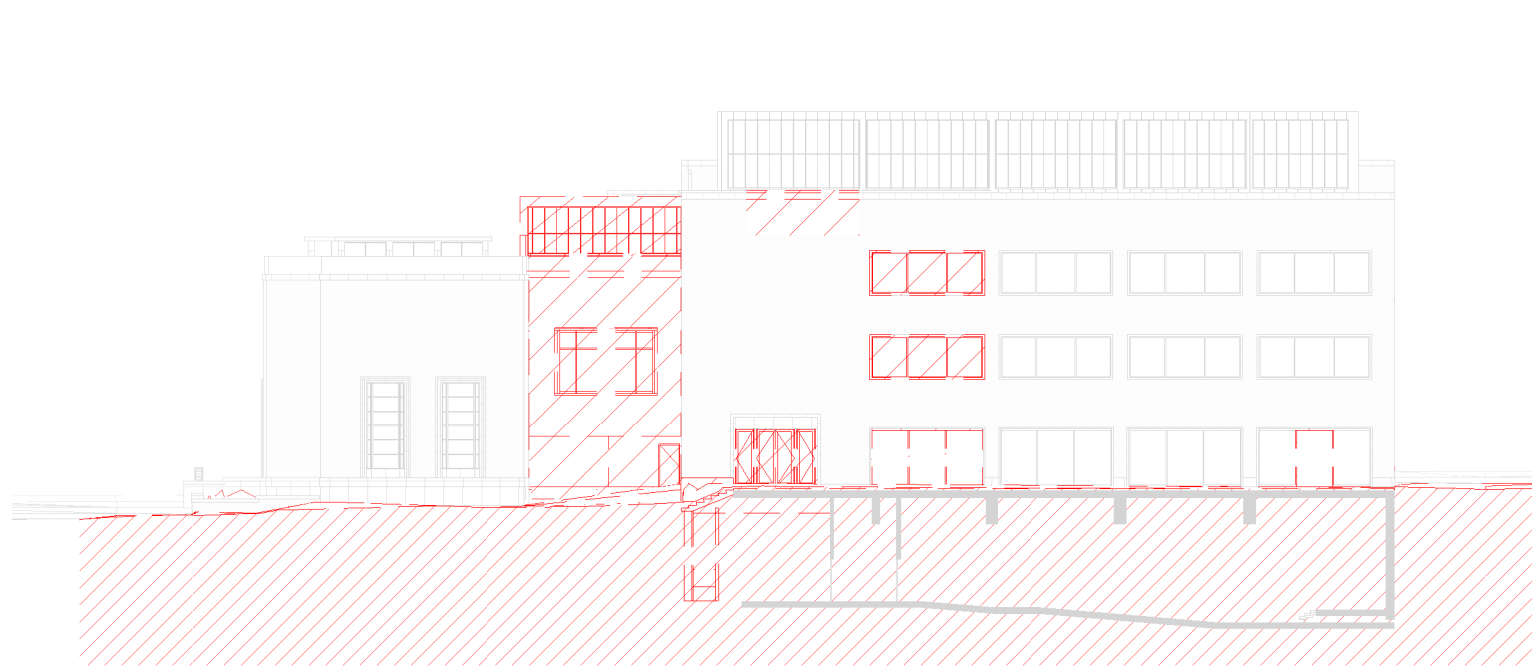
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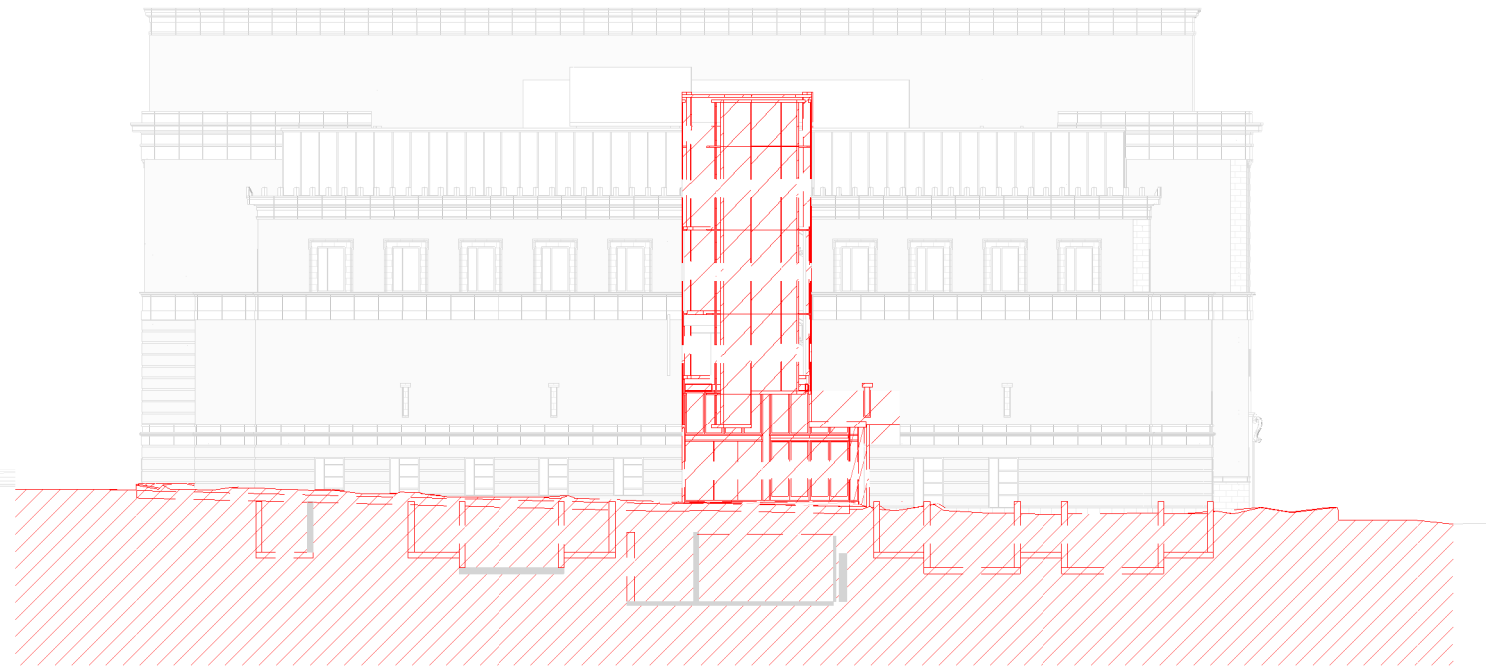
_SOUTH ELEVATION DEMO



C



SECTION_EAST/ WEST THROUGH PAVILION
- DEMO



SECTION_WEST/ EAST THROUGH ARCADE
- DEMO

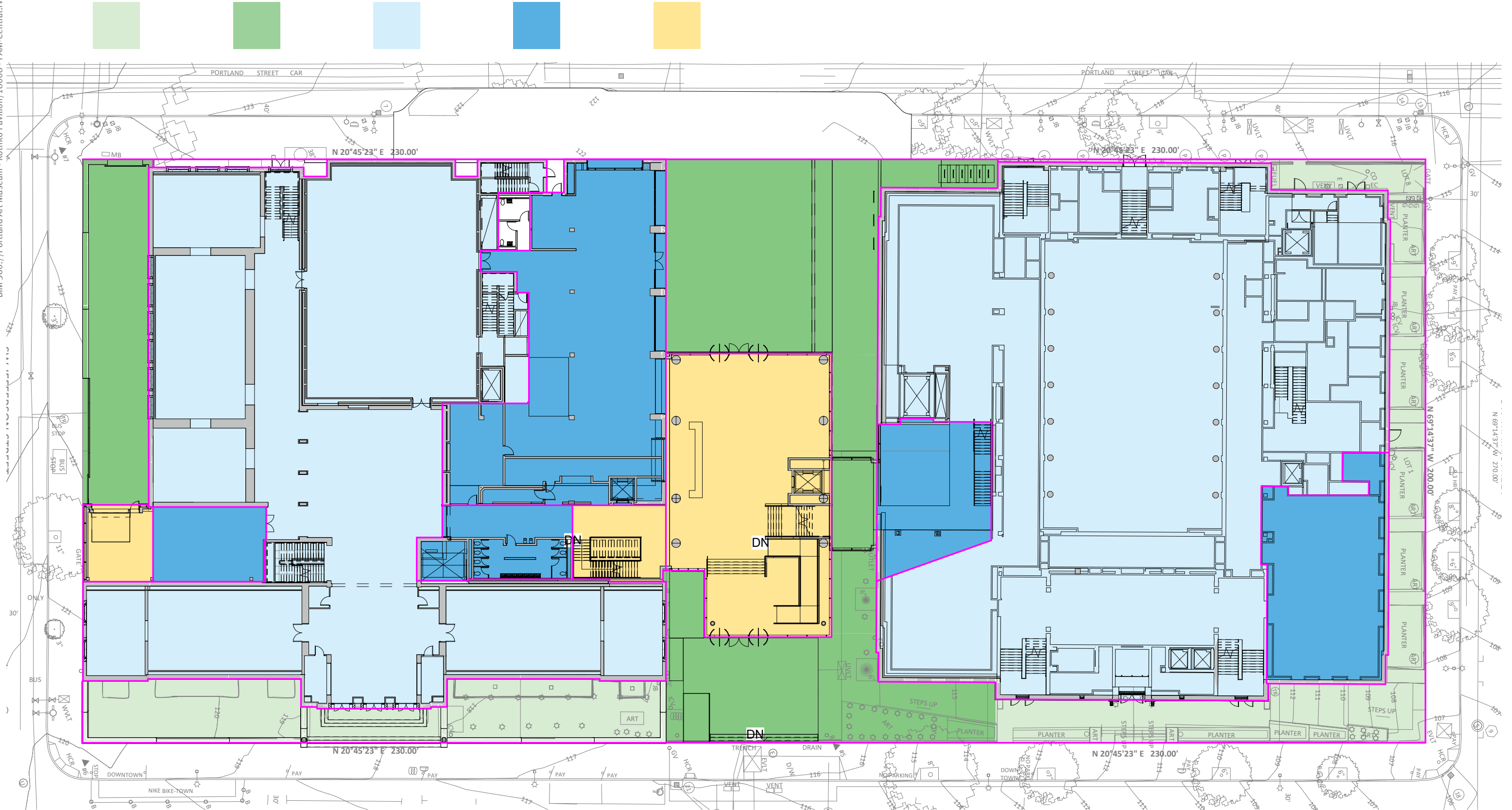
EXISTING LOT AREA :
92,000 SQ. FT.

IMPROVED SITE
AREA: 13,210 SQ. FT.

EXISTING GFA:
211,600 SQ. FT.
EXISTING FAR: 2.3

AREA RENOVATED:
61,150 SQ. FT.

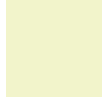
NEW GFA:
22,300 SQ. FT.
TOTAL PROPOSED FAR: 2.54



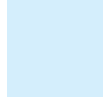
ENTRY/ COMMUNITY
COMMONS



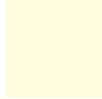
GALLERY



SUPPLEMENTARY
PROGRAM



CIRCULATION



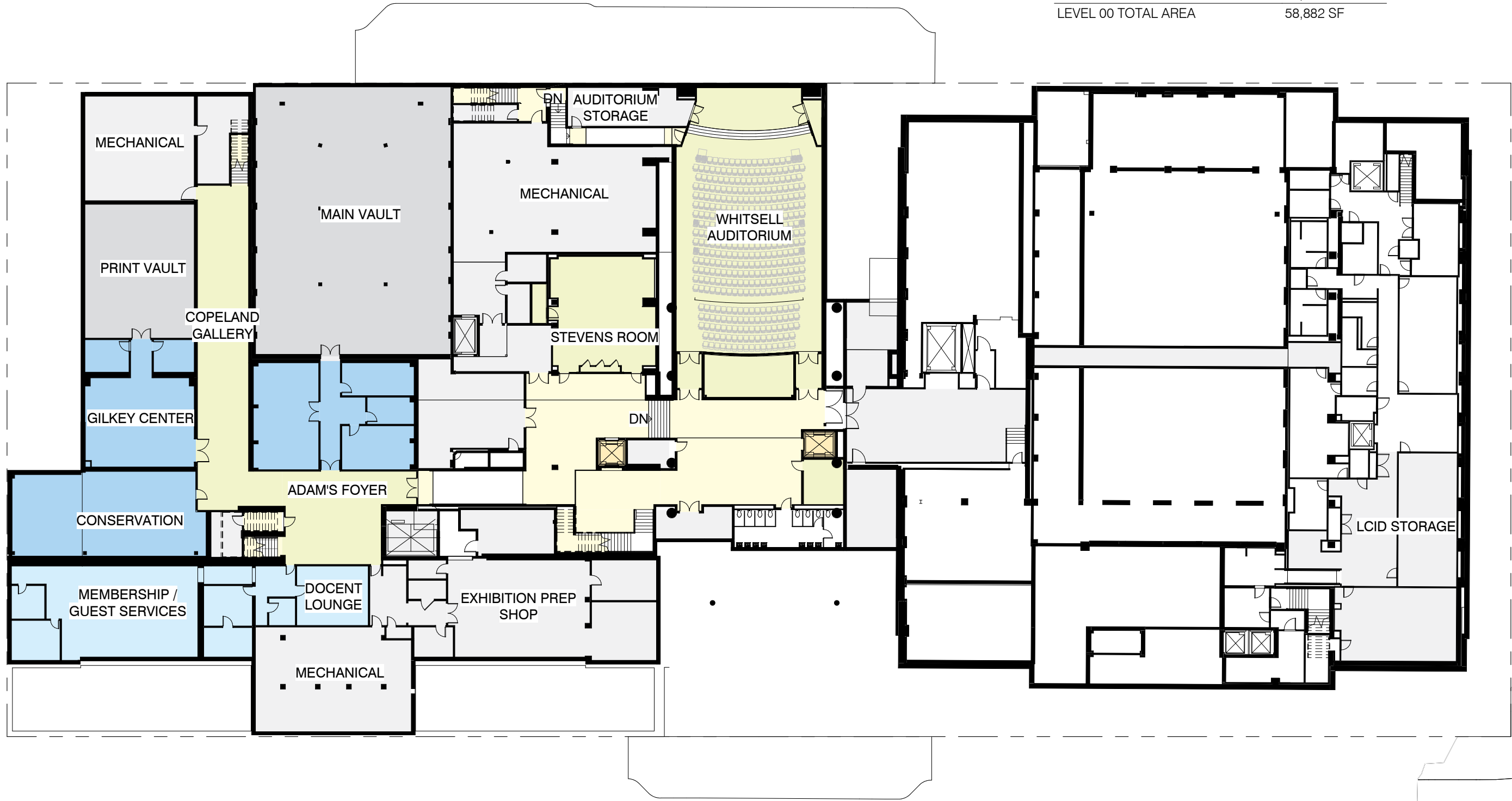
SERVICES



LEVEL 00

NEW	2,387 SF
RENOVATION-MAJOR	6,833 SF
RENOVATION-MINOR	4,762 SF
EXISTING	44,900 SF
LEVEL 00 TOTAL AREA	58,882 SF

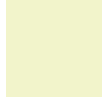
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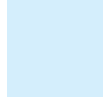
ENTRY/ COMMUNITY
COMMONS



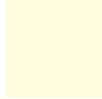
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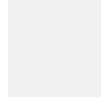
SUPPLEMENTARY
PROGRAM



CIRCULATION



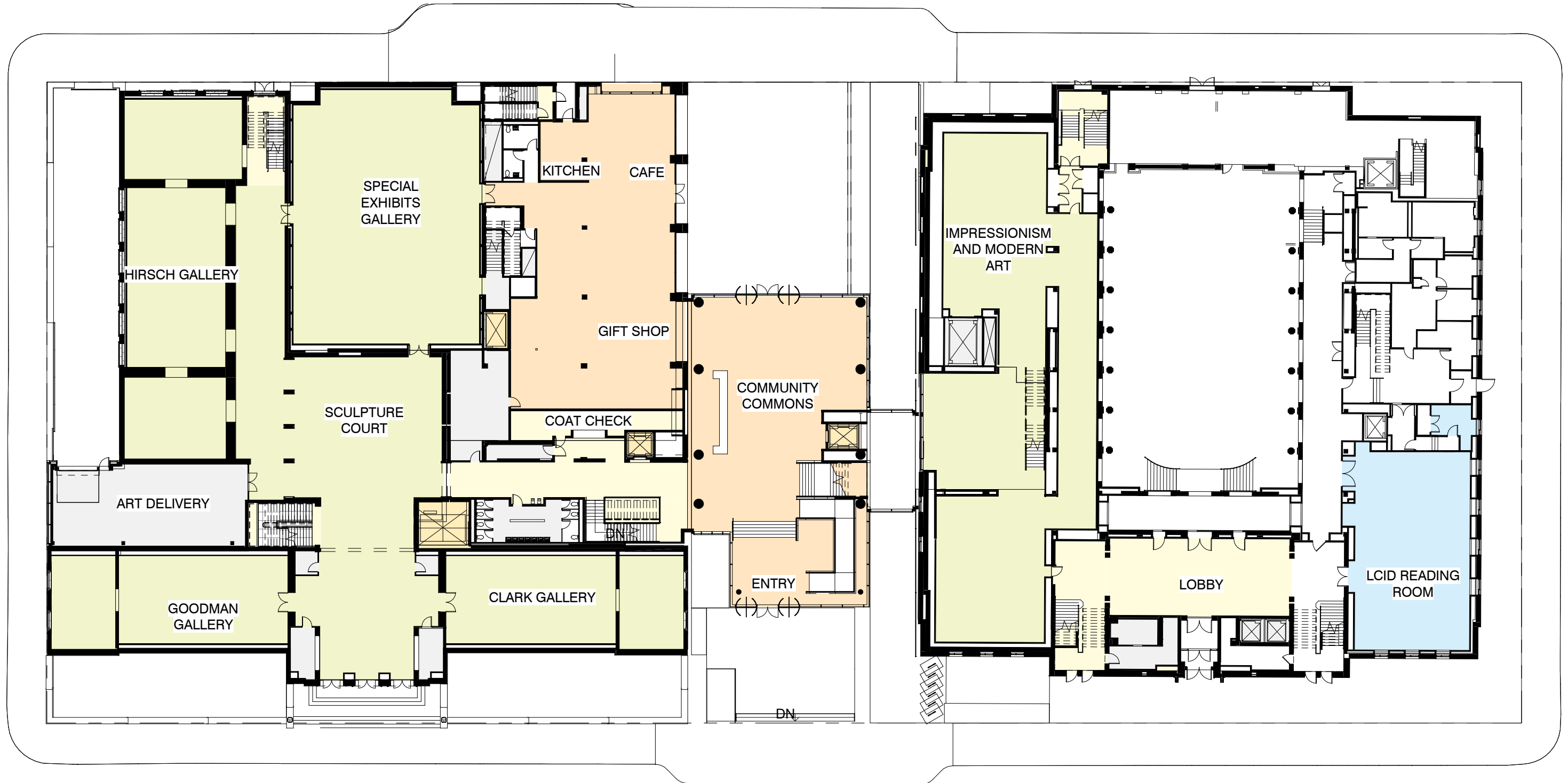
SERVICES



LEVEL 01

NEW	6,664 SF
RENOVATION-MAJOR	13,676 SF
EXISTING	48,804 SF
LEVEL 01 TOTAL GFA	69,144 SF

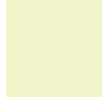
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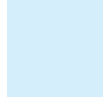
ENTRY/ COMMUNITY
COMMONS



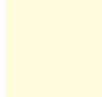
GALLERY



SUPPLEMENTARY
PROGRAM



CIRCULATION



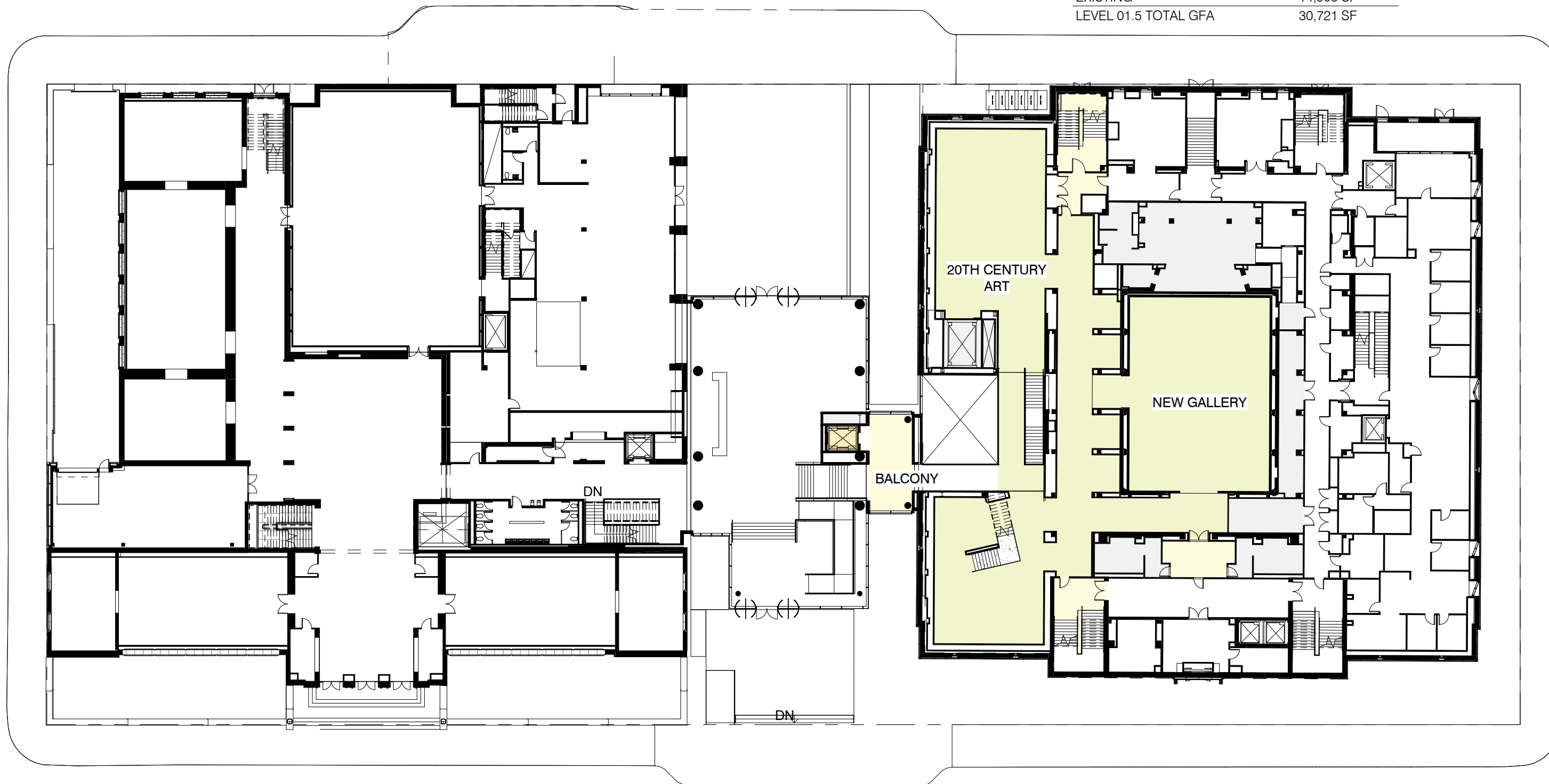
SERVICES



LEVEL 01.5

NEW	1,278 SF
RENOVATION-MAJOR	7,473 SF
RENOVATION-MINOR	7,065 SF
EXISTING	14,905 SF
LEVEL 01.5 TOTAL GFA	30,721 SF

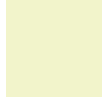
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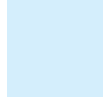
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COMMONS



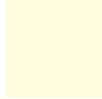
GALLERY



SUPPLEMENTARY
PROGRAM



CIRCULATION



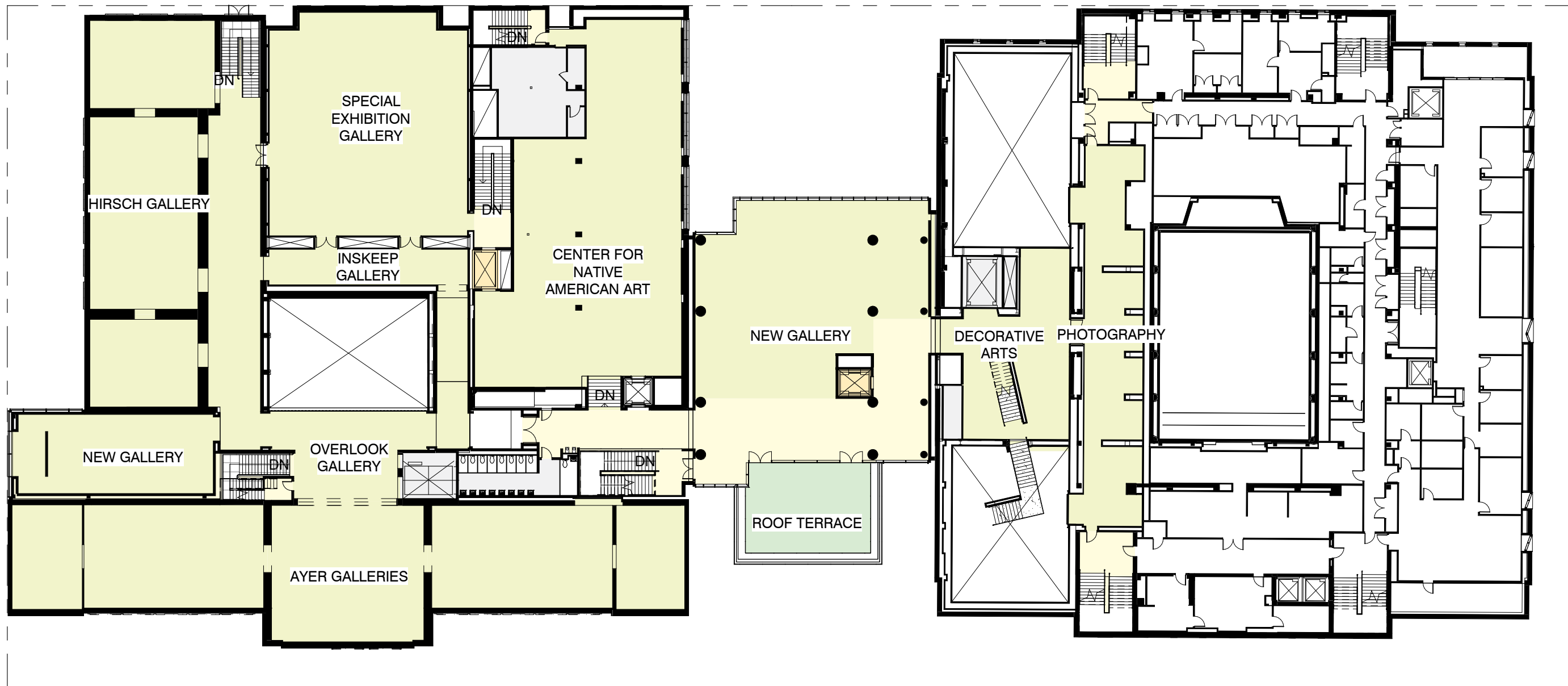
SERVICES



LEVEL 02

NEW	8,028 SF
RENOVATION-MAJOR	3,383 SF
RENOVATION-MINOR	5,671 SF
EXISTING	43,564 SF
LEVEL 02 TOTAL GFA	60,646 SF

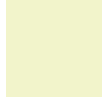
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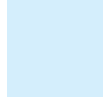
ENTRY/ COMMUNITY
COMMONS



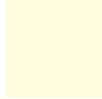
GALLERY



SUPPLEMENTARY
PROGRAM



CIRCULATION



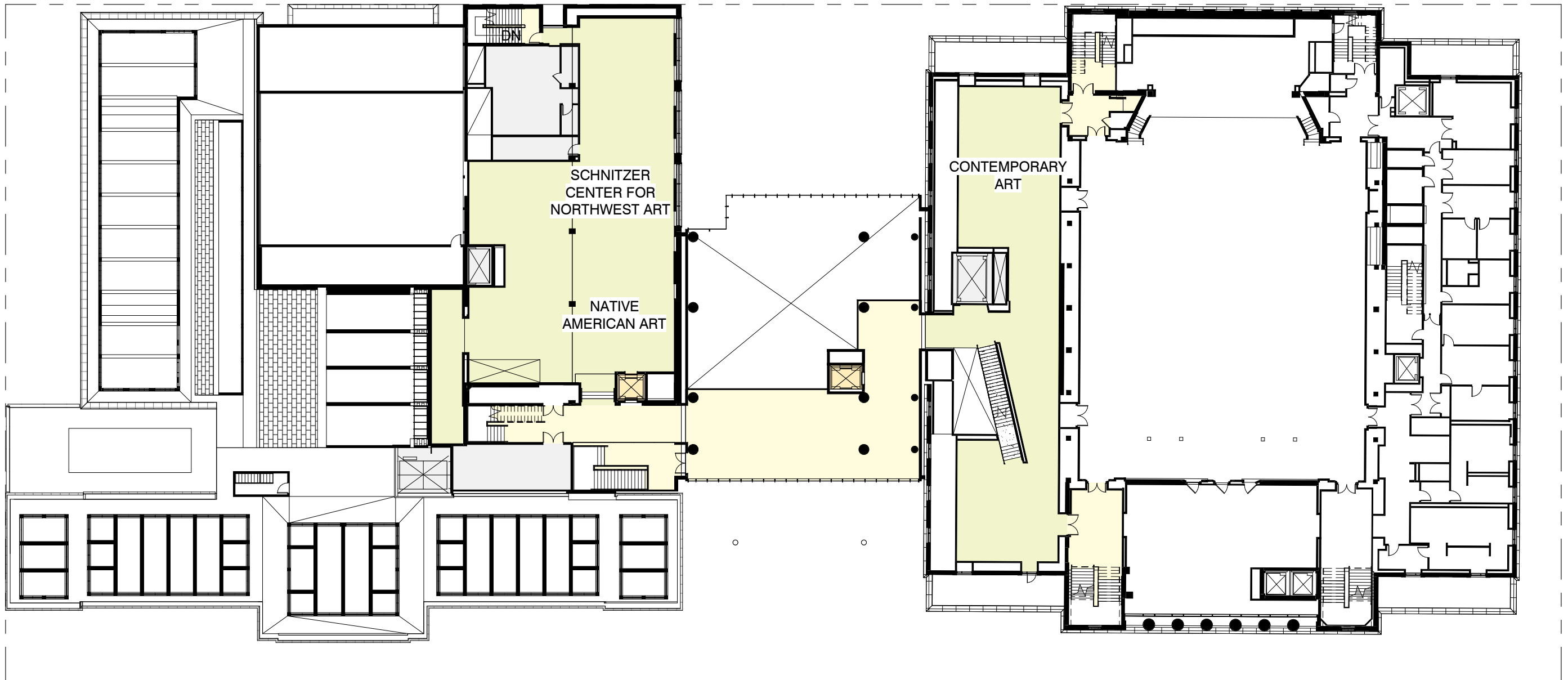
SERVICES



LEVEL 03

NEW	3,411 SF
RENOVATION-MAJOR	2,864 SF
RENOVATION-MINOR	11,695 SF
EXISTING	23,622 SF
LEVEL 03 TOTAL GFA	41,591 SF

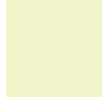
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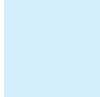
ENTRY/ COMMUNITY
COMMONS



GALLERY



SUPPLEMENTARY
PROGRAM



CIRCULATION



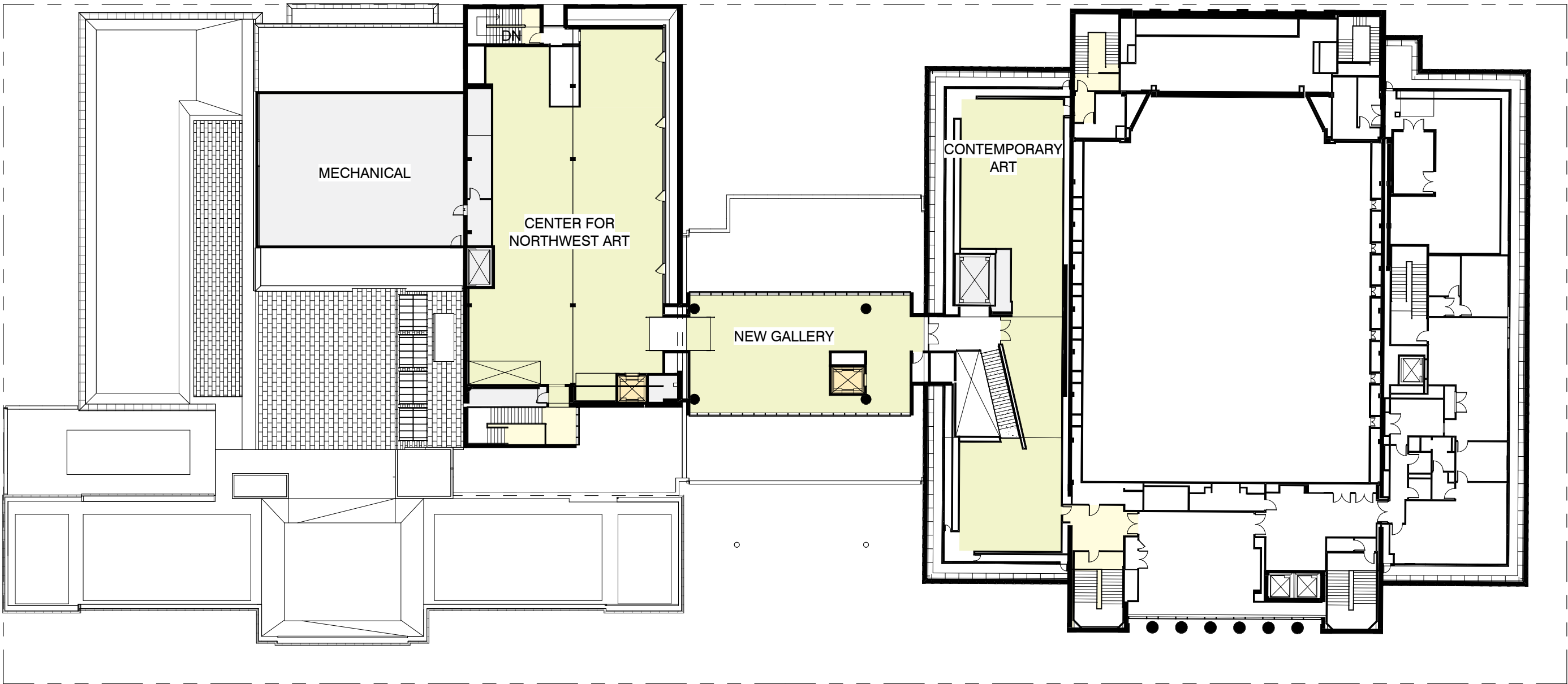
SERVICES



LEVEL 04

NEW	2,915 SF
RENOVATION-MAJOR	2,797 SF
RENOVATION-MINOR	5,644 SF
EXISTING	20,210 SF
LEVEL 04 TOTAL GFA	31,566 SF

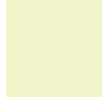
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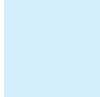
ENTRY/ COMMUNITY
COMMONS



GALLERY



SUPPLEMENTARY
PROGRAM



CIRCULATION



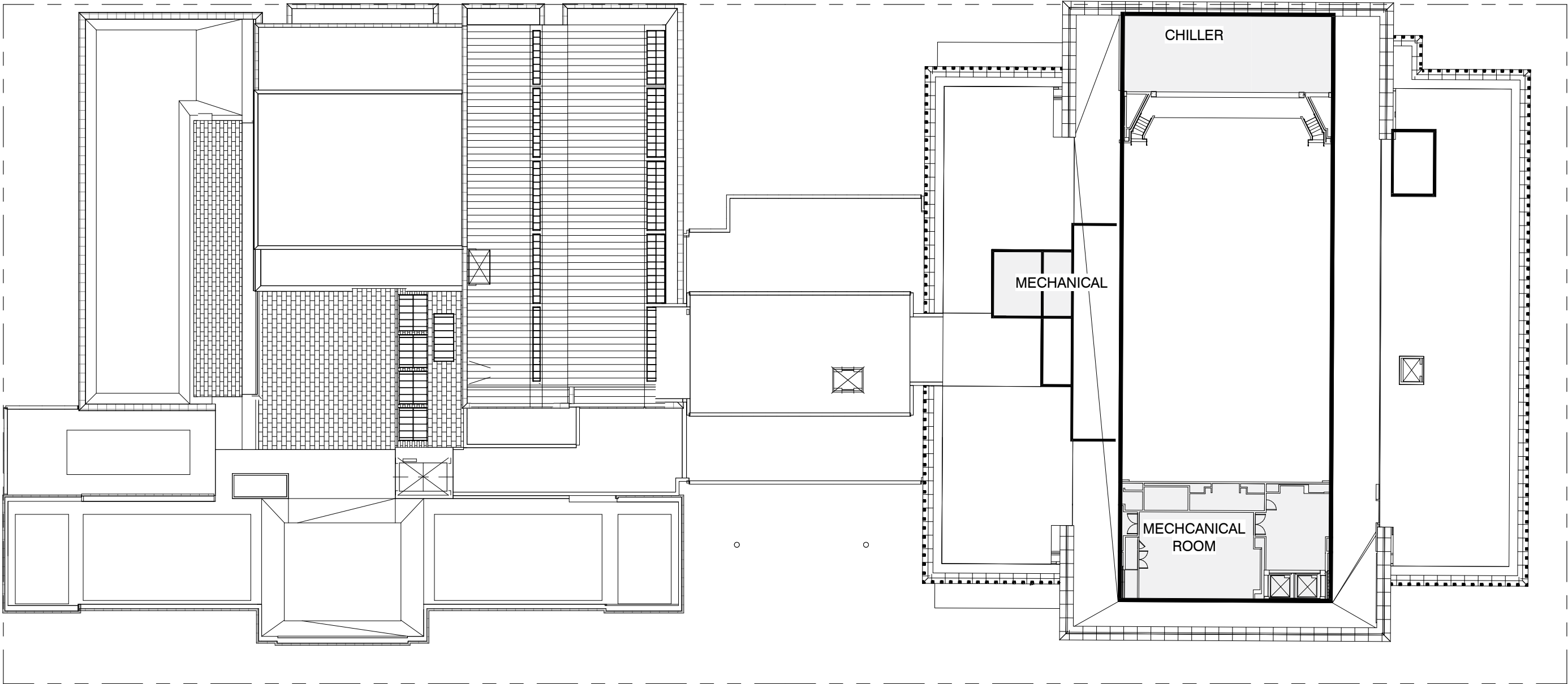
SERVICES



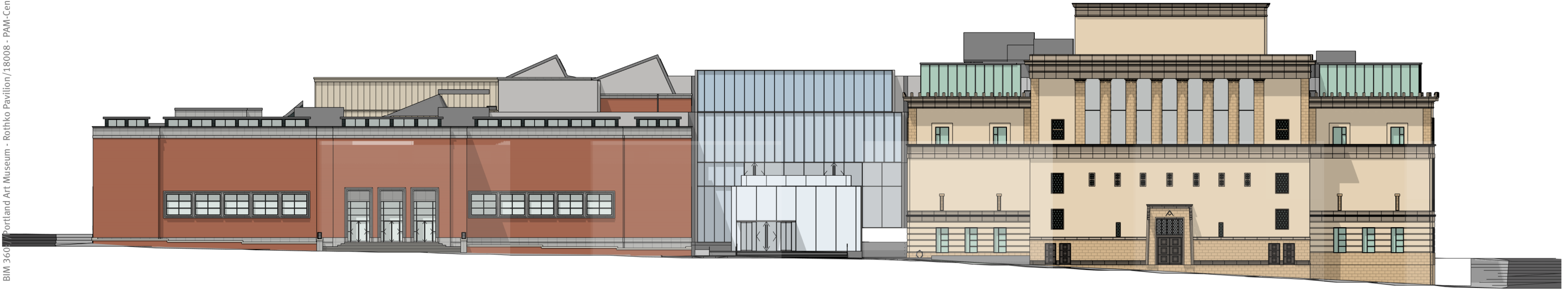
LEVEL ROOF

RENOVATION-MAJOR	962 SF
ROOF TOTAL AREA	962 SF

C



_C

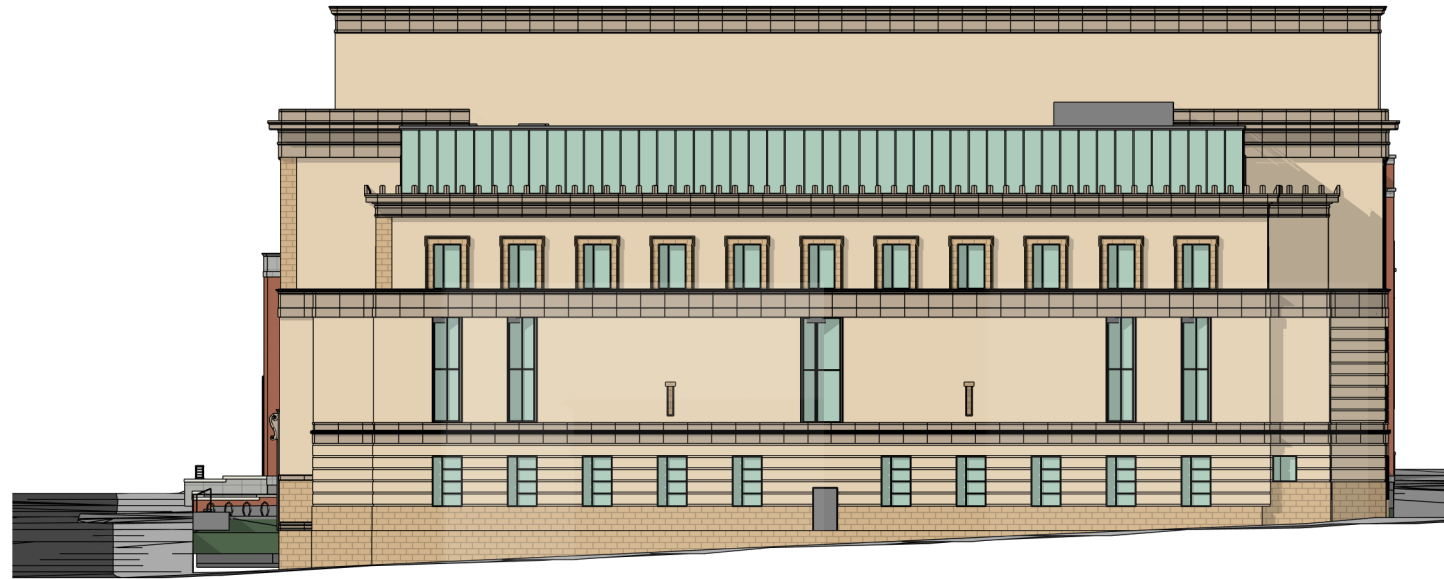


_EAST ELEVATION



_WEST ELEVATION

_C

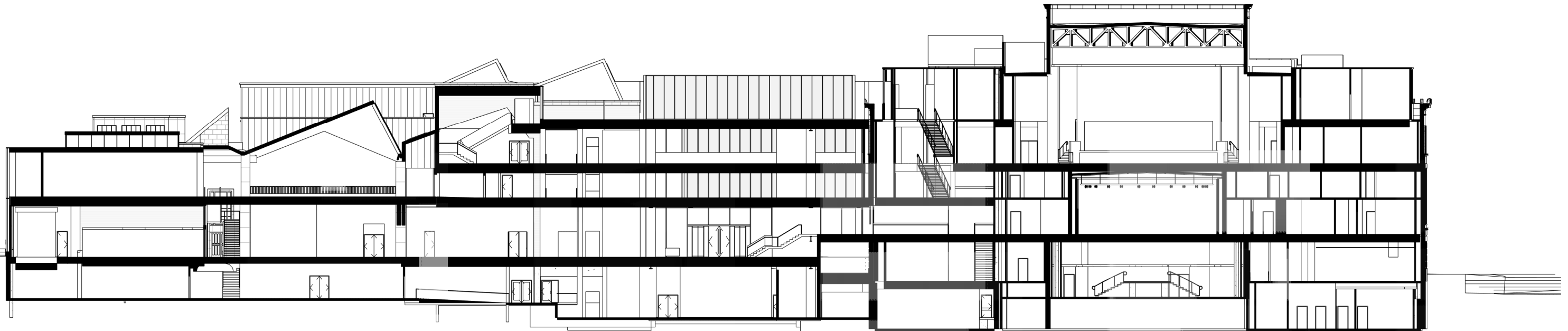


_NORTH ELEVATION



_SOUTH ELEVATION

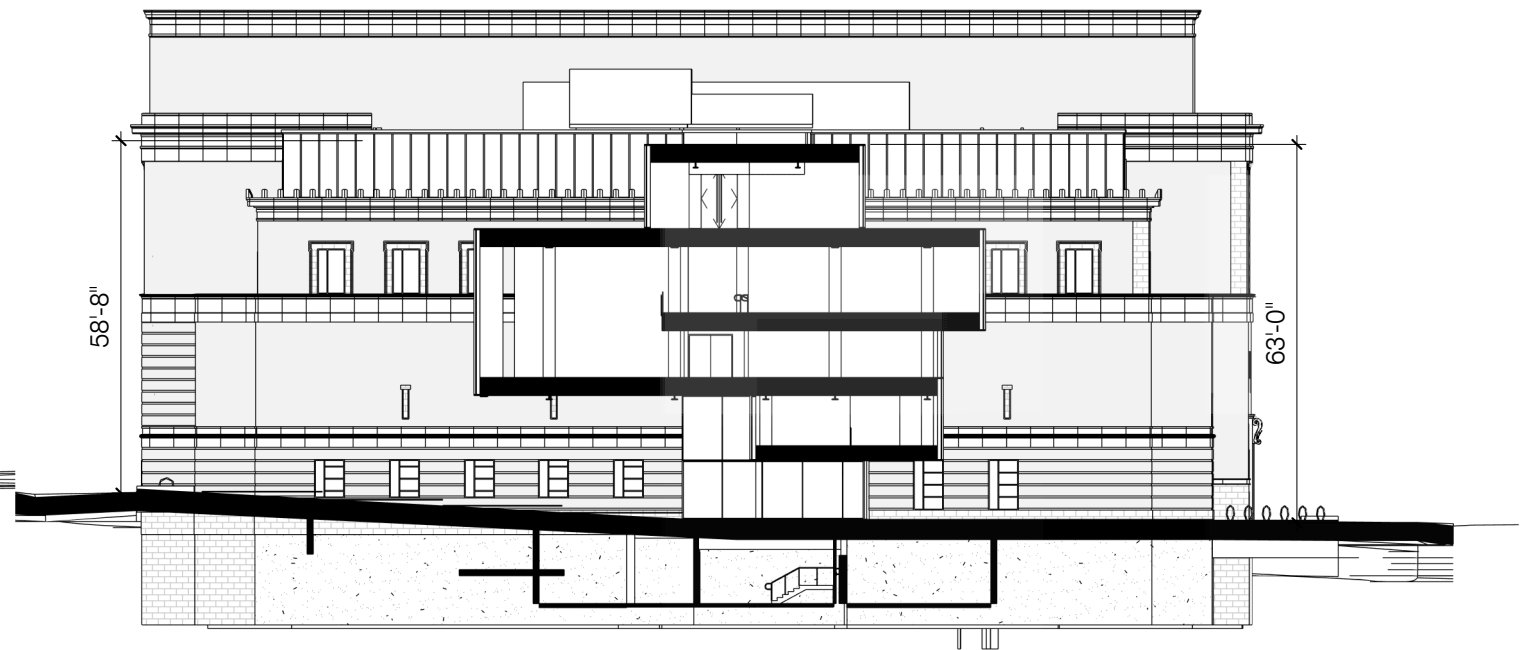
C



SECTION_NORTH/ SOUTH



SECTION_EAST/ WEST THROUGH PAVILION








SECTION_WEST/ EAST AT PASSAGE

APP. EXHIBITS_D

D_App. Exhibits	
D_0.10	SITE CONTEXT
D_0.11	PUBLIC REALM BENEFIT
D_7.01	EAST PLAZA
D_7.02	EAST PLAZA
D_7.03	EAST PASSAGE
D_7.04	PASSAGE GALLERY
D_7.05	WEST PLAZA
D_7.06	WEST PLAZA
D_7.07	SOUTH PLAZA



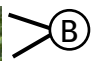
KEY PLAN

- | | |
|--|---|
| ① Main Building |  Portland Art Museum |
| ② Mark Building |  Public Open Space |
| ③ Rothko Pavilion |  Green Loop |
| ④ East Plaza |  East-West Primary Axis |
| ⑤ West Plaza |  North-South Circulation |
| ⑥ Passage | |
| ⑦ First Congregational United Church of Christ | |
| ⑧ Heritage Tree | |

VIEWS



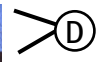
Approaching the museum
from South Park Blocks



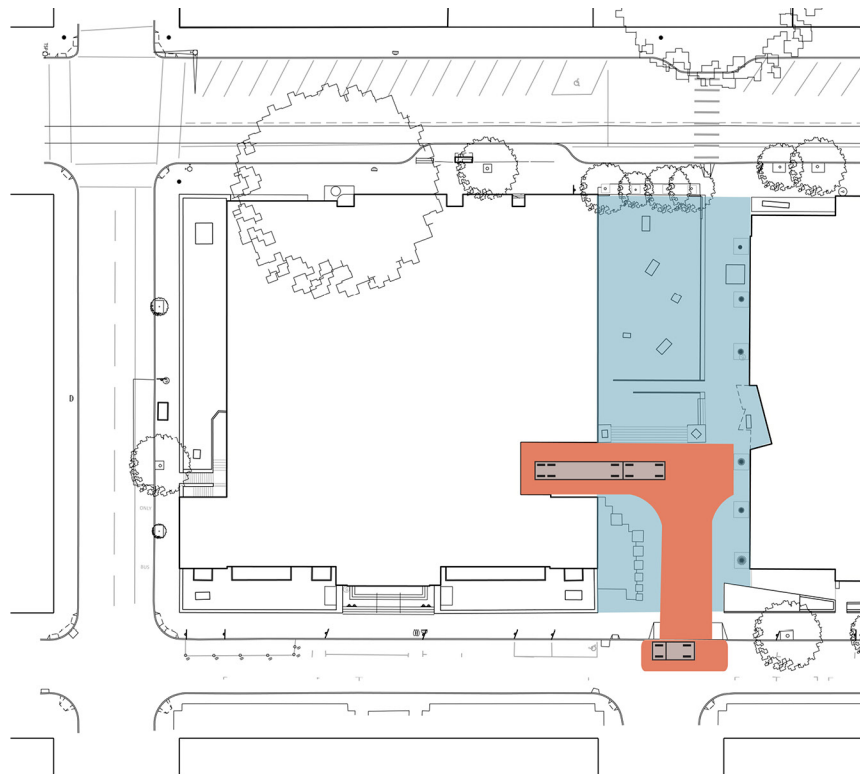
Between the Main and Mark Buildings



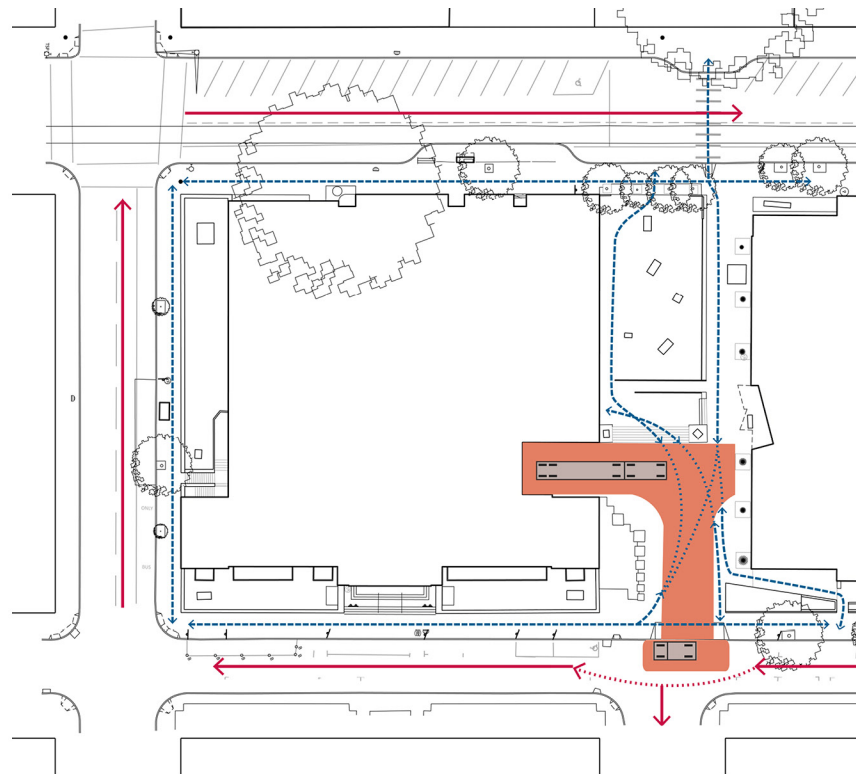
Across 10th Ave. to the heritage tree



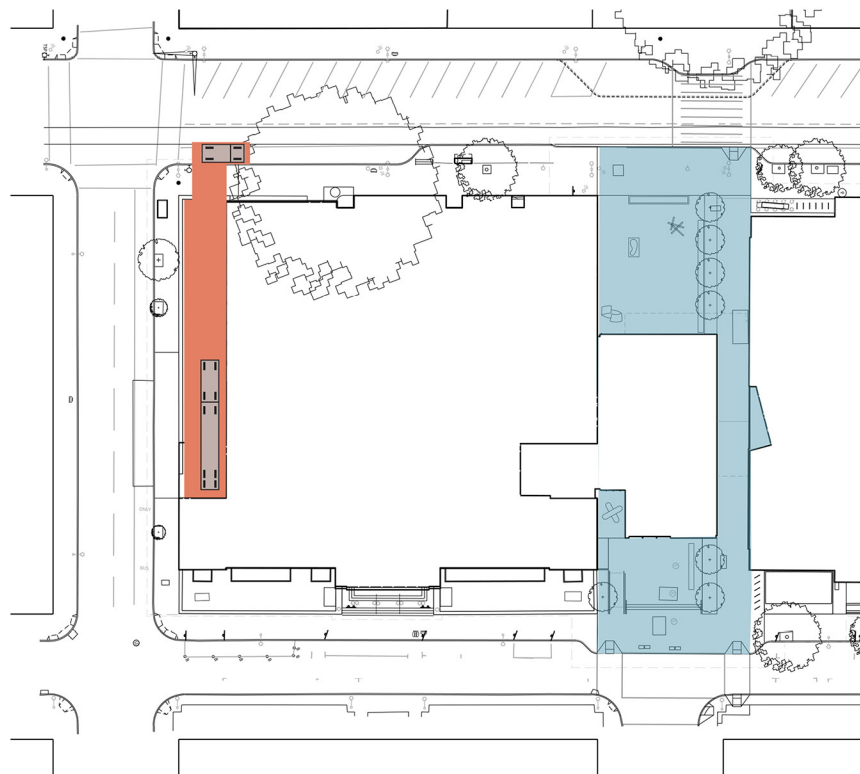
Through the public walkway by Eliot Tower



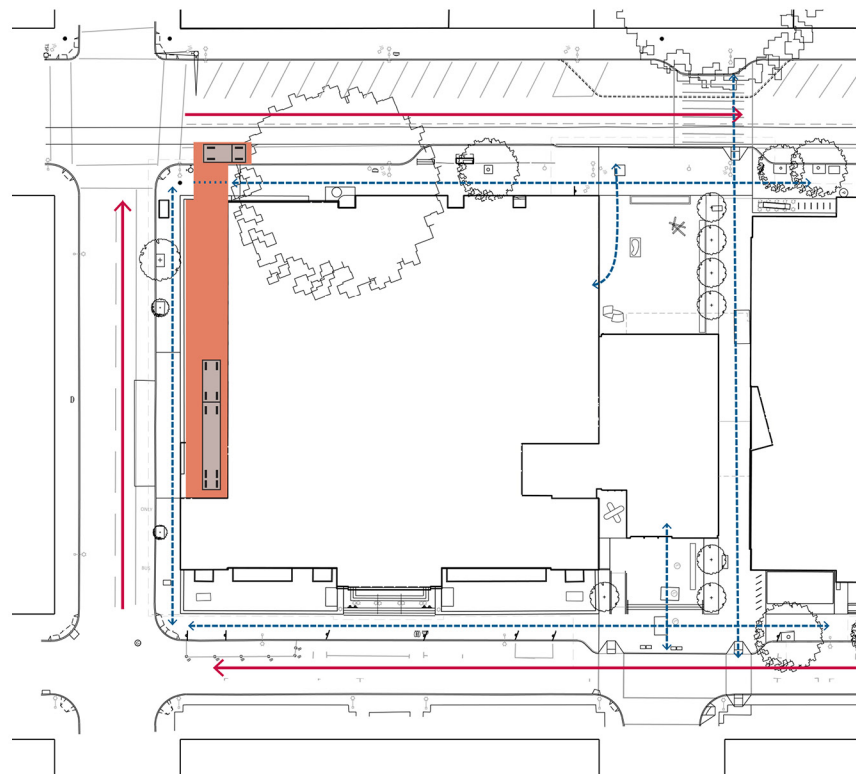
EXISTING CONDITION
PROGRAM CONFLICT



EXISTING CONDITION
CIRCULATION CONFLICT



PROPOSED CONDITION
PROGRAM SEPARATION



PROPOSED CONDITION
CIRCULATION SEPARATION

LEGEND

- Public Open Space
- Loading Space
- Truck
- Vehicle Circulation
- Vehicle Circulation Conflict with Loading
- Public Circulation
- Public Circulation Conflict with Loading

_D











