COLUMBIA SQUARE RENOVATION

DESIGN USE REVIEW | LU 18-232395 DZ 2018

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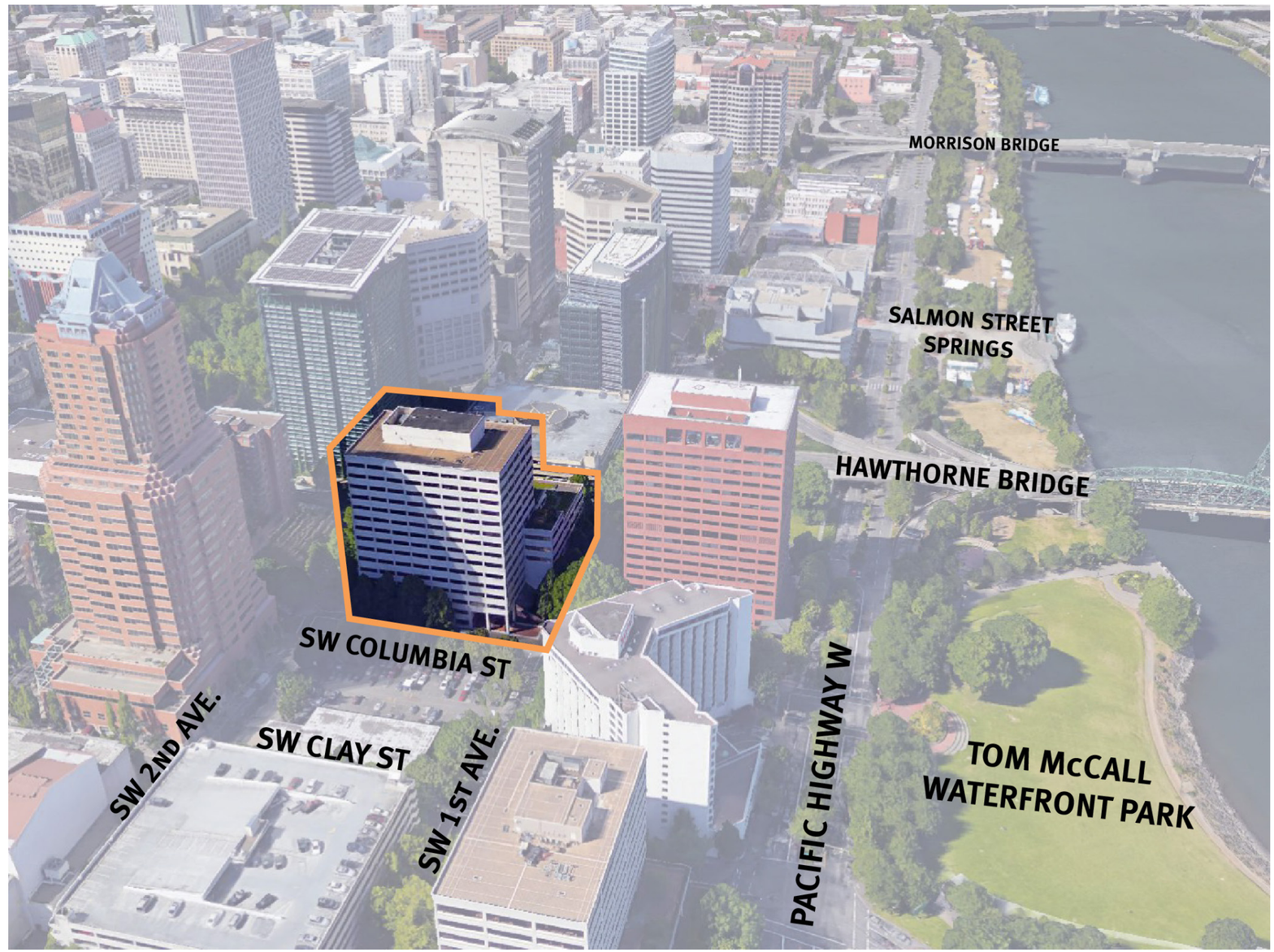
PROJECT OVERVIEW _ A1

Project Description:

Columbia Square is an existing 15-story building constructed in 1981. This building occupies the entire block bounded by Southwest Jefferson Street on the north, Southwest 1st Avenue on the east, Southwest Columbia Street on the south, and Southwest 2nd Avenue on the west.

This project proposes to replace the existing glass and steel solarium on the southeast corner of the building with a structure that is similar in character but that utilizes higher efficiency clear glazing, incorporates bi-fold doors and newly accessible entries for increased ground-level permeability, and better unites the steel framed structure with the primary travertine-clad building form. New awnings and signage are proposed at the relocated main tenant entry and the existing plaza is being modified to include both decorative and stormwater planters, and to improve accessibility. In addition, the project proposes lowering the sills of existing storefront windows at key locations around the ground floor, such as tenant entries and corners to increase visibility at street level retail and to reinforce pedestrian street activity and interface.



Project Data:

Address:
111 Southwest Columbia Street
Portland, Oregon

Request:
Type III Design Review for the renovation of a ground-floor tenant space

Base Zone:
CX - Central Commercial

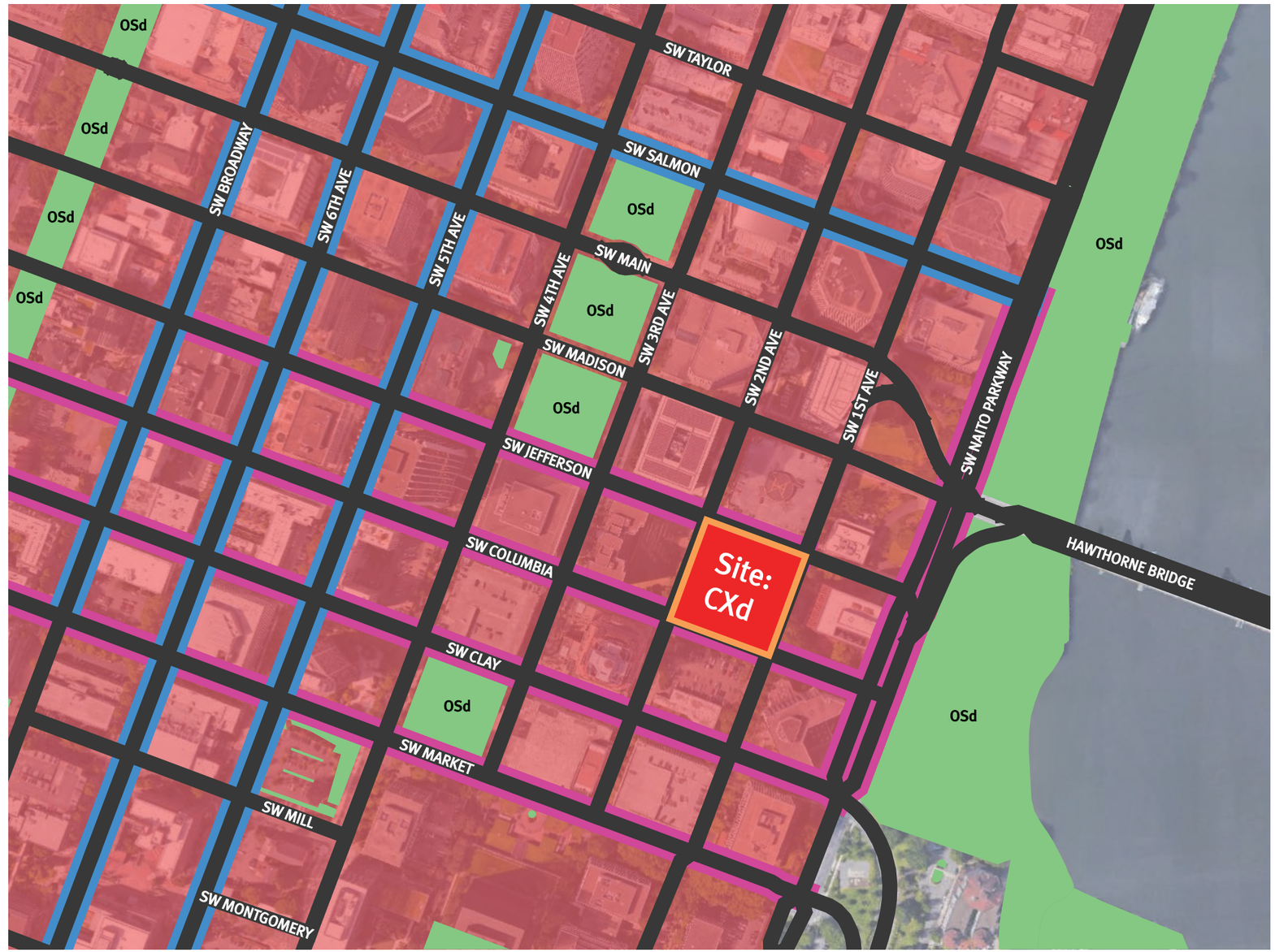
Overlay:
d - Design Zone

Plan District:
Central City

Subdistrict:
Downtown

LEGEND:

- BUILDING SITE- CXd ZONING
- OSd ZONING
- CXd ZONING
- REQUIRED BUILDING LINES PER MAP 510-7
- GROUND FLOOR WINDOW REQUIREMENTS @ 60% PER MAP 510-8



Site Context:

FOOD

1. Paddy's Bar & Grill
2. Q, 2 & Taylor
3. MOD Pizza
4. Portland Food Hall, Luc Lac Vietnamese Kitchen
5. Farmhouse Cafe
6. Freshii
7. The Good Earth Cafe
8. Turkey Place
9. Bridge City Cafe, Portland Kettle, House of Ramen, Mizu Sushi
10. Morton's Steakhouse, Mika Sushi, Potbelly Sandwich Shop
11. August Moon Chinese Restaurant
12. Market Street Salad Bar & Deli
13. Garden Bar
14. Three Degrees
15. Murata
16. Schmizza Pub & Grub
17. Pizzicato
18. Nel Centro
19. Melting Pot

OFFICE

1. World Trade Center
2. US District Court
3. Banner Bank
4. Multnomah County Justice Center
5. EGWW - Federal Building
6. Multnomah County Courthouse
7. Crown Plaza
9. Wells Fargo Center
10. City of Portland
11. PacWest Center
12. Portland Building

ENTERTAINMENT

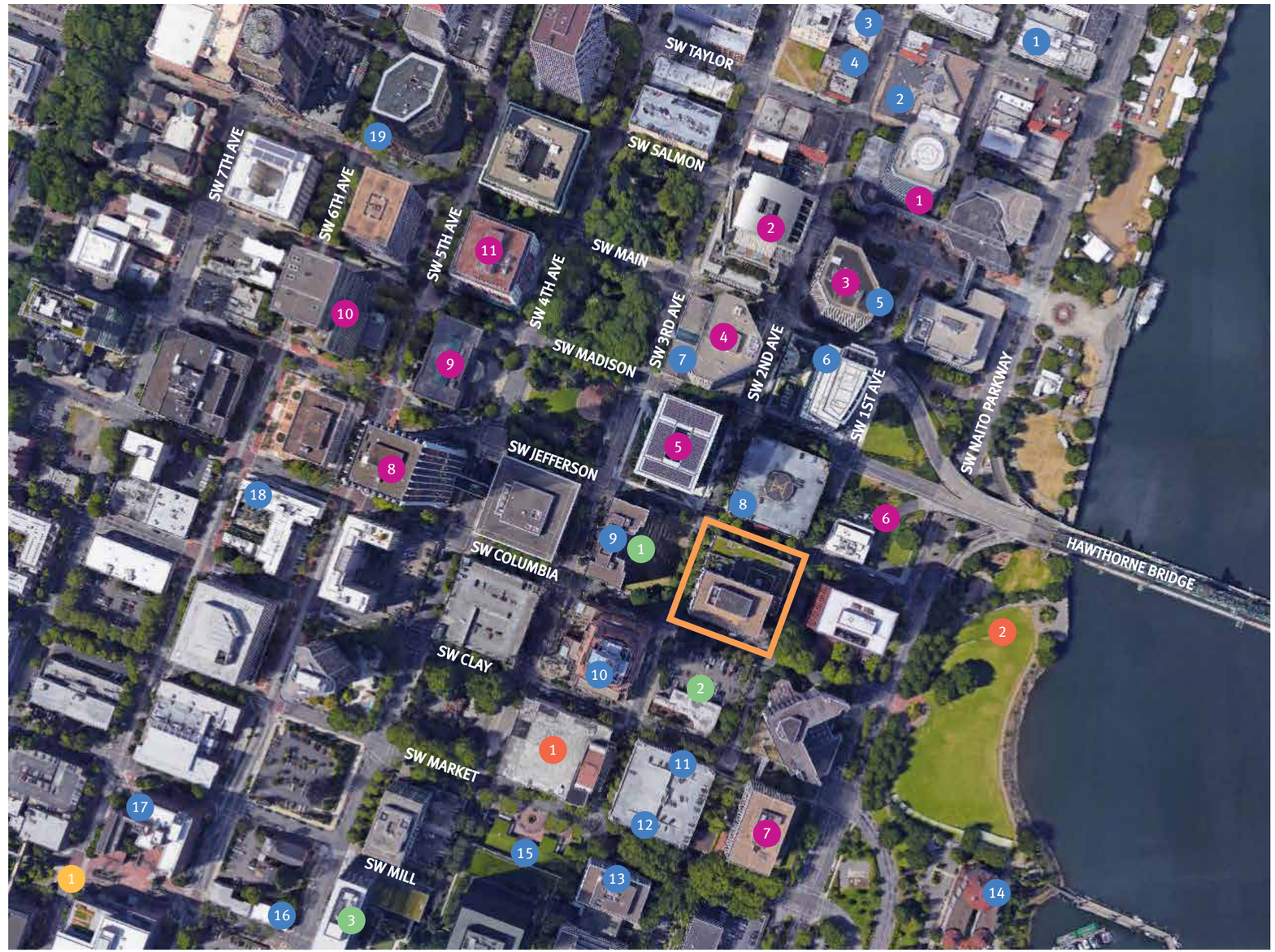
1. Keller Auditorium
2. Tom McCall Waterfront Park

RESIDENTIAL

1. Essex House Apartments
2. New Mixed-Use Housing
3. Cyan PDX Apartments

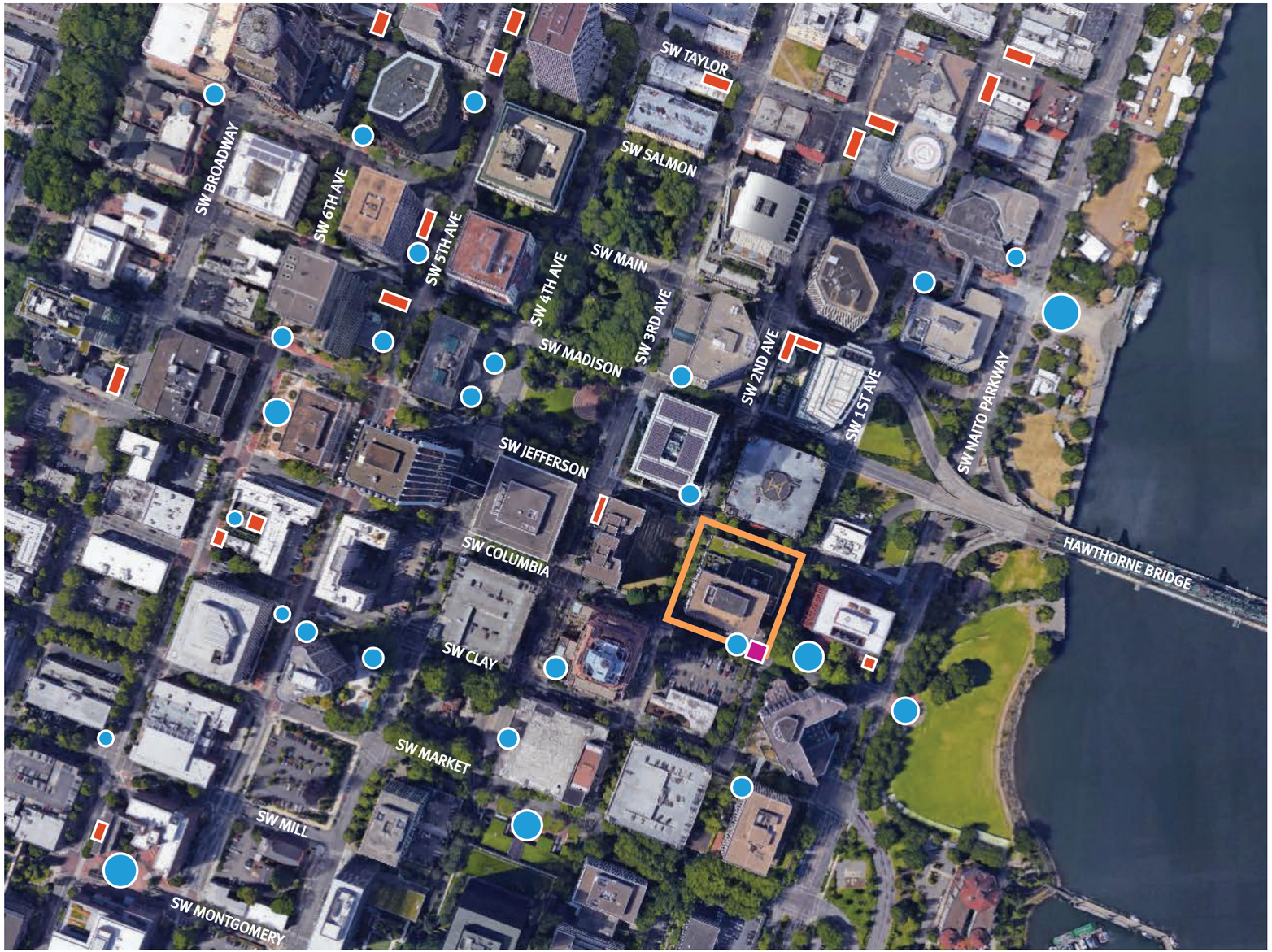
EDUCATION

1. Portland State University



Site Context:

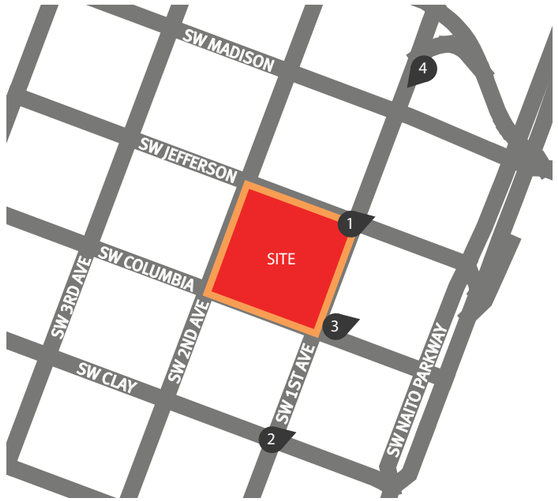
The proposed development seeks to enhance the pedestrian experience at the corner of SW 1st Avenue and SW Columbia Street by introducing a seasonal, outdoor dining area. This development brings diversity to an area lacking in outdoor dining, while maintaining and further activating the existing public plaza adjacent to the corner. The new development further seeks to activate the area by increasing visual transparency and permeability of the building corner. This is achieved by raising the storefront head height and introducing operable, bi-fold doors that wrap the corner, letting the indoor activity spill out and engage with the pedestrian. In an area rich with public plazas, this development brings a dining and pedestrian experience not found in this area of the Central City Downtown.
The proposed renovations help activate the space in an accessible manner by further defining the space without disrupting visual access into and out of the plaza.



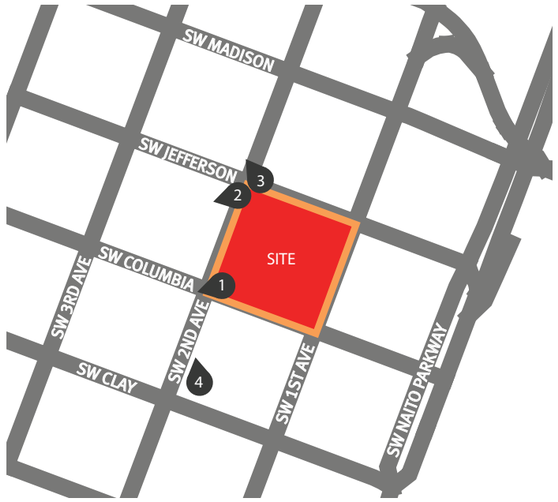
LEGEND:

- EXISTING PUBLIC PLAZA
- EXISTING OUTDOOR DINING
- SITE
- NEW OUTDOOR DINING

Site Context:



Site Context:



Existing Conditions:

Existing Conditions:

Base Zone Standards:

City of Portland Zoning Code, Title 33, Planning and Zoning, Chapter 33.130 Commercial/Mixed Use Zones

General

33.130.010 Purpose

Subject property is located in the Central Commercial (CX) zone.

33.130.030 Characteristics of the Zones

Subject property is located with the Central Commercial zone. Proposal intends to reinforce the pedestrian-oriented nature of the zone and add visual interest to the streetscape.

33.130.050 Neighborhood Contact

Proposal adds less than 10,000 square feet of net building area on site and zero new dwelling units, therefore, neighborhood contact is not required for this proposal.

Use Regulations

33.130.100 Primary Uses

N/A - proposed uses are allowed in the CX zone per Table 130-1.

33.130.110 Accessory Uses

Proposed restaurant is considered an accessory use to the primary office use. Restaurants are considered part of the Retail Sales and Service use, which is allowed per table 130-1.

33.130.130 Nuisance-Related Impacts

N/A – subject property is not located within an R, C, CI, IR, or OS zone, therefore, the standards in Chapter 33.262 do not apply.

Proposal will comply with the standards of Title 29.

Development Standards

33.130.200 Lot Size

N/A – no change to existing FAR proposed.

33.130.207 Minimum Density

N/A – subject property is located within the CX zone, where no minimum density exists.

33.130.210 Height

N/A – no changes to height of building proposed.

33.130.212 Floor Area and Height Bonus Options

N/A – no changes to height of building proposed.

33.130.215 Setbacks

Subject property does not meet any of the specifications listed, therefore, there is no minimum required setback for the subject property.

A. *Maximum building setbacks. Except as stated in Subsection E., the maximum building setback standards are stated below.*

Applicant's Response: Proposal does not alter existing building outline and existing setbacks are maintained. In the existing building, over 50 percent of the length of the ground level street-facing façade of the building meets the maximum setback standard.

B. *Improvements in the setback area between a building and a street lot line.*

Applicant's Response: The existing building is built up to the property line with a setback on the southwest corner. At that setback, the land between the building and the street lot line is hard-surfaced for use by pedestrians. This proposal includes outdoor seating for a proposed restaurant occupying a portion of this setback.

Applicant's Response: Setback occurs along SW 1st Avenue, which is not classified as a transit street.

C. *Alternative maximum building setback for large retailers.*

Applicant's Response: N/A – proposal does not include space for a large retailer.

33.130.220 Building Coverage

N/A – no changes to existing building coverage proposed.

33.130.222 Building Length and Facade Articulation

N/A – subject property located in the CX zone, therefore, no maximum building length applies.

33.130.225 Landscaped Areas

N/A – per Table 130-2, no minimum landscaped area required in CX district.

Base Zone Standards:

33.130.227 Trees

All existing street trees to remain and be protected during construction. A Tree Plan is included in this submittal.

33.130.228 Required Outdoor Areas

N/A – existing building contains no dwelling units. No dwelling units proposed, therefore, no outdoor areas required.

33.130.230 Windows

A. *Windows in street-facing facades.*

Applicant chooses to apply this standard to the portion of the building being altered.

This structure is subject to ground floor window requirements. Please see the chart provided below for an analysis of the percentage of ground floor window area in this proposal.

B. *Ground floor windows.*

Please see below for an analysis of the windows shown at each ground floor façade in this proposal.

Percentage of ground floor area of each façade that is occupied by windows		
Façade	**Required Percentage**	**Percentage Shown**
North (SW Jefferson St.) Façade	25%	62%
East (SW 1st Ave.) Façade	25%	83%
South (SW Columbia St.) Façade	40%	81%
West (SW 2nd Ave.) Façade	25%	59%

33.130.235 Screening

N/A – no existing or proposed exterior garbage or recycling collection areas, ground-level mechanical equipment, or other areas that require screening.

33.130.240 Pedestrian Standards

The standard of Subparagraph B.1.a(1) will be met by the proposal. The main entrance to the renovated tenant space will be located on a plaza directly connected to the sidewalk along SW Columbia St., facilitating a direct path from the entrance to the sidewalk.

The proposal affects all four facades at the ground floor by proposing enlarged storefronts at key locations. At the ground level, the existing building consists primarily of retail space along SW 1st Avenue and multiple entrances are provided.

The proposed plaza will function as an internal connection system and will connect the main entrance to the site to the main entrance of the building and the restaurant.

1. *Materials.*

The proposed plaza will be paved with brick and travertine and will be approximately 25' x 34'. System will be lit to a level where the system can be used at night.

33.130.242 Transit Street Main Entrance

Although more than 50% of the transit-street-facing facades of this building are within the maximum setback, the portion of the building within the area of alteration is not within the maximum setback.

Area of alteration is less than 200 feet long. Proposed alteration includes two (2) entrances.

Each main entrance in proposed area of alteration will be unlocked during regular business hours.

33.130.245 Exterior Display, Storage, and Work Activities

No exterior display proposed.

No exterior storage proposed.

No prohibited exterior work activities are proposed.

Proposal includes outdoor eating area, which is allowed in commercial/mixed use zones such as CX.

No exterior display or storage areas proposed.

33.130.250 General Requirements for Houses, Attached Houses, Manufactured Homes, and Duplexes

N/A – No houses, attached houses, manufactured homes or duplexes proposed.

33.130.255 Trucks and Equipment

N/A – No trucks and equipment parking proposed.

33.130.260 Drive-Through Facilities

N/A – No drive-through facilities proposed.

33.130.265 Detached Accessory Structures

N/A – No detached accessory structures proposed.

33.130.270 Fences

N/A – No fences proposed.

Base Zone Standards:

33.130.275 Demolitions

Proposed demolition will conform with the tree preservation and protection requirements of Title 11, Trees.

N/A – No demolition of historic resources proposed.

Proposed area to be demolished will be replaced by approved development in a timely fashion.

33.130.285 Nonconforming Development

N/A – Existing development conforms to the development standards of this chapter, see below.

33.130.290 Parking, Loading, and Transportation and Parking Demand Management

No changes to building square footages or uses proposed, therefore, no changes to existing parking required. No changes to existing parking proposed.

33.130.292 Street and Pedestrian Connections

N/A – Proposal is for a renovation on a site that is less than 5 acres in size, therefore, no large site pedestrian connectivity required.

33.130.295 Signs

Please see responses to Title 32, Signs and Related Regulations below.

33.130.305 Superblock Requirements

N/A – Subject property does not include vacated rights-of-way.

33.130.310 Recycling Areas

N/A – No recycling areas proposed.

City of Portland Zoning Code, Title 33, Planning and Zoning,
Chapter 33.258 Nonconforming Situations

33.258.050 Nonconforming Uses

N/A – Subject property does not include any nonconforming uses. No nonconforming uses proposed.

33.258.060 Nonconforming Residential Densities

N/A – Subject property does not include any nonconforming residential densities. No nonconforming residential densities proposed.

33.258.065 Nonconforming Lots, Lots of Record, and Lot Remnants in Single-Dwelling Zones

N/A – Subject property does not include any nonconforming lots, lots of record, or lot remnants and is not located in a single-dwelling zone. None of the above proposed.

33.258.070 Nonconforming Development

N/A – Subject property does not include any nonconforming development. No nonconforming development proposed.

City of Portland Zoning Code, Title 33, Planning and Zoning,
Chapter 33.266 Bicycle Parking Standards

33.266.210 Required Bicycle Parking

A. Number of spaces required.

Please see below for an analysis of the existing bicycle parking.

Existing Bicycle Parking:	**Long-term: 81 spaces**	**Short-term: 0 spaces**
Required Bicycle Parking: Based on Table 266-6 Office Use: 303,306 sf Commercial Parking: 102,723 sf (249 stalls)	**Long-term: 44 total** Office - 31 Spaces Parking - 13 spaces	**Short-term: 8 total** Office - 8 spaces Parking - None Required
Provided Bicycle Parking:	**Long-term: 81 spaces**	**Short-term: 0 spaces**

33.266.220.A.c Bicycle Parking Fund

Applicant's Response: Bicycle Parking Fund option to be used.

City of Portland Zoning Code, Title 33, Planning and Zoning,
Chapter 33.420 Design Overlay Zone

33.420.041 When Design Review is Required

Applicant's Response: Proposal includes an exterior alteration to an existing building, therefore, design review is required.

Central City Plan District Standards:

33.420.045 Exempt From Design Review

Applicant's Response: N/a – proposal does not meet any of the requirements for an exemption from design review, therefore, design review is required.

33.420.051 Design Guidelines

Applicant's Response: Per Map 420-1, subject property is located within the Central City District, therefore, guidelines applicable to that district are applicable to this proposal.

33.420.055 When Community Design Standards May Be Used

Applicant's Response: N/a – subject property is located within the Central City plan district, therefore, Community Design Standards may not be used as an alternative to design review. Please see below.

33.420.060 When Community Design Standards May Not Be Used

Applicant's Response: N/a – subject property is located within the Central City plan district, therefore, Community Design Standards may not be used as an alternative to design review.

City of Portland Zoning Code, Title 33, Planning and Zoning,
Chapter 33.510 Central City Plan District

33.510.030 Application of Regulations Along Proposed Rights of Way and Accessways

Applicant's Response: N/a – no rights-of-way or accessways existing or proposed on or adjacent to property.

Use Regulations

33.510.100 Vehicle Repair Uses

Applicant's Response: N/a – no vehicle repair uses proposed on subject property.

33.510.105 Vehicle Sales or Leasing

Applicant's Response: N/a – no vehicle sales or leasing proposed on subject property.

33.510.110 Mixed Use Waterfront Development

Applicant's Response: N/a – subject property is not located on the waterfront.

33.510.112 Commercial Parking

Applicant's Response: N/a – proposal does not include any new commercial parking.

33.510.113 Retail Sales And Service and Office Uses in the IG1 Zone

Applicant's Response: N/a – subject property not located in the IG1 Zone.

33.510.114 Exemptions for Portland State University

Applicant's Response: N/a – subject property is not associated with Portland State University.

33.510.115 Additional Uses Allowed in the Open Space Zone

Applicant's Response: N/a – subject property not zoned OS.

33.510.116 Retail Sales And Service Uses for Specified Sites in the CX and EX Zones

Applicant's Response: N/a – subject property not located within the South Waterfront Subdistrict.

33.510.117 Retail Sales And Service and Office Uses in the RX Zone

Applicant's Response: N/a – subject property not located within the RX Zone.

33.510.118 Use Regulations for Specified Sites in the West End Subarea

Applicant's Response: N/a – subject property not located within the West End Subarea.

33.510.119 Retail Sales And Service and Office Uses in Specified Historic Resources in the IG2 and IH Zones

Applicant's Response: N/a – subject property not located within the IC2 or IH zone.

Development Standards

33.510.200 Floor Area Ratios

Applicant's Response: N/a – no change to existing floor area proposed.

33.510.205 Height

Applicant's Response: N/a – no change to existing height proposed.

33.510.210 Floor Area and Height Bonus Options

Applicant's Response: N/a – no change to existing floor area or height proposed.

Central City Plan District Standards:

33.510.215 Required Building Lines

Applicant's Response: Subject property is subject to a required building line standard along SW 1st Avenue.
Applicant's Response: Existing building meets the standards of Subparagraph a above (over 75% of the building extends to the street lot line along 1st Ave). No changes that would affect the building meeting this standard are proposed.

33.510.220 Ground Floor Windows

Applicant's Response: Proposal will meet the ground floor window standard of the base zone.

33.510.221 Required Windows Above the Ground Floor

Applicant's Response: N/a – subject property not located near the streetcar alignment shown on Map 510-12, therefore, regulations in this section do not apply.

33.510.223 Exterior Display and Storage

Applicant's Response: Proposal includes outdoor seating for a restaurant but no other exterior display of goods or exterior storage.

33.510.224 Mechanical Equipment along the Portland Streetcar Alignment

Applicant's Response: N/a – subject property is not located along the Portland Streetcar Alignment.

33.510.225 Ground Floor Active Uses

Applicant's Response: N/a – subject property is not located in a ground floor active use area.

33.510.226 Minimum Active Floor Area

Applicant's Response: N/a – subject property is not located in a minimum active floor area.

33.510.230 Required Residential Development Areas

Applicant's Response: N/a – subject property is not located in a required residential development area.

33.510.240 Drive Through Facilities

Applicant's Response: N/a – no existing or proposed drive-through facilities.

33.510.242 Demolitions

Applicant's Response: N/a – subject property is not located within the R, C, and E zones, therefore, subject property is not subject to the regulations in this section.

33.510.251 Additional Standards in the North Pearl Subarea

Applicant's Response: N/a – subject property is not located within the North Pearl Subarea.

33.510.252 Additional Standards in the South Waterfront Subdistrict

Applicant's Response: N/a – subject property is not located within the South Waterfront Subdistrict.

33.510.253 Greenway Overlay Zone in South Waterfront Subdistrict

Applicant's Response: N/a – subject property is not located within the South Waterfront Subdistrict.

33.510.255 Central City Master Plans

Applicant's Response: N/a – no Central City Master Plan sought.

Parking and Access

33.510.261 Parking

Applicant's Response: N/a – no change to existing parking proposed.

A. Motor Vehicle Stalls - 249 (E) , No stalls required in Cx per Table 266-1
B. Bicycle Parking - Regulated by Chapter 33.266 Parking and Loading.

33.510.263 Parking in the Core Area

Applicant's Response: N/a – no change to existing parking proposed. (E) Parking and Loading Dock access located on Jefferson St. which is allowed.

33.510.264 Parking in Lloyd District

Applicant's Response: N/a – subject property not located within the Lloyd District.

33.510.265 Parking in the Goose Hollow Subdistrict, Lower Albina Subdistrict, Central Eastside Subdistrict, and River District Sectors 1 and 2.

Applicant's Response: N/a – subject property not located within the Goose Hollow Subdistrict, Lower Albina Subdistrict, Central Eastside Subdistrict, or River District Sectors 1 and 2.

33.510.267 Parking in the South Waterfront Subdistrict.

Applicant's Response: N/a – subject property not located within the South Waterfront Subdistrict.

PREVIOUS LAND USE REVIEWS:

DZ 2-87 - Approved design review for signage

Conditions of approval status: no conditions required.

DZ 4-89 - Approved design review for an ATM machine

Conditions of approval status: no conditions required.

LUR 01-00695 DZ - Design review approval of matching aluminum windows within existing garage level openings on the second floor, identical to the current proposal for the 3rd and 4th floors on the same side of the building.

Conditions of approval status: no conditions required.

LU 06-103546 DZ - Design Review Approval of four new windows within existing openings of 3rd and 4th floor on the west facade of the structured parking garage.

Conditions of approval status: no conditions required.

Design Guidelines & Project Goals _ A3

Applicable Design Guidelines:

CENTRAL CITY FUNDAMENTAL DESIGN GUIDELINES

A Portland Personality

A1 Integrate the River
A2 Emphasize Portland Themes
A3 Respect the Portland Block Structures
A4 Use Unifying Elements
A5 Enhance, Embellish and Identify Areas
A6 Re-Use / Rehabilitate / Restore Buildings
A7 Establish and Maintain a Sense of Urban Enclosure
A8 Contribute to a Vibrant Streetscape
A9 Strengthen Gateways

B Pedestrian Emphasis

B1 Reinforce and Enhance the Pedestrian System
B2 Protect the Pedestrian
B3 Bridge Pedestrian Obstacles
B4 Provide Stopping and Viewing Places
B5 Make Plazas, Parks, and Open Space Successful
B6 Develop Weather Protection
B7 Integrate Barrier-Free Design

C Project Design

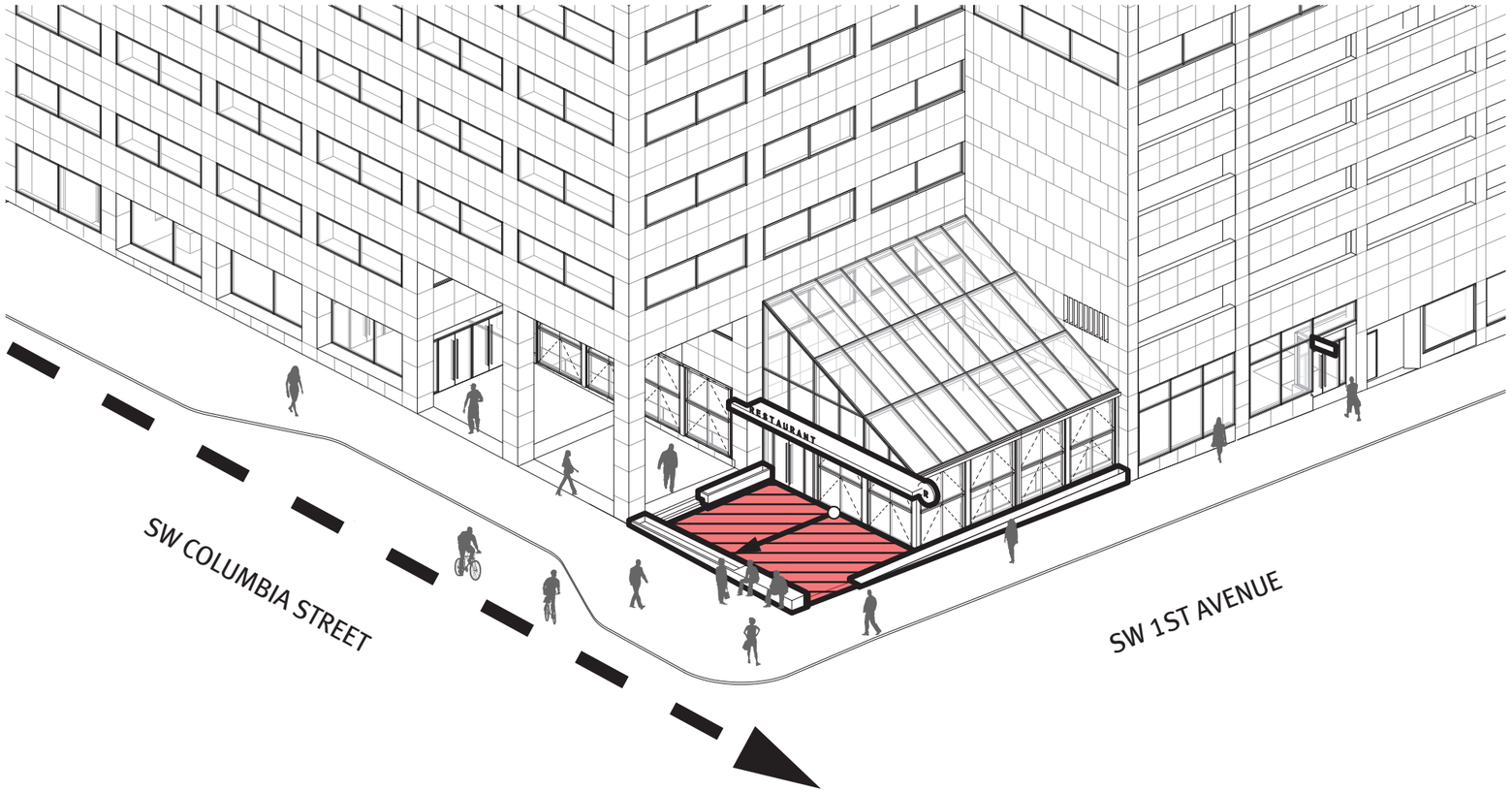
C1 Enhance View Opportunities
C2 Promote Permanence and Quality in Development
C3 Respect Architectural Integrity
C4 Complement the Context of Existing Buildings
C5 Design for Coherency
C6 Develop Transitions Between Buildings and Public Spaces
C7 Design Corners that Build Active Intersections
C8 Differentiate the Sidewalk-Level of Buildings
C9 Develop Flexible Sidewalk-Level Spaces
C10 Integrate Encroachments
C11 Integrate Roofs and Use Rooftops
C12 Integrate Exterior Lighting
C13 Integrate Signs

Project Goals:

In approaching this design problem, five distinct project goals emerged. These project goals were informed and shaped by the Central City Fundamental Design Guidelines, and illustrate how the proposed project accomplishes each of them.

- **01 ACTIVATE** the Building & Street Corner
- **02 ENHANCE** the Pedestrian Experience
- **03 INCREASE PERMEABILITY** Between Building & Street
- **04 REFRESH AND ELEVATE** Existing Building
- **05 PROVIDE CONTINUITY** in Design Language

Responding to Design Guidelines:



01 ACTIVATE the Building & Street Corner

How are we doing this?

- Updating materials and bringing new life to an existing, underutilized outdoor space, in a location primed to serve as an important wayfinding element on the way to the riverfront

- Moving planters away from the building and allowing them to delineate the edge of the seasonal outdoor dining area, as well as provide potential seating for pedestrians

- Installing lighting that will allow the corner to remain active past sundown

- Installing signage to attract customers to a new dining destination

Responding to Design Guidelines:

01 ACTIVATE the Building & Street Corner

How does this relate to the Design Guidelines?

- A1. Integrate the River

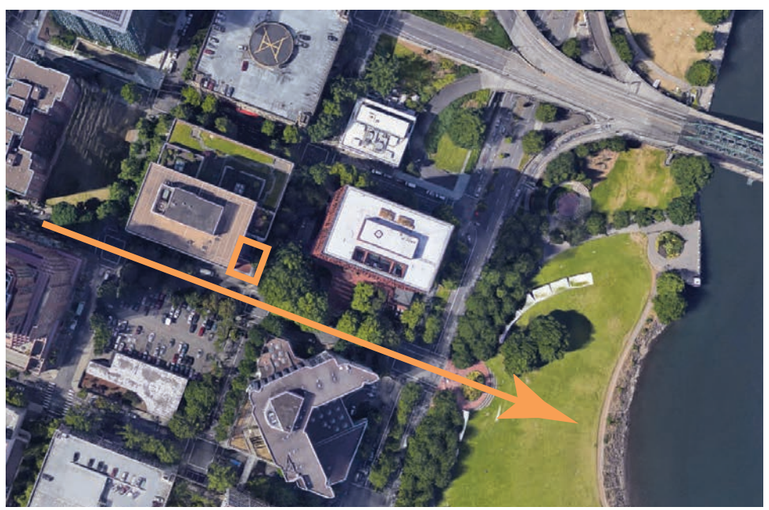
- A8. Contribute to a Vibrant Streetscape

- B5. Make Plazas, Parks and Open Spaces Successful

- C7. Design Corners that Build Active Intersections

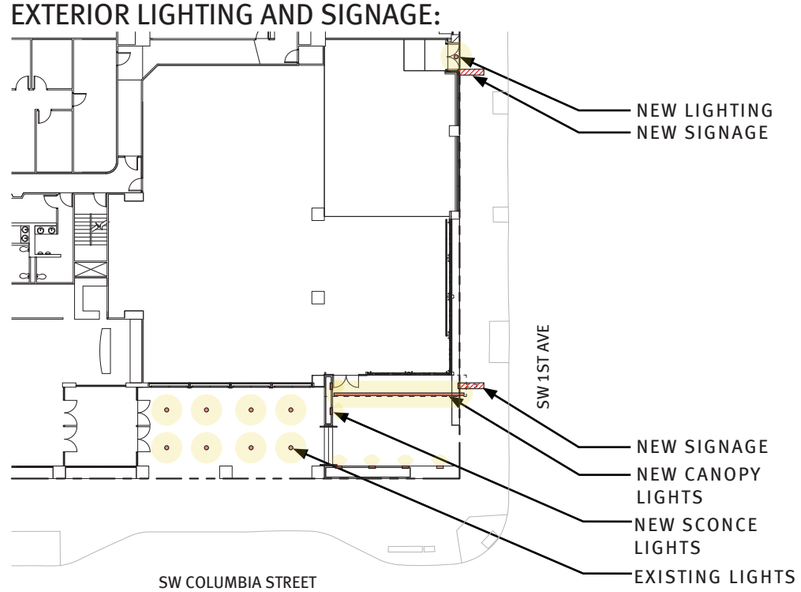
- C12. Integrate Exterior Lighting

- C13. Integrate Signs



With a site located one block away from the riverfront and an existing underutilized open space on the river-facing side of our site, this renovation has the opportunity to become an important wayfinding element for pedestrians on their way to the river.

EXTERIOR LIGHTING AND SIGNAGE:



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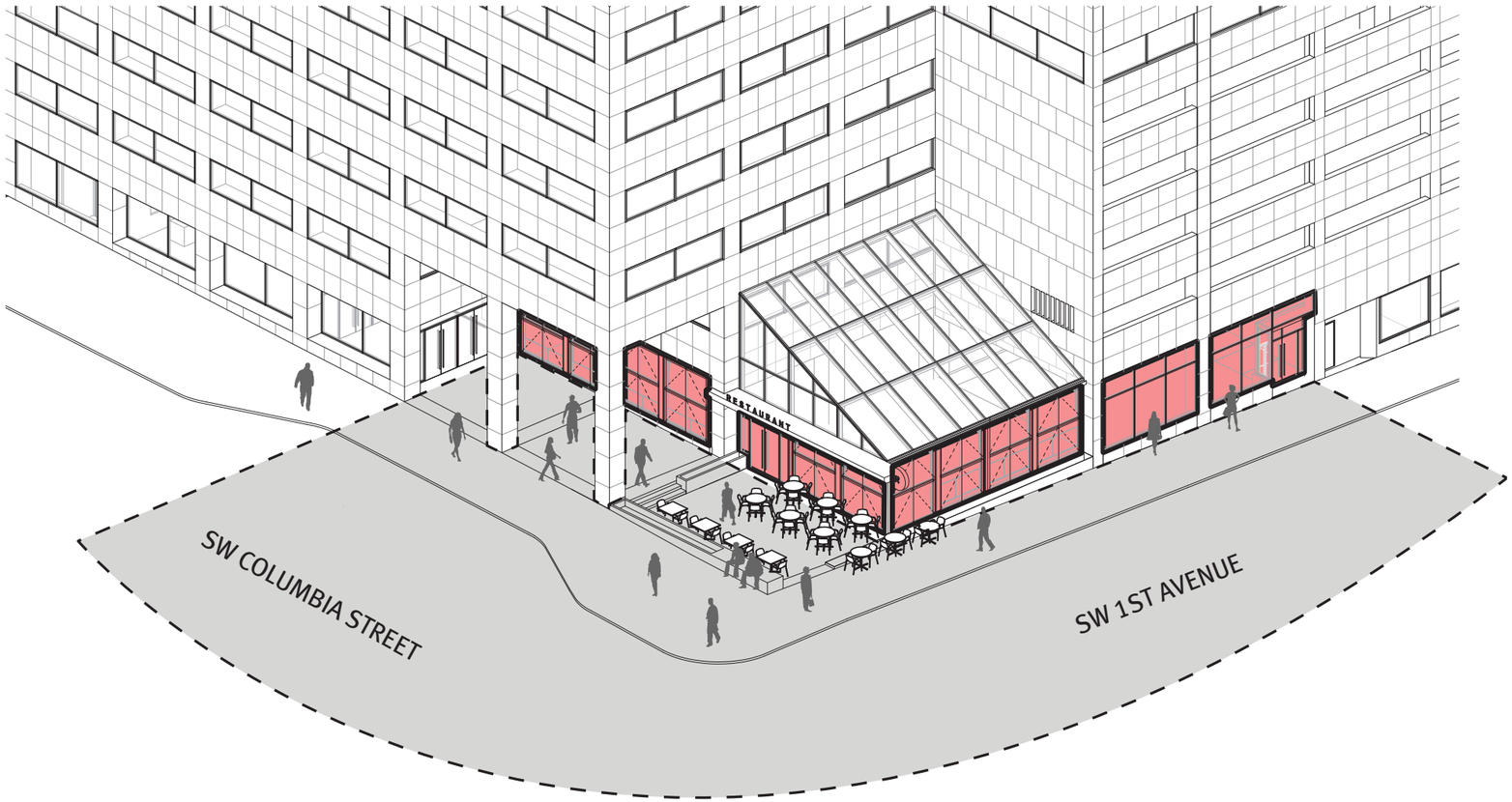


02 ENHANCE Pedestrian Experience

How are we doing this?

- Increasing glazing at the first floor to differentiate ground-level retail from upper-level offices

- Adding visual interest to an existing area of open space through the addition of a seasonal outdoor dining space

- Increasing outdoor lighting to allow both visitors to the building and passing pedestrians to utilize the space safely at night

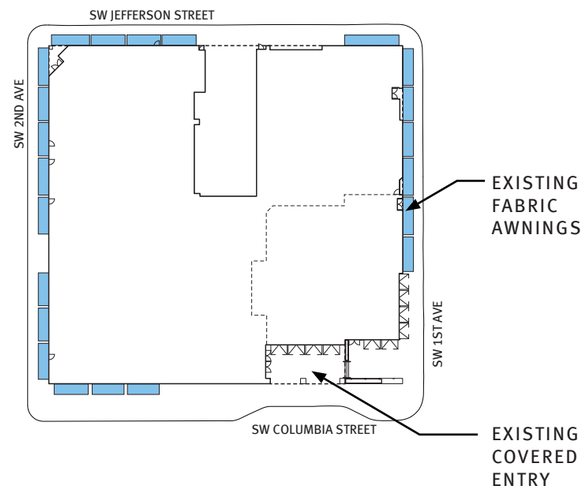
-Providing a new seatwall and planter along Columbia to help level the grade of the plaza to meet ADA standards while allowing pedestrians to sit, people-watch, and enjoy the street life

-Removing two bays of canopies along 1st Avenue to allow for increased glazing to promote the existing datum and alignments of the existing building as well as promoting visual permeability between the street and the building

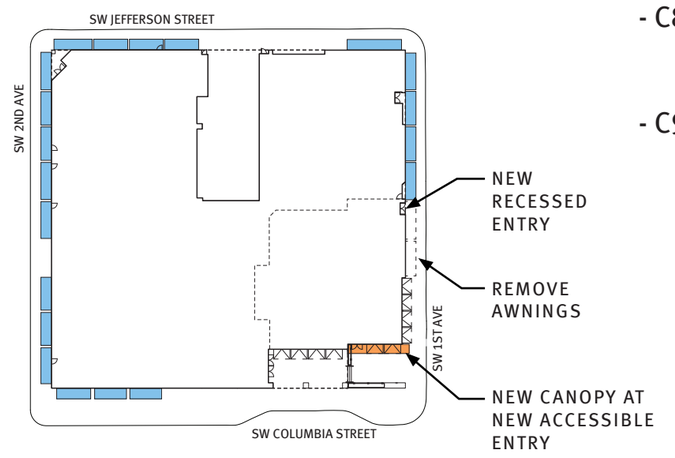
-Providing a new recessed entry along SW 1st Avenue and new canopy at the plaza for the new accessible tenant entry

Responding to Design Guidelines:

EXISTING WEATHER PROTECTION:



PROPOSED WEATHER PROTECTION:

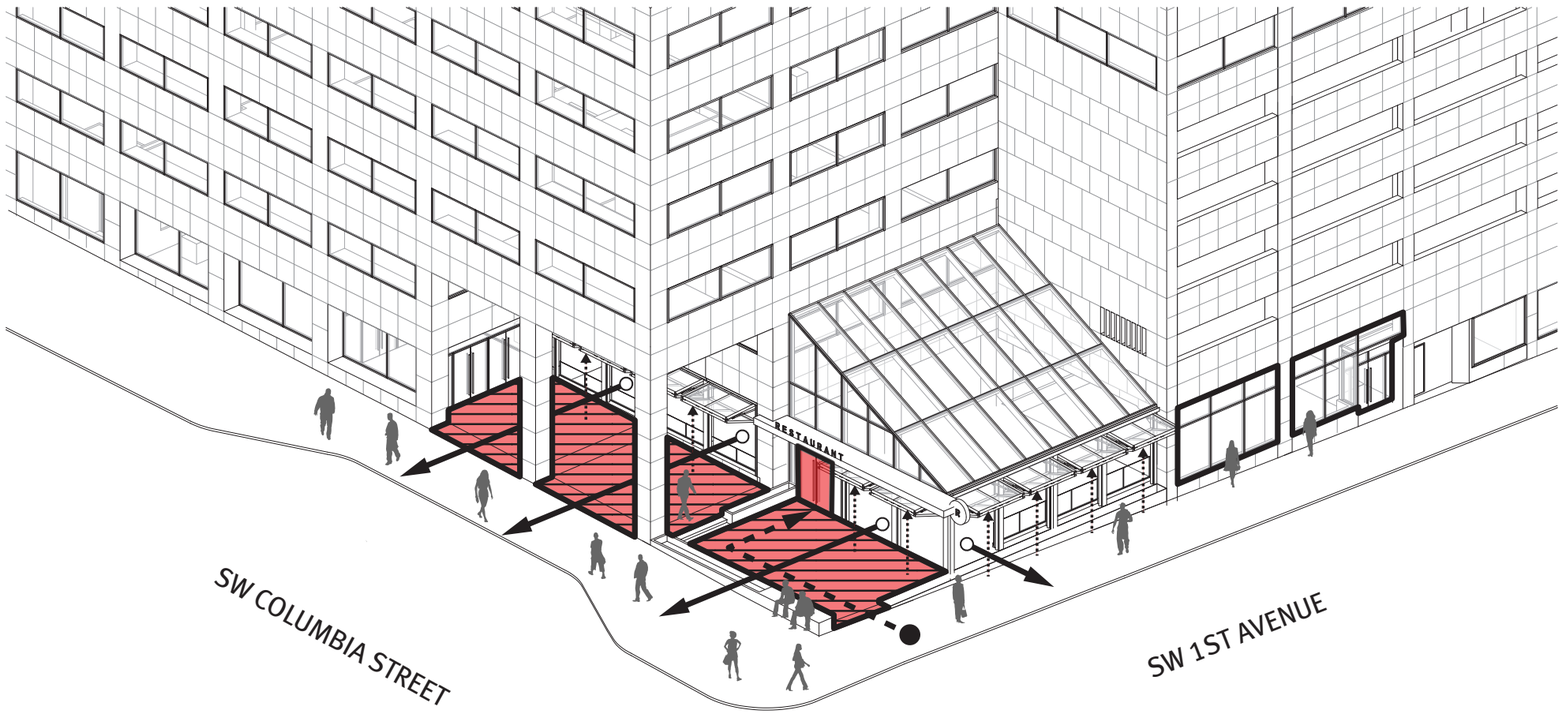


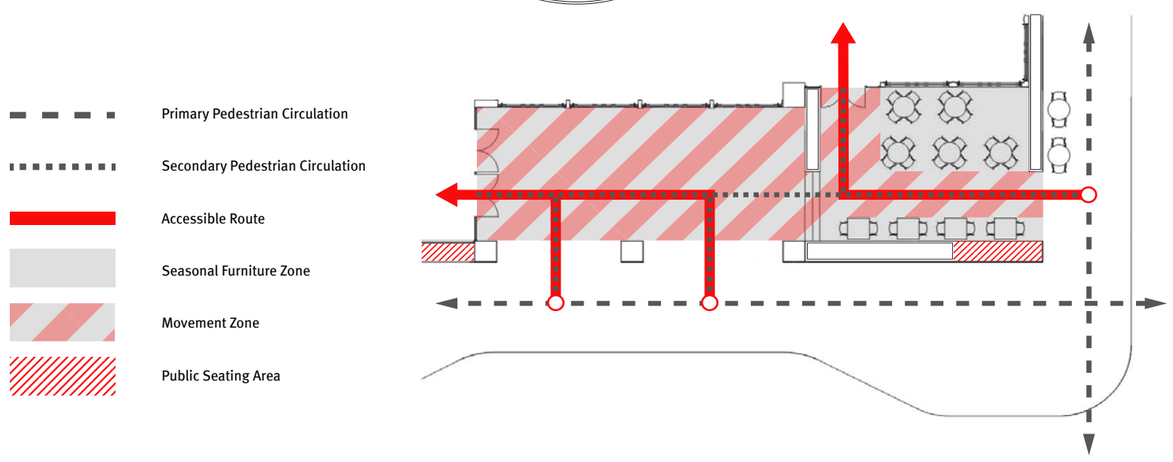
02 ENHANCE Pedestrian Experience

How does this relate to the Design Guidelines?

- B1. Reinforce and Enhance the Pedestrian System
- B2. Protect the Pedestrian
- B4. Provide Stopping and Viewing Places
- B6. Develop Weather Protection
- C8. Differentiate the Sidewalk-Level of Buildings
- C9. Develop Flexible Sidewalk-Level Spaces

Responding to Design Guidelines:





03 INCREASE PERMEABILITY
Between Building & Street

How are we doing this?

- Installing high-efficiency clear glazing and large operable windows

- Letting the inside spill out through the use of outdoor dining, blurring the line between indoor and outdoor

- Maintaining a pedestrian access path through the seasonal outdoor dining area to allow pedestrian to flow through and around

- Removing planters located at the base of the glass and steel structure, and increasing building permeability at grade to promote the art of food and entertainment

- Relocating the entry of the restaurant tenant space which will provide an accessible entry where it didn't exist before

- Outdoor dining increases permeability by allowing passersby to experience the activity of the building, and by providing a transition space between the public right-of-way and the private building

Responding to Design Guidelines:

03 INCREASE PERMEABILITY
Between Building & Street

How does this relate to the Design Guidelines?

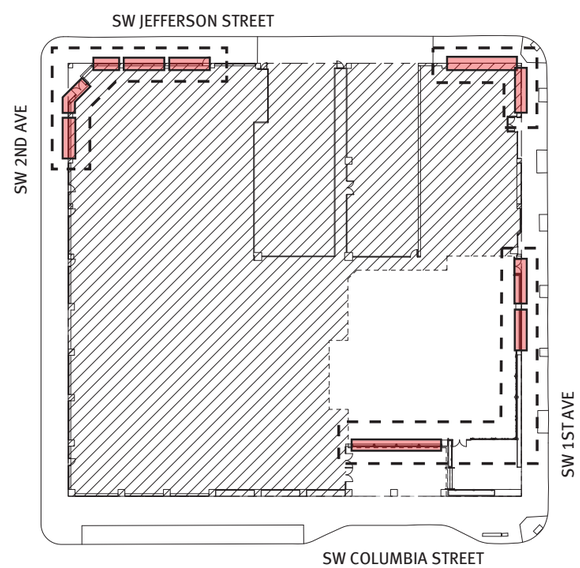
- A2. Emphasize Portland Themes

- B7. Integrate Barrier-Free Design

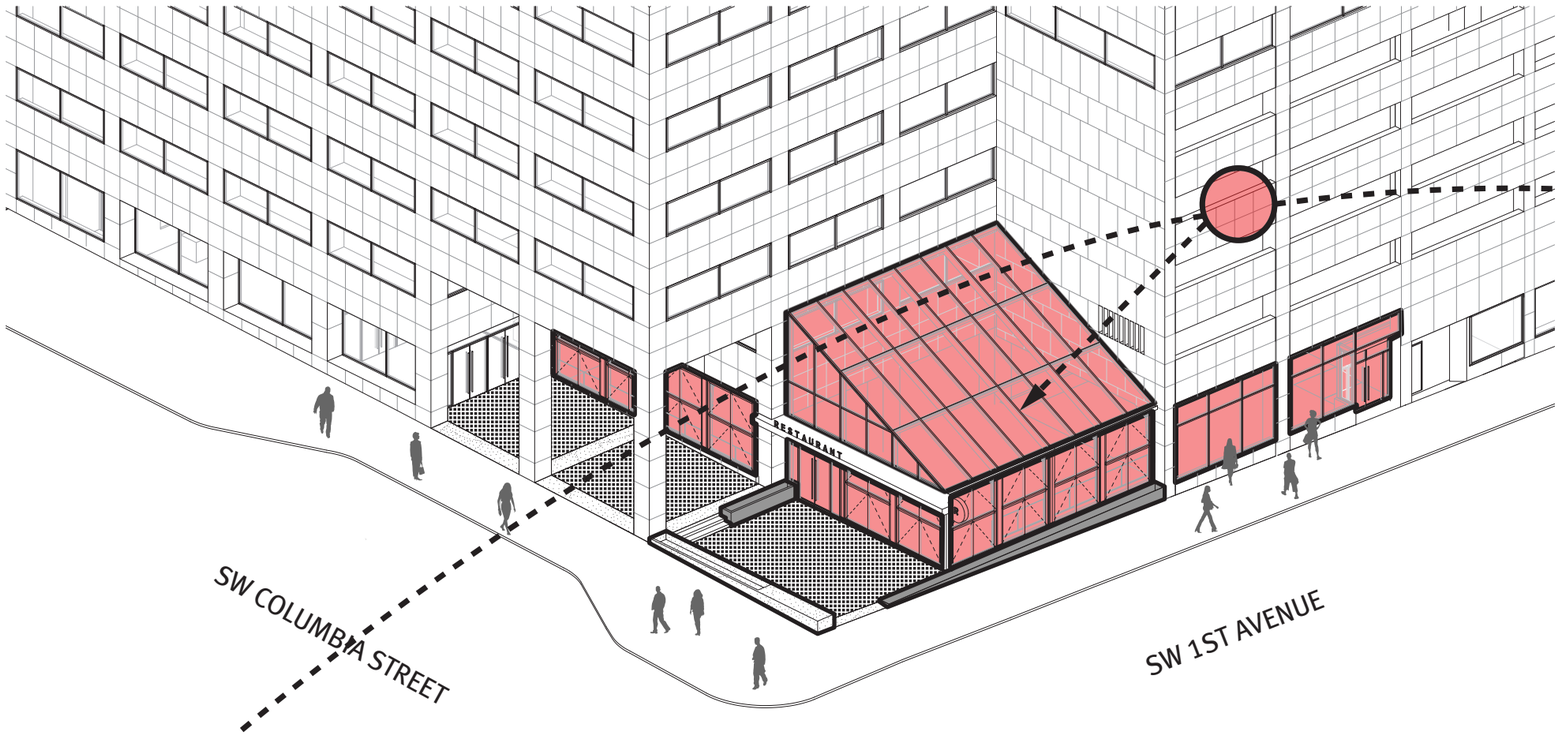
- C1. Enhance View Opportunities

- C6. Develop Transitions Between Buildings and Public Spaces

LOCATIONS OF STOREFRONT ENLARGEMENTS ON THE GROUND FLOOR:
See Elevations



Responding to Design Guidelines:



04 REFRESH AND ELEVATE
Existing Building

How are we doing this?

- Updating existing building with high-performing materials such as high-efficiency clear glass

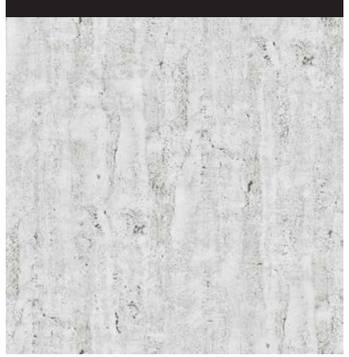
- Utilizing durable structural materials, steel and a high performing glazing system to ensure that the renovated solarium will perform as intended for a long period of time

- Reuse of travertine stone siding removed and salvaged during the demolition process

- Utilizing durable site materials, like travertine, brick and steel to ensure a long lasting design solution that responds to the existing vernacular context

- Blackened stainless steel stormwater planter will define the plaza's edge along SW 1st Avenue and tie directly into the solarium's steel structure

TRAVERTINE

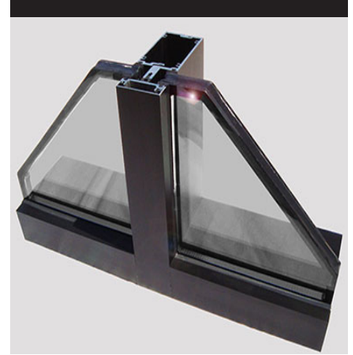


TO MATCH EXISTING

BRICK PAVING

TO MATCH EXISTING

STOREFRONT



TO MATCH EXISTING

BLACKENED STEEL

Responding to Design Guidelines:

04 REFRESH AND ELEVATE
Existing Building

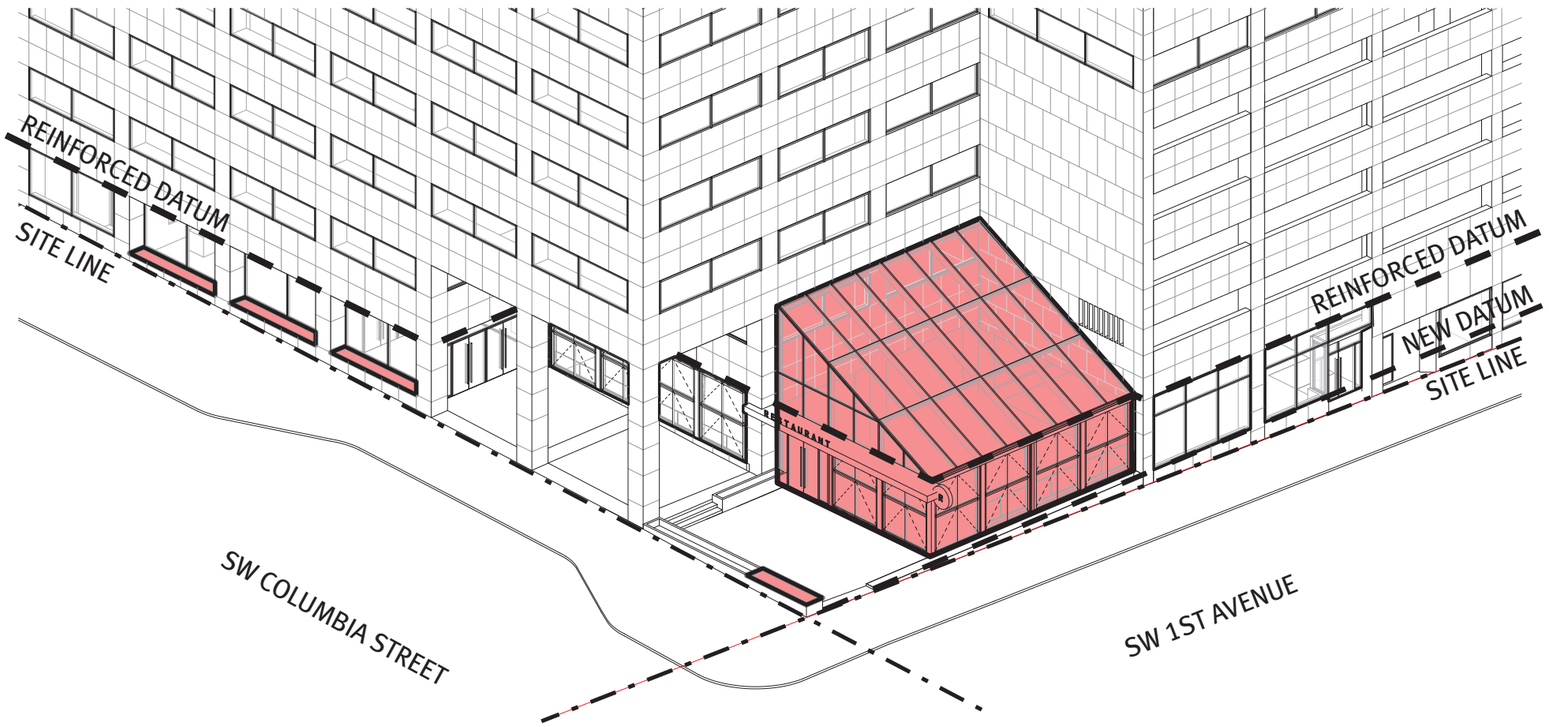
How does this relate to the Design Guidelines?

- A6. Re-Use / Rehabilitate / Restore Buildings

- C2. Promote Permanence and Quality in Development

-C4. Complement the Context of Existing Buildings

Responding to Design Guidelines:



05 PROVIDE CONTINUITY In Design Language

How are we doing this?

- Ensuring that the increased glazing responds to datum lines and alignments on the original building, which themselves respond to the proportions of surrounding buildings

- Recreating the original shape of the solarium to ensure that the renovation is respectful to the original design intent from both a formal and materiality perspective

- Continuing with procession of existing bench seating along SW Columbia by incorporating a travertine plinth planter box and seat wall at the corner of SW Columbia and SW 1st

- Creating and defining the new seasonal outdoor dining space to be contiguous with the existing site lines and materiality of the building and site surfaces

Responding to Design Guidelines:

05 PROVIDE CONTINUITY In Design Language

How does this relate to the Design Guidelines?

- A4. Use Unifying Elements

- A5. Enhance, Embellish and Identify Areas

- C3. Respect Architectural Integrity

- C5. Design for Coherency

Perspectives _ A4

A4.0 View from corner of SW Columbia St. & SW 1st Ave. - DAY, CLOSED BI-FOLD DOORS
A4.1 View from corner of SW Columbia St. & SW 1st Ave. - DAY, OPEN BI-FOLD DOORS
A4.2 View from corner of SW Columbia St. & SW 1st Ave. - NIGHT, OPEN BI-FOLD DOORS

RESTAURANT

RESTAURANT

RESTAURANT

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Drawings _ C

0.0 Drawing Index

C.01 Utility Plan
C.02 Civil Site Plan
C.03 Typ. Flow-Through Planter Detail
C.04 Tree Plan
C.05 Plaza Materials Plan
C.06 Plaza Planting Plan
C.07 Existing Site Plan

C.1 New Site Plan
C.12 Ground Floor Use Diagram

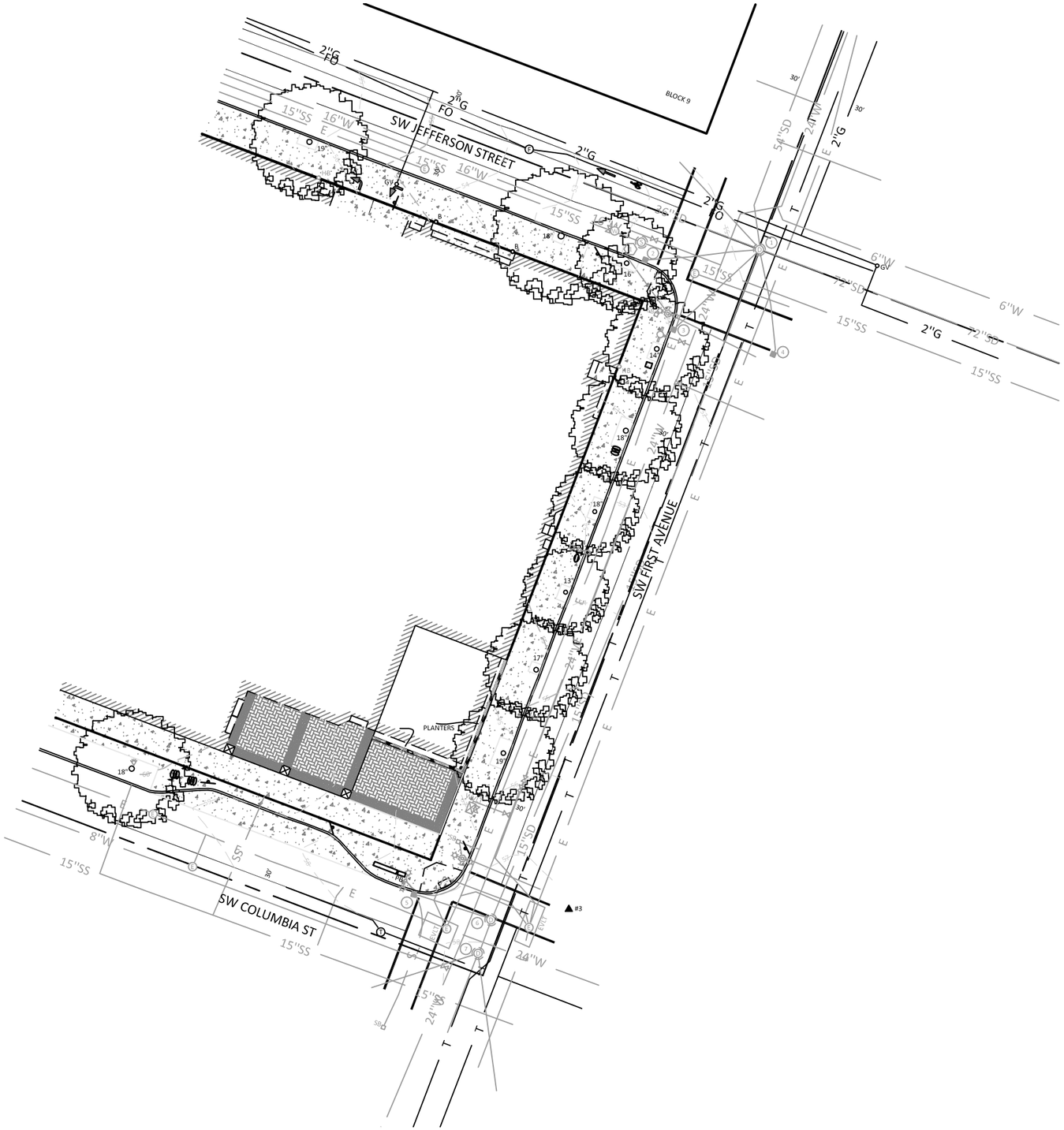
C.21 Demolition Floor Plan
C.22 Floor Plan
C.23 Roof Plan

C.30 Existing, Demolition and New Building Elevations- North Elevation
C.31 Existing, Demolition and New Building Elevations- East Elevation
C.32 Existing, Demolition and New Building Elevations- South Elevation
C.33 Existing, Demolition and New Building Elevations- West Elevation
C.34 Enlarged Building Elevation- East Elevation
C.35 Enlarged Building Elevation- South Elevation

C.40 Building Section - East/West
C.41 Building Section - North/South
C.42 Typ. Bi-Fold Door @ South Storefront- Elevation and Section
C.43 Typ. Bi-Fold Door @ South of Solarium- Elevation and Section
C.44 Typ. Bi-Fold Door @ East of Solarium- Elevation and Section
C.45 Typ. Storefront Bay- Elevation and Section
C.46 Recessed Entry Bay- Elevation and Section
C.47 Storefront Sections

C.50 Details- Entry Canopy
C.51 Details- Bi-Fold Doors
C.52 Details- Recessed Entry
C.53 Details- Signage

C.60 Bi-fold Door Cutsheet
C.61 Step Light Cutsheet



NOTES:

1.) VERTICAL DATUM: CITY OF PORTLAND
BENCHMARK: 2-1/2 INCH BRASS DISK AT THE SOUTHWEST QUADRANT OF THE INTERSECTION OF SE 92ND AVENUE AND SE RAMONA STREET
BENCHMARK NO. 2046 ELEVATION = 212.909'

2.) BASIS OF BEARINGS FOR THIS SURVEY IS THE OREGON COORDINATE REFERENCE SYSTEM (OCRS), PORTLAND ZONE. THE RESULTANT BEARING OF THE CENTERLINE OF SW FIRST AVE IS NORTH 20°47'15" EAST.

3.) A TITLE REPORT WAS NOT PROVIDED FOR THIS SURVEY, EASEMENTS MAY EXIST AFFECTING SUBJECT PROPERTY.

4.) UTILITY LOCATIONS SHOWN ARE PER FIELD LOCATED UTILITY PAINT MARKS & REFERENCE MAPS MADE AVAILABLE BY THE VARIOUS UTILITY PROVIDERS. UNLESS INDICATED, DEPTHS OF UTILITY LINES ARE NOT AVAILABLE. ALL UTILITY LOCATIONS SHOULD BE FIELD VERIFIED (POTHOLED) PRIOR TO CONSTRUCTION.

LEGEND:

- BUILDING OUTLINE WITH DOOR
- CONCRETE SURFACE
- ASPHALT SURFACE
- BRICK SURFACE
- STONE SURFACE
- WALL
- BUILDING OVERHANG
- CURB LINE
- RIGHT-OF-WAY LINE
- ELECTRICAL LINE
- TRAFFIC SIGNAL LINE
- TELECOMMUNICATIONS LINE
- STORM LINE
- SANITARY SEWER LINE
- WATER LINE
- OVERHEAD UTILITY LINES
- UNDERGROUND LINE PER AS-BUILTS
- BUILDING COLUMN
- SIGN
- 8 BOLLARD
- HANDICAP RAMP
- BIKE RACK
- PARKING METER SINGLE
- MB MAILBOX
- PB WATER BUREAU PAY BOX
- E ELECTRICAL MANHOLE
- EVLT ELECTRICAL VAULT
- GROUND FLOOD LIGHT
- OVERHEAD LIGHT
- GV GAS VALVE
- SANITARY MANHOLE WITH STRUCTURE
- STORM MANHOLE WITH STRUCTURE
- CATCH BASIN
- 1 4 SANITARY/STORM STRUCTURE #
- T TELECOMMUNICATIONS MANHOLE
- F FIBER OPTIC MANHOLE
- SB TRAFFIC SIGNAL BOX
- PEDESTRIAN CONTROL SIGNAL ARM
- WATER VALVE
- FIRE HYDRANT
- W WATER MANHOLE
- WVLT WATER VAULT
- HB HOSE BIB
- DECIDUOUS TREE -PERIMETER REPRESENTS DRIPLINE
- FOUND MONUMENT
- #1 PROJECT CONTROL POINT

STORM TABLE:

1. STORM MAHOLE
RIM = 50.94'
(NOT MEASURED)
2. CATCH BASIN
RIM = 51.65'
IE 8" OUT (NE) = 49.95'
3. CATCH BASIN
RIM = 51.33'
IE 8" OUT (NE) = 49.56'
4. CATCH BASIN
RIM = 50.49'
IE 10" OUT (NE) = 48.89'
5. CATCH BASIN
RIM = 57.07'
IE 8" OUT (E) = 55.56'
6. STORM MANHOLE
RIM = 57.68'
(NOT MEASURED)
7. STORM MANHOLE
RIM = 58.11'
(NOT MEASURED)

SANITARY TABLE:

1. SANITARY MANHOLE
RIM = 51.90'
(NOT MEASURED)

PROJECT CONTROL:

STATION	DESCRIPTION	NORTHING	EASTING	ELEVATION
3	1-1/8" BRASS CAP "KPFF CONTROL"	168840.18	347050.83	57.41'
8	1-1/8" BRASS CAP "KPFF CONTROL"	168760.60	347256.44	51.13'

NORTH

SCALE 1 INCH = 40 FEET

40 0 40 80

UTILITY PLAN

SHEET LEGEND

PROPERTY LINE

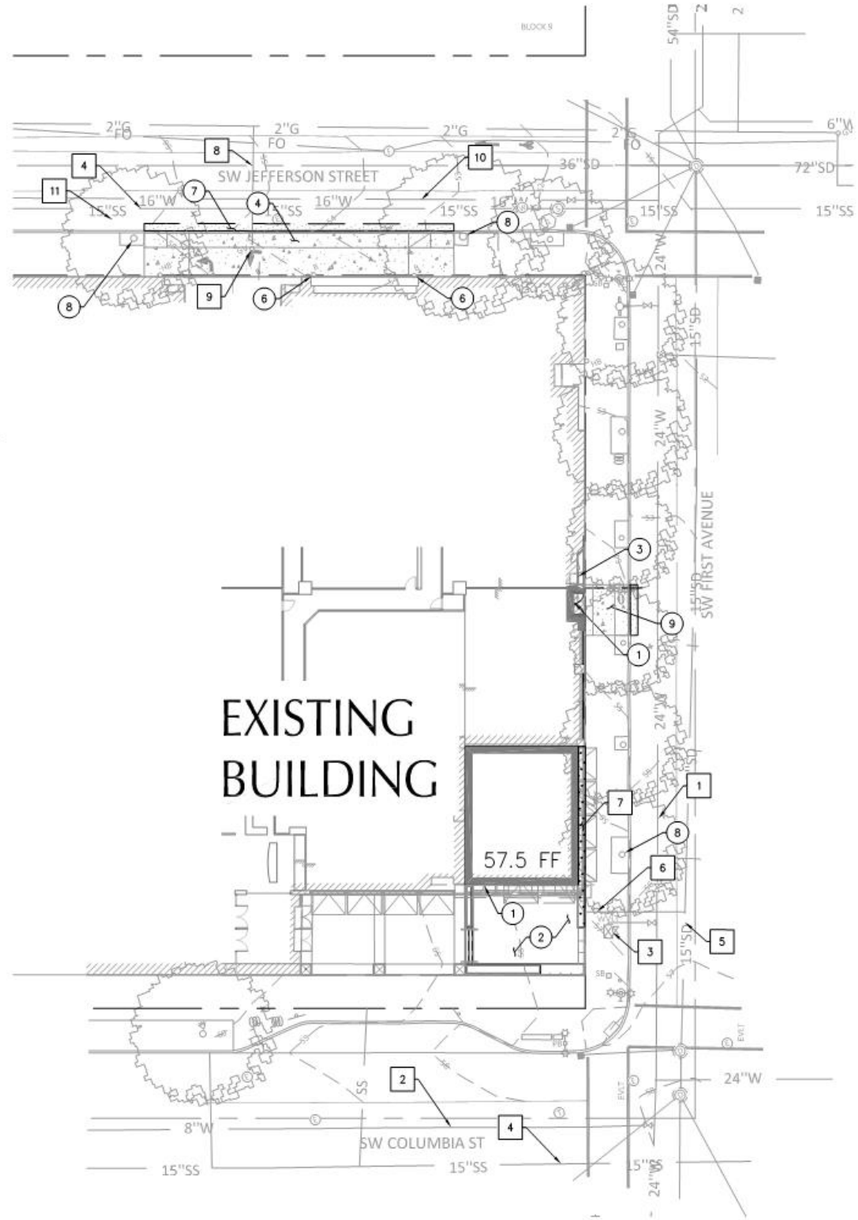
STORMWATER FLOW THROUGH PLANTER

BUILDING IMPROVEMENTS, REFERENCE ARCHITECTURE

DRIVEWAY/SIDEWALK

ASPHALT

SAWCUT LINE



(X) KEY NOTES

1 PROPOSED DOOR

2 PROPOSED SITE WORK PER LANDSCAPE. MORE THAN 500 SF OF IMPERVIOUS AREA WILL BE REPLACED OR MODIFIED. STORMWATER MANAGEMENT WILL BE REQUIRED

3 EXISTING DOOR

4 CONSTRUCT TYPICAL SEPARATE DRIVEWAY PER PBOT STD. DWG P-528

5 NOT USED.

6 PROTECT EXISTING BOLLARD

7 PAVEMENT REPAIR PER PBOT STANDARD DETAIL P-506

8 PROTECT EXISTING TREE

9 CONSTRUCT TYPICAL SIDEWALK PER PBOT STD. DWG P-551

[X] UTILITY NOTES

1 EXISTING 24-INCH PUBLIC WATER DISTRIBUTION LINE

2 EXISTING 8-INCH PUBLIC WATER DISTRIBUTION LINE

3 EXISTING WATER VAULT TO REMAIN

4 EXISTING 15-INCH PUBLIC SEWER MAIN

5 EXISTING 15-INCH PUBLIC STORM MAIN

6 CONTRACTOR TO POT HOLE EXISTING STORM LATERAL AND CONFIRM LOCATION, INVERT, AND INTEGRITY. IF STORM LATERAL IS FOUND TO NOT BE OF WORKING ORDER, CONTRACTOR TO INSTALL NEW STORM ONLY LATERAL TO CONNECT TO EXISTING 15" STORM IN SW FIRST AVE.

7 FLOW THROUGH PLANTER (MINIMUM 38 SF) SEE PLANTER DETAIL FOR TYPICAL SECTION.

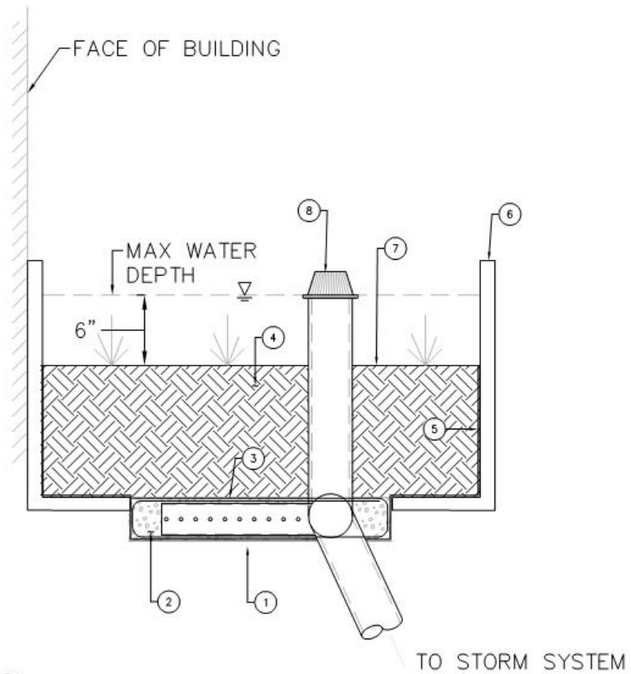
8 EXISTING GAS LINE TO REMAIN

9 RELOCATE/ADJUST GAS VALVE

10 EXISTING 16-INCH WATER MAIN

11 PROTECT EXISTING UNDERGROUND ELECTRICAL LINES

CIVIL SITE PLAN



(X) KEYNOTES

1 4" PVC PERF. PIPE FOR EXTENT OF FACILITY. SLOPE TO DRAIN.

2 DRAINAGE FILL, MIN. 12" THICKNESS.

3 WRAP DRAINAGE FABRIC AROUND ALL SIDES OF DRAINAGE FILL ZONE, 12" OVERLAP.

4 GROWING MEDIUM PER SOIL PREPARATION SPECIFICATIONS. 18" TYP THICKNESS.

5 30 MIL IMPERMEABLE LINER. WRAP UP PLANTER WALLS AS SHOWN. ATTACH TO WALLS AND PENETRATE WITH PIPES.

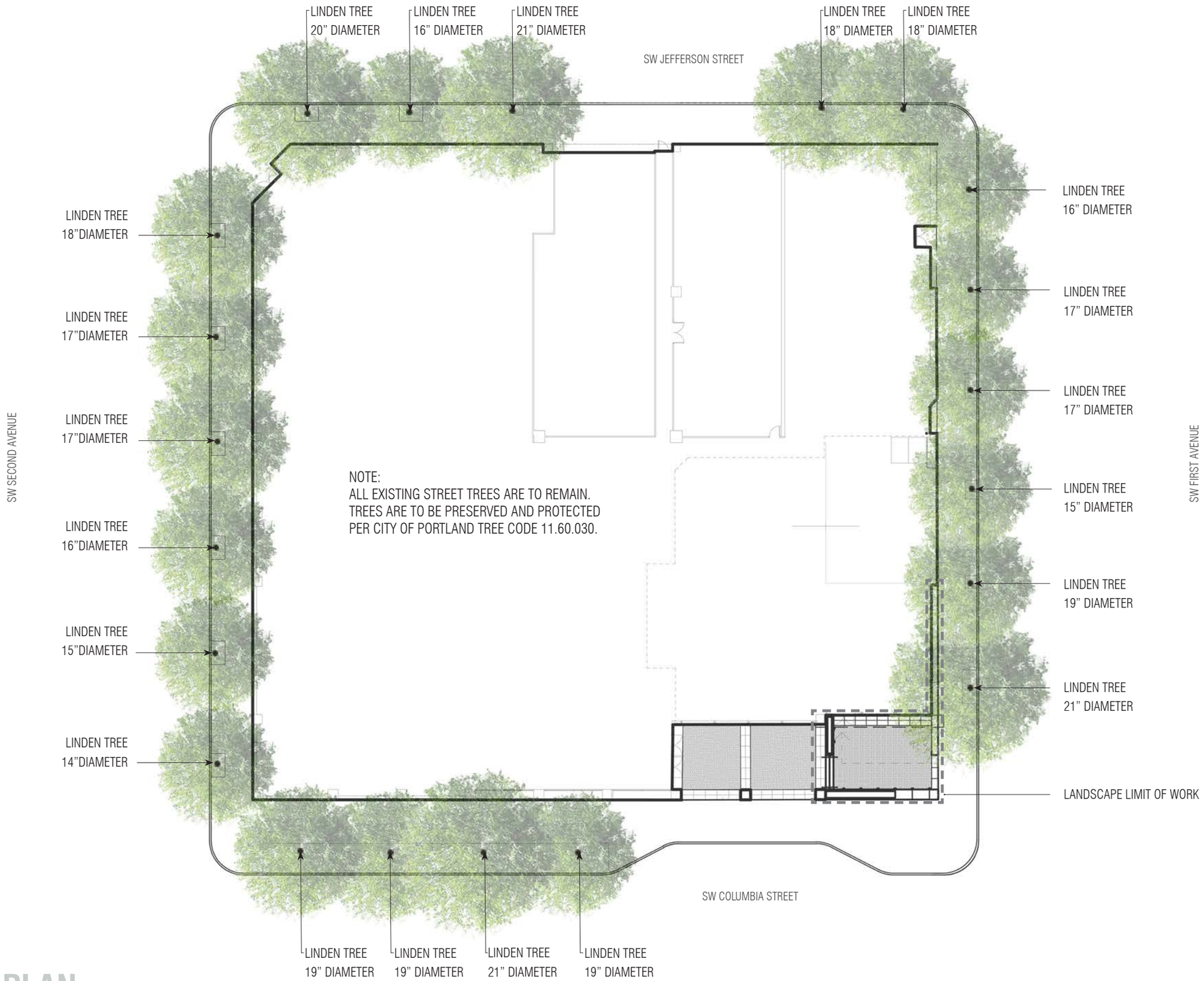
6 METAL PLANTER WALL.

7 PLANTINGS. SEE LANDSCAPE PLANS.

8 OVERFLOW INLET, SEE PLAN FOR TYPE.

(A) TYPICAL FLOW-THROUGH PLANTER

SCALE: NTS



EXISTING TREE PLAN

0 15 30

TRAVERTINE SEAT WALL

BLACKENED STAINLESS STEEL STORMWATER PLANTER

RECESSED WALL LIGHT

STAINLESS STEEL SKATE STOPS

MATERIALS PLAN

0 5 10

PLANTERS

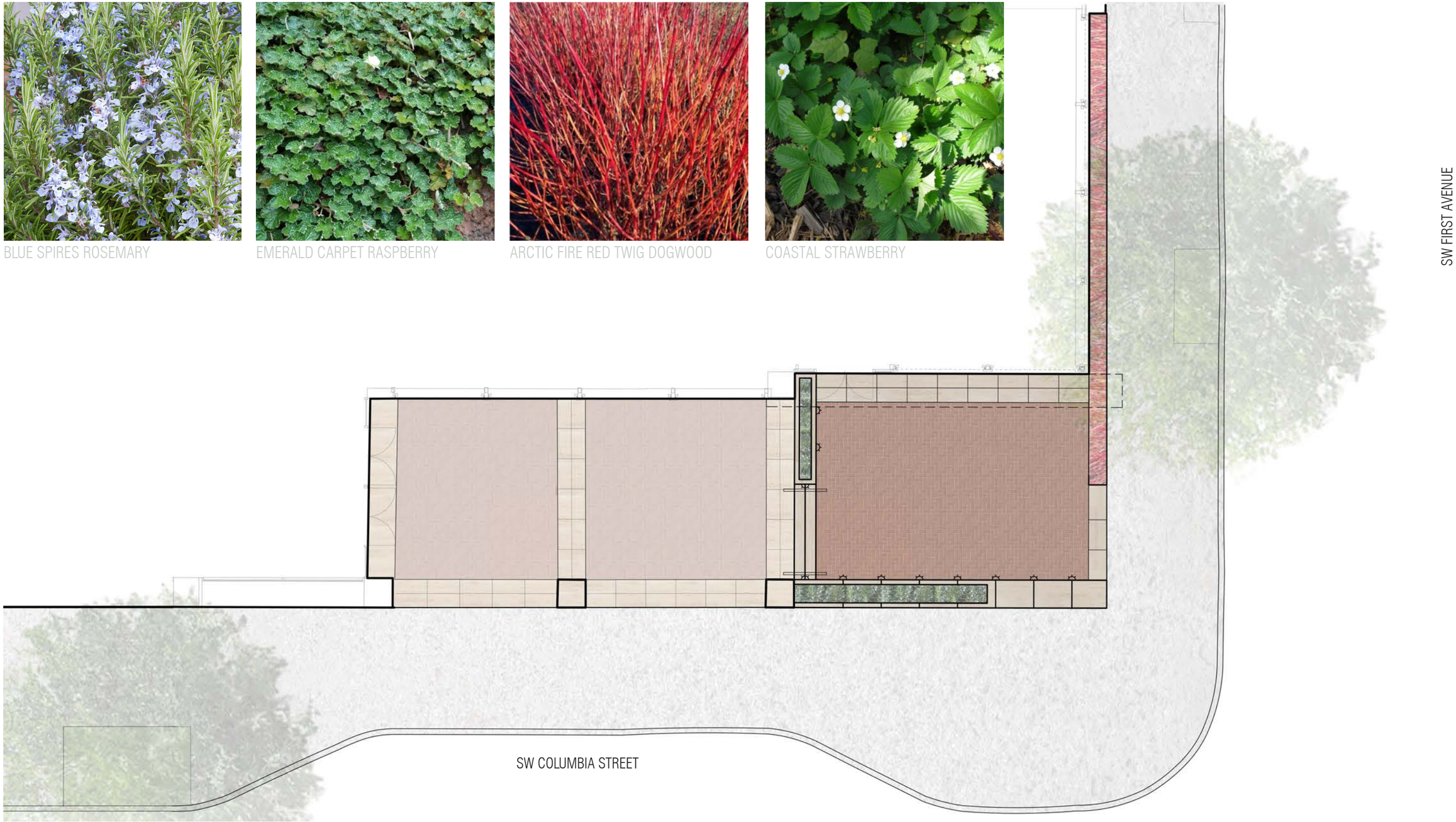
BLUE SPIRES ROSEMARY

EMERALD CARPET RASPBERRY

STORMWATER PLANTER

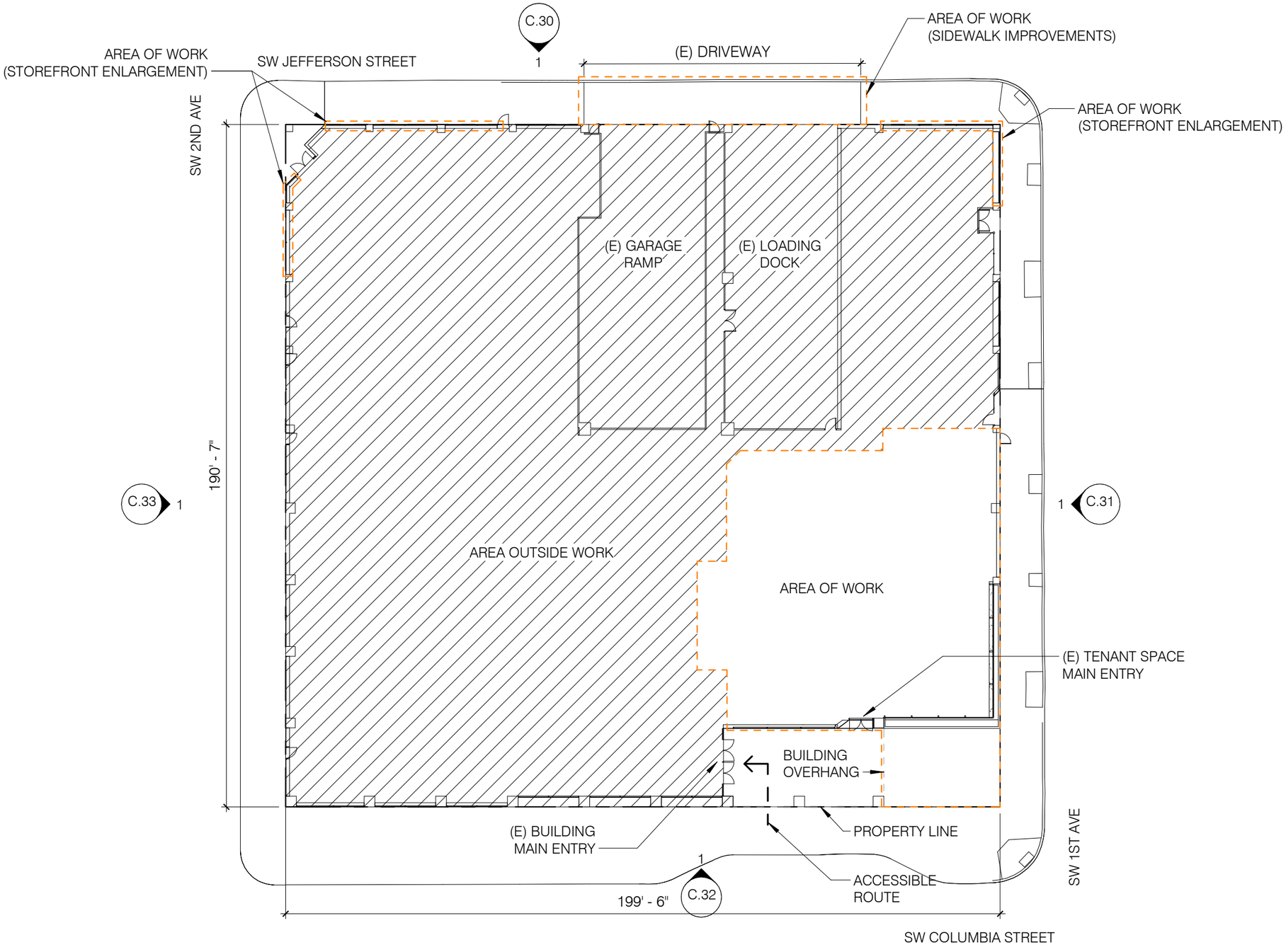
ARCTIC FIRE RED TWIG DOGWOOD

COASTAL STRAWBERRY



PLANTING PLAN

0 5 10



1 / C.07 EXISTING SITE PLAN
1" = 30'-0"

SITE DATA

LOT AREA = 40,000 SF (.92 ACRES)
NUMBER OF STORIES = 15 STORIES WITH BASEMENT
GROSS SQUARE FOOTAGE = 406,029 SF

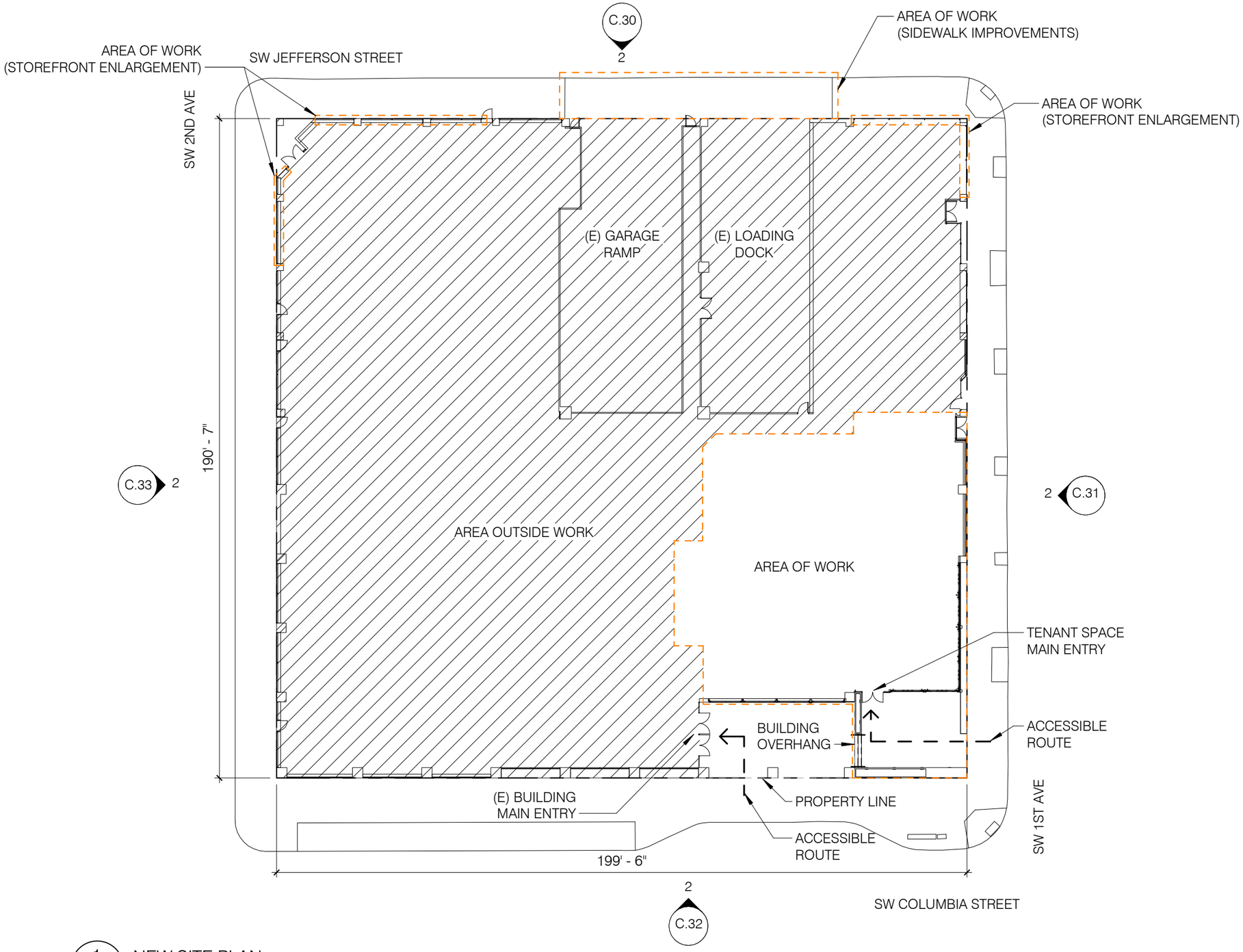
SITE PLAN LEGEND

ELEMENTS OVERHEAD

AREA OUTSIDE WORK

AREA OF WORK

PROPERTY LINE



1 / C.1 NEW SITE PLAN
1" = 30'-0"

SITE DATA

LOT AREA = 40,000 SF (.92 ACRES)
NUMBER OF STORIES = 15 STORIES WITH BASEMENT - **NO CHANGE**
GROSS SQUARE FOOTAGE = 406,029 SF - **NO CHANGE**
FLOOR AREA RATIO = **NO CHANGE**

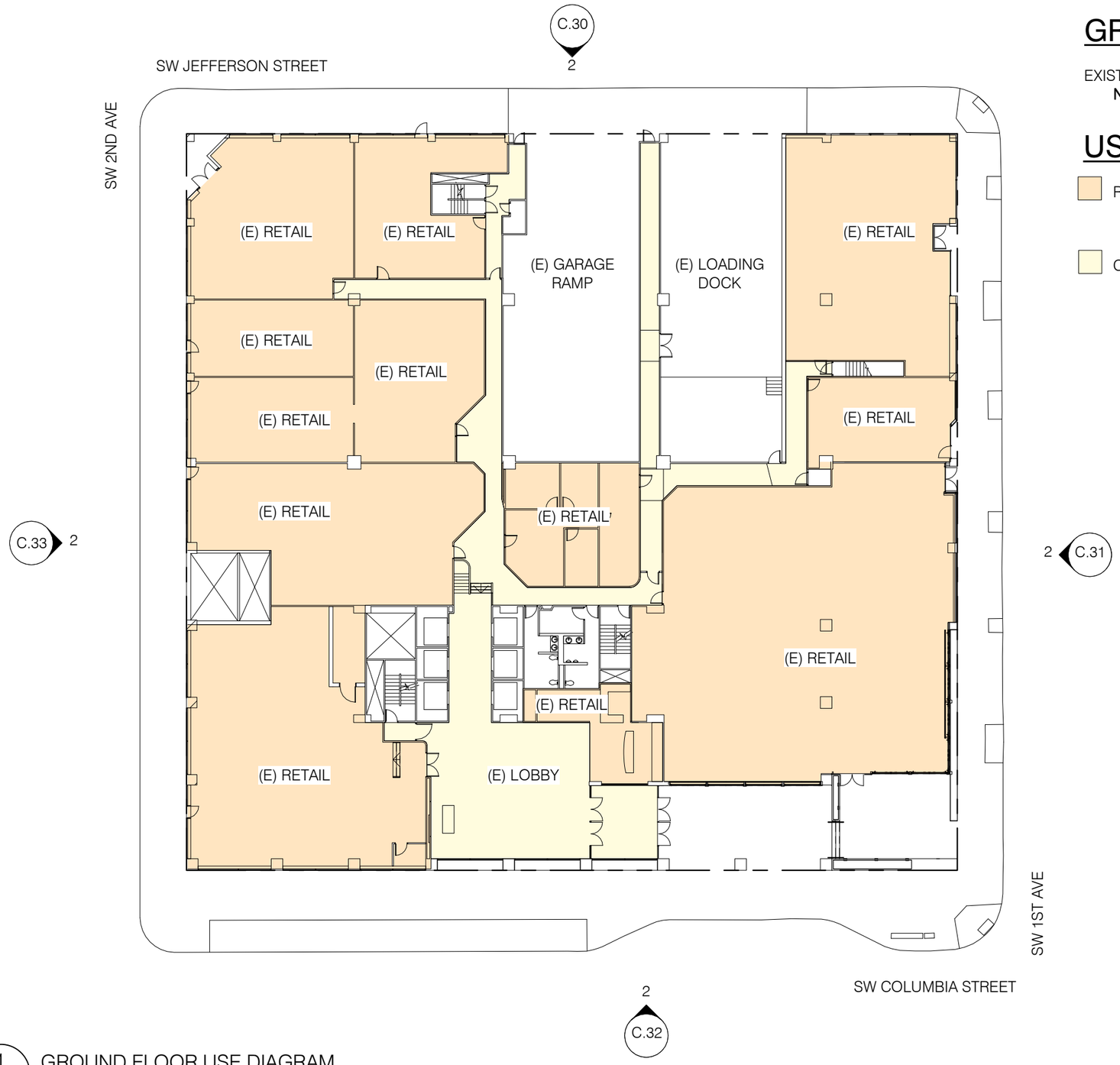
SITE PLAN LEGEND

ELEMENTS OVERHEAD

AREA OUTSIDE WORK

AREA OF WORK

PROPERTY LINE



1 / C.12 GROUND FLOOR USE DIAGRAM
1" = 30'-0"

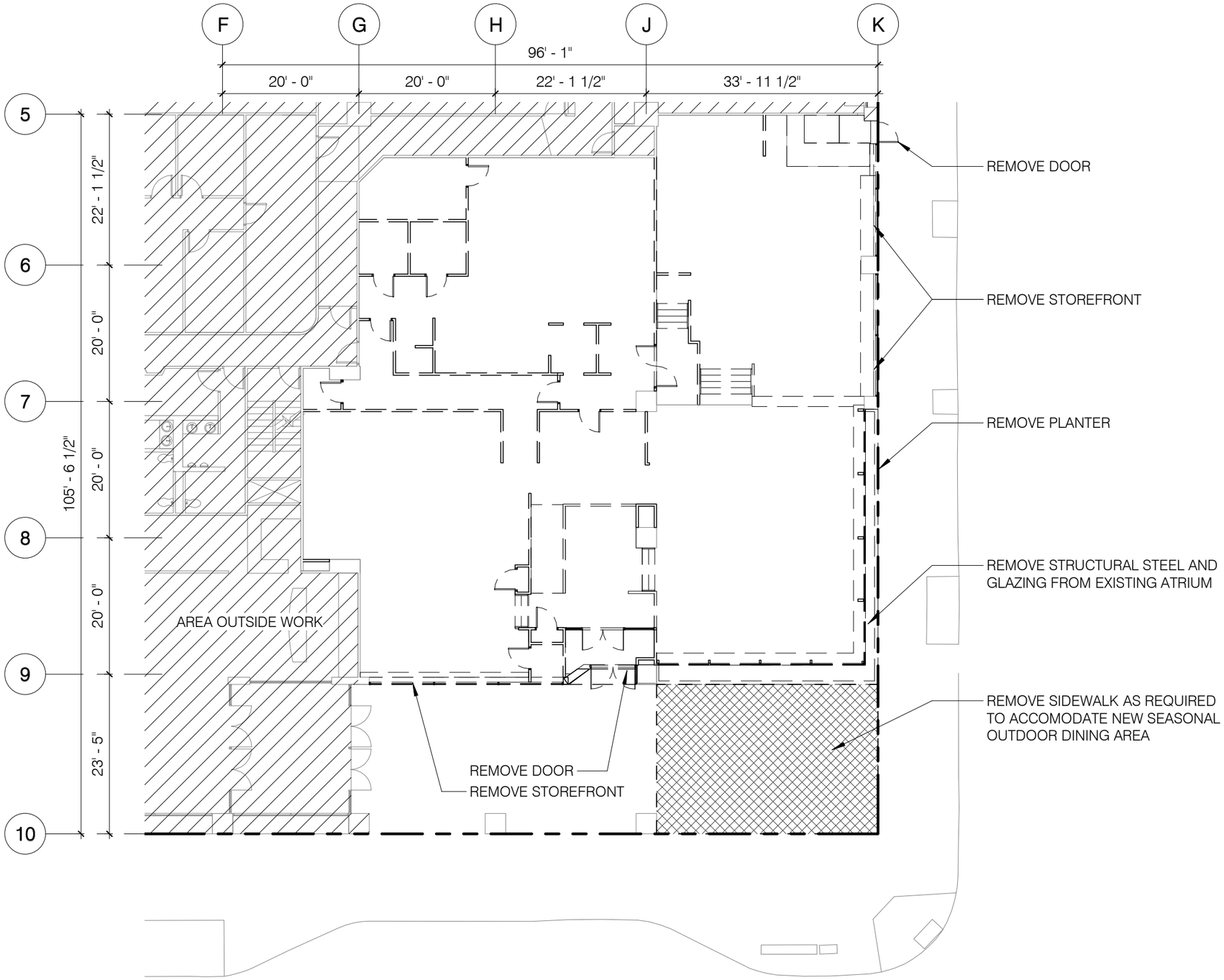
GROUND FLOOR DATA

EXISTING GROUND FLOOR GROSS AREA = 30,478 SF
NO CHANGE

USE LEGEND

RETAIL
EXISTING GROUND FLOOR AREA = 23,223 SF
NO CHANGE

CIRCULATION
NO CHANGE



DEMOLITION PLAN LEGEND

EXISTING WALL TO REMAIN

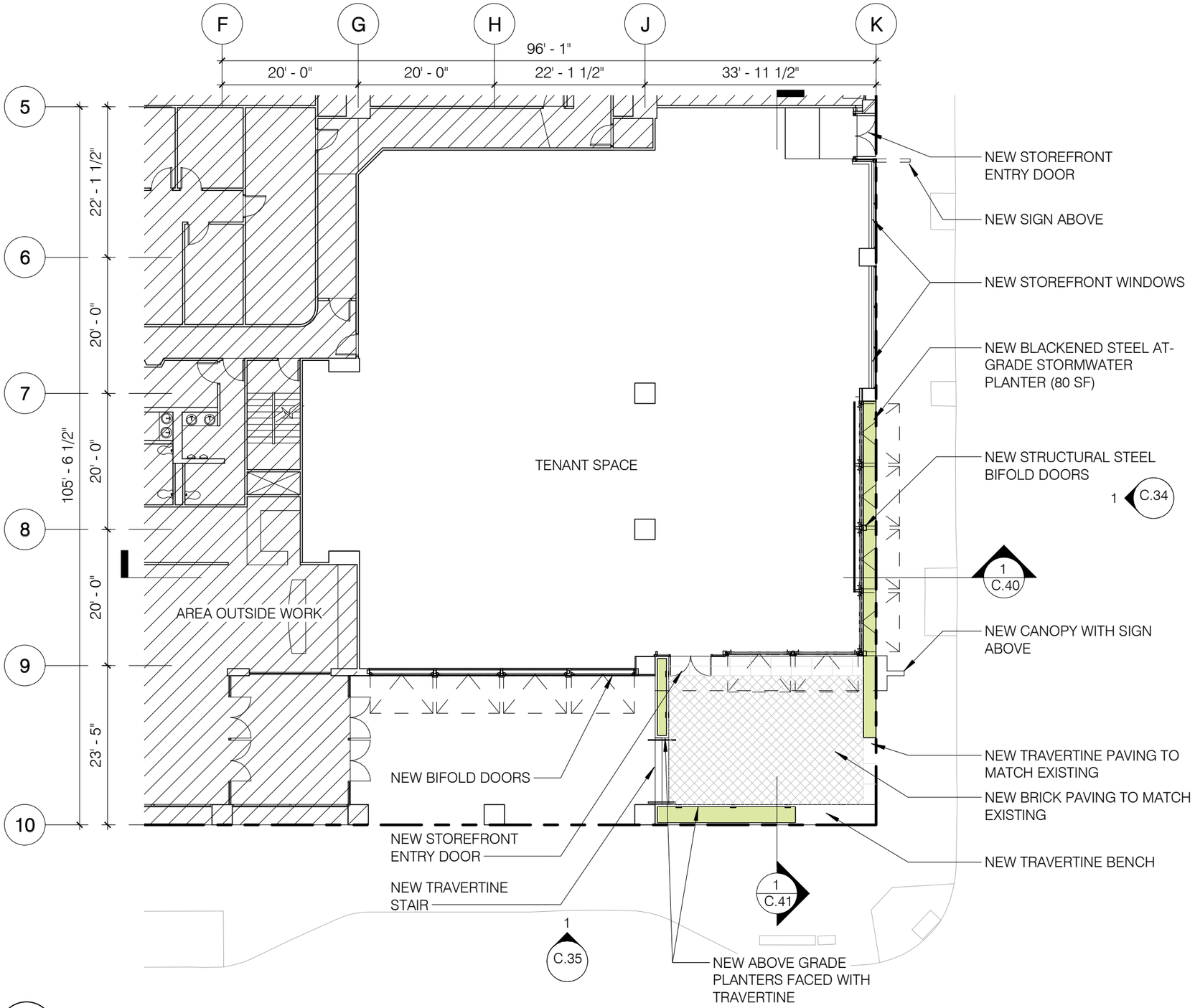
EXISTING WALL TO BE REMOVED

EXISTNG COMPONENT TO BE REMOVED

EXISTING PAVING TO BE REMOVED

AREA OUTSIDE OF WORK

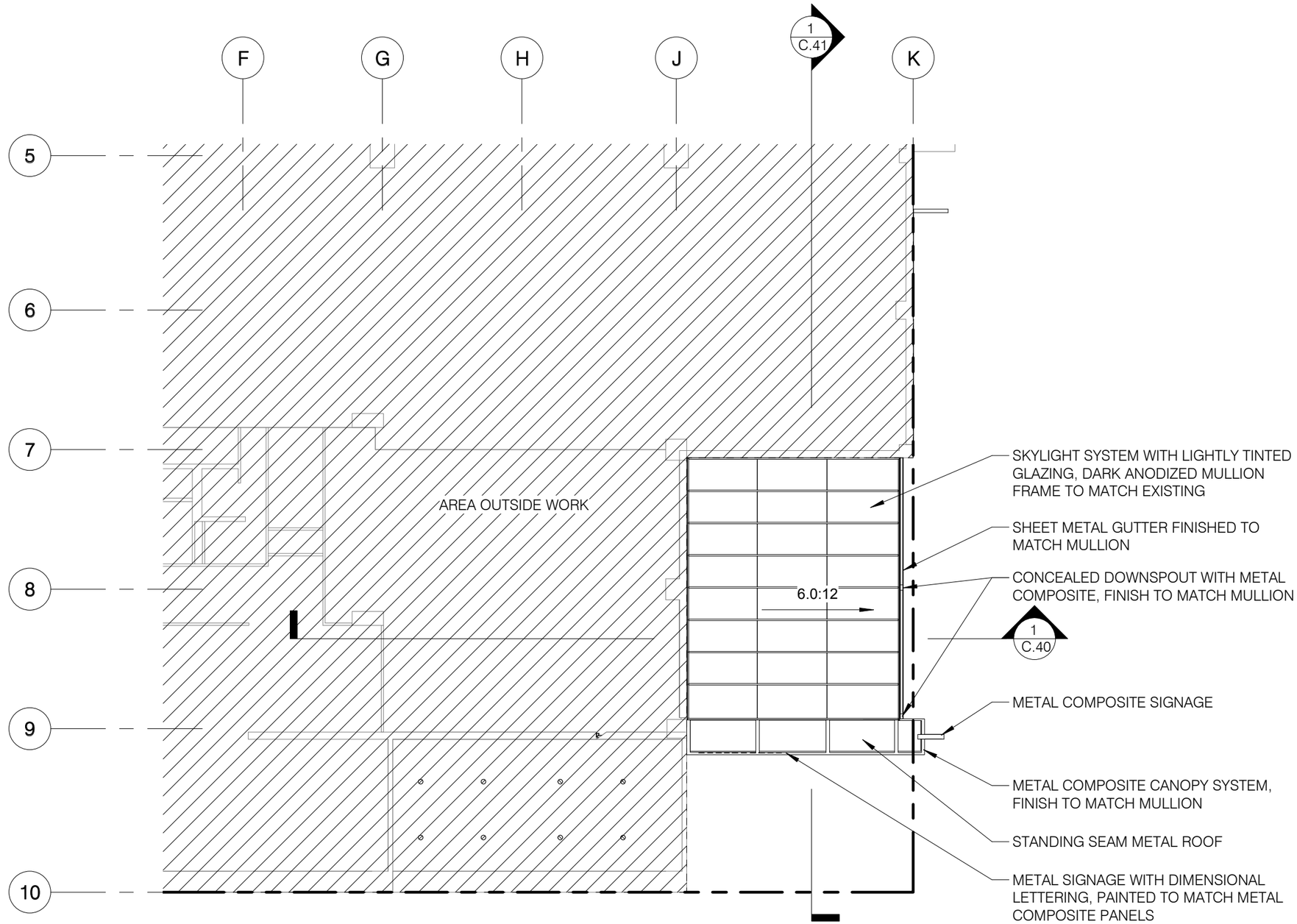
1 / C.21 FLOOR PLAN - DEMOLITION
1/16" = 1'-0"



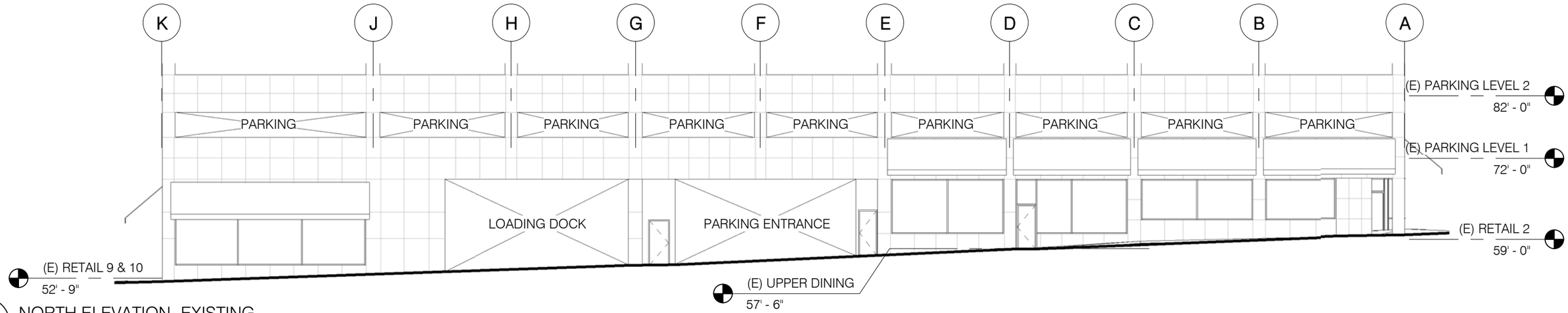
1 C.22 FLOOR PLAN - PROPOSED
1/16" = 1'-0"

FLOOR PLAN LEGEND

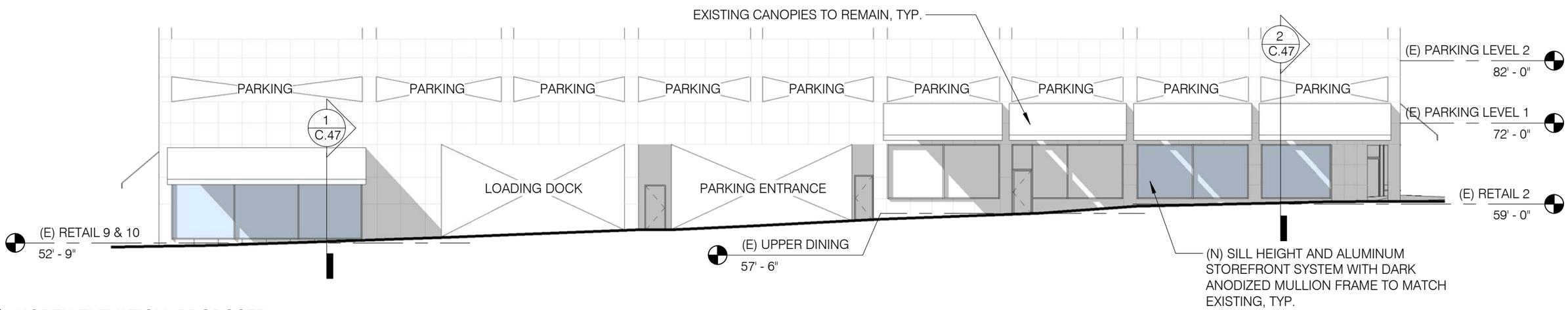
- ELEMENTS OVERHEAD
- AREA OUTSIDE WORK
- PLANTER
- BRICK PAVING TO MATCH EXISTING
- TRAVERTINE PAVING TO MATCH EXISTING



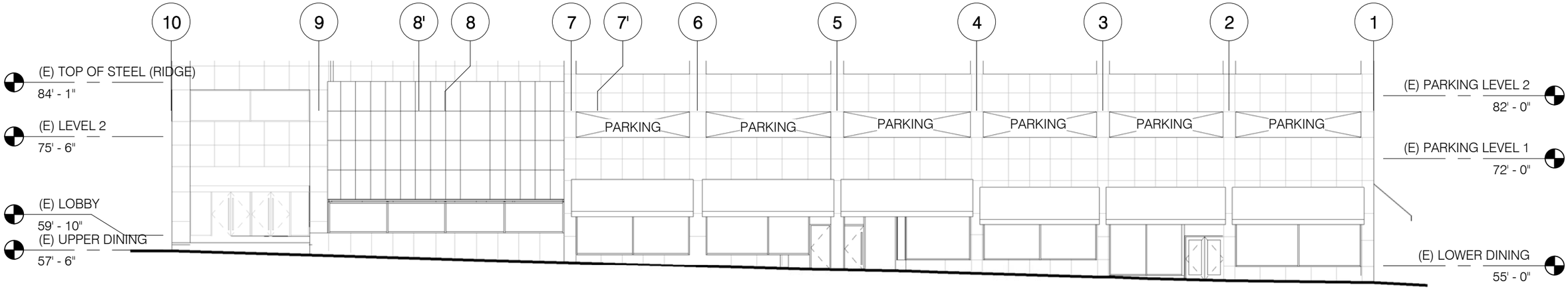
1 C.23 ROOF PLAN
1/16" = 1'-0"



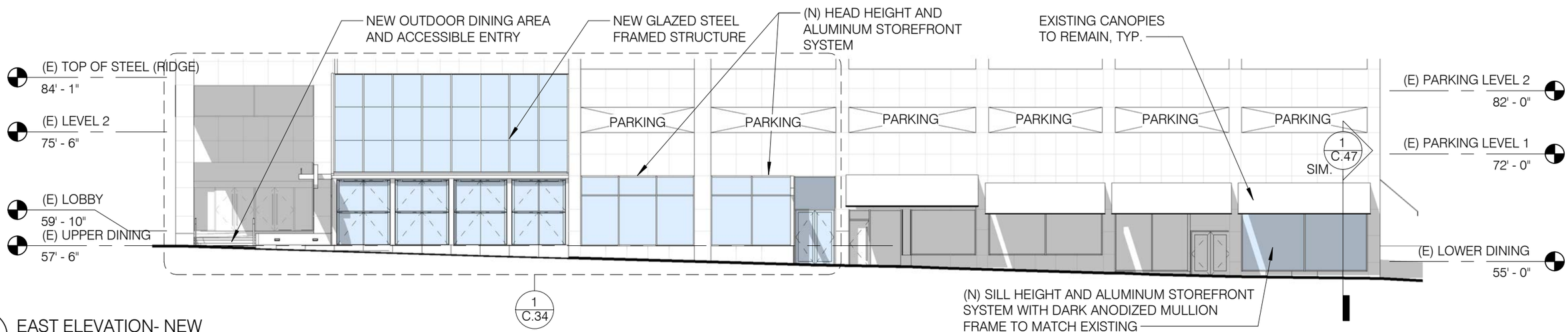
1 / C.30 NORTH ELEVATION- EXISTING
1/16" = 1'-0"



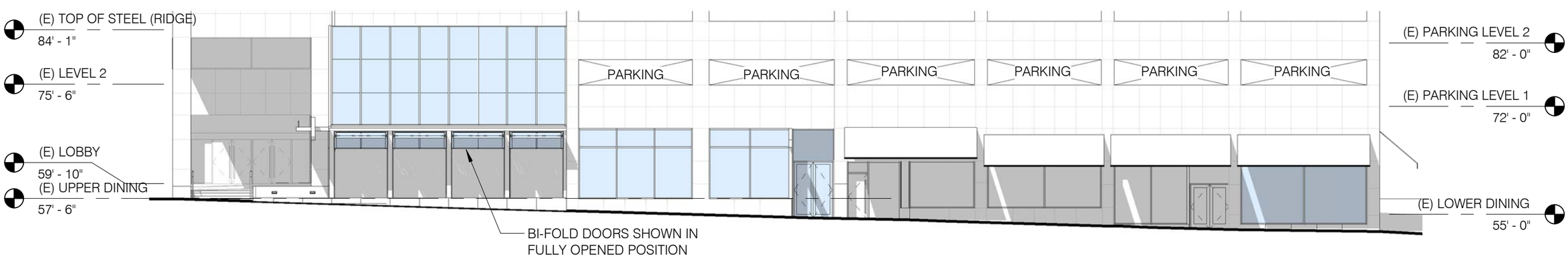
2 / C.30 NORTH ELEVATION- PROPOSED
1/16" = 1'-0"



1 C.31 EAST ELEVATION- EXISTING
1/16" = 1'-0"

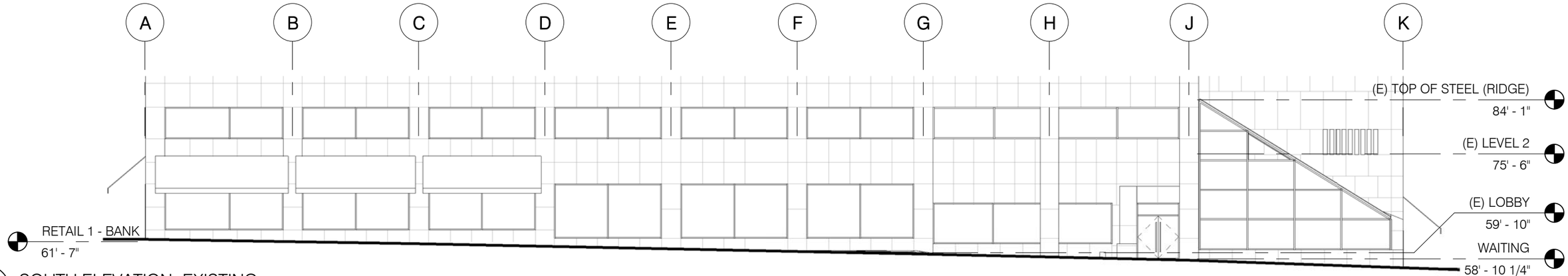


2 C.31 EAST ELEVATION- NEW
1/16" = 1'-0"

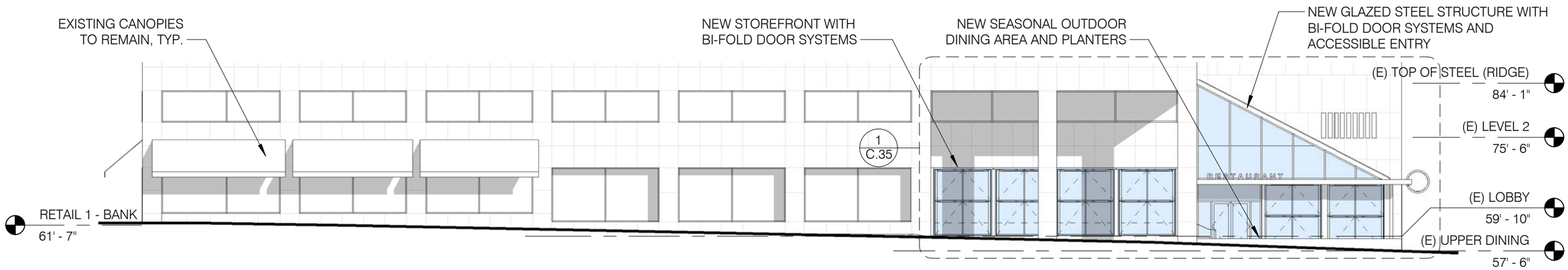


3 C.31 EAST ELEVATION- NEW (OPEN POSITION)
1/16" = 1'-0"

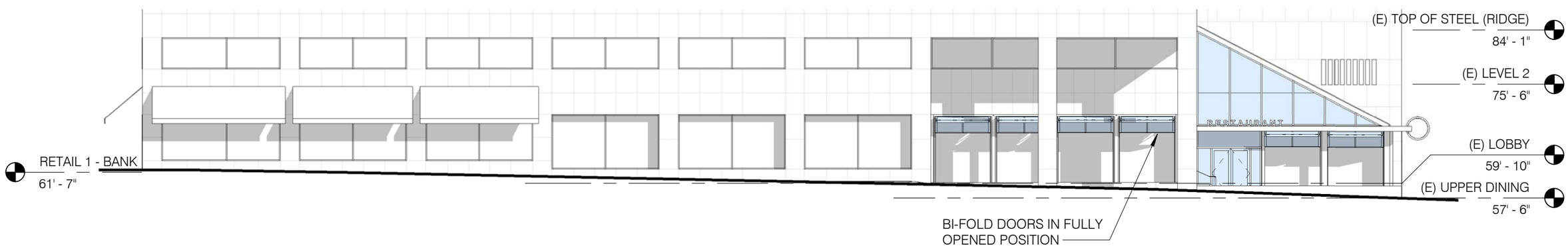
0' 2' 4' 8' 16'



1 C.32 SOUTH ELEVATION- EXISTING
1/16" = 1'-0"

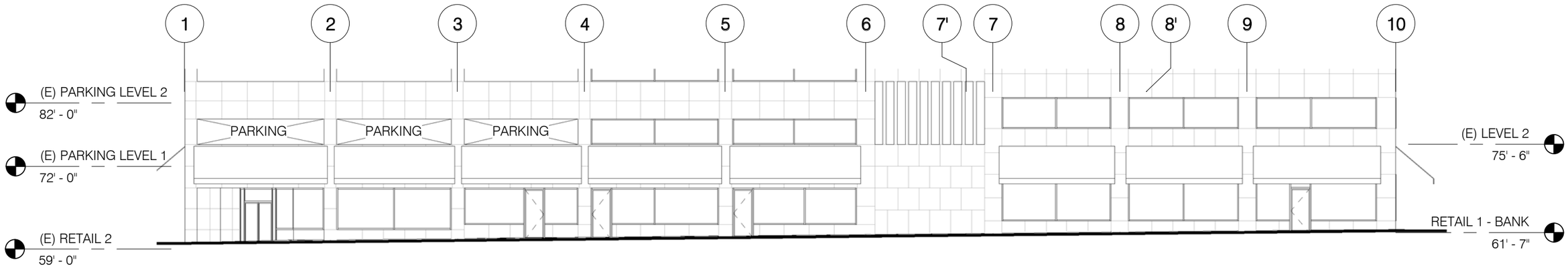


2 C.32 SOUTH ELEVATION- NEW
1/16" = 1'-0"

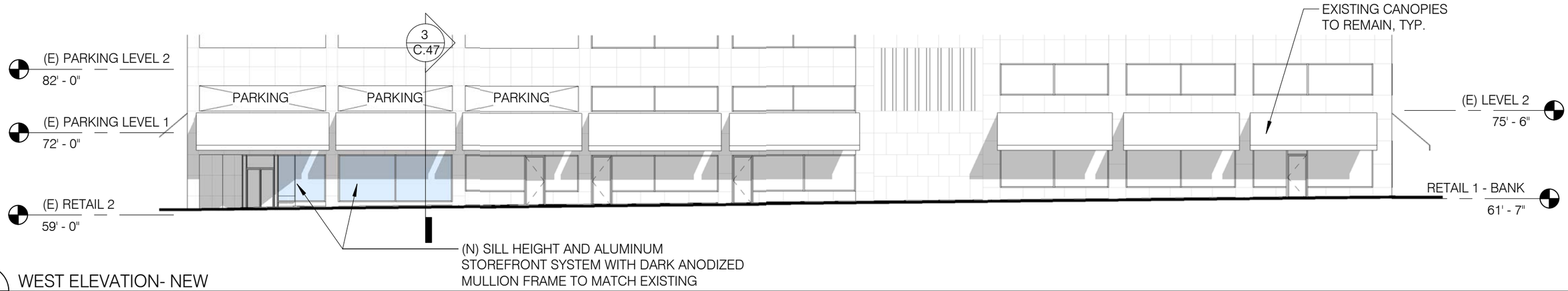


3 C.32 SOUTH ELEVATION- NEW (OPEN POSITION)
1/16" = 1'-0"

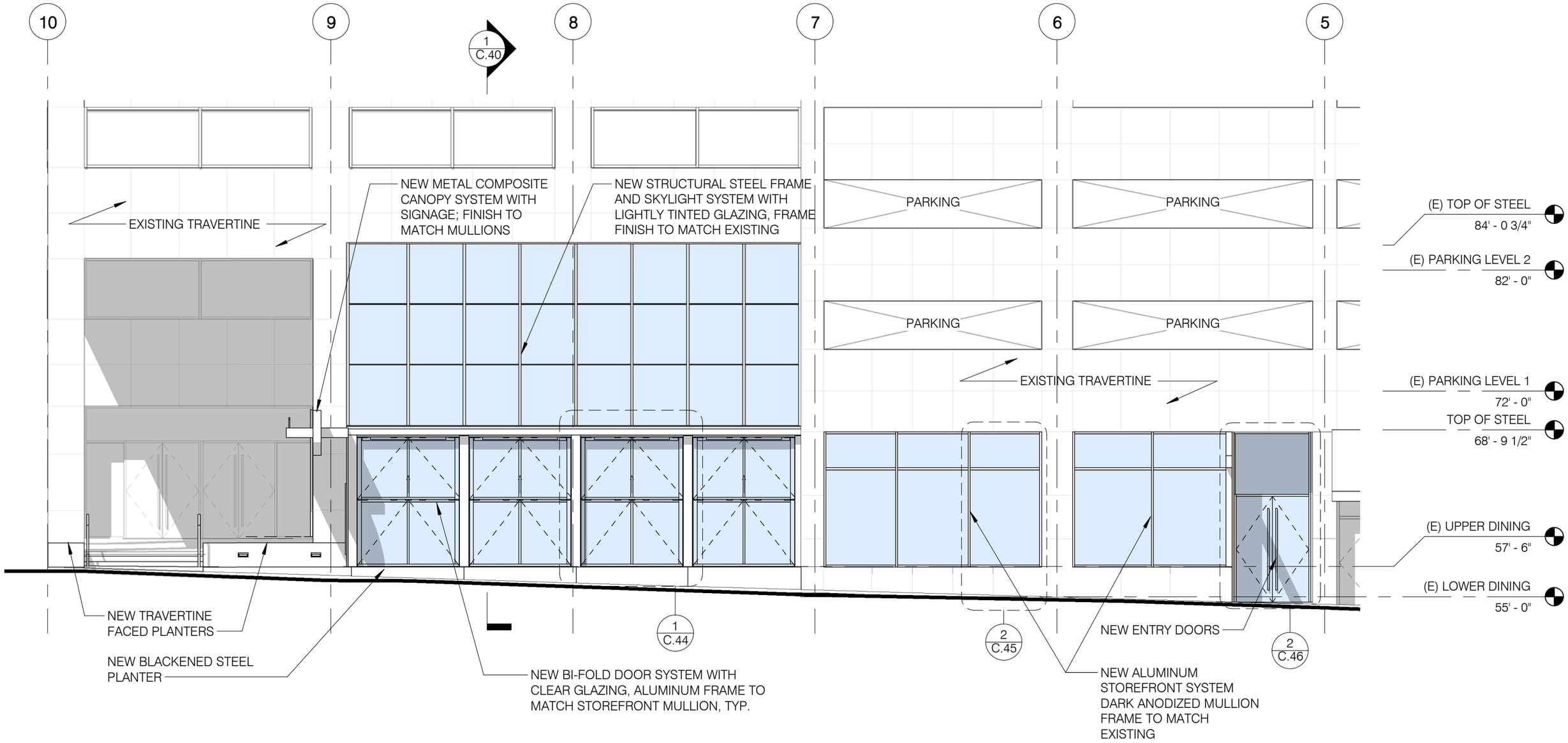
0' 2' 4' 8' 16'



1 / C.33 WEST ELEVATION- EXISTING
1/16" = 1'-0"

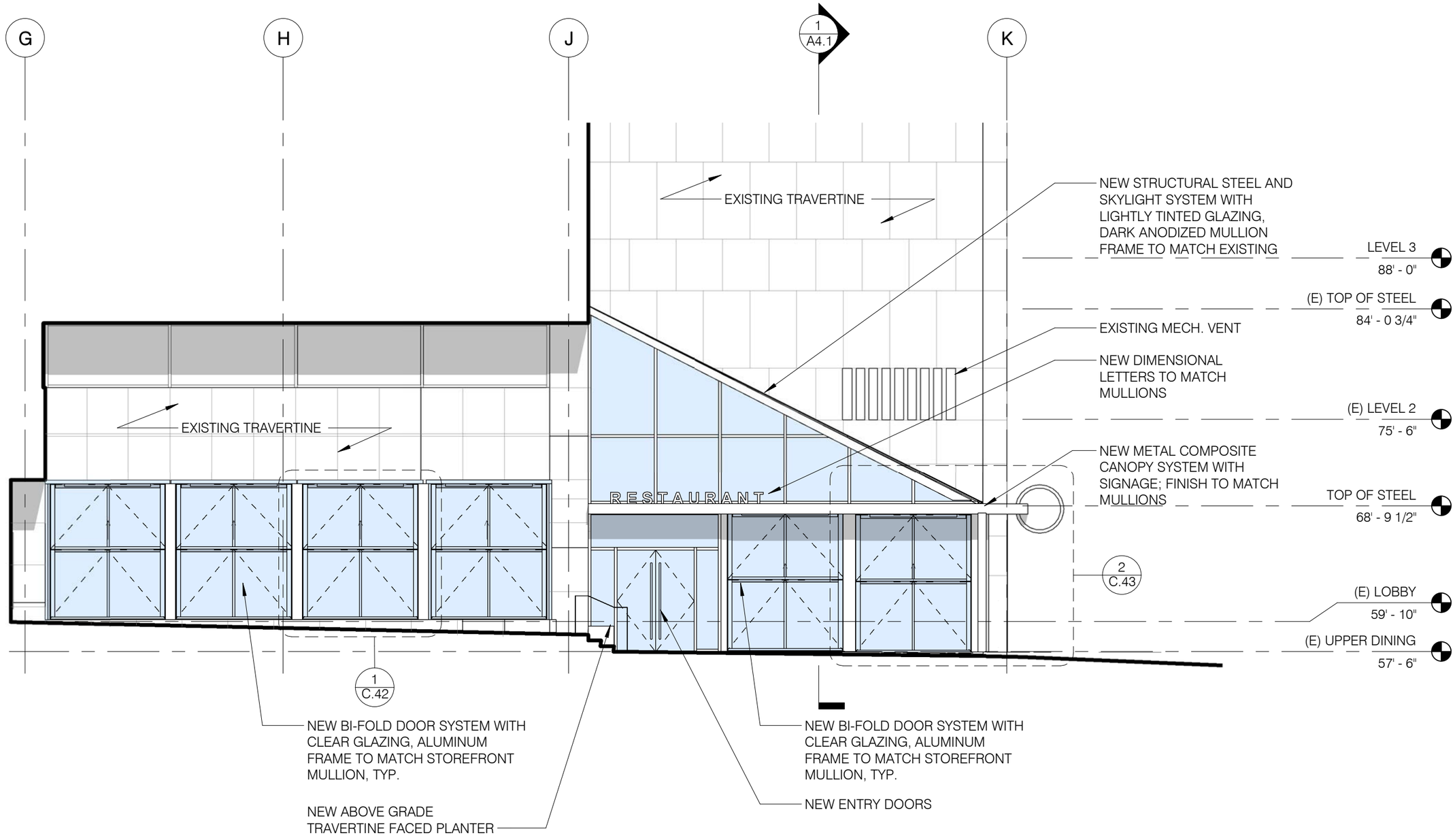


2 / C.33 WEST ELEVATION- NEW
1/16" = 1'-0"

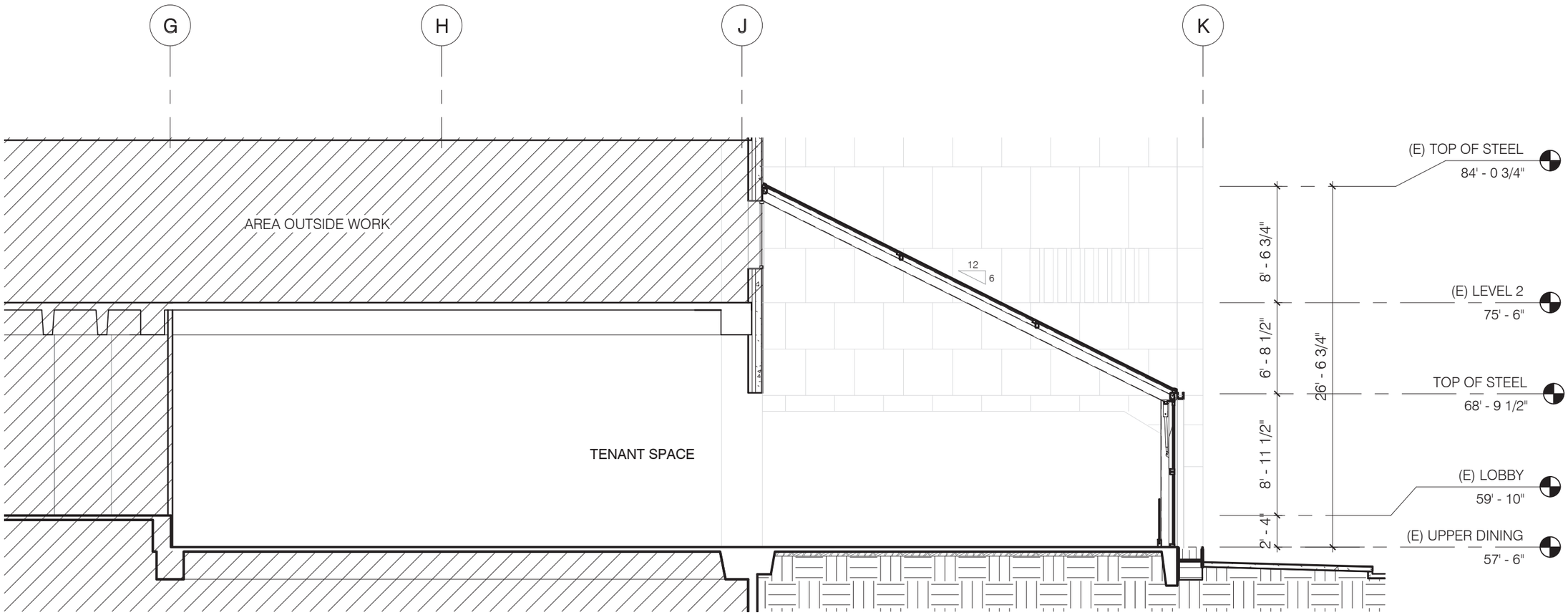


1 C.34 ENLARGED ELEVATION- EAST
1/8" = 1'-0"

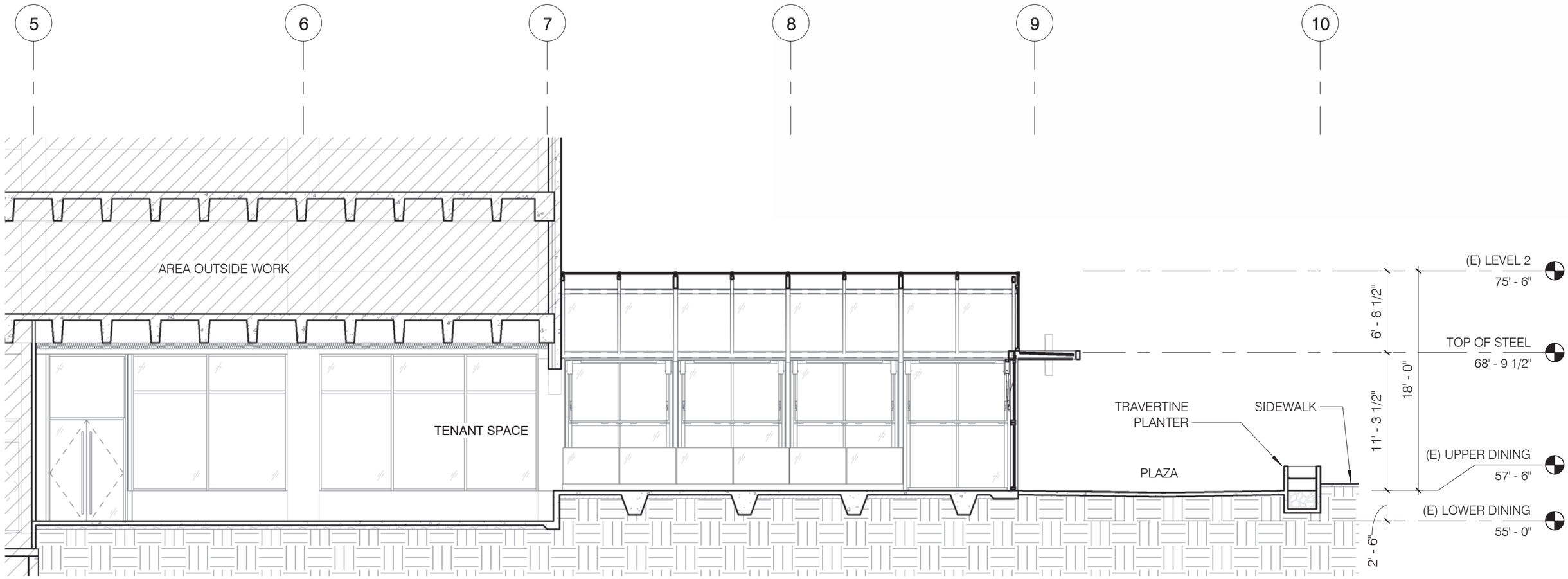
0' 2' 4' 8' 16'



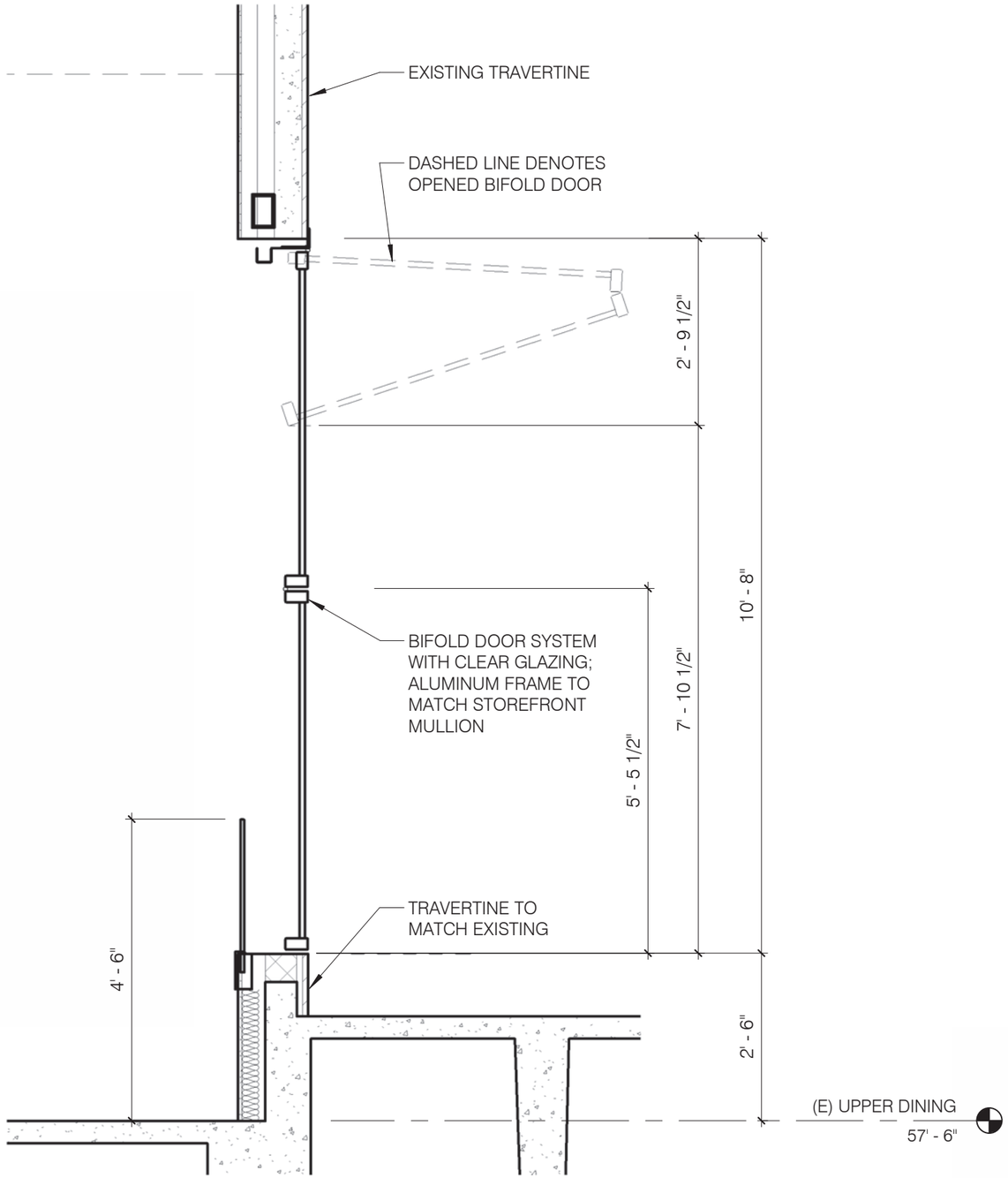
1 C.35 ENLARGED ELEVATION- SOUTH
1/8" = 1'-0"



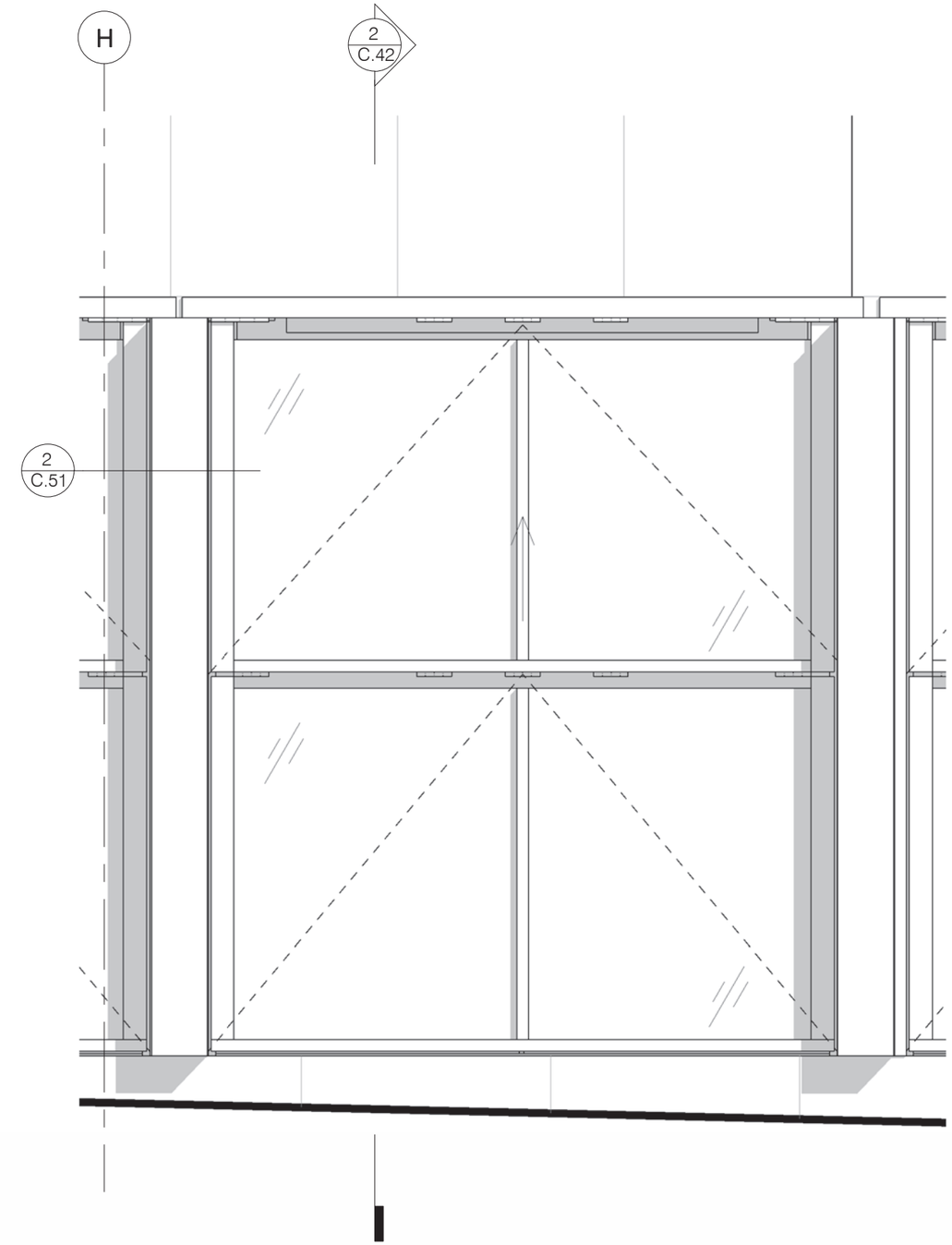
1 / C.40 BUILDING SECTION - EAST/WEST
1/8" = 1'-0"



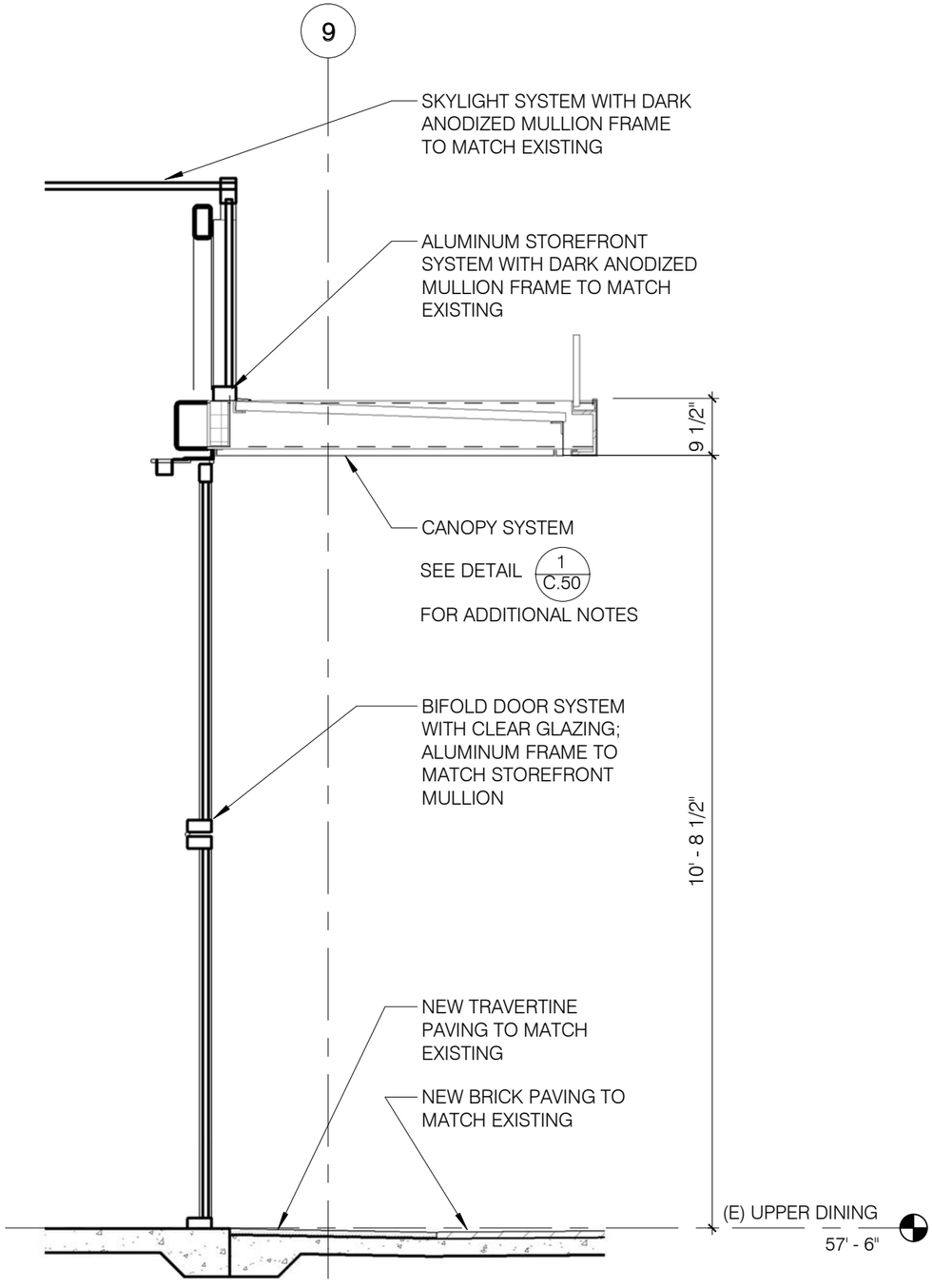
1 / C.41 BUILDING SECTION - NORTH/SOUTH
1/8" = 1'-0"



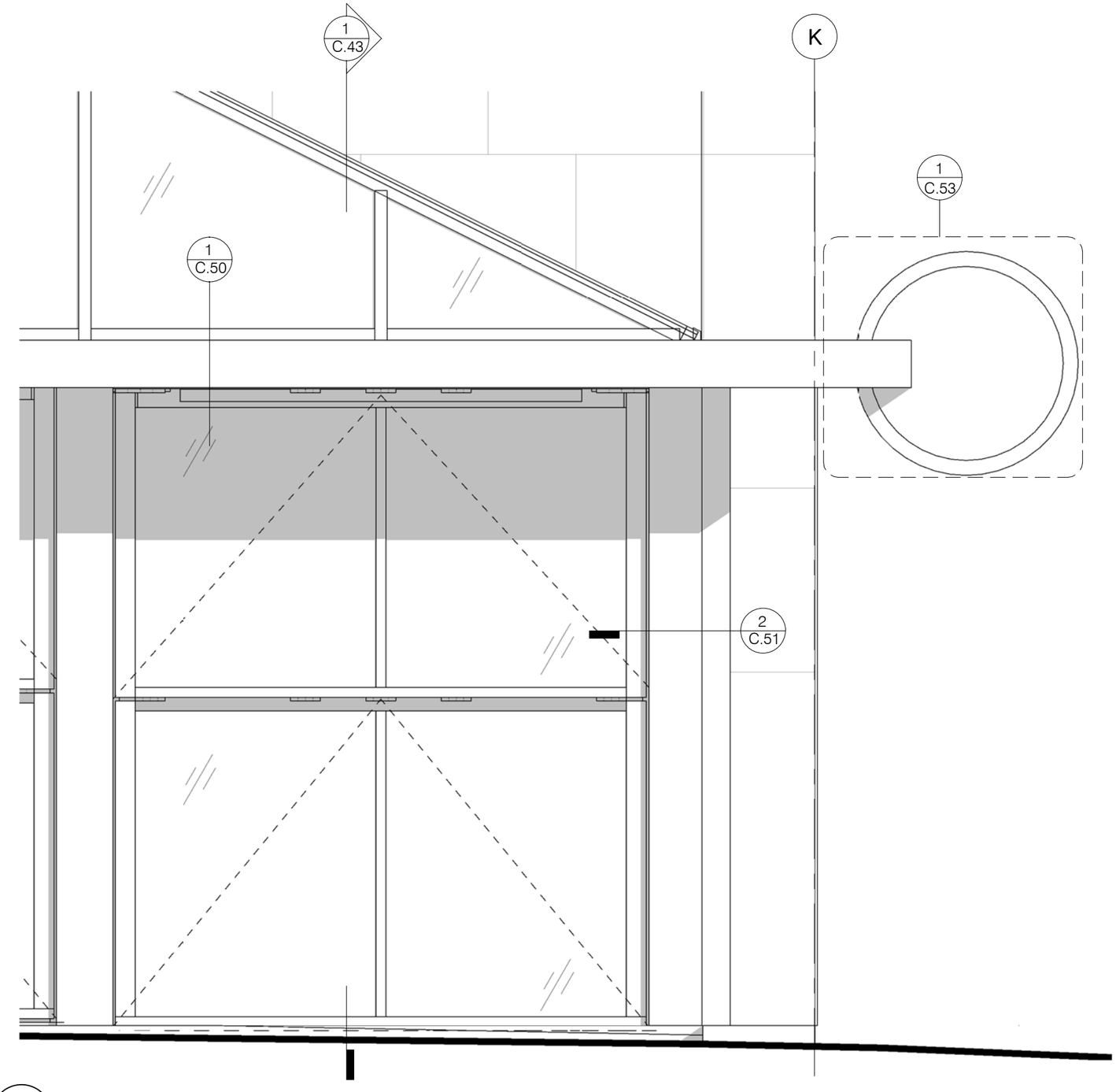
2 / C.42 BI-FOLD DOOR @ SOUTH STOREFRONT- SECTION
1/2" = 1'-0"



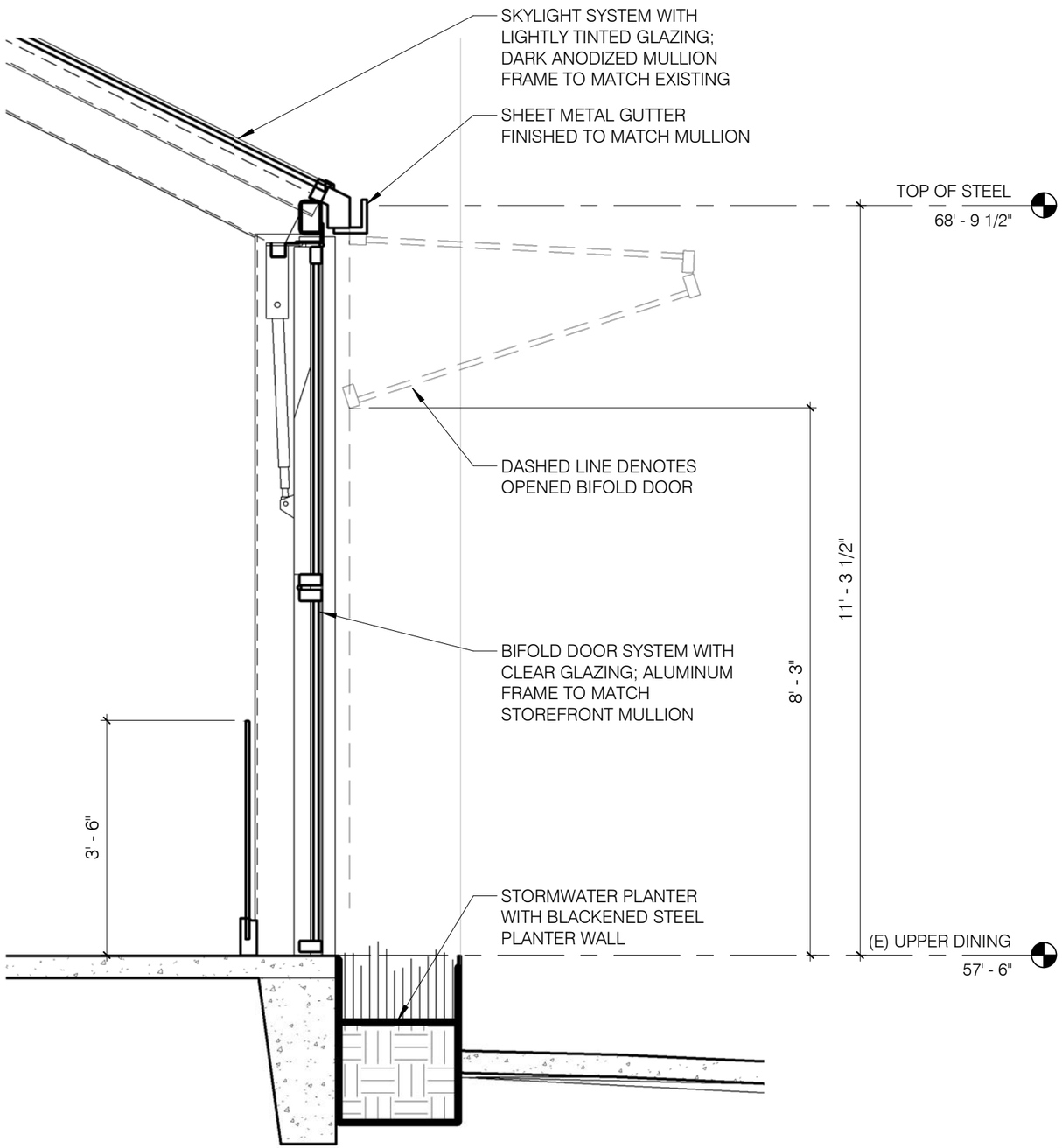
1 / C.42 BI-FOLD DOOR @ SOUTH STOREFRONT- ELEVATION
1/2" = 1'-0"



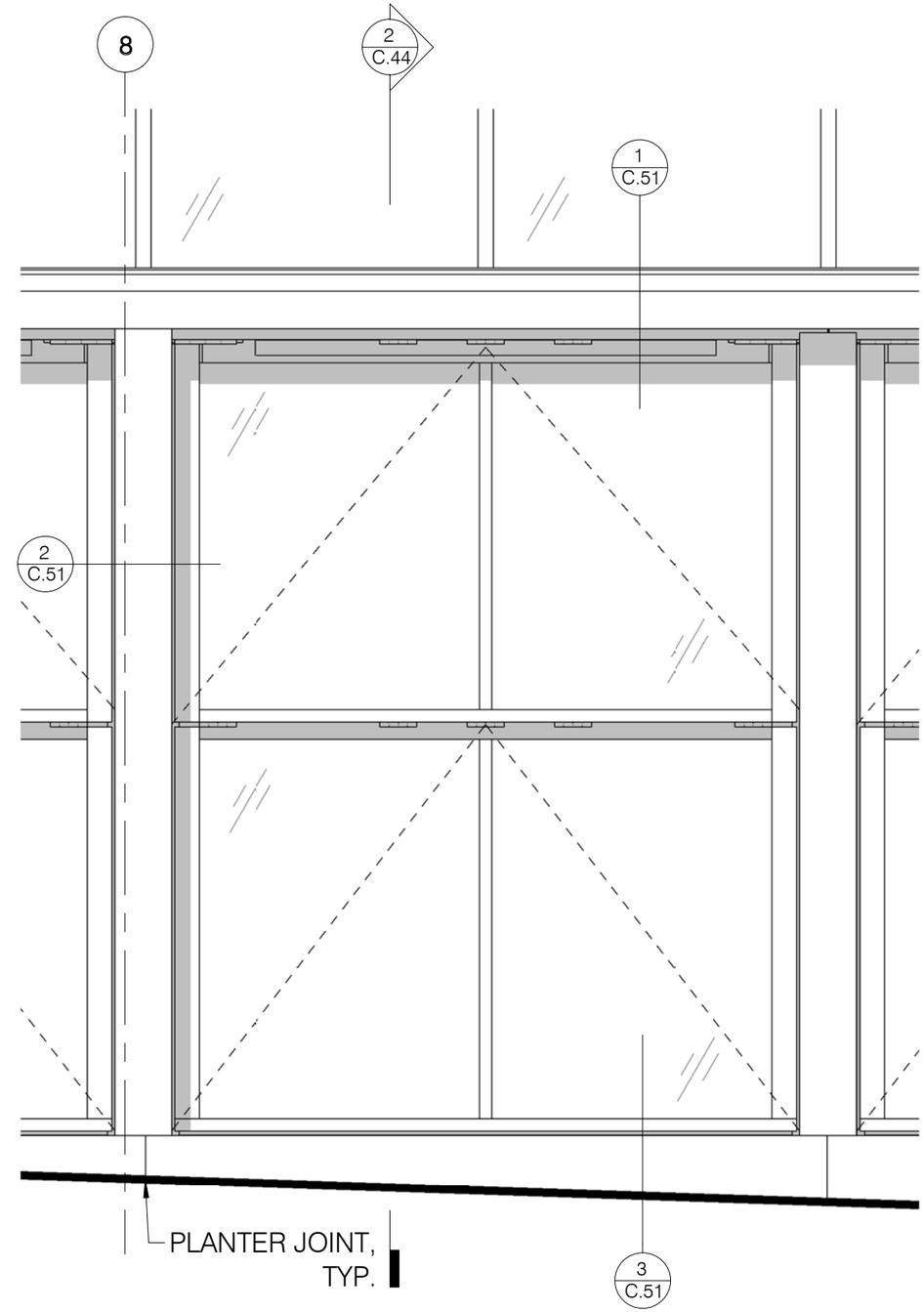
1/C.43 WALL SECTION - CANOPY
1/2" = 1'-0"



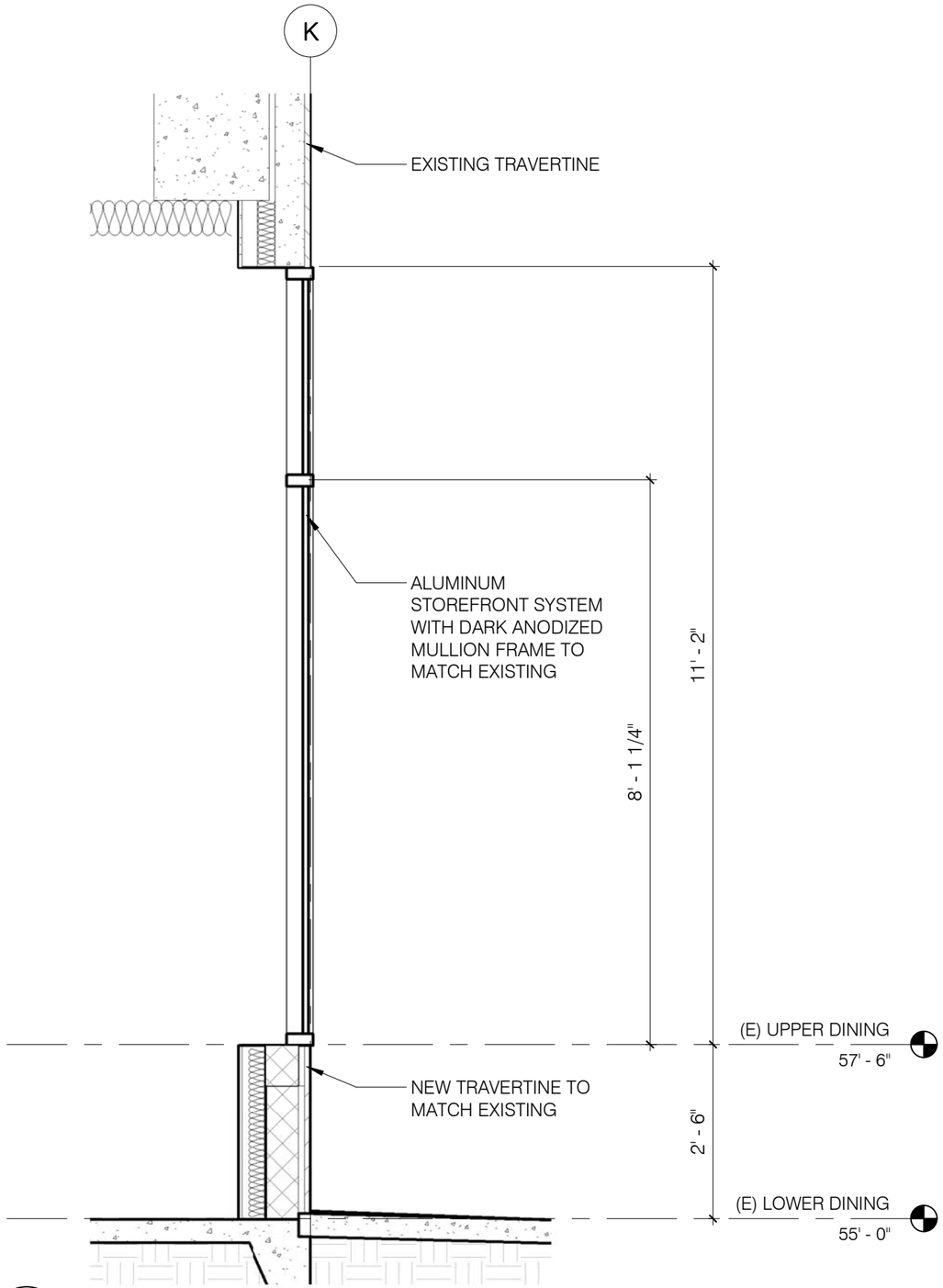
2/C.43 BI-FOLD DOOR @ SOUTH OF SOLARIUM- ELEVATION
1/2" = 1'-0"



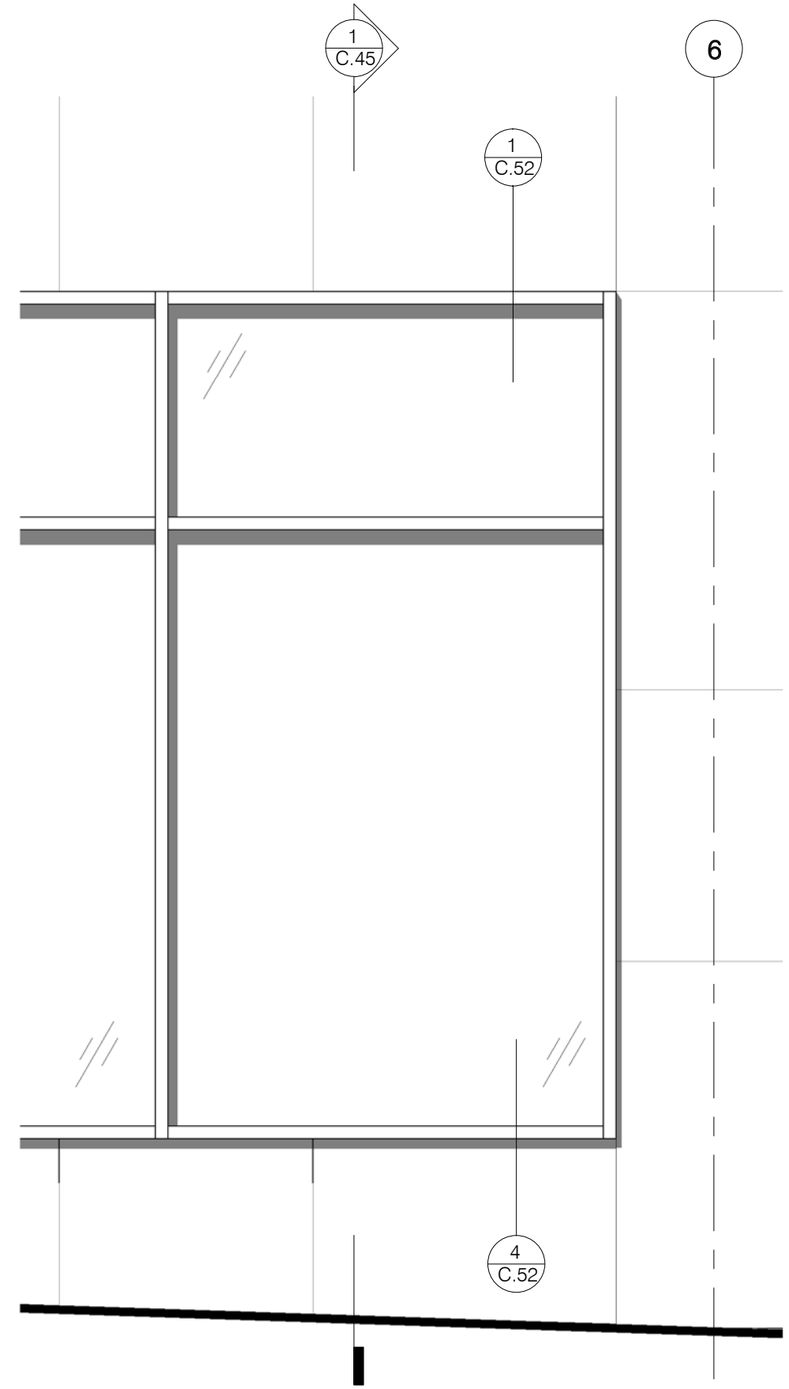
2 / C.44 WALL SECTION - EAST ELEVATION BI-FOLD DOOR
1/2" = 1'-0"



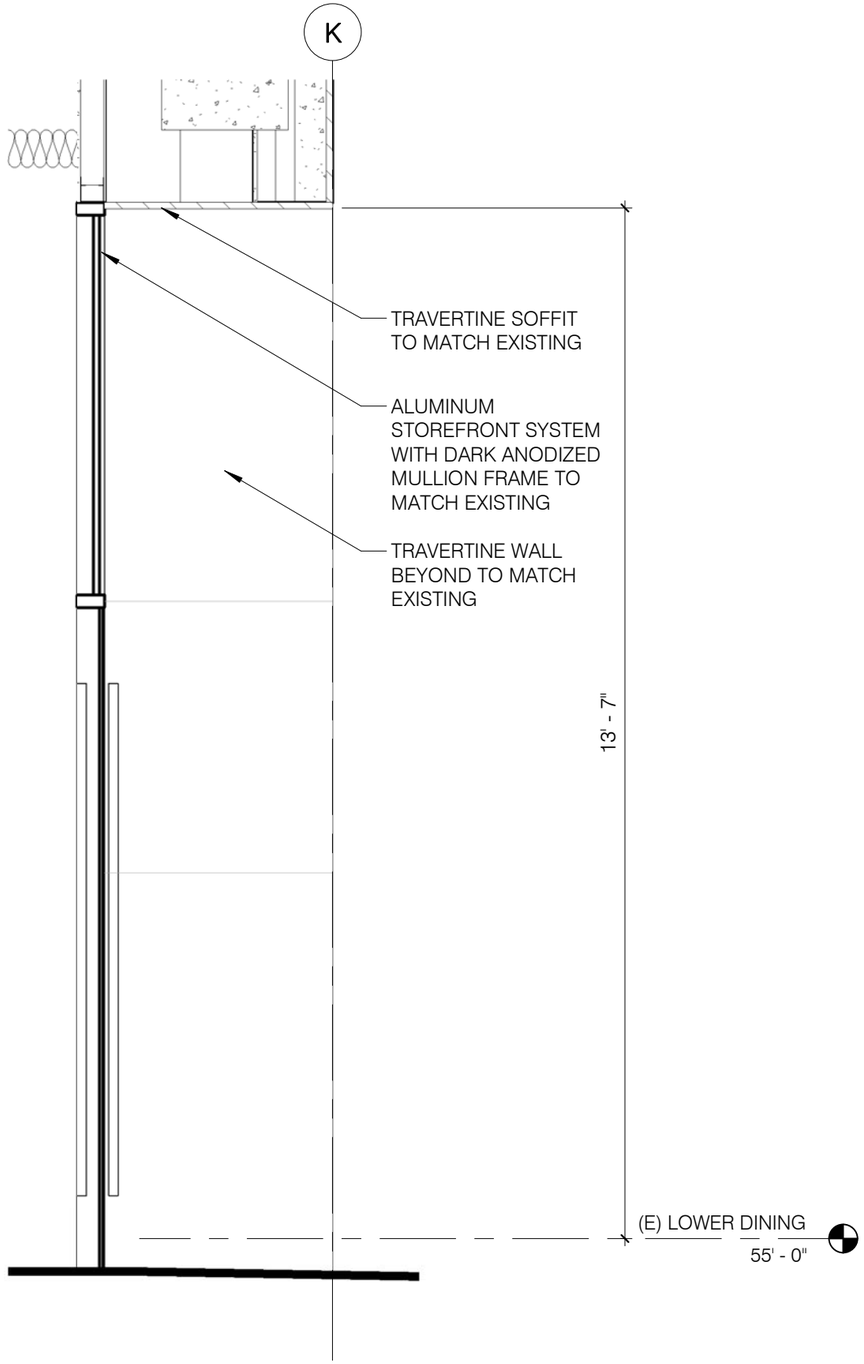
1 / C.44 ENLARGED ELEVATION- EAST
1/2" = 1'-0"



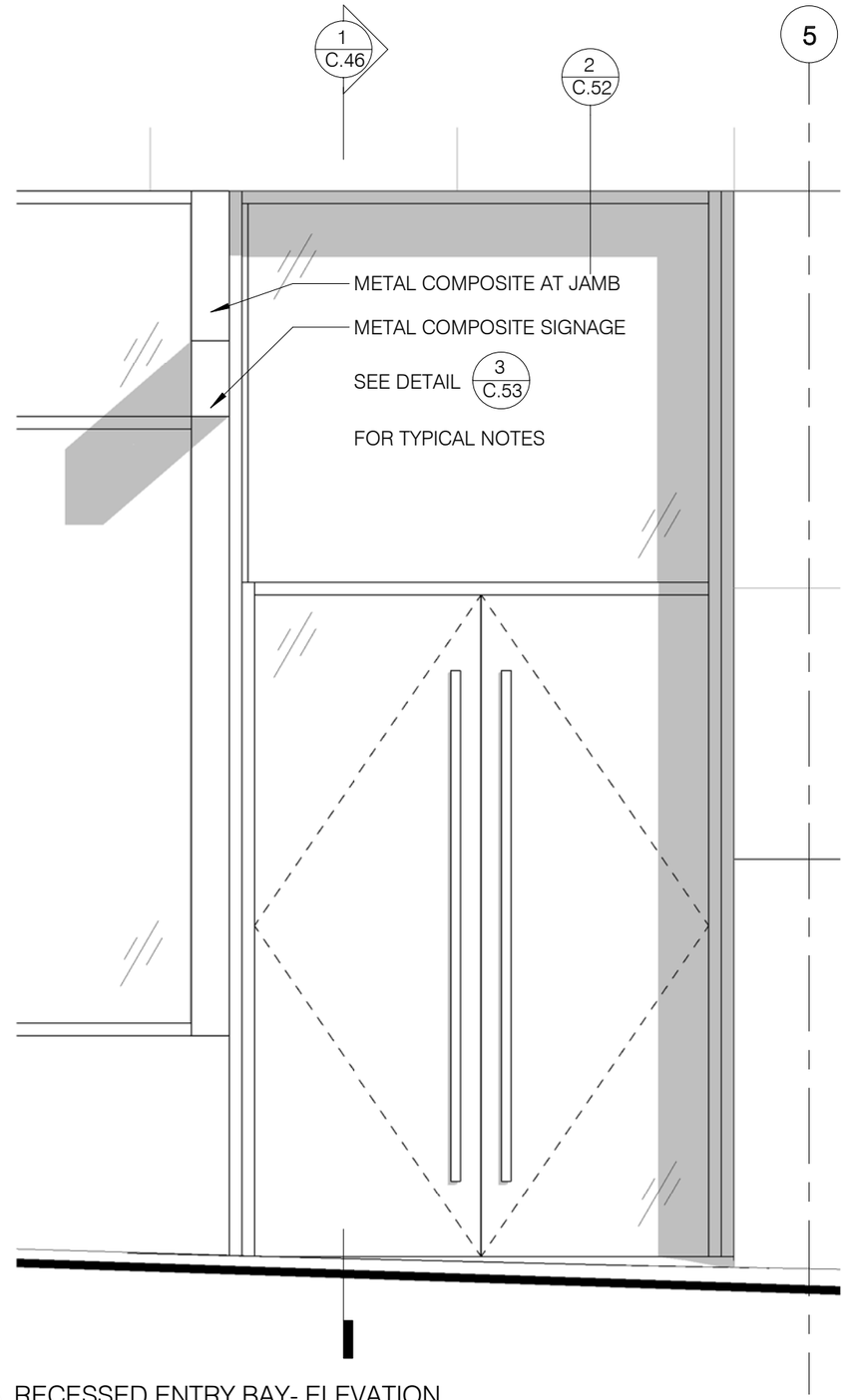
1 / C.45 WALL SECTION - TYP. STOREFRONT BAY AT EXISTING WALL
1/2" = 1'-0"



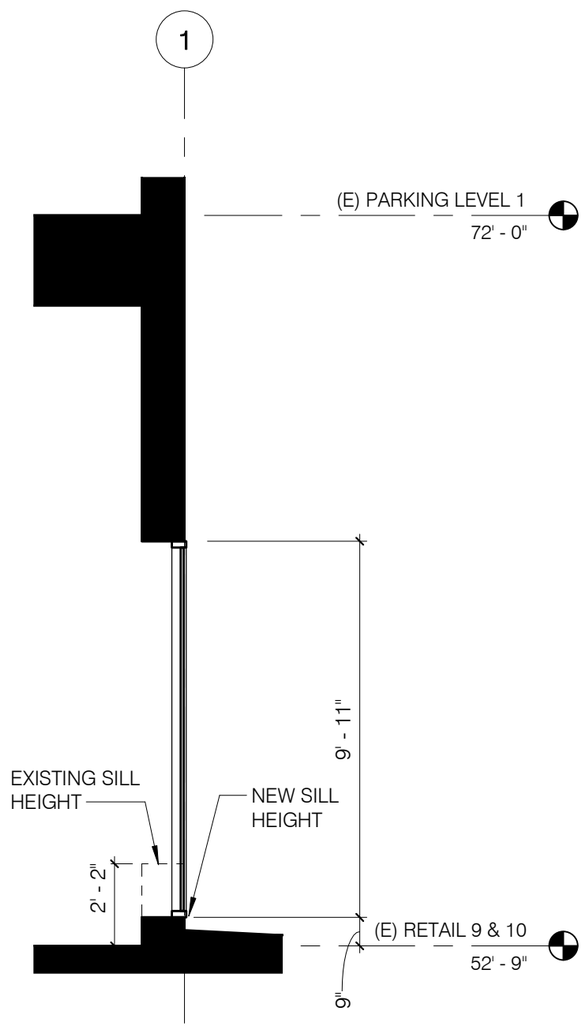
2 / C.45 EAST ELEVATION - PROPOSED - OPTION 2
1/2" = 1'-0"



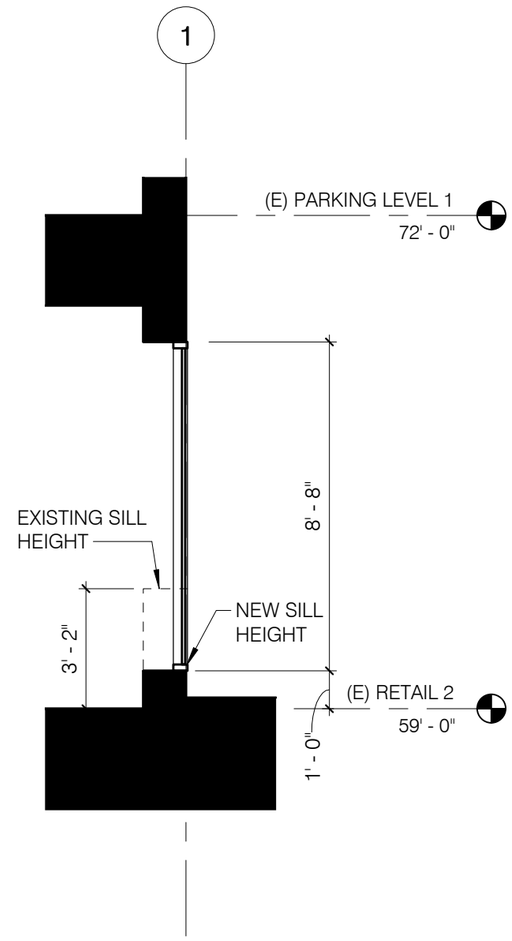
1 / C.46 WALL SECTION - RECESSED ENTRY
1/2" = 1'-0"



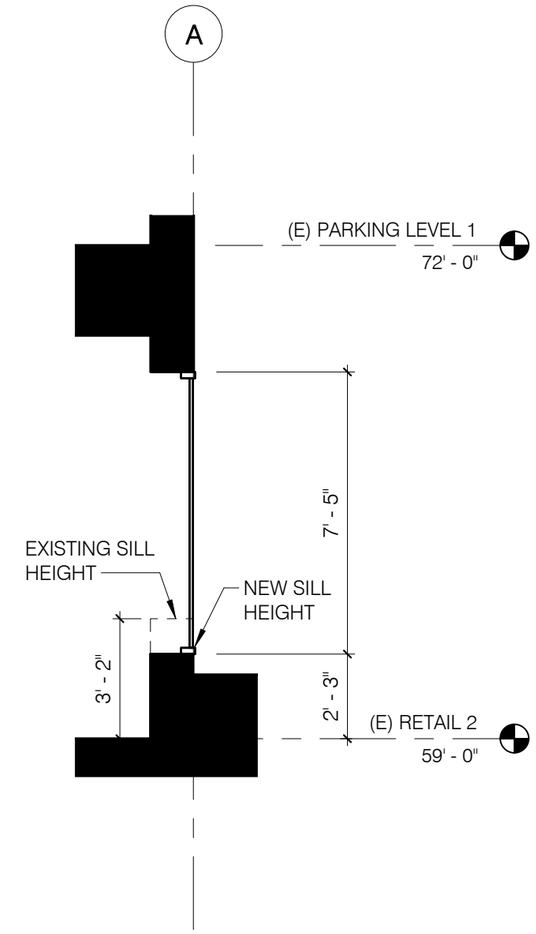
2 / C.46 RECESSED ENTRY BAY- ELEVATION
1/2" = 1'-0"



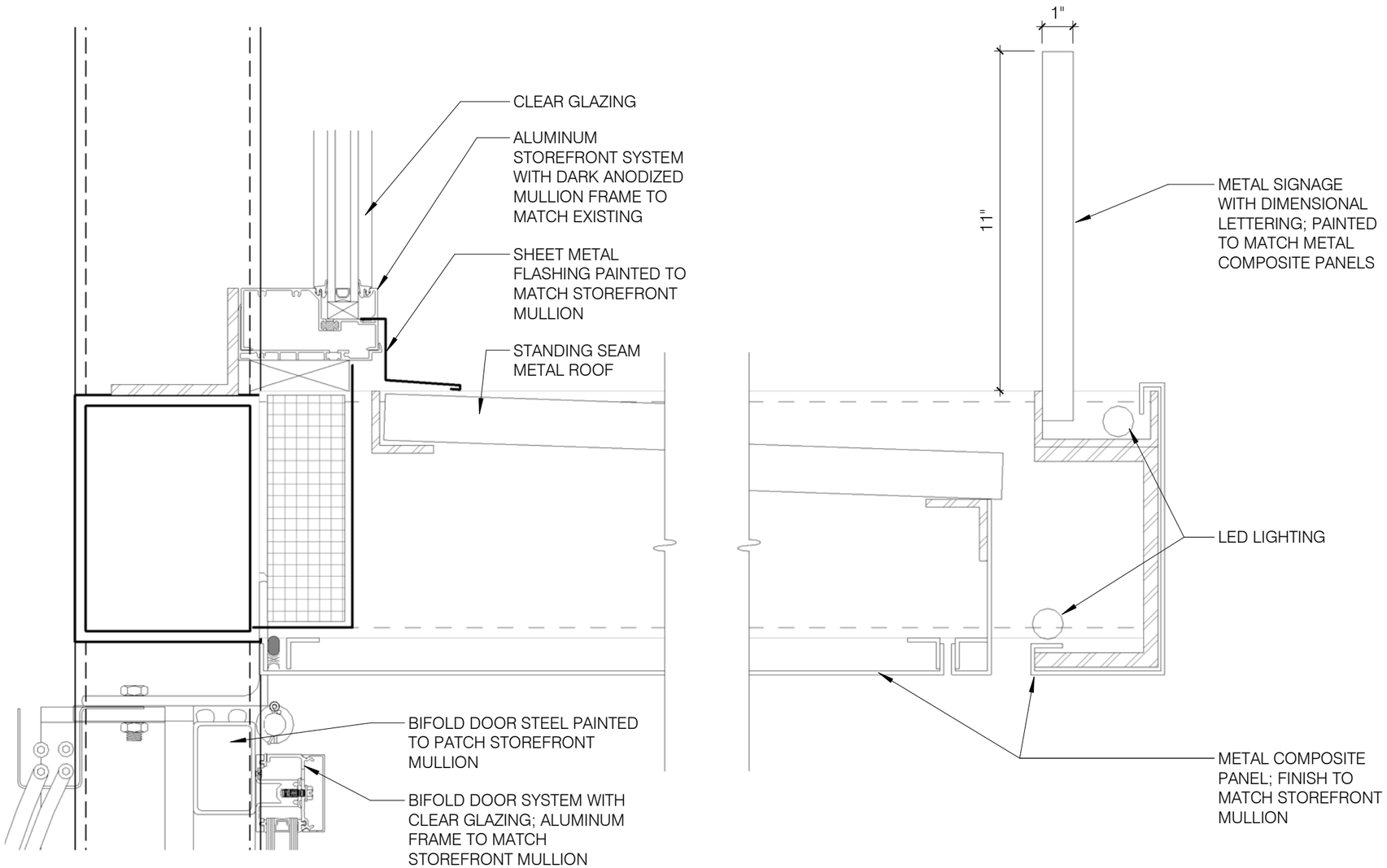
1 / C.47 STOREFRONT SECTION - NORTH @ G-J
1/4" = 1'-0"



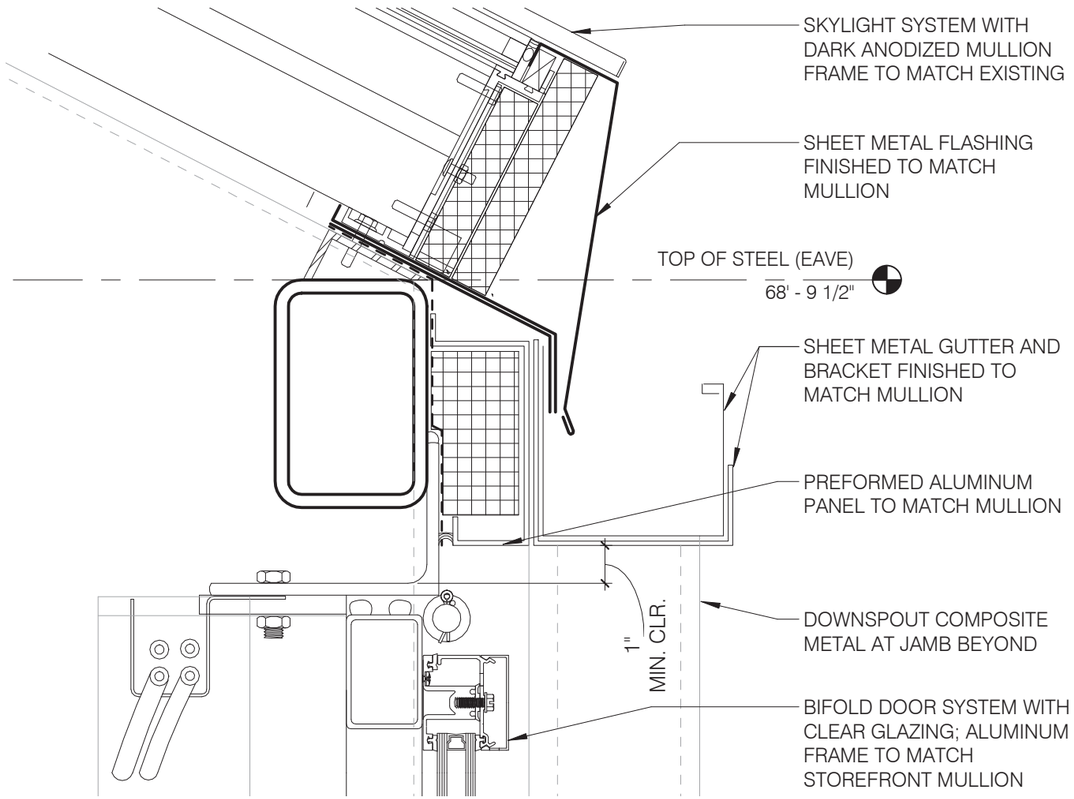
2 / C.47 STOREFRONT SECTION - NORTH @ G-B
1/4" = 1'-0"



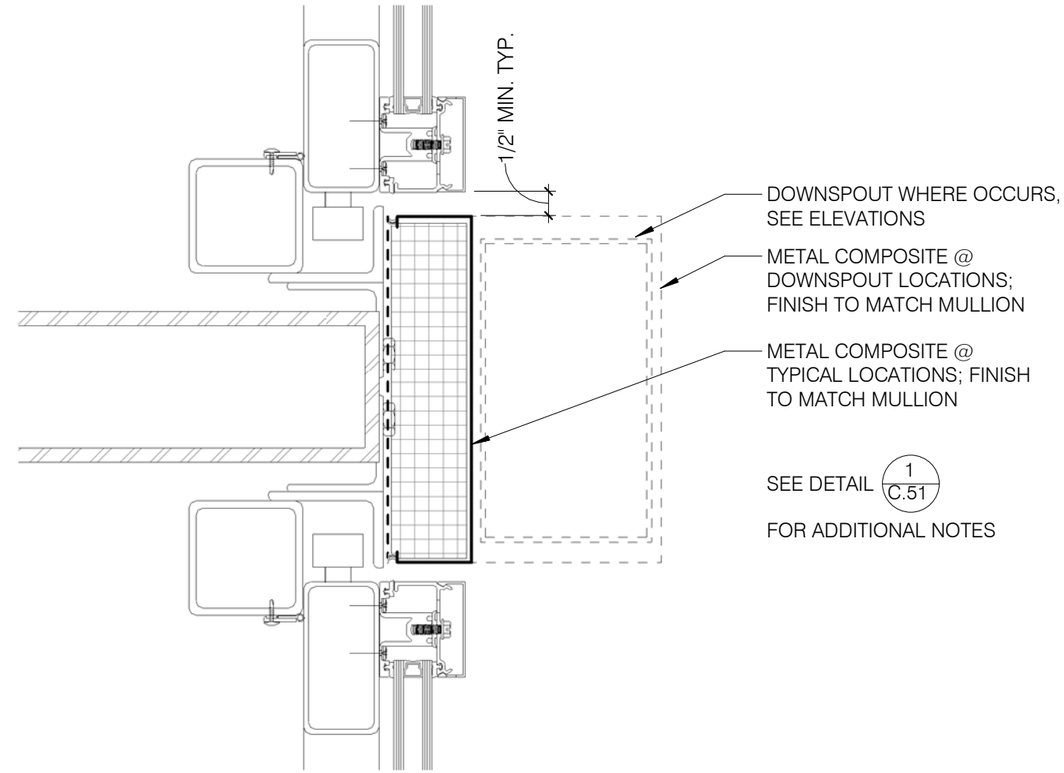
3 / C.47 STOREFRONT SECTION - WEST @ G-3
1/4" = 1'-0"



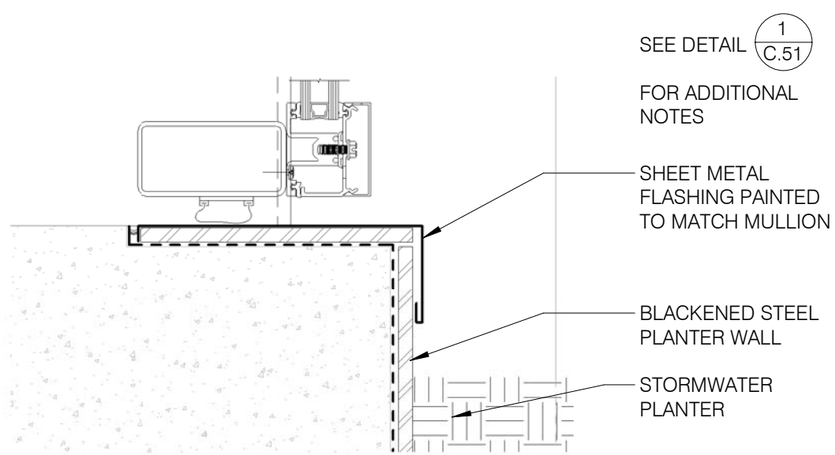
1 / C.50 BIFOLD DOOR @ CANOPY - HEAD DETAIL
3" = 1'-0"



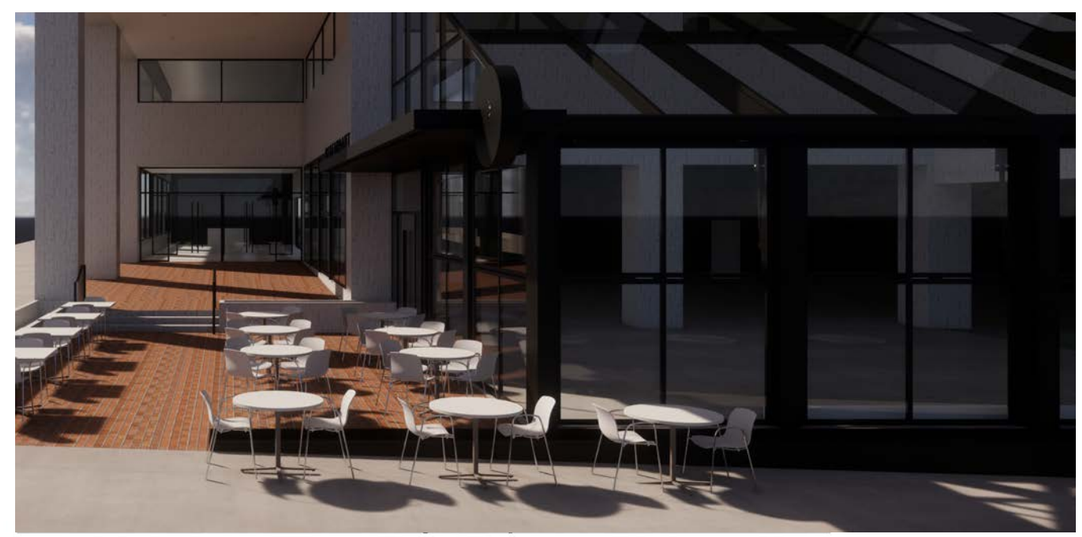
1 C.51 BIFOLD DOOR @ SKYLIGHT - EAVE DETAIL
3" = 1'-0"

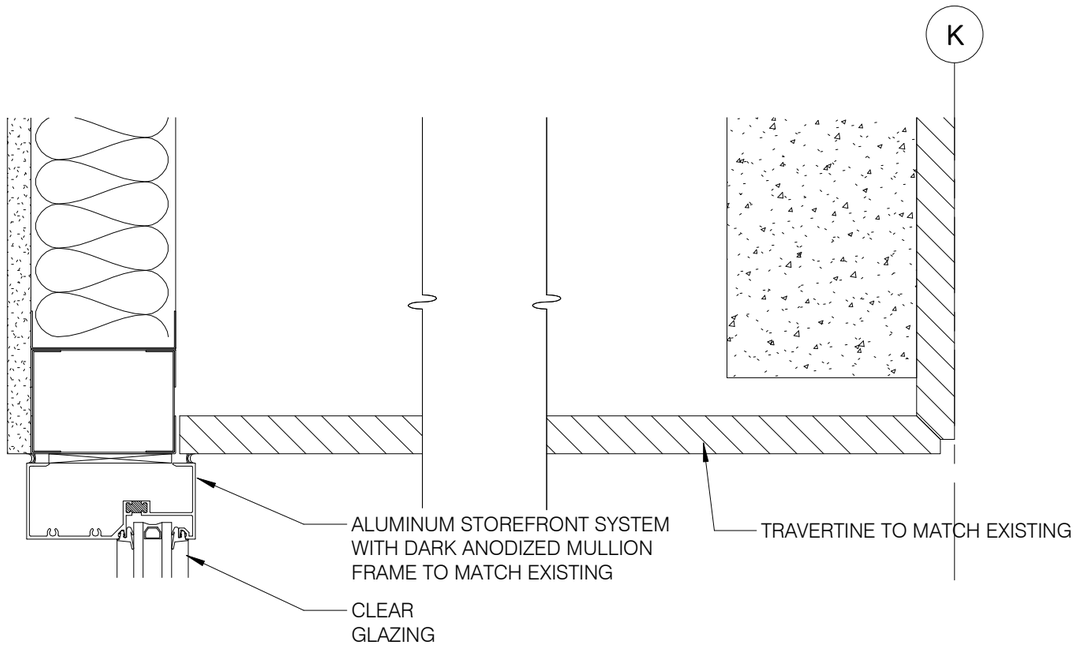


2 C.51 BIFOLD DOOR AT COLUMN - JAMB DETAIL
3" = 1'-0"

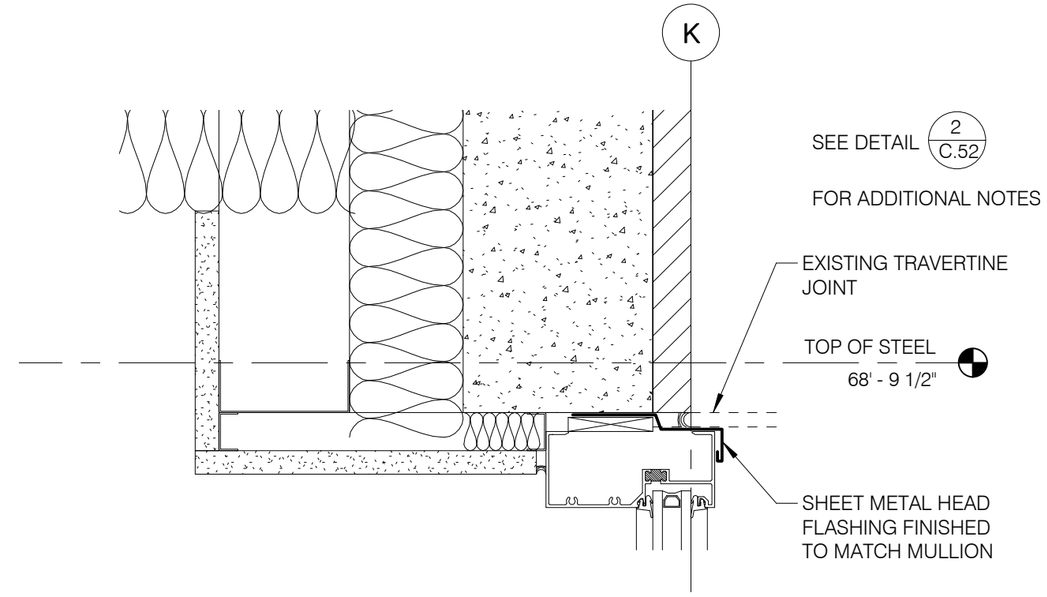


3 C.51 BIFOLD DOOR - SILL DETAIL
3" = 1'-0"

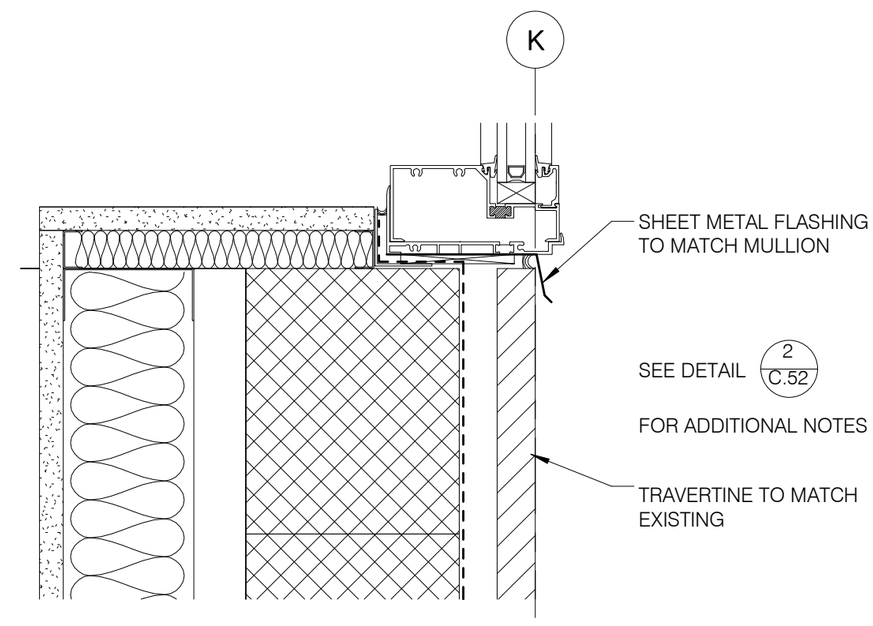




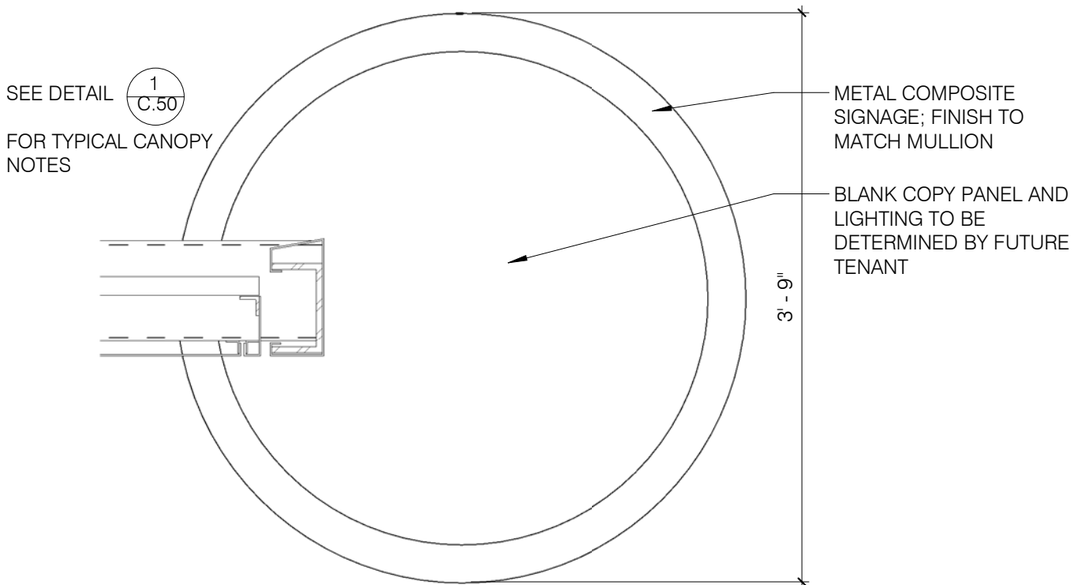
2 / C.52 RECESSED ENTRY SOFFITT - HEAD DETAIL
3" = 1'-0"



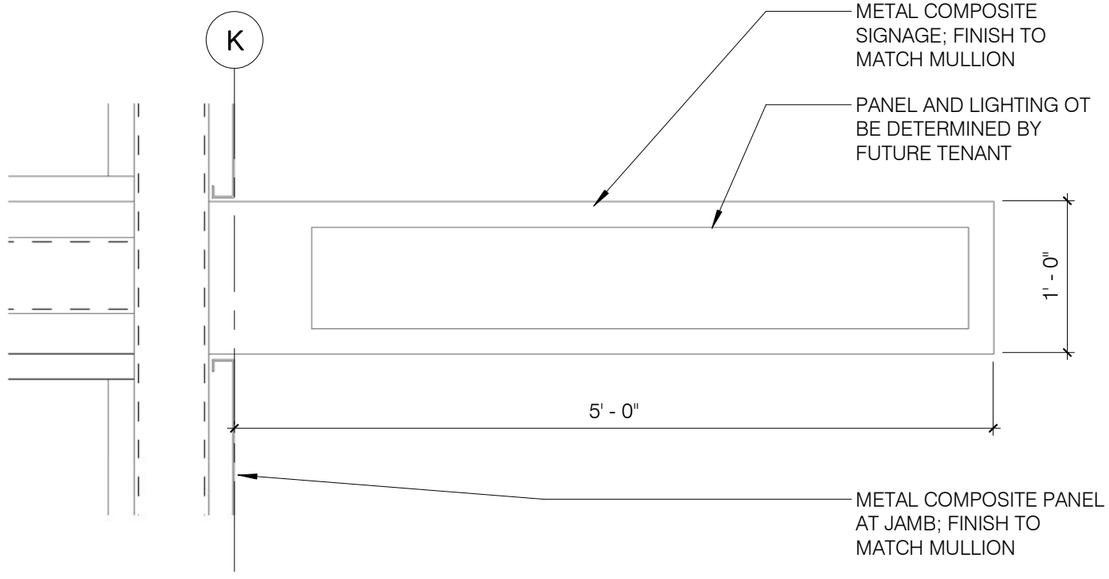
1 / C.52 NEW STOREFRONT @ EXISTING TRAVERTINE - HEAD DETAIL
3" = 1'-0"



4 / C.52 NEW STOREFRONT @ EXISTING WALL - SILL DETAIL
3" = 1'-0"



1 C.53 SIGNAGE AT CORNER
1" = 1'-0"



3 C.53 SIGNAGE AT RECESSED ENTRY Copy 1
1" = 1'-0"

SST-II HYDRAULIC BI-FOLD SPECIFICATIONS

PART 1 – GENERAL

1.01 DESCRIPTION
- A. General
  1. Furnish SST-II Hydraulic Bi-Fold System complete from one manufacturer. Provide all labor, materials, tools and equipment to furnish the SST-II Bi-Fold System complete as herein specified.

1.02 RELATED WORK BY OTHERS
- A. Preparation of opening including jambs and header will be by General Contractor. Any deviation of site conditions contrary to approved shop drawings must be called to the attention of the architect.
- B. All header, blocking, support structures and jambs as required.
- C. Paint or otherwise finishing all trim and other materials adjoining door.
- D. Provide hydraulic fluid in quantity necessary for proper system operation.

1.03 SUBMITTALS
- A. Product Data
  1. Submit manufacturer's product data and roughing-in diagrams.
  2. Complete shop drawings are to be provided prior to fabrication indicating construction and installation details.

1.04 QUALITY ASSURANCE
- A. Provide each Bi-Fold System as a complete unit by one manufacturer, including frames, panels, brackets, guides, hardware, operators and installation accessories to suit opening.
- B. Wind Loading: Design and reinforce Bi-Fold system to withstand a wind loading pressure to comply with state and federal code requirements.
- C. Preparation of the opening shall conform to the criteria set forth by UBC, 2000 International Building Code & 1999 Standard Building Code (ASCE 7-98).

1.05 PRODUCT DELIVERY, STORAGE AND HANDLING
- A. Proper storage of the system before installation and continued protection during and after installation will be the responsibility of the general contractor.

1.06 WARRANTY
- A. Frame/Panels, hydraulic cylinders and controls shall be guaranteed for one year against defects in material and workmanship from date of shipment to the job site.
- B. Optional factory-supplied, manufacturers-standard glass retainer system and glass inserts shall be guaranteed for one year against defects in material and workmanship from date of shipment to the job site.
- C. Glass retainer, glass and/or other cladding/covering by others is not included in this warranty.

PART 2 – PRODUCTS

2.01 ACCEPTABLE MANUFACTURERS
- A. Subject to compliance with requirements, manufacturers offering products which may be incorporated into the work, include, but are not limited to, the following:

Crown Incorporated
135 McLeod Avenue South
Plato, MN. 55370
(320) 238-2616
www.crowndoors.com
info@crowdoors.com

- B. Upon compliance with all of the criteria specified in this section, manufacturers wishing to bid products similar to the product specified must submit to the architect - 10 days prior to bidding - complete data in support of compliance. The submitting manufacturer guarantees the proposed substituted product complies with the product specified and as detailed on the drawings.

2.02 MATERIALS
- A. Product to be SST-II Hydraulic Bi-Fold System as furnished by Crown Incorporated
  1. Construct panel/frame sections with structural steel tube (of ASTM-A500 grade minimum) framing to comply with applied wind code.
     - a. Optional: 304 stainless steel tube framing for highly corrosive environments.
  2. Frames shall be constructed of structural steel tubing and other structural steel shapes, and designed to the same loading requirements for live, dead and wind loads as the surrounding construction, with a maximum CTC between vertical and horizontal members measuring 60" and 48", respectively.
  3. Panel frame shall be designed so that no center "cane bolt" is required in the floor.
  4. Panel frames shall be factory-welded at all joints and connections, with smooth welds not to exceed 1/4" [6] thickness.
  5. Panel frames shall be primed with rust-resistant red oxide to provide corrosion resistance, and be prepared for field finishing, if required.
  6. Factory-Supplied neoprene seals/weather stripping will be shipped loose for field-install to protect against damage during transport.
- B. Bi-fold doors/windows shall be operated by hydraulic cylinders that are mechanically fastened to the panel frame.
  1. Cylinders are to be located on the top half of the door, only. Cylinders will be designed to carry the required loads during operation, open position and closed position. Internal stops will be installed so as not to allow over-extension of the cylinders, therefore restricting the system from opening or closing beyond its limit.
  2. Lift straps or cables, horizontal top and bottom drive shafts, pulleys and strap or cable "kick outs" are unacceptable.
  3. System shall be locked closed by means of the hydraulic cylinders providing a minimum of 1000 lbs. of closing force.
- C. Power Operator - Standard voltage is 208-230v single phase.
  1. "Up-Down" push-button or key-switch controls for separate mounting.
  2. Power unit to power (2) hydraulic cylinders which open and close the door/window. Power unit to be pre-wired, factory-tested and provided with supply cables for final hook-up (by others).
  3. "Open-Close" control units will be wired for constant-hold operation.
  4. Incoming electrical source to hydraulic power unit to be supplied by others (manufacturer's standard).
  5. Each door operator shall have thermal overload protection for the motor.
- D. Finishes
  1. Entire system frame and panels shall be cleaned and primed with rust-resistant red-oxide primer, prepared for field finish (by others).
     - a. Optional Finishes
       - i. Manufacturers' standard RAL powder-coated
- E. Available Accessories/Options
  1. Photo eyes or lead-edge sensor that stops (or stops and reverses) the downward movement of the door/window.
  2. Warning horn/Strobe light assembly
  3. Remote receiver w/transmitter
     - a. Additional transmitters available
  4. 24v DC battery back-up system
  5. 3-Phase option
  6. External, weather-resistant, "open-close" control wired for constant-hold
  7. "Inside-sash" or "front-set" glass retainer system and glass inserts

2.03 OPERATION
- A. The Bi-Fold System shall be extended/retracted in the opening using a constant-contact push-button or key switch, operating hydraulic cylinders mounted to the door/window frame.

PART 3 – EXECUTION

3.01 SAFETY
- A. Hydraulic power unit to have a manual emergency let-down valve for closing the system in case of a power outage.
- B. SST-II Bi-Fold System to incorporate pressure compensated orifice valves
- C. Photo eyes or lead-edge sensor optional.

3.02 INSTALLATION
- A. Installation of the Bi-Fold System shall be by a contractor familiar with this type of installation, and be in strict accordance with the approved build drawings and manufacturers standard printed specifications, instructions and recommendations. All moving parts will be left in good operating condition.
- B. Permanent or temporary electric wiring shall be brought to the power unit location before installation. After the Bi-Fold System is installed, the general contractor assumes the responsibility of any damage to the system or system components during construction until the building is turned over to the owner.
- C. Fill reservoir with hydraulic fluid (provided by others). Use ATF for cold weather applications or #32 hydraulic fluid for all other applications.

3.03 CLEANING
- A. All surfaces shall be wiped clean and free of handprints, grease and oil.

3.04 TRAINING
- A. Installer shall demonstrate proper operation and maintenance procedures to owner's representative.
- B. Operating keys and owner's manual shall be provided to owner's representative.

TARGETTI

ZEDGE

Professional Small Scale LED Steplight

Concept: Recessed LED steplight.
Housing: Small 2.5" x 2.5" faceplate available in 3 emission options (Floor Washer, Louvre, or Bi-Emission Floor Washer + Halo) available in all 13 colour variants of the COLOURS range.
Materials: Die-cast anodized aluminum body fitted with a spring fixing system. Powder coated die-cast anodized aluminum external frame. Marine grade, 1.5% to 2.5% copper content in aluminum alloy.
Source: Low power LED High Efficiency Board.
Optic: Polycarbonate opal screen. Only for Louvre version: optical system composed of a high reflectance anodised aluminium flux regenerator. It is available as three frames for three distinct lighting effects.
Floor Washer: A steplight with uniform optical distribution on the floor and excellent visual comfort.
Louver: High visual comfort with the source entirely hidden from view producing defined light on the floor from two precise louver windows.
Bi-Emission: The floor washer optics combined with an indirect glow where the halo effect becomes a uniformly illuminated marker light with an opal diffuser.
Mounting: To be completed with stainless steel mounting/wiring back box with multiple attachment and wire conduit options to meet specific installation needs. Recommended mounting height is +18" A.F.F. on 48" center spacing to meet egress requirements of 1fc minumum.
Installation: Pre-cabled with 10' Belden 18ga 2 conductor direct burial cable (no conduit required).
Power Supply: Remote Class II 120V-277VAC to 24VDC power supply, up to 15 fixtures on one Class II 96W Power Supply circuit. Phase or 0-10v dimming options also available, see page 2 for LED driver options.
Wattage: 5W
Color Temperature: 2700ºK / 3000ºK / 4000ºK
CRI: 84
Lumen Maintenance (L70): 50,000hrs
Calculation for LED fixtures are based on measurements that comply with with IES LM-80.
Voltage: 24VDC
IK Rating: IK10
IP Rating: IP66
Certifications: UL Listed class 2 wet location E479873
Low voltage landscape lighting. Tested in accordance with LM-79-08
Warranty: 5 year limited warranty
Designed in collaboration with Gensler as Product Design Consultant

Louver

Bi-Emission
Floor Washer + Halo

Floor Washer Faceplate Shown in Ferrite Grey

Marine

IP66

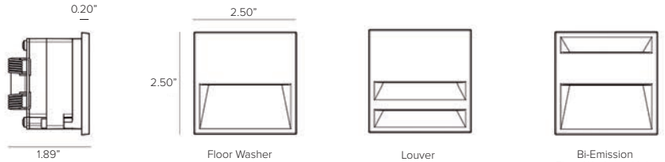
c UL us
Class 2

ZEDGE is available in all colour variants of the COLOURS range. ***Finishes listed from left to right, top to bottom.*** Copper, Gold, Pink Gold, Plaster White, Silver, Ferrite, Bone, Brick, Deep Black, Rose, Saphire, Olive, Heritage Brown.

Lumens:		**White Finish**	
		3000K	**4000K**
Floor Washer	=	47Lm	49Lm
Louver	=	40Lm	42Lm
Floor Washer + Halo	=	33Lm	35Lm

PRODUCT CODE	DRIVER	FACEPLATE	FINISH		WATTAGE	COLOR TEMP	VOLTAGE	+	POWER SUPPLY
ZES – ZEDGE	**RP** – Remote Power	**FW** – Floor Washer	**FE** — Ferrite Grey	**GO** – Gold	**L1** — 5W	**27** — 2700K	**24** – 24VDC		
		LV – Louver	**DB** — Deep Black	**PG** – Pink Gold		**30** — 3000K			
		BE — Bi-Emission Floor Washer + Halo	**PW** — Plaster White	**BO** – Bone		**40** — 4000K			
			HB — Heritage Brown	**BK** – Brick					
			SI – Silver	**OL** – Olive					
			CO – Copper	**RO** – Rose					
				SA – Saphire					

Views



Floor Washer

Louver

Bi-Emission
Floor Washer + Halo

TARGETTI

ZEDGE

COLOURS Finishes

ELEGANT MATTE:

Impalpable, "powdery" pastel colours with timeless traditional black and white, with a smooth yet matte finish for a refined modern effect.

PW PLASTER WHITE
DB DEEP BLACK
BO BONE
RO ROSE
OL OLIVE
BK BRICK
SA SAPHIRE

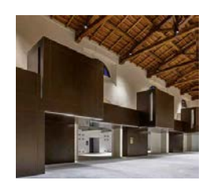
ELEGANT BRILLIANT:

Fresh, vibrant and elegant colours. The brilliant finish creates shades to coordinate with elegant and sophisticated architecture fearlessly.

SI SILVER
GO GOLD
PG PINK GOLD

NATURE BRILLANT:

A textural, instinctive colour palette that recalls nature and the earth. Warm, metallic, precious colours with a brilliant, silky finish.



CO COPPER
FE FERRITE
HB HERITAGE BROWN