

3324 SW 44TH AVE.

RS03-161572

RS.03.161572

U

OCT 3 2003
MICROFILMED

25



CITY OF
PORTLAND, OREGON
OFFICE OF PLANNING AND DEVELOPMENT REVIEW
1900 SW 4th Ave, Suite 5000
Portland, OR 97201



RESIDENTIAL 1 & 2 FAMILY PERMIT

03-161572-000-00-RS

Site Address: 3324 SW 44TH AVE
3324 44TH AVE

Issued: 9/30/03

PROJECT INFORMATION		Occ. Group	Const. Type
Single Family Dwelling	Interior Alteration Only	R3	V-N
Project Description: REMOVE WALL BETWEEN KITCHEN AND DINING ROOM; REPLACE WITH BEAM			

APPLICANT	EZPERMITS.COM *MIKE MONTGOMERY*	Phone (503) 282-2264
PROPERTY OWNER	AMANDA M MICHENER	Phone
CONTRACTOR	NEIL KELLY CO INC	Phone

Project Details	Project Details
Code Edition Zoning Enforcement Agency	GIS Update Flag 09/30/03
IRC - 2003 Portland	

PAID
SEP 29 2003
CITY OF PORTLAND

This permit expires if, at any time, 180 days pass without an approved inspection. If you are not able to obtain an inspection approval within 180 days, you may request a one-time only extension of 180 days by calling 503-823-7388.

BEFORE YOU DIG

ATTENTION: Under the requirements you to follow rules adopted by the Oregon Utility Notification Center. These rules are set forth in OAR 912-001-0012 and OAR 912-001-0013. You may obtain copies of the rules by calling the center or direct the telephone number for the Oregon Utility Notification Center is 1-800-332-2244.

CITY CONTACT	Phone:
E-Mail:	Fax: (503) 823-4172

INSPECTION REQUEST PHONE NUMBERS	Building/Trade Inspections - Call Before 6:00 AM:	(503) 823-7000
TDD: (503) 823-6868		
IVR Inspection Request Number: 2319879		



Building Permit Application

City of Portland
1900 SW 4th, Suite 5000, PO Box 8120, Portland, OR 97201
Phone: (503) 823-7363, Fax: (503) 823-3018
TDD: (503) 823-6868, Website: www.bds.ci.portland.or.us



Office Use Only	
Date received:	Permit no.:
By: <i>13-161572-PS</i>	

TYPE OF WORK	
☐ New construction	☐ Demolition
☒ Addition/alteration/replacement	☐ Other:
CATEGORY OF CONSTRUCTION	
☒ 1- and 2-family dwelling	☐ Commercial/Industrial
☐ Accessory building	☐ Multi-family
☐ Master builder	☐ Other:
JOB SITE INFORMATION AND LOCATION	
Job site address: <i>3324 SW 44th Ave</i>	
City/State/ZIP: <i>Portland, OR 97221</i>	
Suite/bldg/aprt. no.:	Project name: <i>NIEDERMAN</i>
Cross street/directions to job site: <i>DATTON ROAD TO SW 44th, first driveway on left</i>	
Subdivision:	Lot no.:
Tax map/parcel no.:	
DESCRIPTION OF WORK	
<i>Paint, floor coverings, & minor kitchen remodel</i>	
☒ PROPERTY OWNER	☐ TENANT
Name: <i>David Niederman</i>	
Address: <i>3324 SW 44th Ave</i>	
City/State/ZIP: <i>Portland, OR 97221</i>	
Phone: <i>(503) 228-2328</i>	Fax: ()
☒ APPLICANT	☐ CONTACT PERSON
Business name: <i>Neil Kelly Designers Remodelers</i>	
Contact name: <i>Ted Johnson</i>	
Address: <i>904 N. Alberta</i>	
City/State/ZIP: <i>Portland, OR 97217</i>	
Phone: <i>(503) 335-9206</i>	Fax: <i>(503) 287-3574</i>
E-mail:	
CONTRACTOR	
Business name: <i>Same as above</i>	
Address:	
City/State/ZIP:	
Phone: ()	Fax: ()
CCB lic.: <i>01663</i>	
Authorized signature: <i>Ted Johnson</i>	
Print name: <i>Ted Johnson</i>	Date: <i>9-26-03</i>

REQUIRED DATA: 1- AND 2-FAMILY DWELLING	
Permit fees* are based on the value of the work performed. Indicate the value (rounded to the nearest dollar) of all equipment, materials, labor, overhead, and the profit for the work indicated on this application.	
Valuation	<i>21,700</i>
Number of bedrooms:	<i>4</i>
Number of bathrooms:	<i>2</i>
Total number of floors:	<i>2</i>
New dwelling area:	<i>N/A</i> square feet
Garage/carport area:	square feet
Covered porch area:	square feet
Deck area:	square feet
Other structure area:	square feet
REQUIRED DATA: COMMERCIAL-USE CHECKLIST	
Permit fees* are based on the value of the work performed. Indicate the value (rounded to the nearest dollar) of all equipment, materials, labor, overhead, and the profit for the work indicated on this application.	
Valuation	
Existing building area:	square feet
New building area:	square feet
Number of stories:	
Type of construction:	
Occupancy groups:	
Existing:	
New:	
NOTICE	
All contractors and subcontractors are required to be licensed with the Oregon Construction Contractors Board under ORS 701 and may be required to be licensed in the jurisdiction in which work is being performed. If the applicant is exempt from licensing, the following reasons apply:	
BUILDING PERMIT FEES*	
Please refer to fee schedule	
Fees due upon application	
Amount received	
Date received:	

This permit application expires if a permit is not obtained within 180 days after it has been accepted as complete

* Fee methodology set by Tri-County Building Industry Service Board

LT - forms App Building 07

STRUCTURAL CALCULATIONS

FOR:

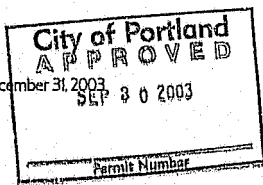
Neil Kelly Designers/Remodelers

REGARDING:

Structural Design For Remodel
Niederman Residence
3324 SW 44th Ave, Portland, OR

AE350

September 17, 2003



Project: Structural Design For Remodel - Niederman Residence

Page: 7 of 3

Location: 3324 SW 44th Ave, Portland, OR

Job #: AE350

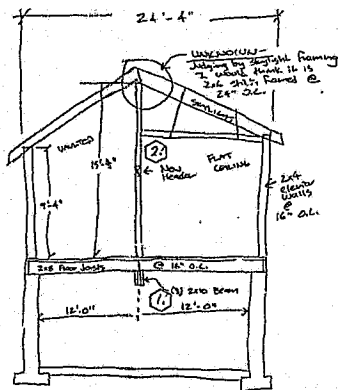
Client: Neil Kelly Designers/Remodelers

Date: September 11, 2003

PROJECT DESCRIPTION: NEW OPENING IN INTERIOR
BEARING WALL. SIZE HINDER 5' CHECK BEAM
BELOW.

DESIGN CRITERIA: 1993 GROW STRUCTURAL SPECIALTY
CODE w/ AMENDMENTS.

DESIGN LOADS: ROOF: 25 PSF SNOW
15 PSF DEAD
FLOOR 40 PSF LIVE
10 PSF DEAD
WALL 5 PSF DEAD.



- DESIGN NEW HEADER
- CHECK EXISTING FLOOR BEAM BELOW.

Project: Structural Design For Remodel - Niederman Residence
Location: 3324 SW 44th Ave, Portland, OR
Client: Neil Kelly Designers/Remodelers

Page: 2 of 3
Job #: AE350
Date: September 17, 2003

① EXISTING FLOOR BEAM. (3) 2X10

SPAN = 13'-4"

LOAD = 10 PSF · 12' = 120 PLF FURDL

40 PSF · 12' = 480 " FLR L L

25 PSF · 12' = 300 " RF S L

15 PSF · 12' = 180 " RF DL

8 PSF · 10' = 80 " WALL DL

DL = 380

LL = 780

(3) 2X10 + (2) 1 3/4" X 12 LVL

M_{max} = 25.6 K-ft.

9.414 K-ft

20.5

= 29.9 ft

V_{max} = 7.7 K.

3.687 K.

9.08

= 12.7 K.

ADD (2) 1 3/4" X 11 7/8 LVL TO EXISTING TRIPLE 2X10 BM

② NEW HEADER

SPAN = 6'-6"

LOAD = 300 PLF

180 PLF

USE: (2) 2X10 #2 DF

Rev: 510001

Timber Beam & Joist

Page 1

Description Misc Framing

Timber Member Information

		E Fir Bm	N Hdr
Timber Section		3-2x10	2-2x10
Beam Width	in	4.500	3.000
Beam Depth	in	9.250	9.250
Le: Unbraced Length	ft	0.00	0.00
Timber Grade		Douglas Fir - Larch, Douglas Fir-South, N	
Fb - Basic Allow	psi	1,000.0	825.0
Fv - Basic Allow	psi	95.0	90.0
Elastic Modulus	ksi	1,700.0	1,200.0
Load Duration Factor		1.150	1.150
Member Type		Sawn	Sawn
Repetitive Status		Repetitive	No

Center Span Data

Span	ft	13.30	6.50
Dead Load	#/ft	380.00	180.00
Live Load	#/ft	780.00	300.00

Results

Ratio = 3.0223 0.6813

Mmax @ Center	in-k	307.79	30.42
@ X =	ft	6.65	3.25
fb : Actual	psi	4,796.3	711.1
Fb : Allowable	psi	1,587.0	1,043.8
		OverStress	Bending OK
fv : Actual	psi	246.8	64.8
Fv : Allowable	psi	109.3	103.5
		OverStress	Shear OK

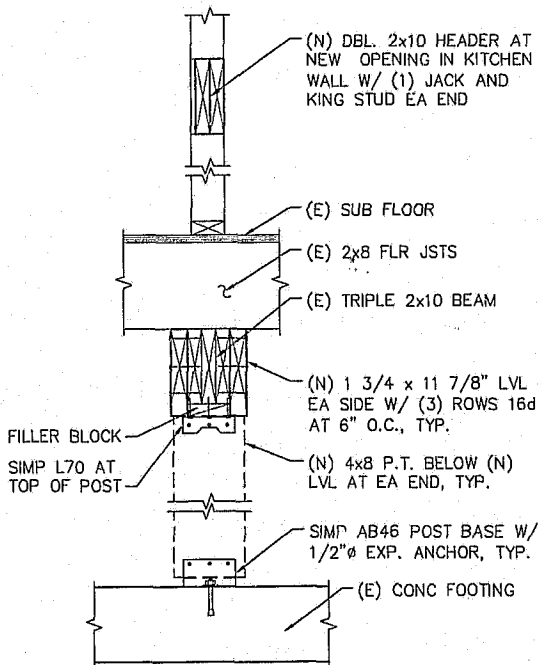
ADD (2) 1 3/4 x 11/8 LVL
TO EXISTING (3) 2X10 BEAM

Reactions

@ Left End DL	lbs	2,527.00	585.00
LL	lbs	5,187.00	975.00
Max. DL+LL	lbs	7,714.00	1,560.00
@ Right End DL	lbs	2,527.00	585.00
LL	lbs	5,187.00	975.00
Max. DL+LL	lbs	7,714.00	1,560.00

Deflections

Center DL Defl	in	-0.530	-0.030
L/Defl Ratio		301.0	2,561.8
Center LL Defl	in	-1.038	-0.051
L/Defl Ratio		146.6	1,537.1
Center Total Defl	in	-1.619	-0.081
Location	ft	6.650	3.250
L/Defl Ratio		98.6	960.7



exp. 12/31/07

NOTES:

1. SEE DESIGNER PLANS FOR NEW HEADER HEIGHT AND LOCATION.
2. JACK EXISTING BEAM 1/4" PRIOR TO ATTACHING NEW LVL MEMBERS.

FRAMING AT NEW HEADER AND CONC. WALL BEYOND



1" = 1'-0"

WFLR-35

NIEDERMAN RESIDENCE

3324 SW 44TH AVE.
PORTLAND, OR

NEIL KELLY
DESIGNERS/REMODELERS

15573 SW BANGY RD.
LAKE OSWEGO, OR 97035

BY: MDA

DATE: 9/17/03

PROJECT: AE350

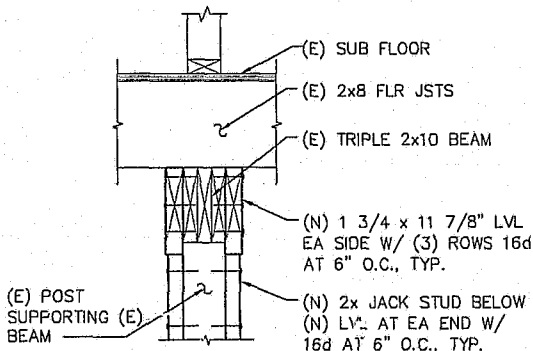
DETAIL

1/SI



ARCHER ENGINEERING L.L.C.

2345 NE 37th Ave, Portland OR 97212 F5033816441 F5033816445 C5033903897 archereng@mindpring.com



NOTE: SEE DESIGNER PLANS FOR NEW HEADER HEIGHT AND LOCATION

1
S2 **FRAMING AT INT. BEARING WALL**
1" = 1'-0"

WLR-35



NIEDERMAN RESIDENCE

3324 SW 44TH AVE
PORTLAND, OR

NEIL KELLY
DESIGNERS/REMODELERS

15573 SW BANGY RD.
LAKE OSWEGO, OR 97035

BY: MDA

DATE: 9/17/03

PROJECT: AE350

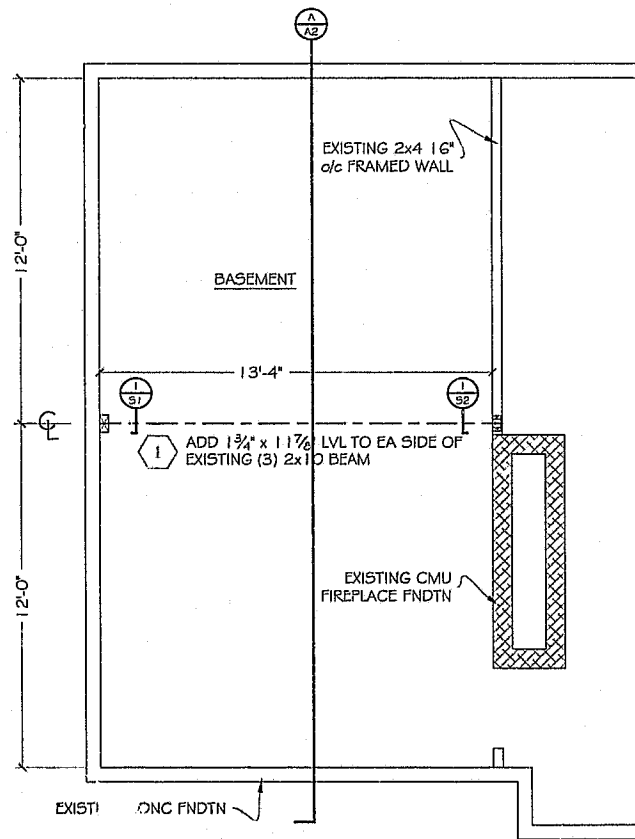
DETAIL

1/S2

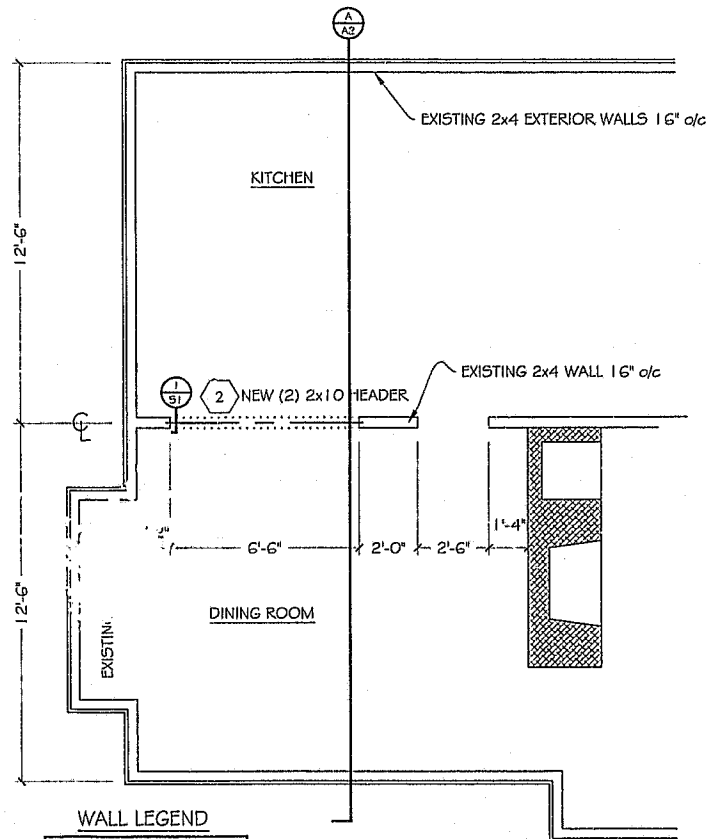


ARCHER ENGINEERING L.L.C.

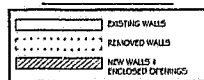
2345 NE 37th Ave, Portland, OR 97212 P 503.286.6441 F 503.286.6445 C 503.793.3367 E archereng@midspring.com



BASEMENT PLAN
SCALE: 1/8" = 1'-0"

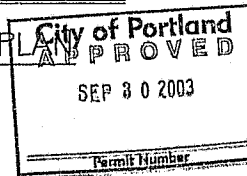


WALL LEGEND



MAIN FLOOR PLAN
SCALE: 1/8" = 1'-0"

SEE ENGINEERS DRAWINGS FOR DETAILS ON BEAM, HEADER, POSTS, AND CONNECTIONS



Neil Kelly
Designers/Modelers

504 North Albemarle
Portland, OR 97217
OR CCB# 001663

Drawn: 26 SEP 3 5

Revised:
Revised:
Revised:
Revised:

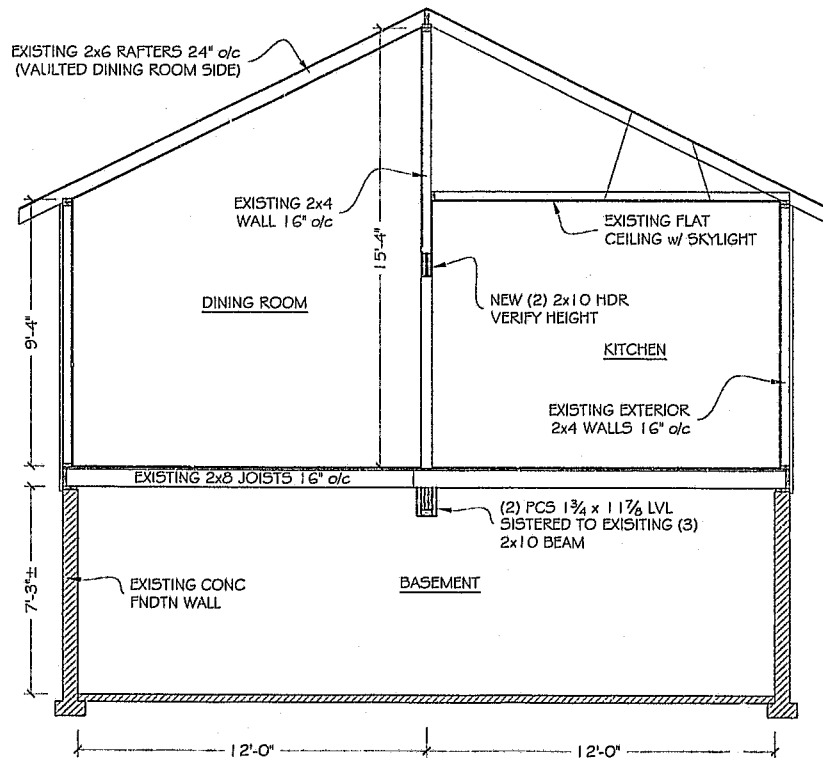
Kitchen Remodel For:
David Niederman
3324 SW 44th
Portland, OR 97140

Consulting Kitchen Remodeling
Project Manager: John Johnson

26 September 2003

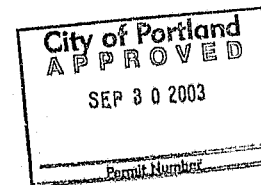
PLANS

Page A1 of 2



SECTION
SCALE 1/4" = 1'-0"

SEE ENGINEERS DRAWINGS FOR DETAILS ON
BEAM, HEADER, POSTS, AND CONNECTIONS



Neil Kelly
Designers/Remodelers

804 North Albina Street, Portland, OR 97217
(503) 241-2741
OR CCB# 00163 / WA L&P NEILKCI 18702

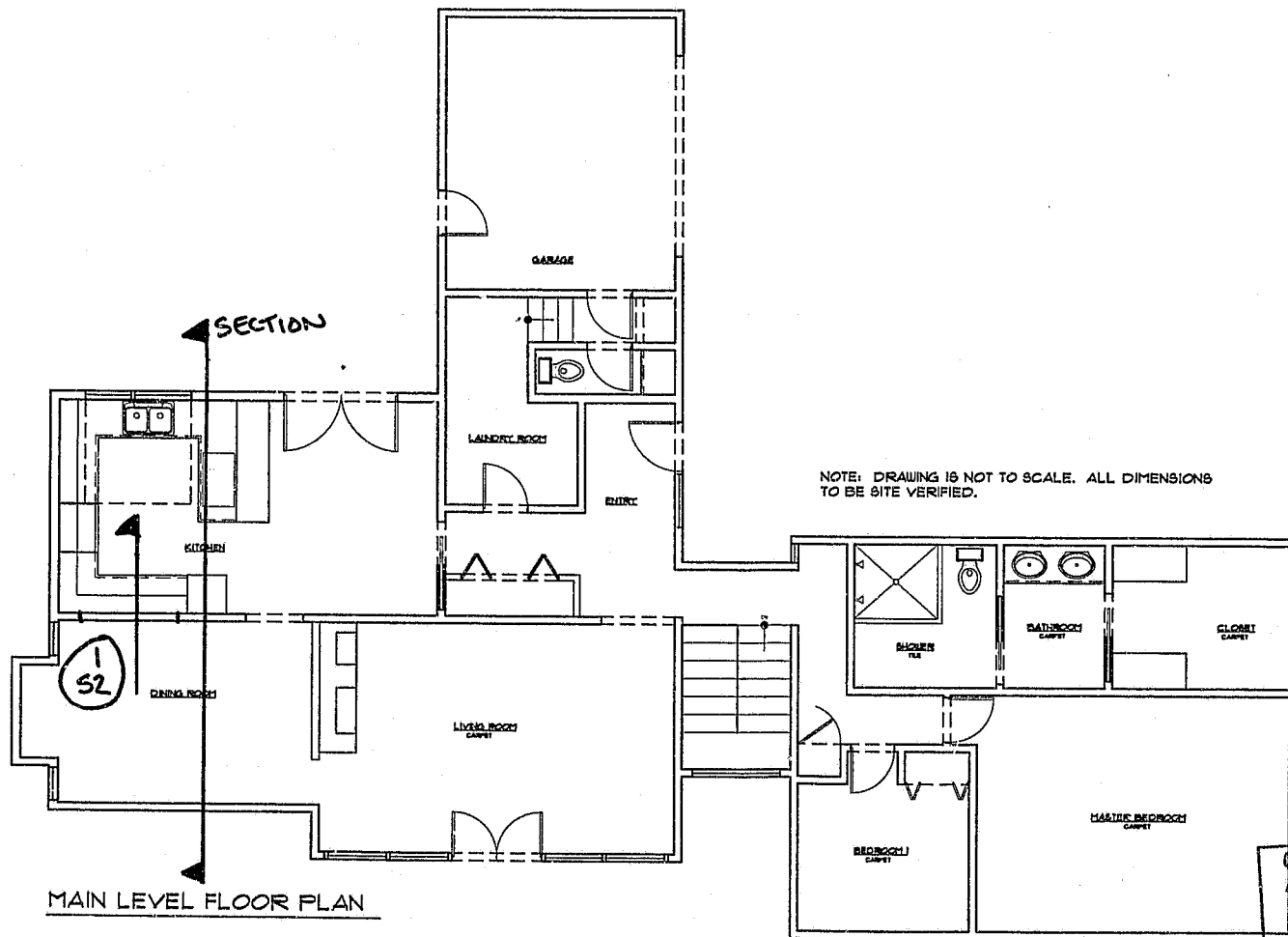
Drawn: 26 SEP 03 SP
Revised:
Revised:
Revised:
Revised:
Revised:

Kitchen Remodel For:
David Niederman
3324 SW 44th
Portland, OR 97140
Consultant: Ken Davis, CKD, NCIDQ
Project Manager: Ted Johnson

September 2003

SECTION

Page A2 of 2



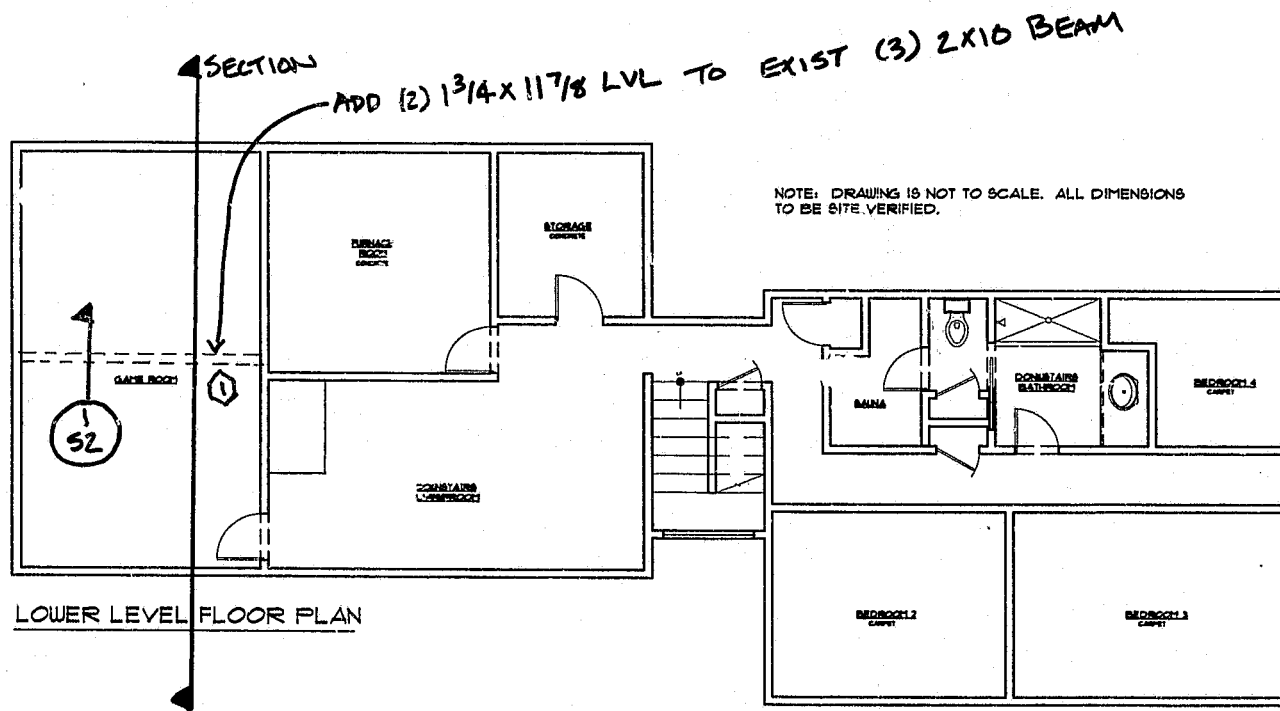
MAIN LEVEL FLOOR PLAN

Neil Kelly
Designers / Remodelers
804 N. Alberta St. Portland 97217
(503) 288-7451
OR CC# 001633 / WA Lic NEILKCI 18702

ISSUES & REVISIONS
DRAWN: 9/15/03 TMD

Kitchen Remodel for:
David Neiderman
3324 S.W. 44th
Portland, OR 97140
Designer/Consultant: Kari Davis, CKD, NCIDQ

OVER ALL
FLOOR PLANS



City of Portland
APPROVED

SEP 3 0 2003

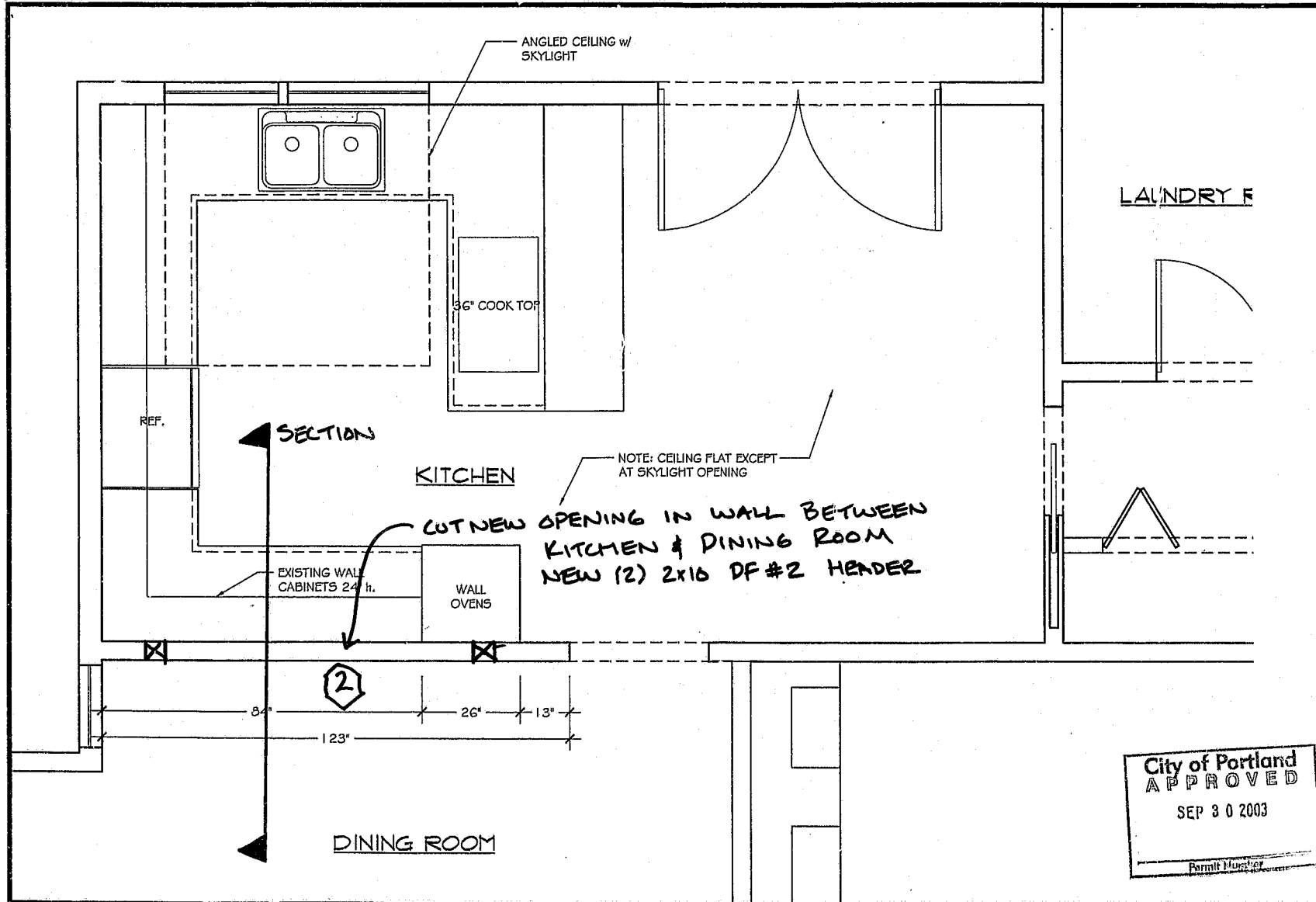
Permit Number

Kitchen Remodel for:
David Neiderman
3324 S.W. 44th
Portland, OR 97140
Designer/Consultant: Karl Davis, CKD, NCIDQ

OVER ALL
FLOOR PLANS

Neil Kelly
Designers / Remodelers
804 N. Alberta St. Portland 97217
(503) 288-7461
OR CC#001003 / WA Lic# NEILK01 18702

ISSUES & REVISIONS
DRAWN: 9/15/03 TMD



Neil Kelly
Designers / Remodelers
804 N. Alberta St. Portland 97217
(503) 289-7461
OR CC# 001963 / WA L#1 NEILKEL18702

ISSUES & REVISIONS
DRAWN: 9/15/03 TMD

Kitchen Remodel for:
David Neiderman
3324 S.W. 44th
Portland, OR 97140
Designer/Consultant: Karl Davis, CKD, NCIDQ

City of Portland
APPROVED
SEP 30 2003
Permit Number

