

2 LEVEL 1 LOADING

2



1 LEVEL 1

ALTERNATIVE FLOOR PLAN B

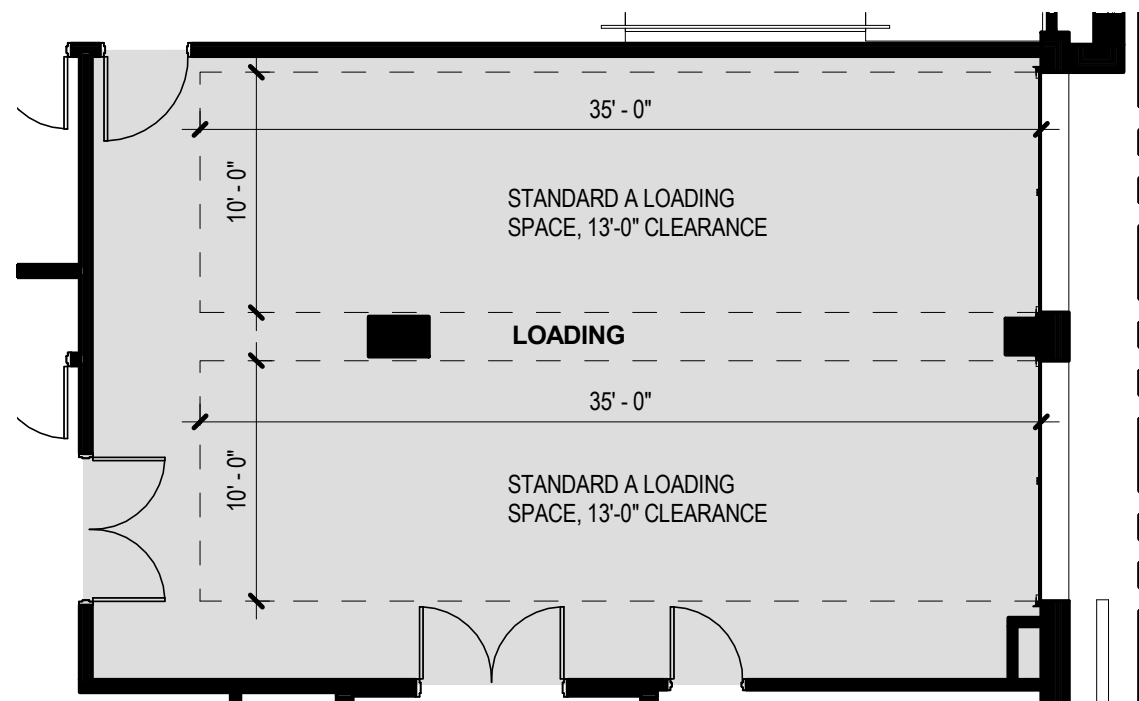
1



0' 4' 8' 16' 24'

FLOOR PLANS C.2B





2 LEVEL 1 LOADING



1 LEVEL 1

ALTERNATIVE FLOOR PLAN B



2 LEVELS 3, 7, 11, 15



1 LEVEL 2





2 LEVELS 5-6, 9-10, 13-14



1 LEVELS 4, 8, 12, 16



Exterior Design - 4/13/17 DAR Hearing

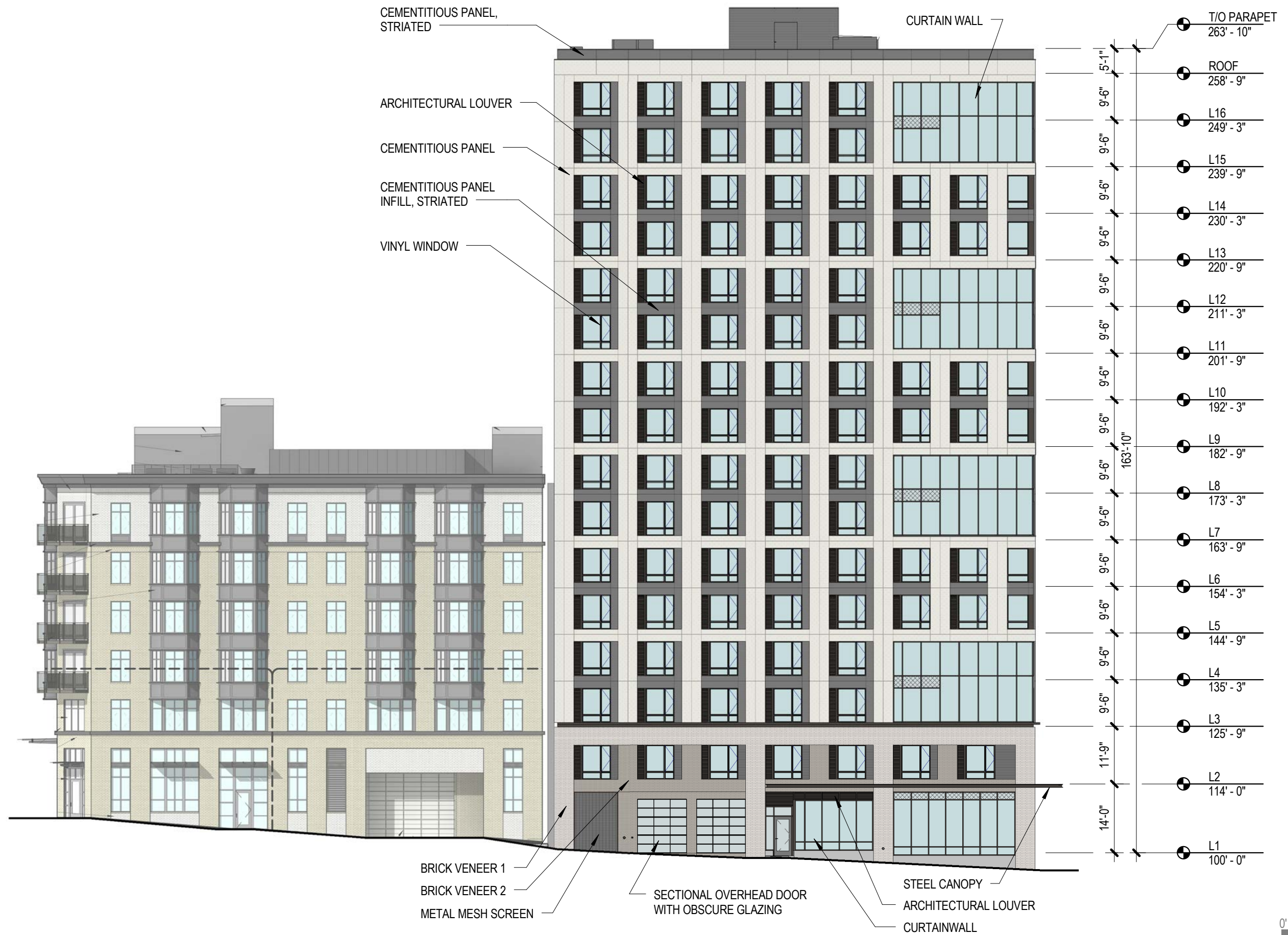


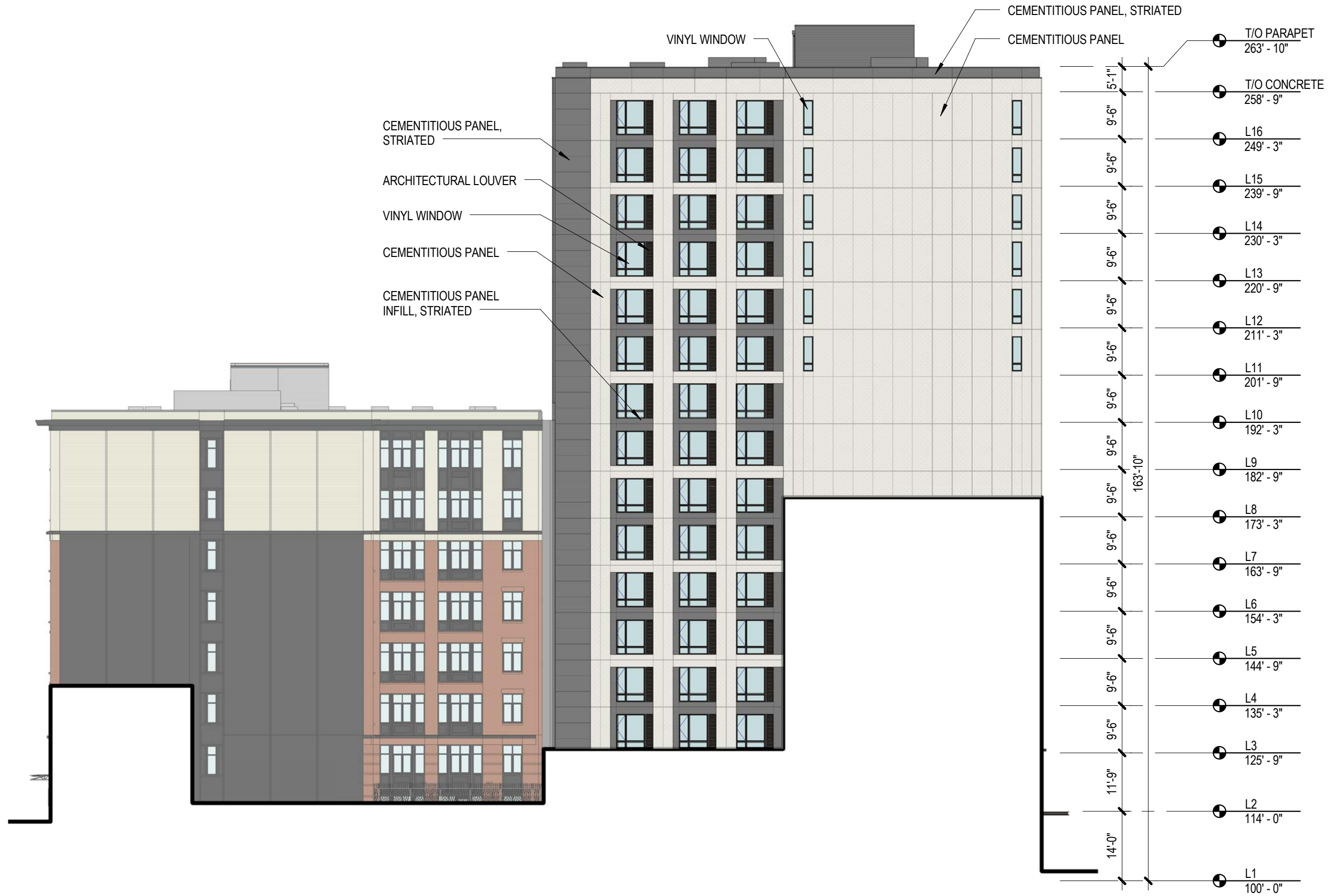
Exterior Design - 6/8/17 DAR Hearing



Exterior Design - 6/15/17 DAR Hearing















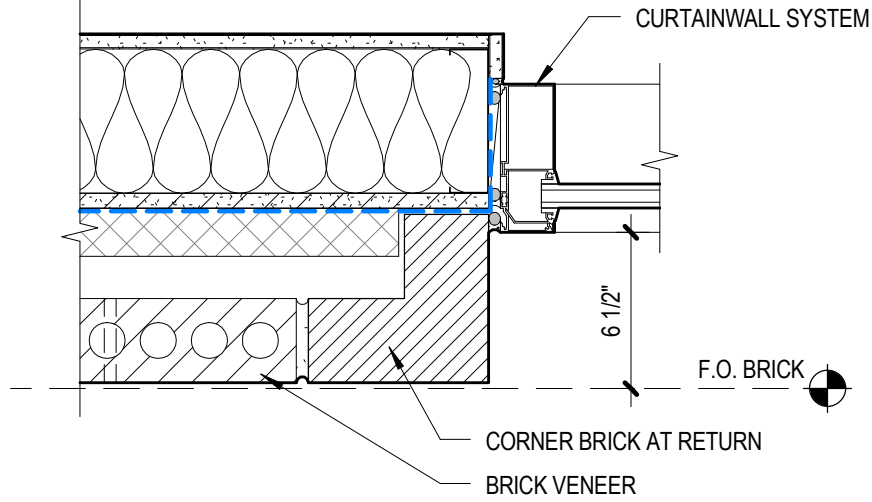
VIEW FROM THE CAMERON APARTMENTS



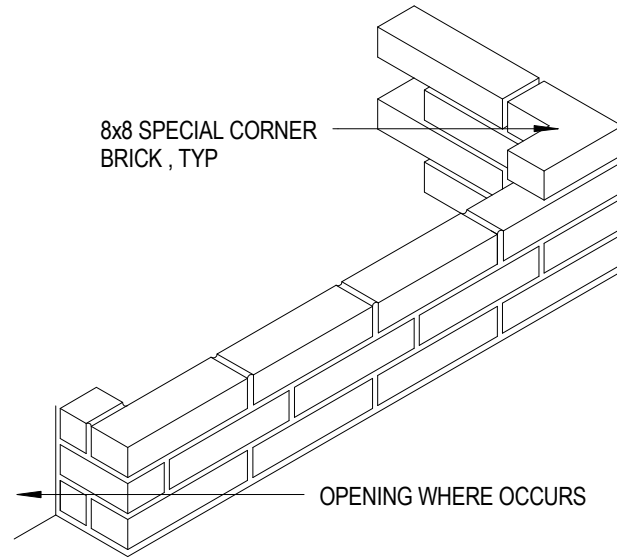
VIEW FROM THE MARCHE APARTMENTS



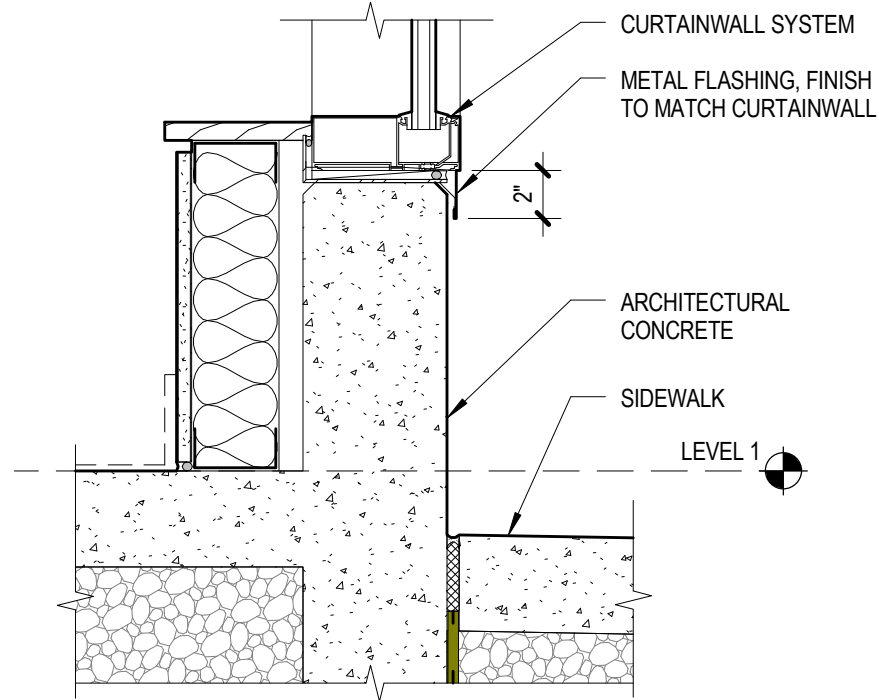




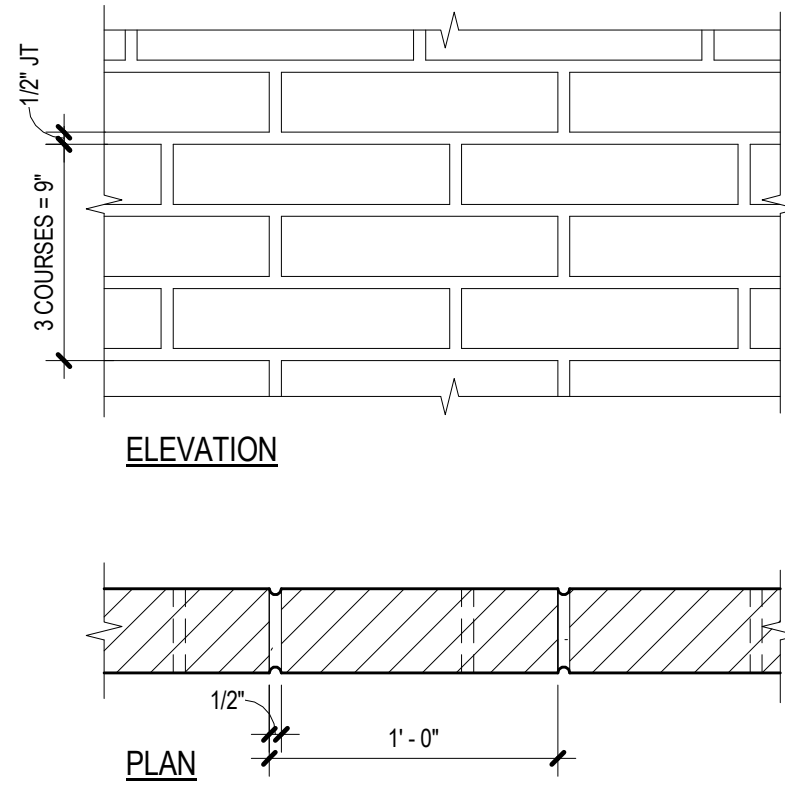
4 STOREFRONT JAMB



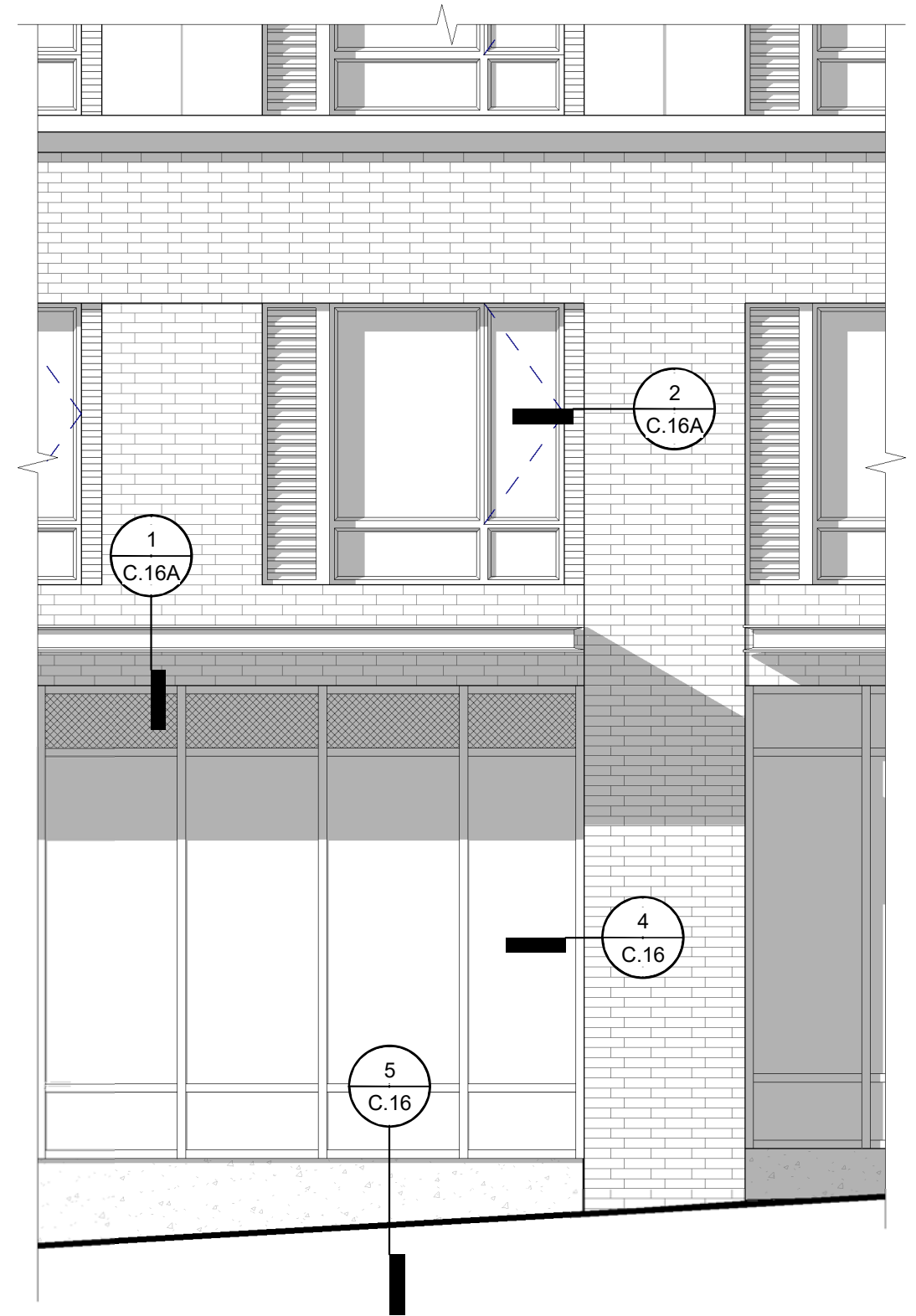
2 BRICK PATTERN AXON



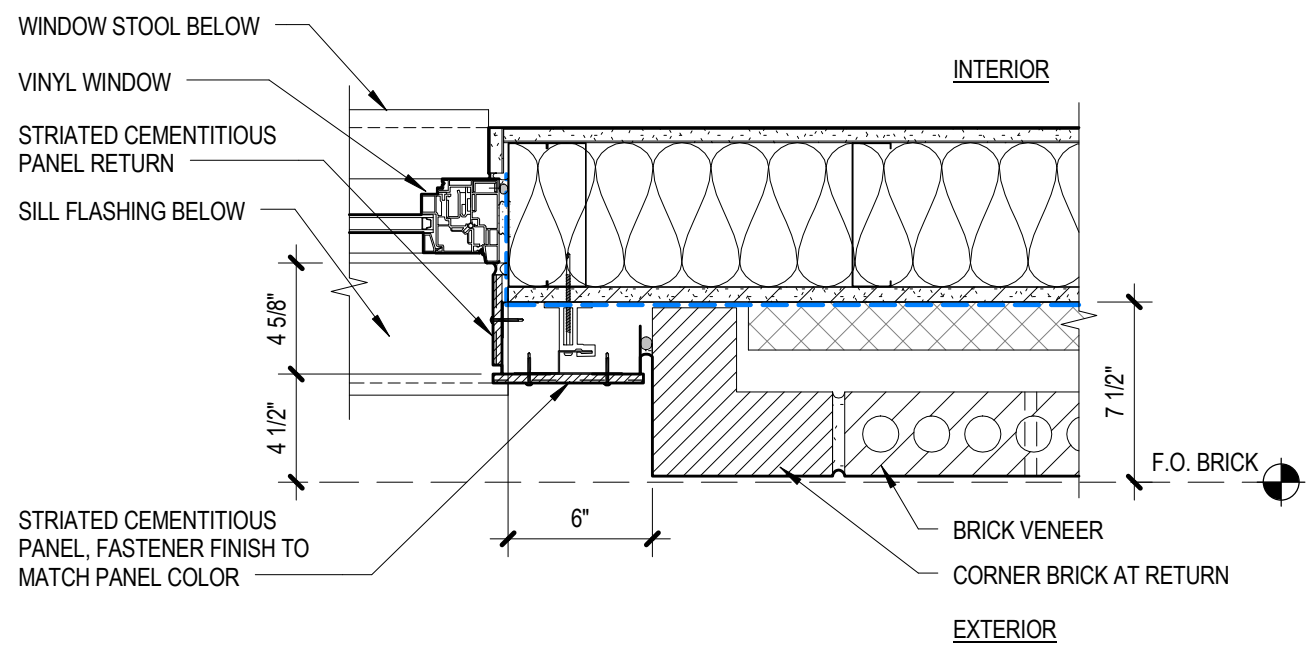
5 STOREFRONT SILL



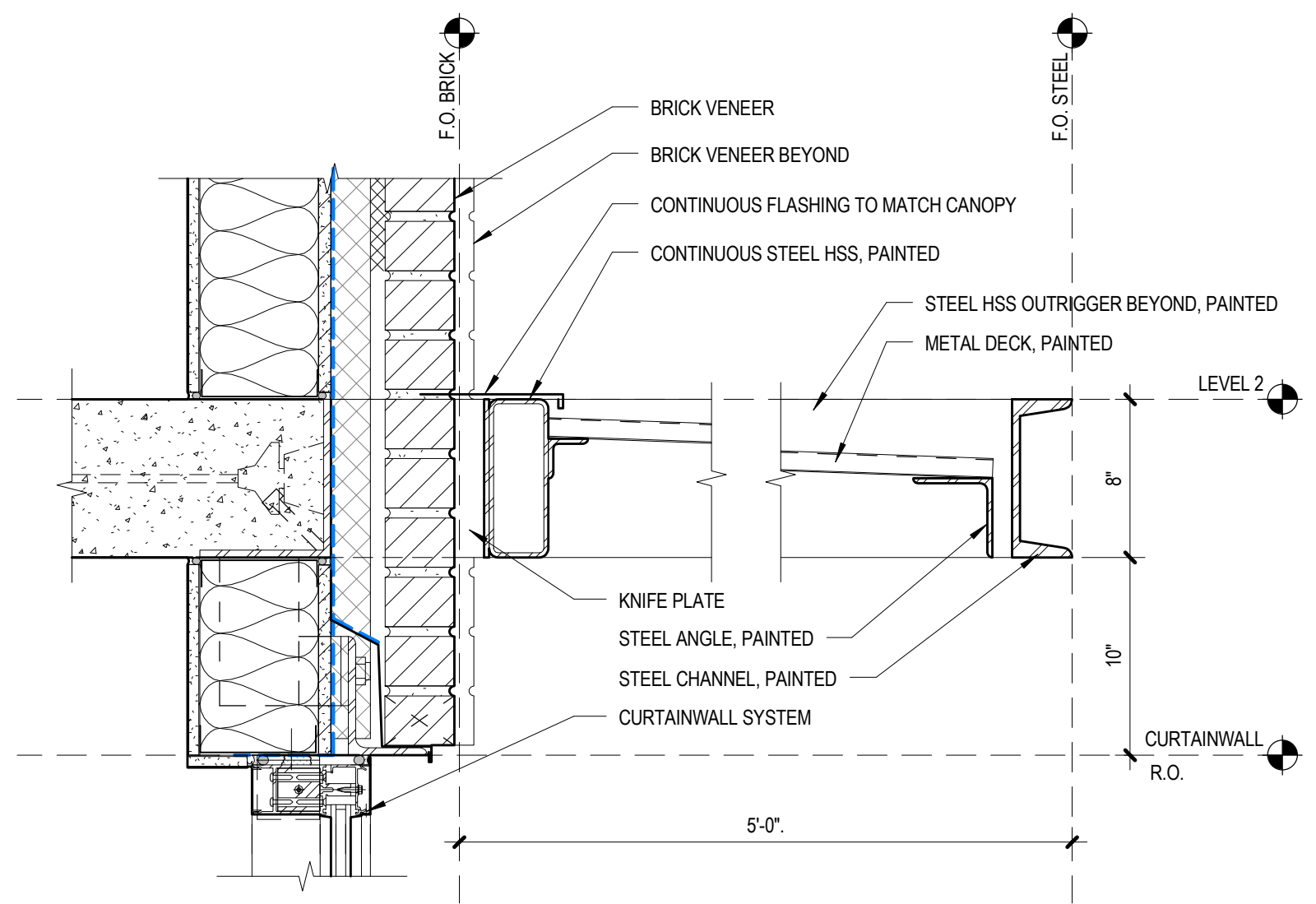
3 BRICK PATTERN



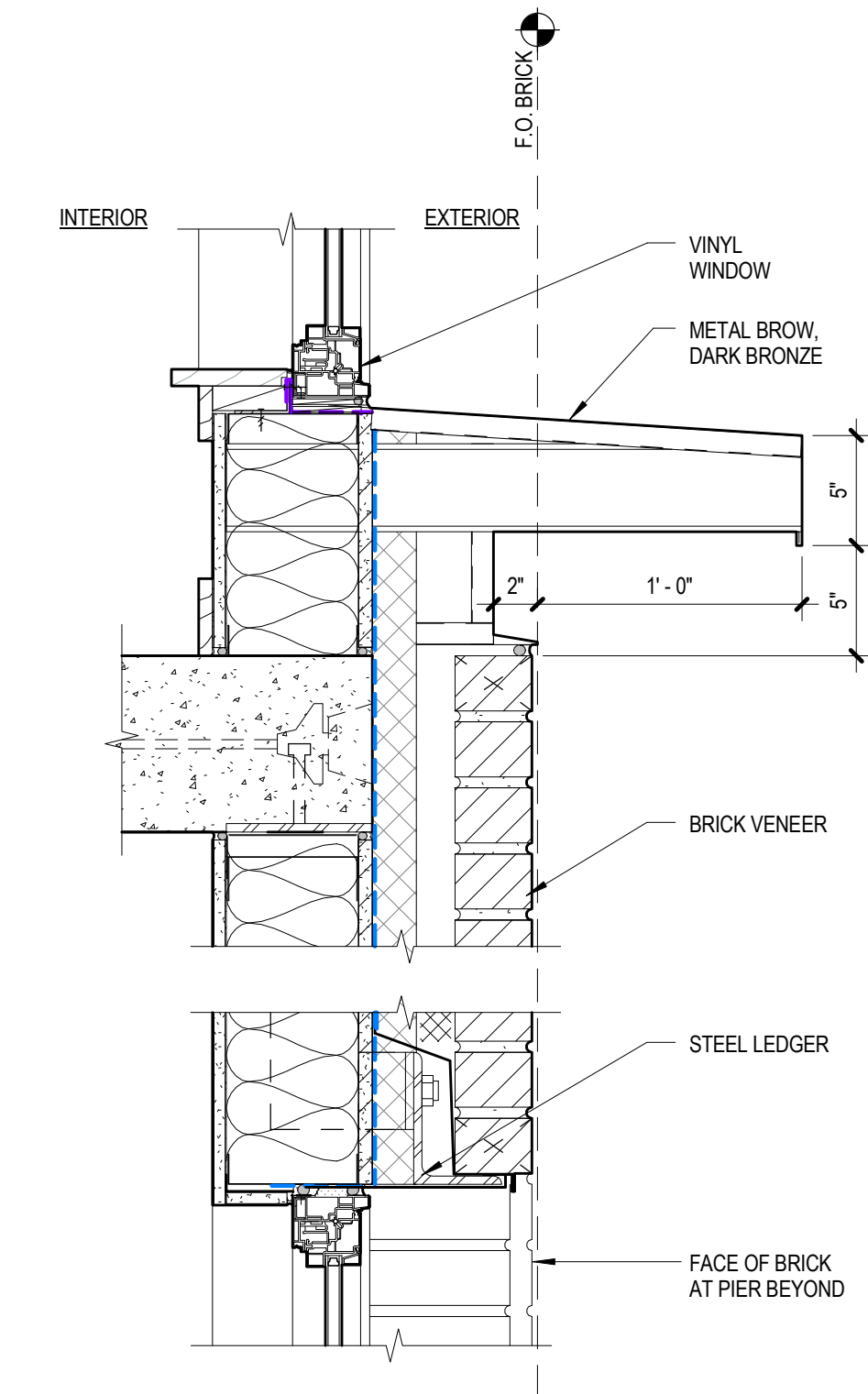
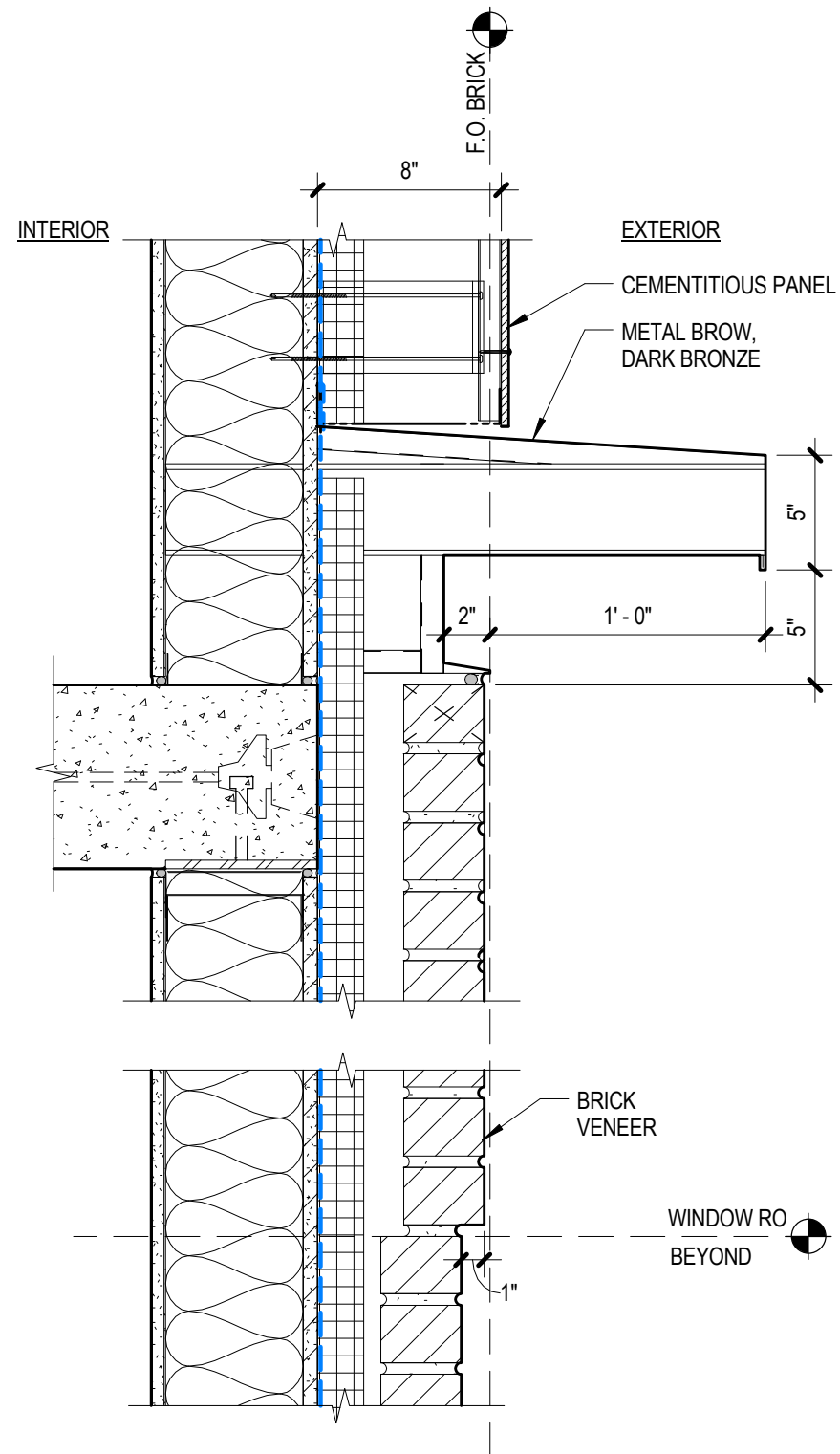
1 ENLARGED ELEVATION
BUILDING BASE, STOREFRONT



2 WINDOW JAMB @ BRICK



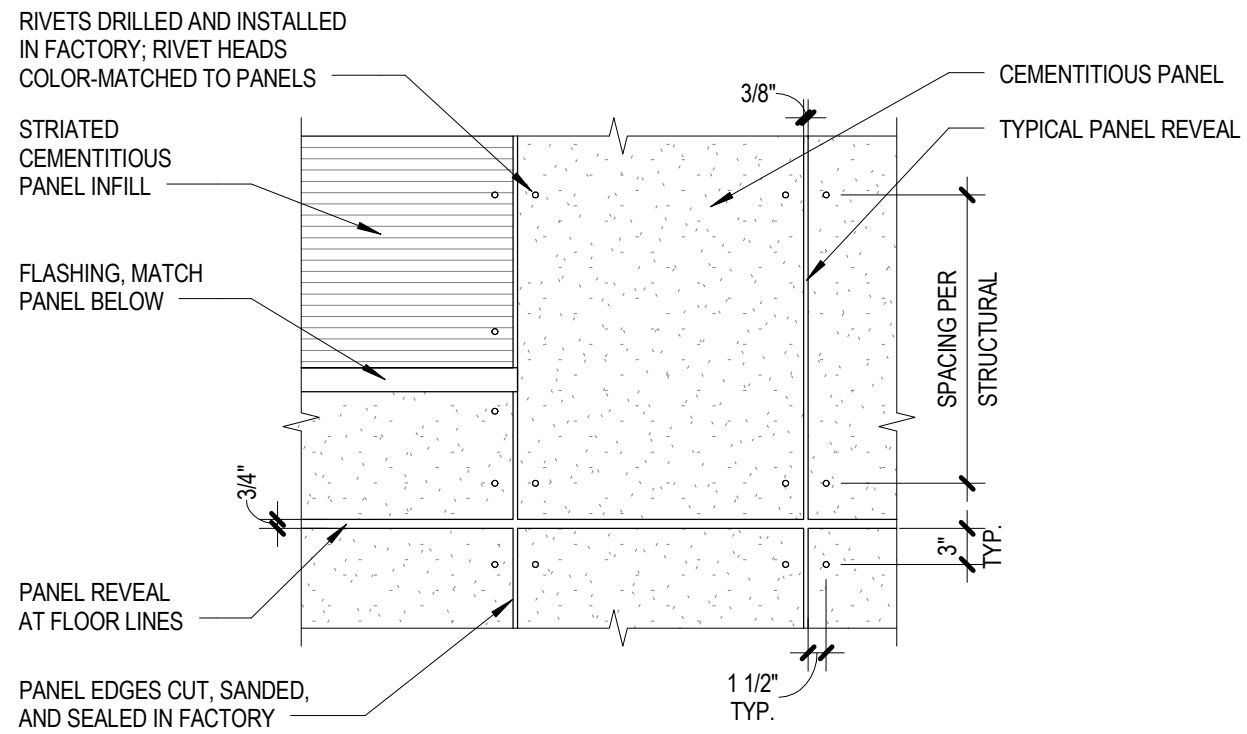
1 STEEL CANOPY



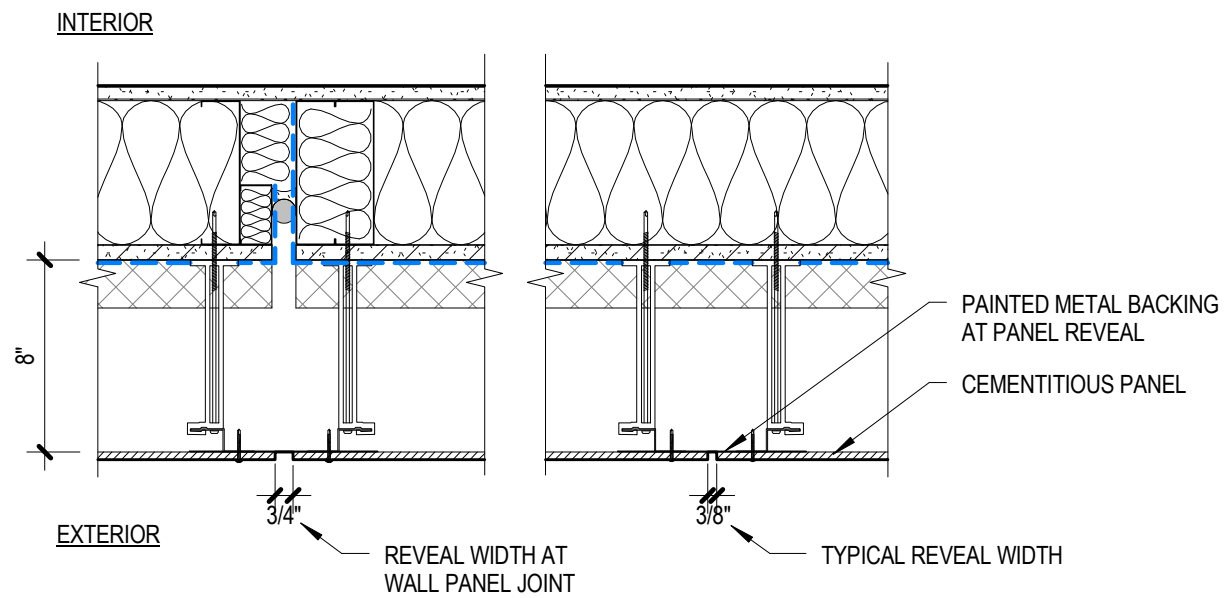
3 BRICK VENEER @ METAL BROW

2 WINDOW SILL/HEAD @ BRICK

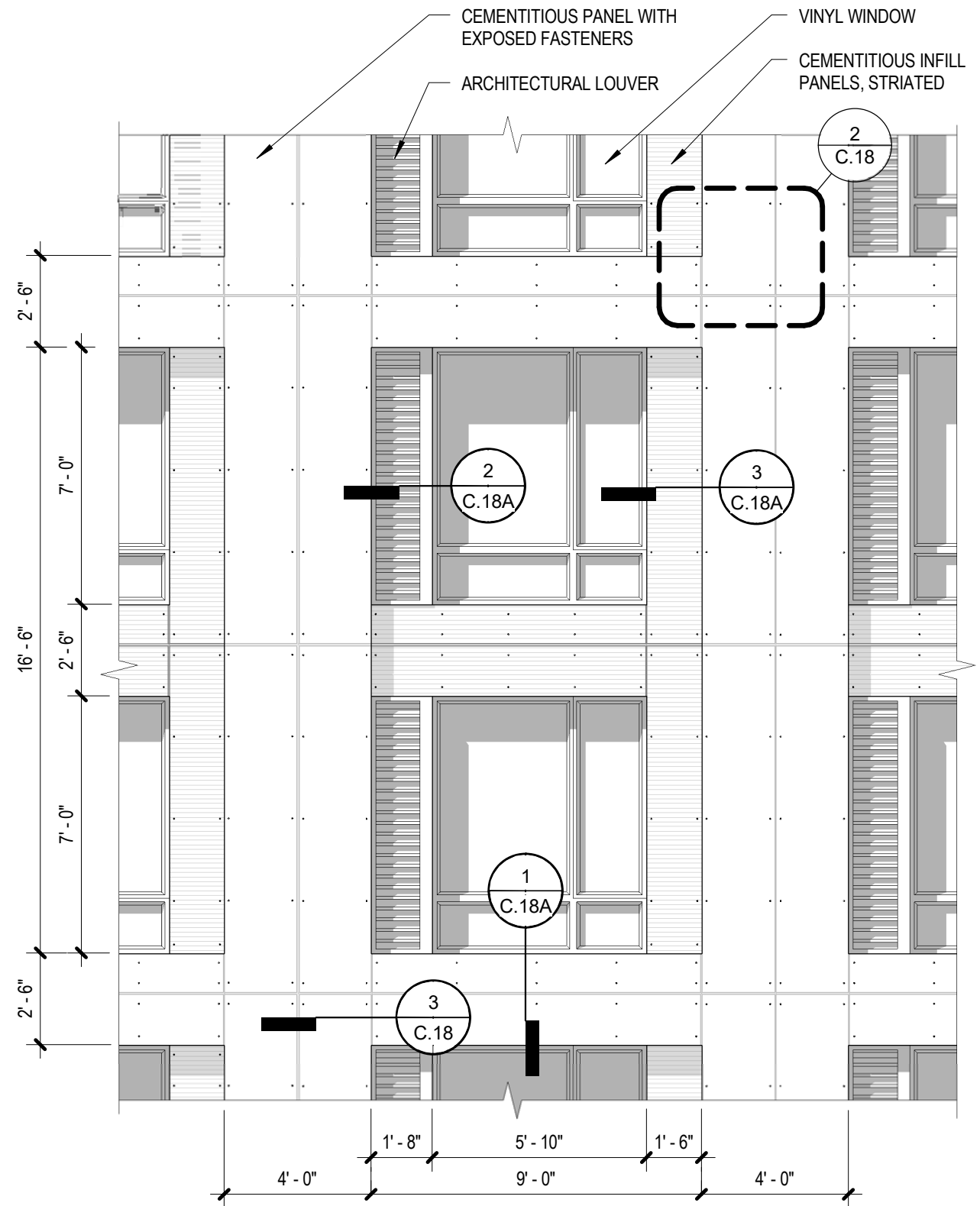
1 ENLARGED ELEVATION
BUILDING BASE, LEVELS 2-3



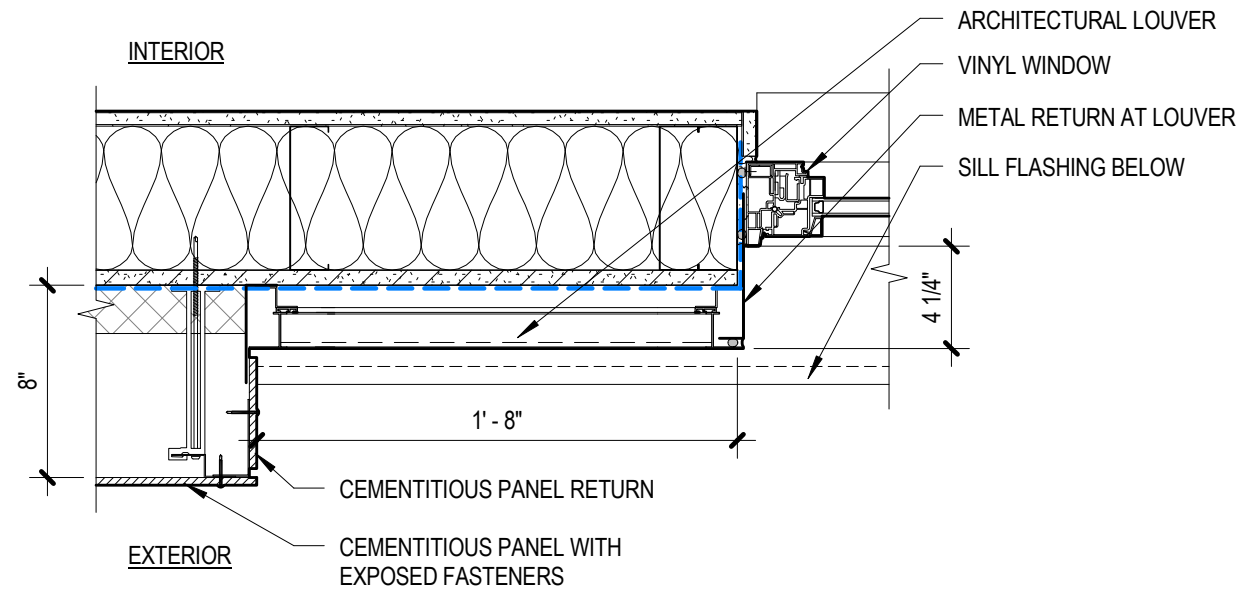
2 PANEL FASTENERS



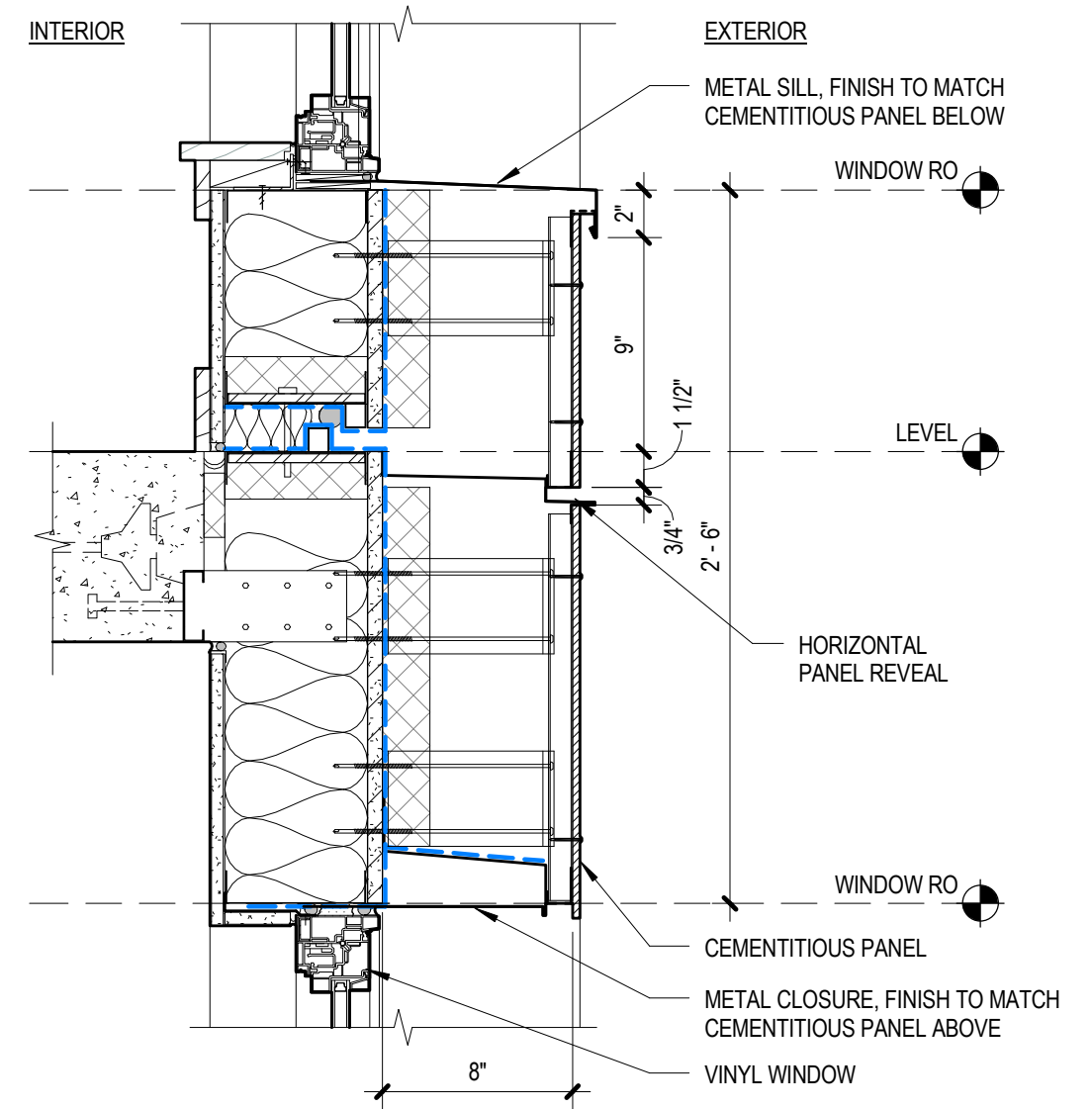
3 VERTICAL PANEL REVEAL



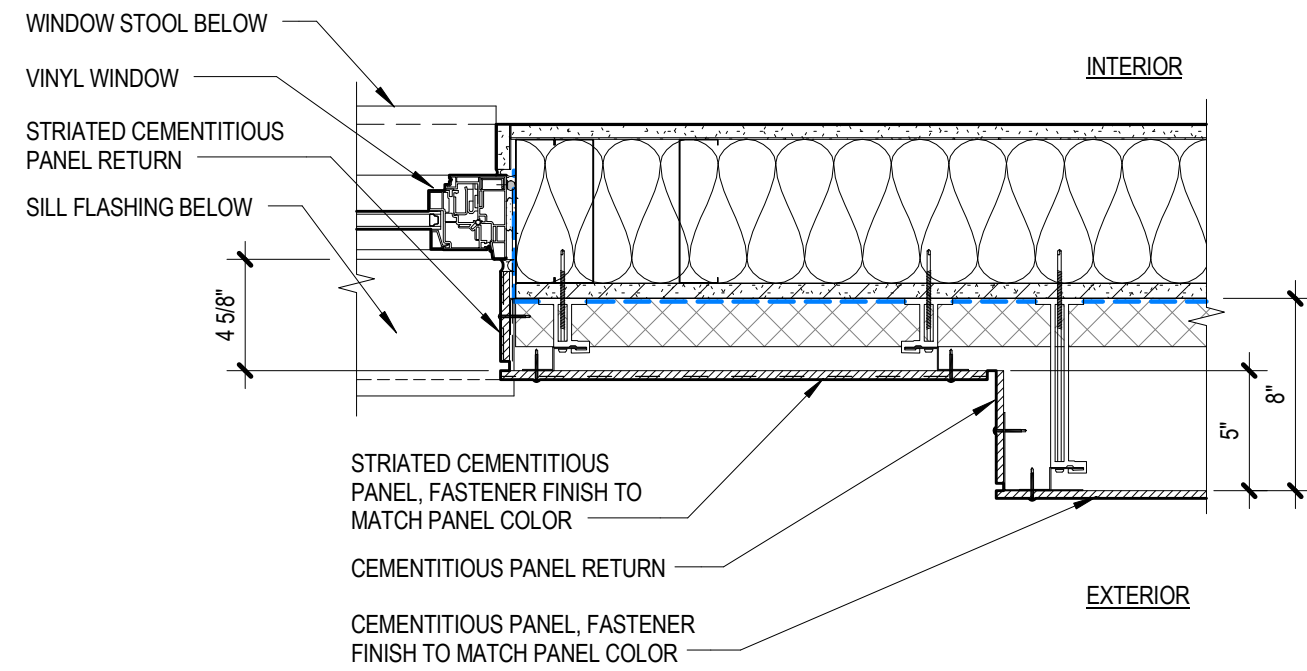
1 ENLARGED ELEVATION
TYPICAL BAY



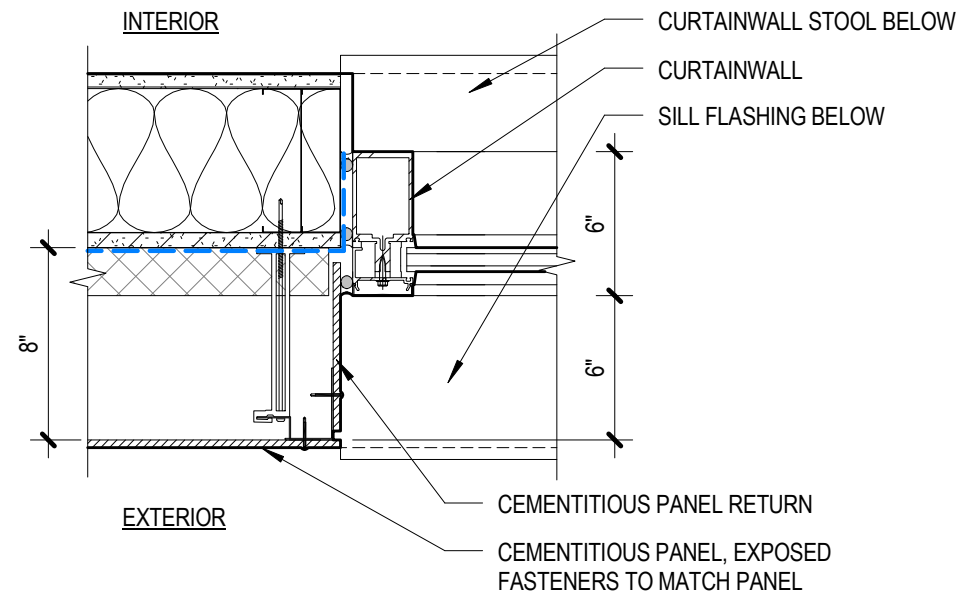
2 WINDOW JAMB @ LOUVER



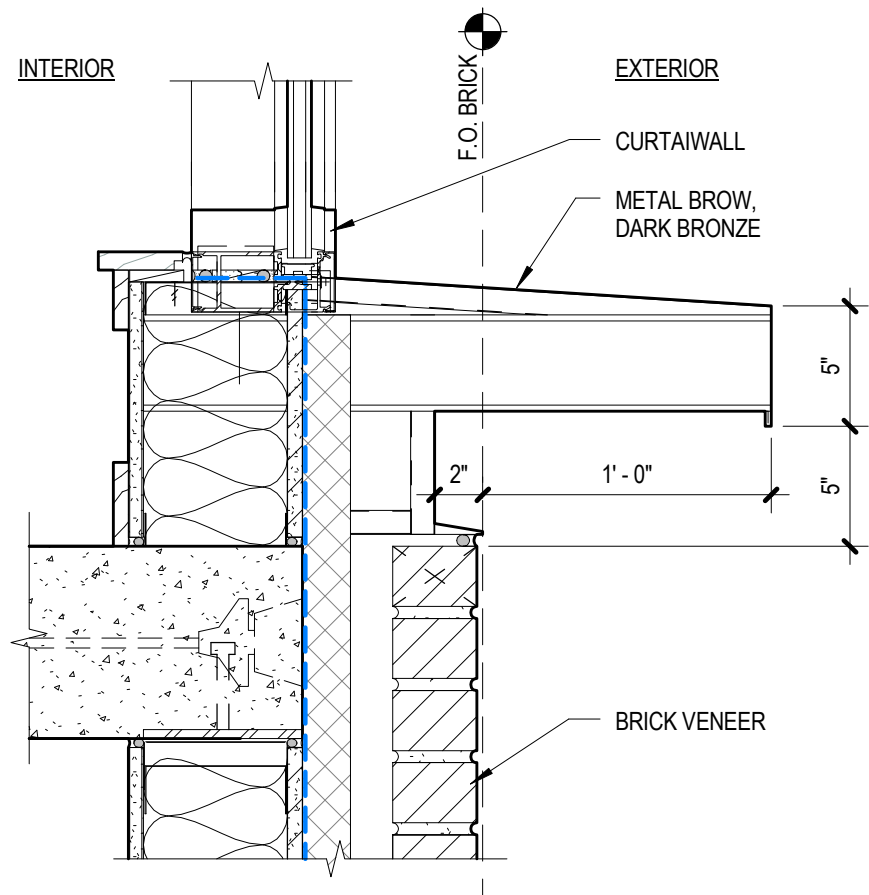
1 WINDOW SILL @ PANEL



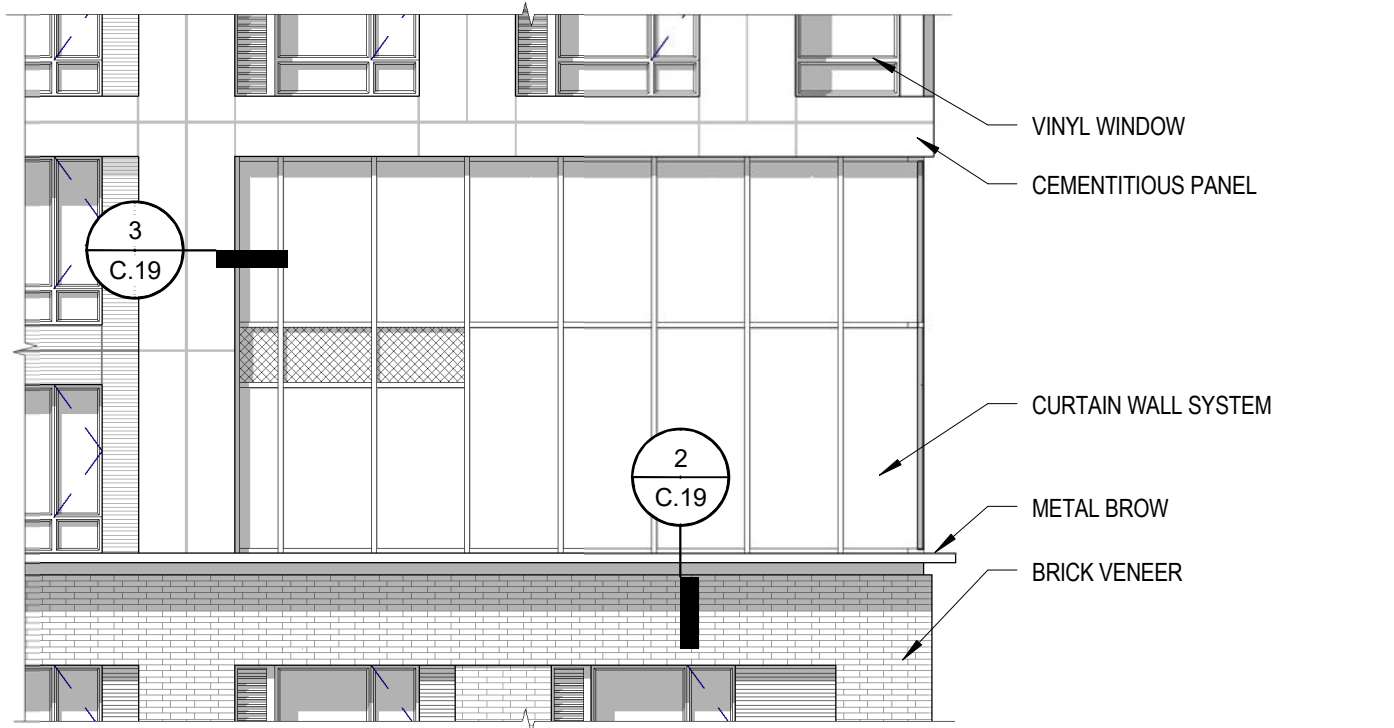
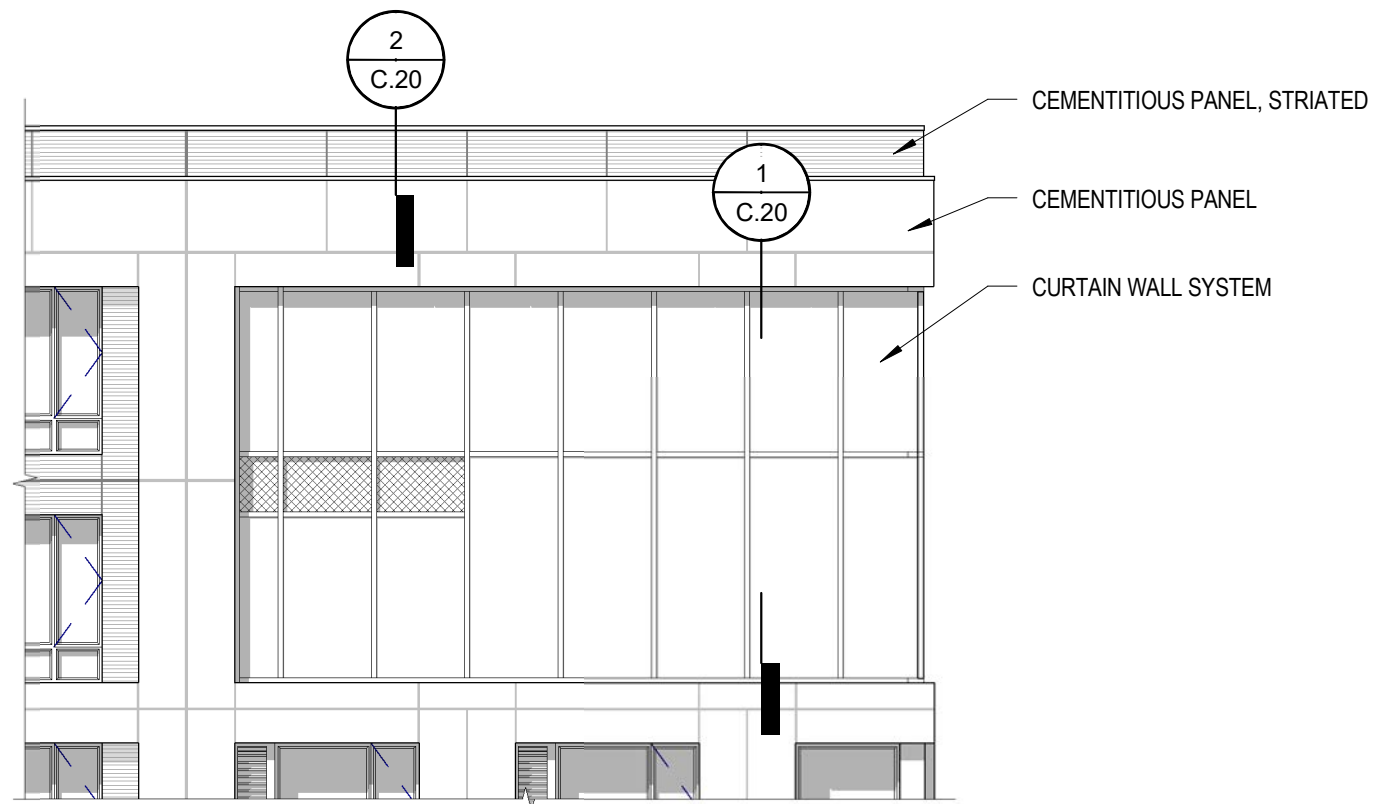
3 WINDOW JAMB @ PANEL



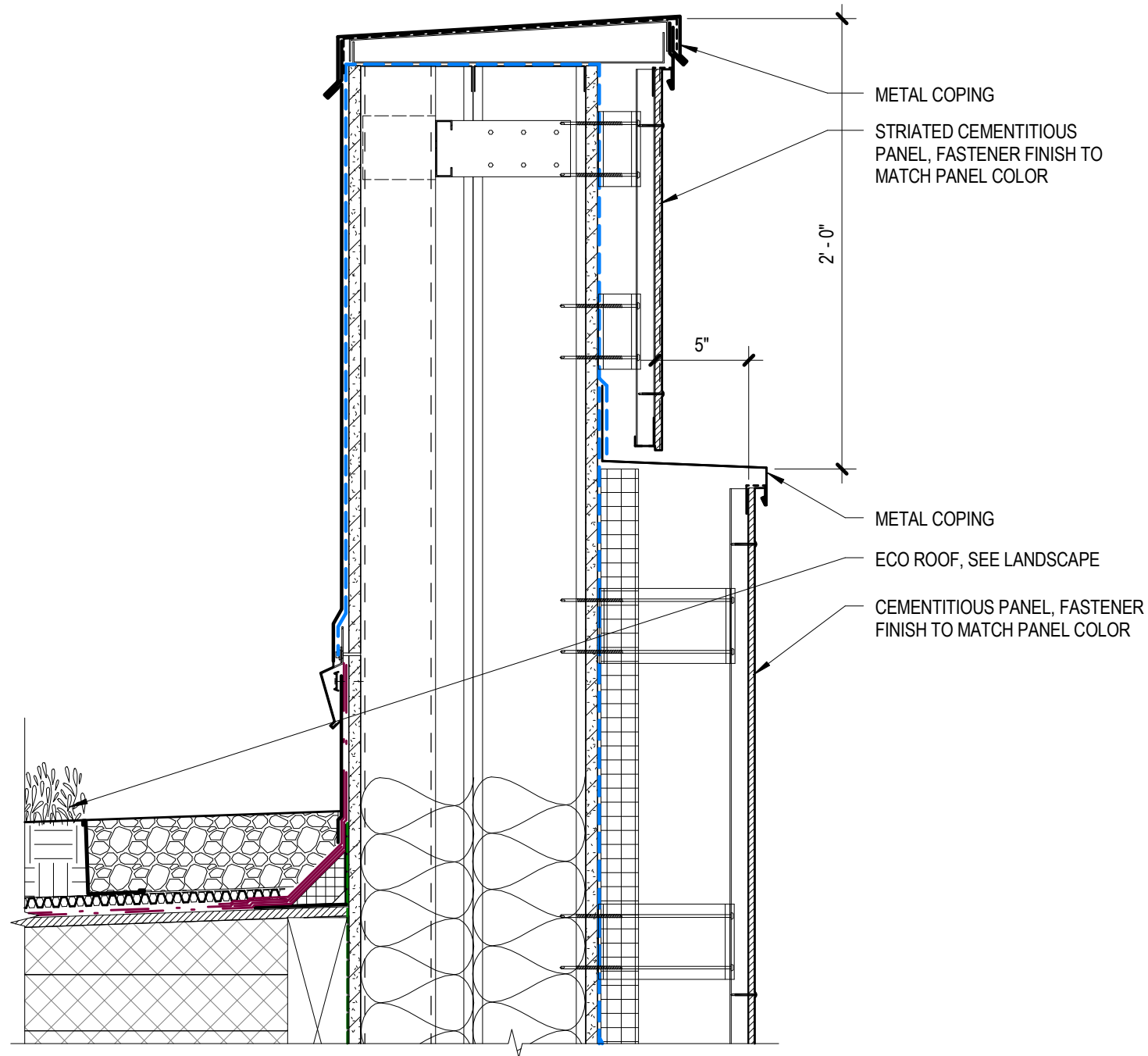
3 CURTAINWALL JAMB @ PANEL



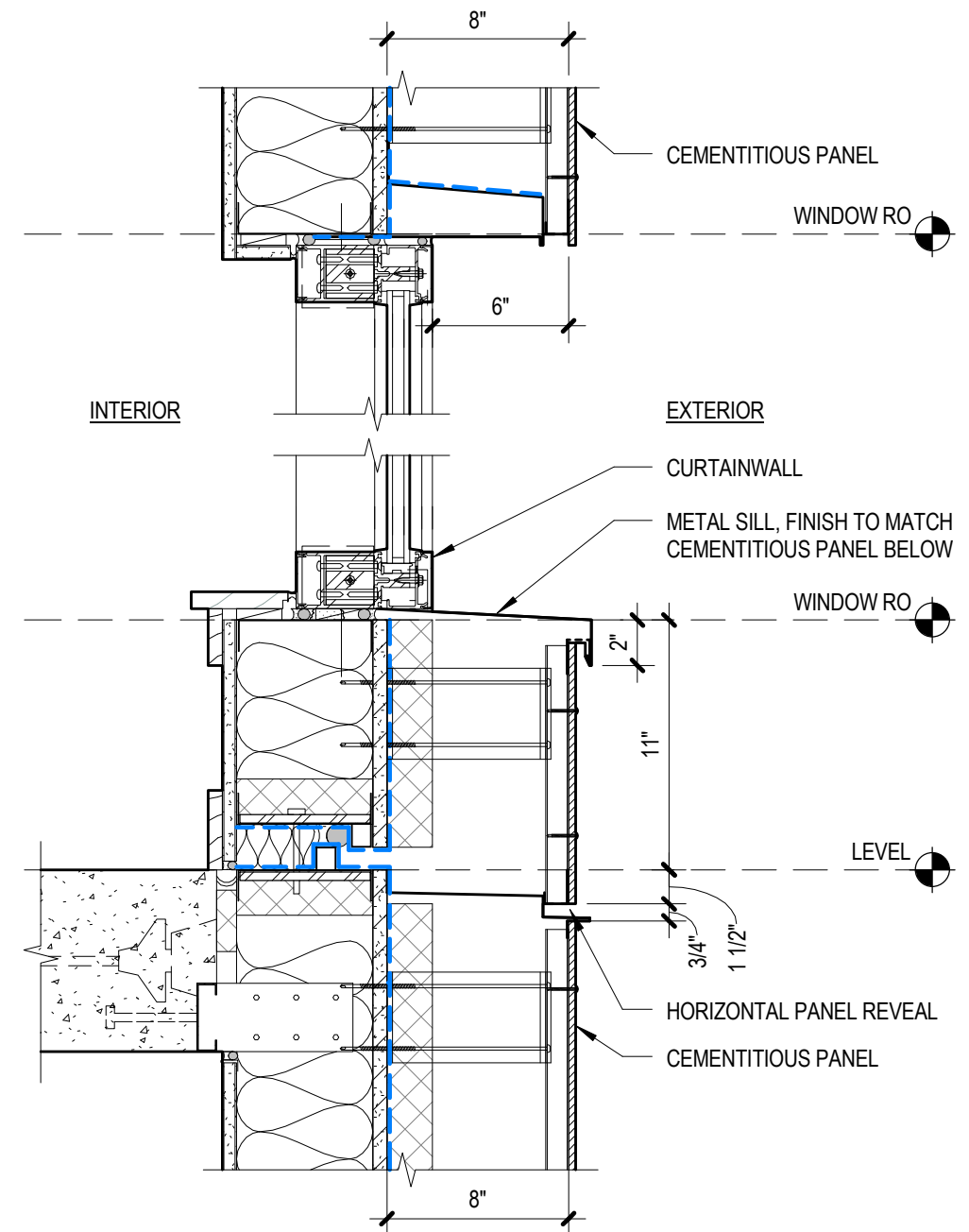
2 CURTAINWALL SILL @BRICK



1 ENLARGED ELEVATION
CURTAIN WALL



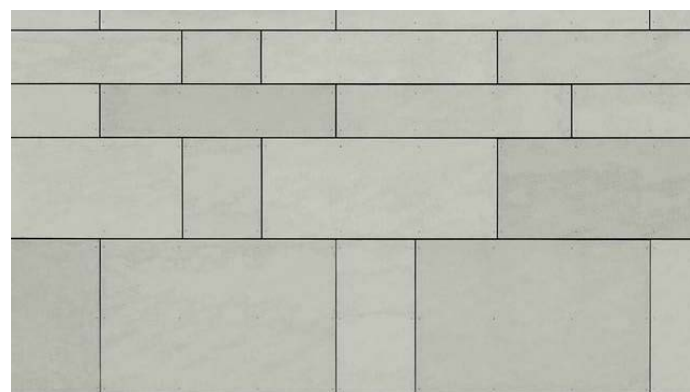
2 PARAPET



1 CURTAINWALL SILL/HEAD @ PANEL



STRIATED CEMENTITIOUS PANEL



CEMENTITIOUS PANEL, EXPOSED FASTENERS



BRICK VENEER 1



BRICK VENEER 2

VINYL WINDOW FRAMES
 CURTAIN WALL MULLIONS, TYPICAL CANOPIES, LOUVERS, FLASHING
 INFILL CLADDING

CLADDING SAMPLE PHOTOS
DIRECT SUNLIGHT

CLADDING SAMPLE PHOTOS
SHADE

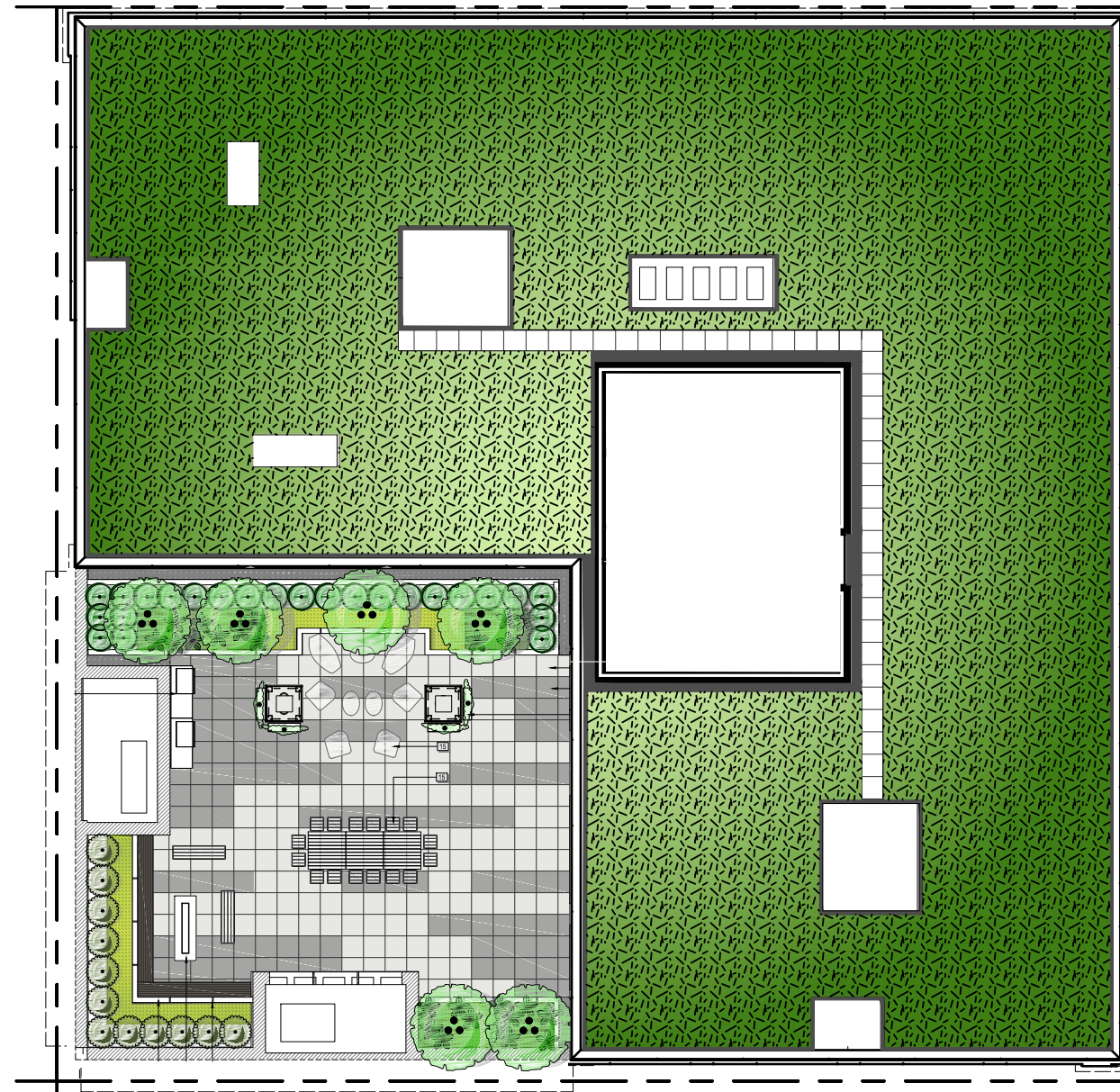
TYPICAL CLADDING ABOVE LEVEL 3
 TYPICAL CLADDING AT BUILDING BASE (BRICK VENEER 2 SHOWN)




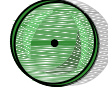

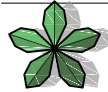



CURTAIN WALL SYSTEM

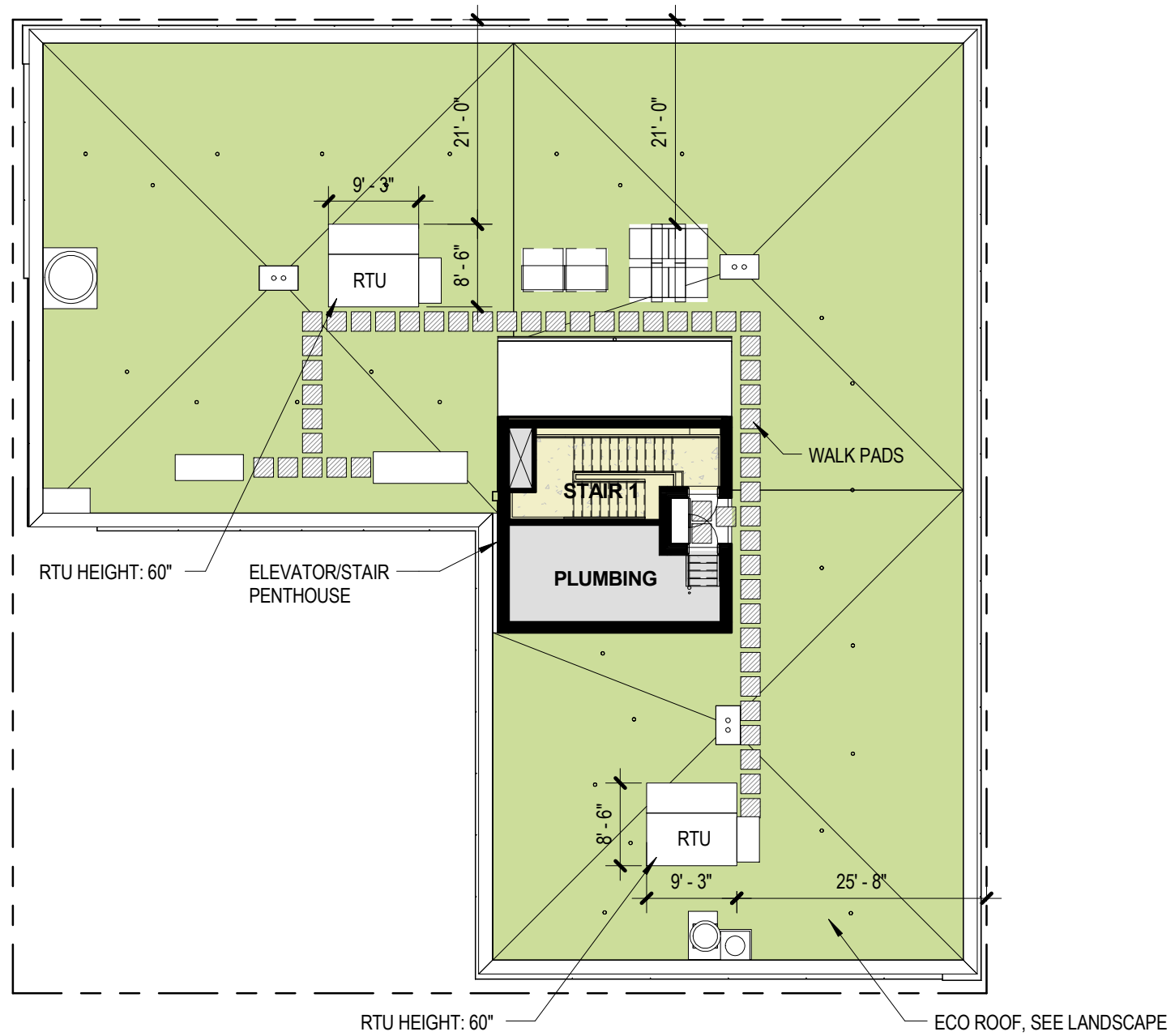


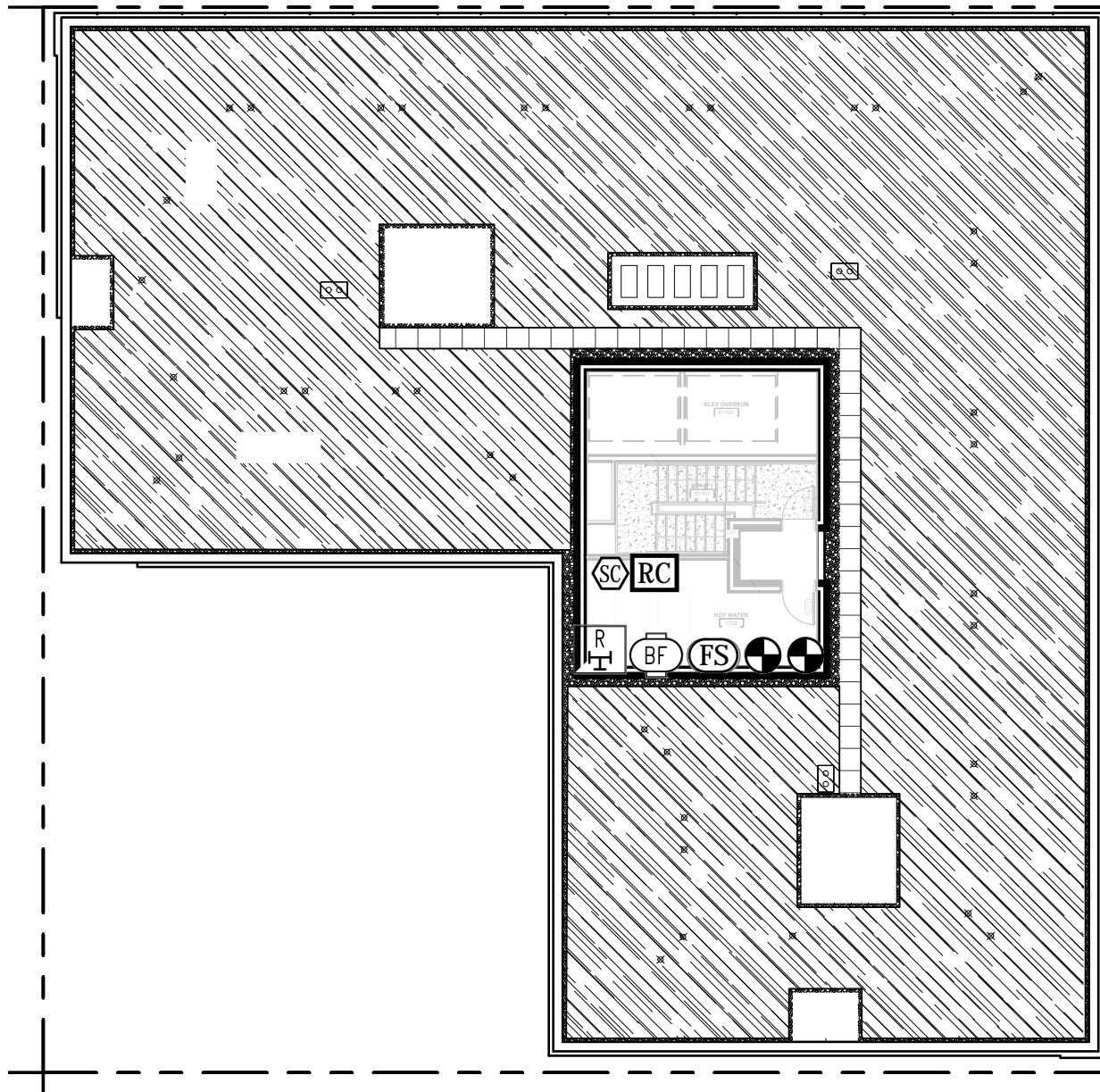
VINYL WINDOWS



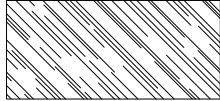
PLANT SCHEDULE







SHRUBS	CODE	COMMON NAME	SIZE	HT.	QTY
	ACP	VINE MAPLE ACER CIRCINATUM 'PACIFIC FIRE'	B & B	6-7'	6
	SRR	FRAGRANT SARCOCOCCA SARCOCOCCA RUSCIFOLIA	5 GAL		24
	TAX	HICKS YEW TAXUS X MEDIA 'HICKSII'	5 GAL		12
NATIVE SHRUBS	CODE	COMMON NAME	SIZE	HT.	QTY
	POP	JAPANESE TASSEL FERN POLYSTICHUM POLYBLEPHARUM	1 GAL		25
VINE/ESPALIER	CODE	COMMON NAME	SIZE	HT.	QTY
	HYA	CLIMBING HYDRANGEA HYDRANGEA ANOMALA PETIOLARIS	5 GAL		4
GROUND COVERS	CODE	COMMON NAME	SIZE	BULB/SF	SPACING
	HAKM	JAPANESE FOREST GRASS HAKONECHLOA MACRA	1 GAL		12" o.c.
	PACT	JAPANESE SPURGE PACHYSANDRA TERMINALIS	4" POT		12" o.c.





IRRIGATION SCHEDULE

SYMBOL	DESCRIPTION	QTY	PRECIP	PSI	GPM
	TURF ROTATOR (HUNTER) 12' TO 30' RADIUS (3,7M-9,1M), TRIANGULAR SPACED, HEAD TO HEAD COVERAGE.	5,604 S.F.	0.45 in/h	40	26

SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	QTY
	HUNTER ICV-G 1", 1-1/2", 2", AND 3" PLASTIC ELECTRIC REMOTE CONTROL VALVES, GLOBE CONFIGURATION, WITH NPT THREADED INLET/OUTLET, FOR COMMERCIAL/MUNICIPAL USE.	2
	ZURN 950XL 1" DOUBLE CHECK VALVE ASSEMBLY	1
	HUNTER IC-0600-M MODULAR CONTROLLER, 6 STATIONS, OUTDOOR MODEL, METAL CABINET. NO MODULE REQUIRED. COMMERCIAL USE.	1
	HUNTER SOIL-CLIK THE SOIL-CLIK PROBE USES PROVEN TECHNOLOGY TO MEASURE MOISTURE WITHIN THE ROOT ZONE. WHEN THE PROBE SENSES THAT THE SOIL HAS REACHED ITS DESIRED MOISTURE LEVEL, IT WILL SHUT DOWN IRRIGATION, PREVENTING WATER WASTE.	1
	HUNTER HFS-100 FLOW SENSOR FOR USE WITH ACC CONTROLLER, 1" SCHEDULE 40 SENSOR BODY, 24 VAC, 2 AMP.	1
	POINT OF CONNECTION 1-1/4" GREEN ROOF POC	1



SWEET BOX



JAPANESE FOREST GRASS



VINE MAPLE



TAXUS



CLIMBING HYDRANGEA



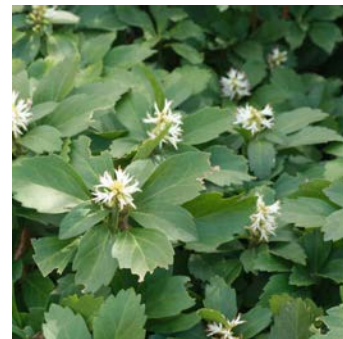
SEDUM MIX EXAMPLE



SEDUM MIX EXAMPLE



TASSEL FERN



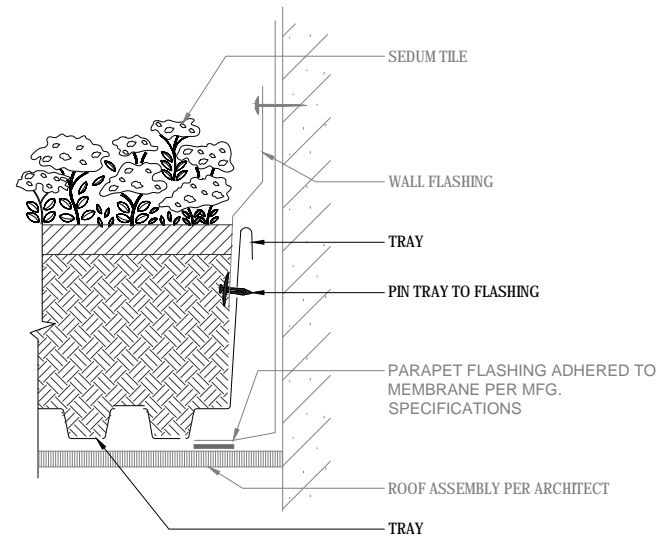
JAPANESE SPURGE



RIVER COBBLE BALLAST



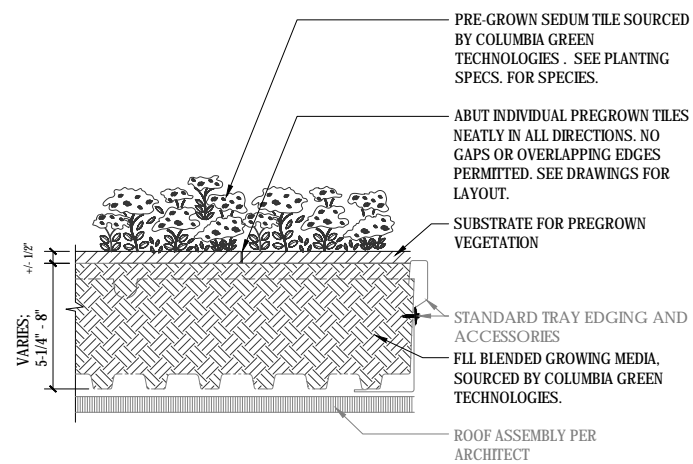
CONCRETE PAVER



1 TRAY CONNECTION AT WALL

6" = 1'-0"

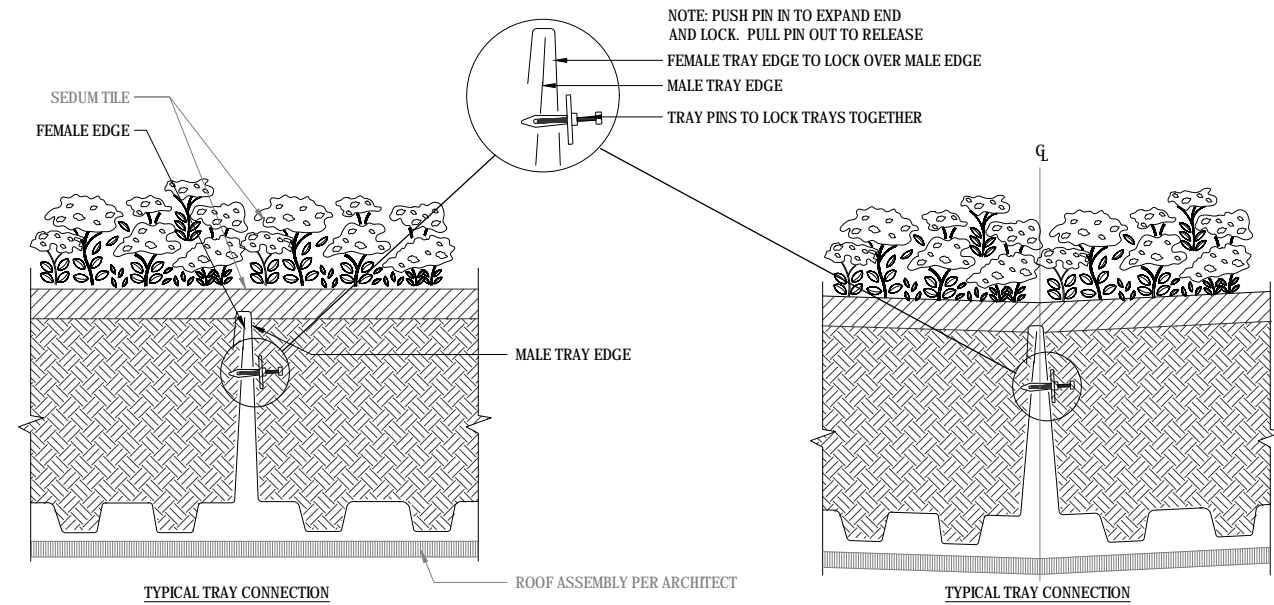
329700-01



2 TILE PLANTING METHOD

3" = 1'-0"

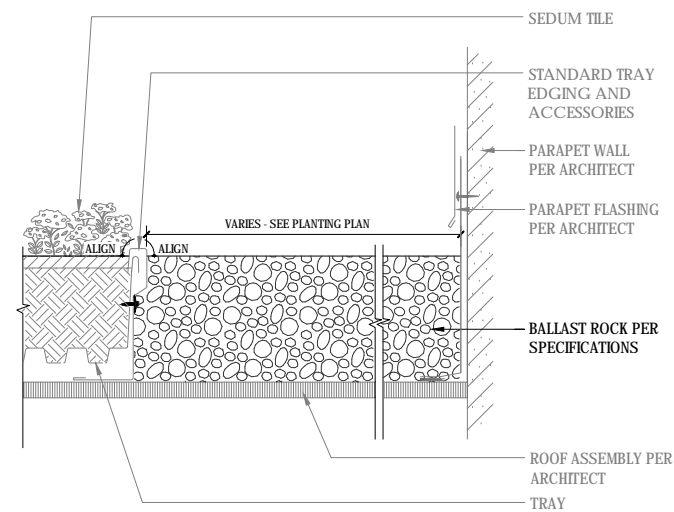
329700-04



3 TRAY CONNECTION

6" = 1'-0"

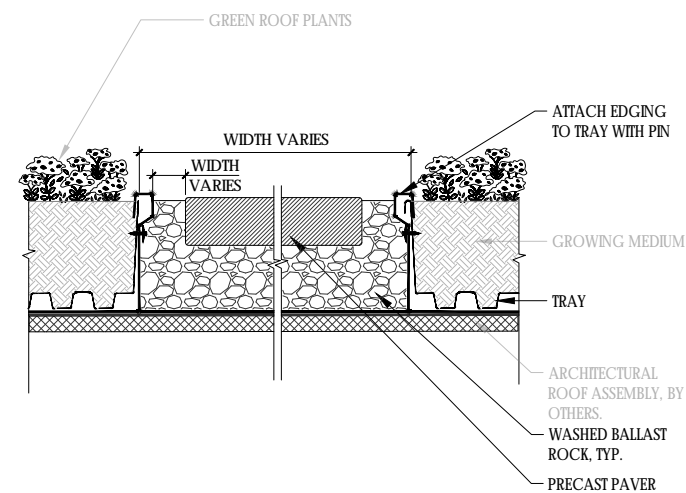
329700-03



4 BALLAST ROCK EDGE

3" = 1'-0"

329700-02



5 TILE - PAVER OVER ROCK BALLAST

3" = 1'-0"

329700-11

ECOROOF OPERATIONS AND MAINTENANCE NOTES

- A. FOLLOWING PLANT ESTABLISHMENT PERIOD, IRRIGATION ANTICIPATED TO BE APPLIED ONLY DURING JULY AND AUGUST.
- B. IRRIGATION SOURCE FROM POTABLE WATER SYSTEM.
- C. ECOROOFs ARE VEGETATED SYSTEMS THAT RETAIN AND FILTER STORMWATER AND PROVIDE AESTHETIC AND ENERGY CONSERVATION BENEFITS. THE EXTENSIVE ECOROOF FILTERS STORMWATER WITH A PLANT PALETTE COMPOSED PRIMARILY OF SEDUM PLANTS.
- D. SOIL MEDIUM, VEGETATION, IRRIGATION, AND DRAINS SHALL BE INSPECTED FOR PROPER OPERATIONS THROUGHOUT THE LIFE OF THE ECO-ROOF. ALL ELEMENTS SHALL BE INSPECTED ANNUALLY. FACILITIES PERSONNEL SHALL KEEP A LOG, RECORDING ALL INSPECTION DATES, OBSERVATIONS, AND MAINTENANCE ACTIVITIES. WORK ORDERS AND INVOICES SHALL BE KEPT ON FILE AND MADE AVAILABLE TO CITY INSPECTOR UPON REQUEST. THE FOLLOWING ITEMS SHALL BE INSPECTED AND MAINTAINED AS STATED:
- D.A. SOIL SUBSTRATE / GROWING MEDIUM SHALL SUSTAIN HEALTHY PLANT COVER AND INFILTRATE WITHIN 48 HOURS.
- D.A.A. GROWING MEDIUM SHALL BE INSPECTED FOR EVIDENCE OF EROSION FROM WIND, WATER OR SETTLEMENT. IF EROSION CHANNELS ARE EVIDENT, THEY SHALL BE STABILIZED WITH ADDITIONAL SOIL SUBSTRATE/GROWTH MEDIUM AND COVERED WITH ADDITIONAL PLANTS. ALL DEPRESSIONS AS THE RESULT OF MAINTENANCE FOOT TRAFFIC ACTIVITY, SETTLEMENT, ETC. SHALL BE FILLED FLUSH WITH ADJACENT MEDIUM. PLANT MORTALITY AS A RESULT OF FOOT TRAFFIC SHALL BE REPLACED IMMEDIATELY. BARE SOIL SHALL BE PLANTED PER THE PLANTING DESIGN. SOIL SHALL DRAIN WITHIN 48 HOURS.
- E. ECO-ROOF SYSTEM SHALL BE OPERATED AND MAINTAINED IN ACCORDANCE WITH MANUFACTURER'S REQUIREMENTS. DRAIN INLETS SHALL BE KEPT UNRESTRICTED.
- E.A. INLET PIPE SHALL BE CLEARED WHEN SOIL SUBSTRATE, VEGETATION, DEBRIS, LITTER OR OTHER MATERIALS CLOG THE DRAIN INLET. SOURCES OF SEDIMENT AND DEBRIS SHALL BE IDENTIFIED AND CORRECTED.
- E.B. DETERMINE IF DRAIN INLET PIPE IS IN GOOD CONDITION AND CORRECT AS NEEDED.
- E.C. CONTACT MEMBRANE MANUFACTURER IF TEARS OR PERFORATIONS ARE FOUND IN THE MEMBRANE.
- F. VEGETATION SHALL BE MAINTAINED TO PROVIDE 95% PLANT COVER.
- F.A. DURING THE ESTABLISHMENT PERIOD, DEAD OR DAMAGED PLANTS SHALL BE REPLACED BY CONTRACTOR ONCE PER MONTH AS NEEDED UNTIL EXPIRATION OF WARRANTY AFTER WHICH THE OWNER OR BUILDING FACILITIES SHALL BE RESPONSIBLE FOR MAINTENANCE. DURING THE LONG-TERM PERIOD, DEAD PLANTS SHALL GENERALLY BE REPLACED ONCE PER YEAR IN THE FALL MONTHS.
- F.B. FALLEN LEAVES AND DEBRIS FROM DECIDUOUS PLANT FOLIAGE SHALL BE REMOVED.
- F.C. NUISANCE AND PROHIBITED VEGETATION FROM THE PORTLAND PLANT LIST SHALL BE REMOVED WHEN DISCOVERED.
- F.D. WEEDING SHALL BE MANUAL WITH NO HERBICIDES OR PESTICIDES USED. WEEDS SHALL BE REMOVED REGULARLY AND NOT ALLOWED TO ACCUMULATE.
- G. IRRIGATION OF EXTENSIVE ECO-ROOF
- G.A. DURING THE ESTABLISHMENT PERIOD (2 YEARS), THE IRRIGATION TIMER SHALL BE SET TO ASSURE PLANT ESTABLISHMENT AT A RATE OF .25 INCH EVERY 14TH DAY DURING THE MONTHS OF JUNE AND SEPTEMBER (WARM PERIODS) AND .25 INCH EVERY SEVENTH DAY DURING JULY AND AUGUST (HOT DRY PERIODS).
- G.B. DURING THE LONG-TERM PERIOD (AFTER 2 FULL YEARS), WATER AT A RATE OF .25 INCH EVERY 14TH DAY DURING THE MONTHS OF JULY AND AUGUST TO MAINTAIN PLANT COVER. NO IRRIGATION IS ALLOWED FROM THE BEGINNING OF NOVEMBER THROUGH THE END OF APRIL.
- G.C. IRRIGATION WATERING TIMES SHALL BE MODIFIED AS NEEDED TO ACCOMMODATE FLUCTUATIONS IN DRY AND WET PERIODS WITH THE EXCEPTION THAT AT NO TIME SHALL THE IRRIGATION EXCEED .5 INCHES PER TEN DAYS. ACCURATE MONITORING AND ASSESSMENT OF TEMPERATURE AND RAINFALL SHALL DICTATE SCHEDULE AND WATERING LENGTHS. AUTOMATIC RAIN SHUT OFF DEVICES ARE TO BE INSPECTED AND ANY DEBRIS REMOVED DURING IRRIGATION REGIME.
- H. SPILL PREVENTION MEASURES FROM MECHANICAL SYSTEMS LOCATED ON ROOFS SHALL BE EXERCISED WHEN HANDLING SUBSTANCES THAT CAN CONTAMINATE STORMWATER.
- H.A. RELEASE OF POLLUTANTS SHALL BE CORRECTED AS SOON AS IDENTIFIED.
- H.B. BEST MANAGEMENT PRACTICES SHALL BE IMPLEMENTED TO PREVENT HAZARDOUS WASTES FROM CONTAMINATING STORMWATER. RECORD TIME, DATE, WEATHER, AND SITE CONDITIONS WHEN SITE ACTIVITIES CONTAMINATE STORMWATER.
- I. TRAINING AND/OR WRITTEN GUIDANCE INFORMATION
- I.A. A COPY OF O&M PLAN FOR MAINTAINING ECOROOFs SHALL BE PROVIDED TO THE OWNER'S MAINTENANCE PERSONNEL FOR REFERENCE. BUILDING FACILITIES / MAINTENANCE PERSONNEL SHALL RECEIVE INSTRUCTION AS TO NEEDS AND REGULAR SCHEDULES FOR PROPERLY MAINTAINING THE HEALTH AND VIGOR OF THE ECO-ROOF PLANTINGS AND ASSOCIATED DRAINAGE SURFACE.
- J. ACCESS AND SAFETY TO THE ECO-ROOF
- J.A. NO TENANT CIRCULATION OR EGRESS ROUTES ARE PROPOSED OR ALLOWED ON EXTENSIVE ECOROOF AREAS. MAINTENANCE PERSONNEL SHALL ACCESS ROOF VIA UTILITY ACCESS POINTS AND TIE INTO SAFETY POINTS AS NEEDED WHEN INSPECTING OR MAINTAINING PERIMETER AREAS THAT POSE A SAFETY CONCERN.
- K. AESTHETICS OF THE ECO-ROOF SHALL BE MAINTAINED AS AN ASSET TO THE PROPERTY OWNER AND COMMUNITY.
- K.A. EVIDENCE OF DAMAGE OR VANDALISM SHALL BE REPAIRED AND ACCUMULATION OF TRASH DEBRIS SHALL BE REMOVED UPON DISCOVERY.
- L. INSECTS SHALL NOT BE HARBORED AT THE ECO-ROOF.
- L.A. STANDING WATER CREATING AN ENVIRONMENT FOR DEVELOPMENT OF INSECT LARVAE SHALL BE ELIMINATED BY MANUAL MEANS. CHEMICAL SPRAYS SHALL NOT BE USED.
- L.B. RECORD TIME, DATE, WEATHER, AND SITE CONDITIONS WHEN INSECT OR RODENT ACTIVITY IS OBSERVED. RECORD WHEN INSECT OR RODENT ACTIVITY ABATED OR ENDED.
- M. ANNUAL MAINTENANCE SCHEDULE:
- M.A. *SUMMER*: MAKE NECESSARY REPAIRS. IMPROVE GROWING MEDIUM AS NEEDED. CLEAR DRAINS. IRRIGATE AS DESCRIBED ABOVE.
- M.B. *FALL*: REPLACE EXPOSED SOIL AND DEAD PLANTS. REMOVE SEDIMENT AND DEBRIS FROM DRAINS. PROVIDE EROSION CONTROL FOR BASE SOIL IF NECESSARY.
- M.C. *WINTER*: MONITOR INFILTRATION/FLOW RATES. CLEAR DRAINS AS NEEDED.
- M.D. *SPRING*: REPLANT EXPOSED SOIL AND DEAD PLANTS. REMOVE SEDIMENT AND DEBRIS FROM DRAINS.
- M.E. *ALL SEASONS*: WEED AS NECESSARY.

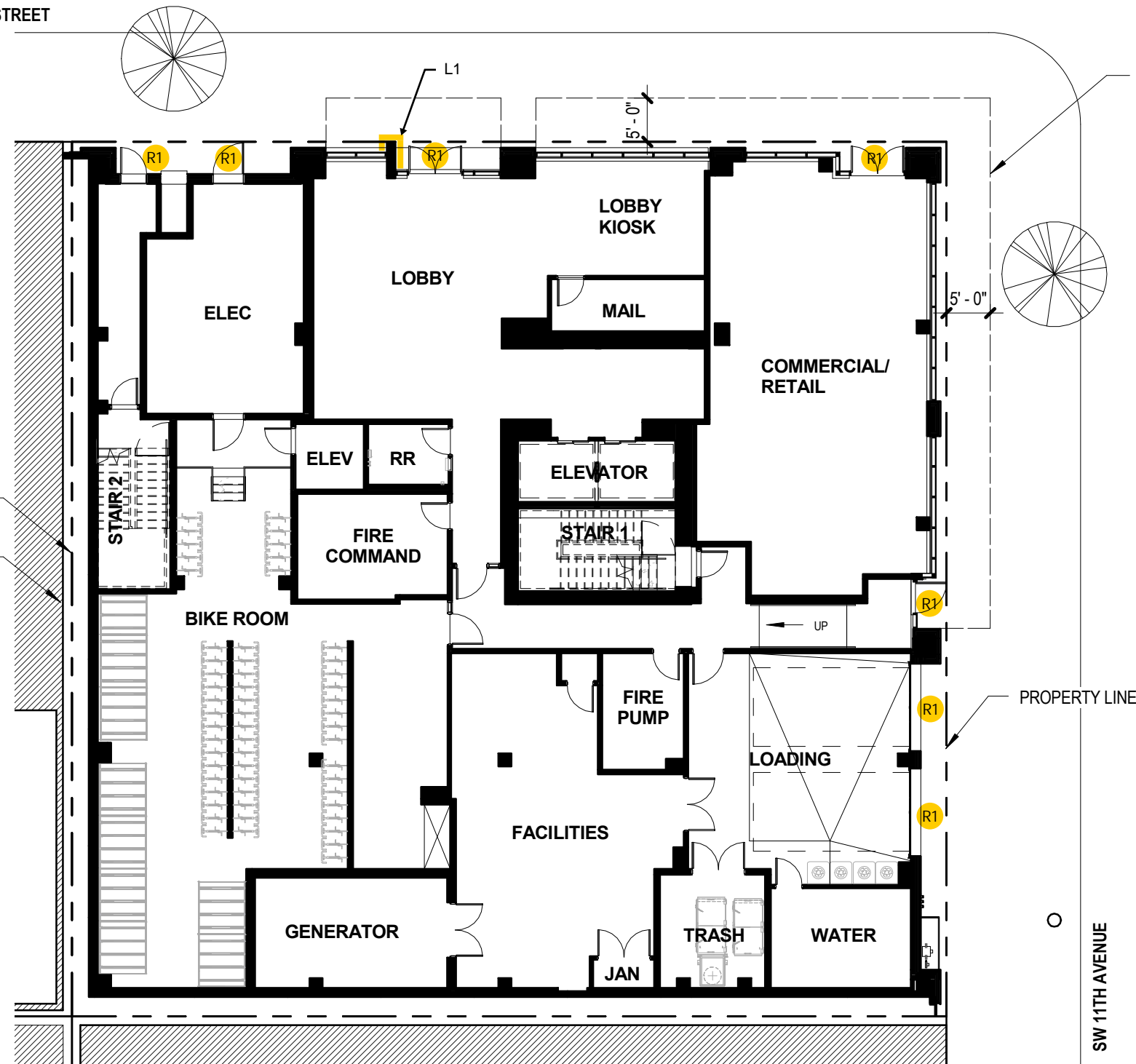
SW CLAY STREET

CANOPY ABOVE

L1: Linear LED Strip Fixture



PROPERTY LINE
OUTLINE OF
ADJACENT BUILDING



R1: LED Recessed Fixture



PROPERTY LINE

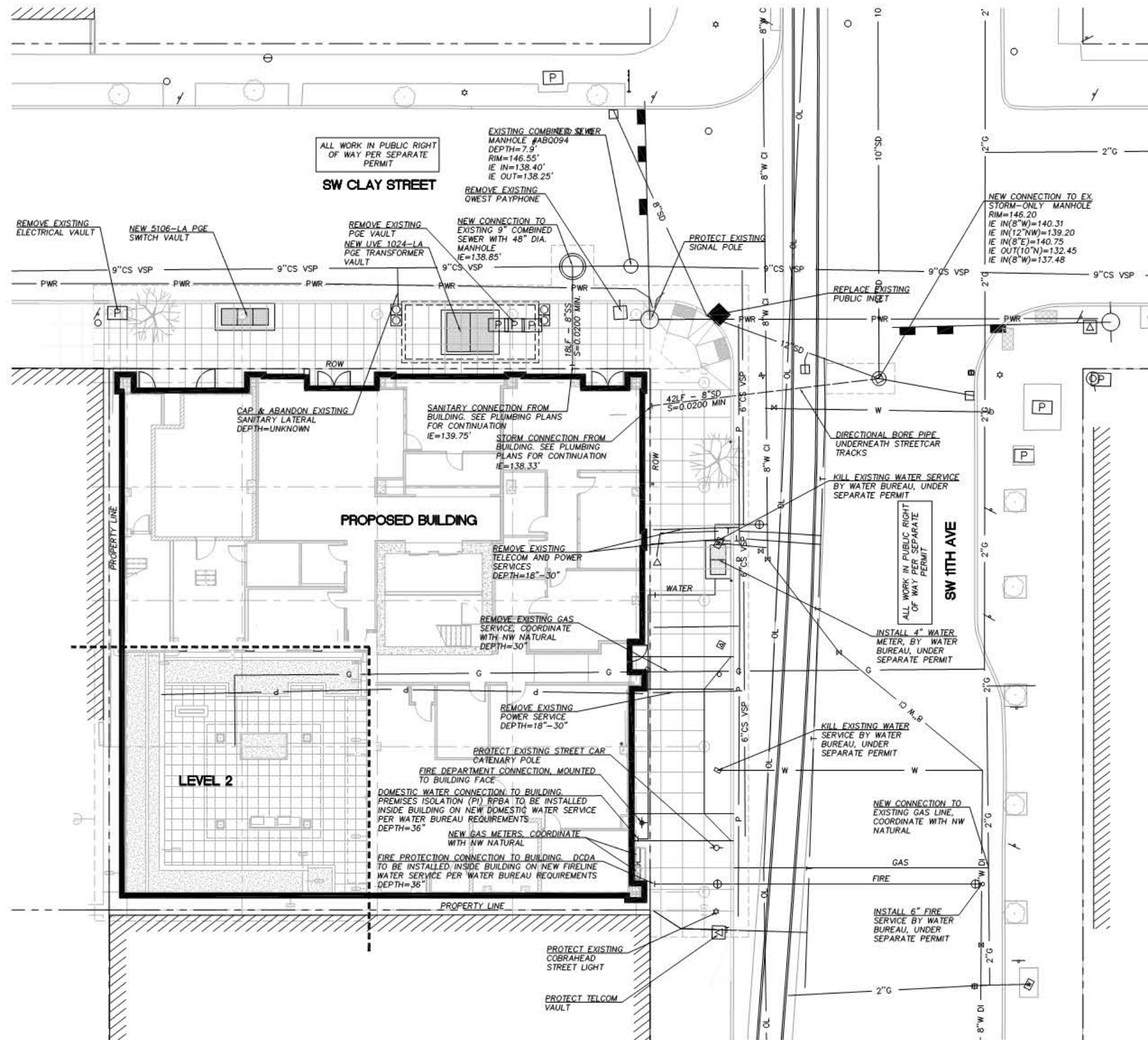
SW 11TH AVENUE

UTILITY CONTACTS

ELECTRIC: PGE
 CONTACT: BRYAN SWAN
 TEL: 503-736-5411
 EMAIL: Bryan.Swan@pgn.com

NATURAL GAS: NW NATURAL
 CONTACT: JODI WRIGHT
 TEL: 503-266-4211 (EXT. 6745)
 EMAIL: j3w@nwnatural.com

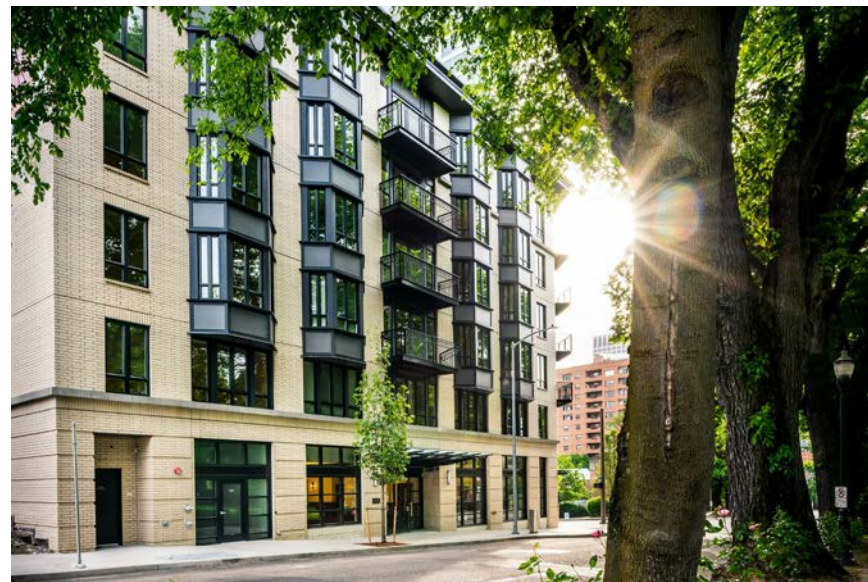
WATER: CITY OF PORTLAND







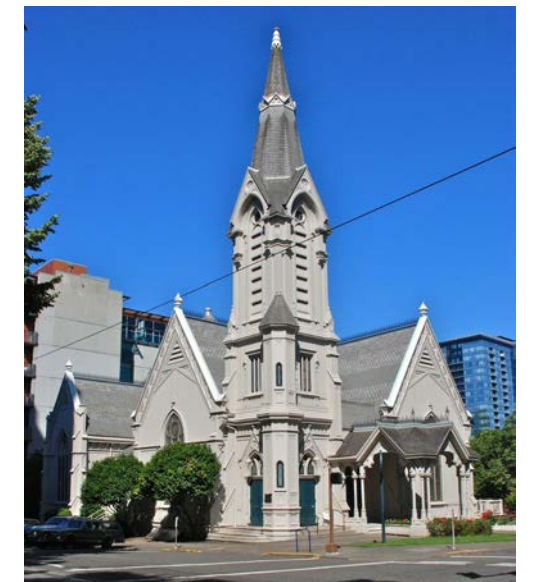
EXISTING TIFFANY AND CLAY APARTMENTS



11 MARCHE APARTMENTS



CAMERON APARTMENTS



INTOWN PRESBYTERIAN CHURCH



BENSON TOWER



MUSEUM PLACE APARTMENTS



SKY 3 APARTMENTS



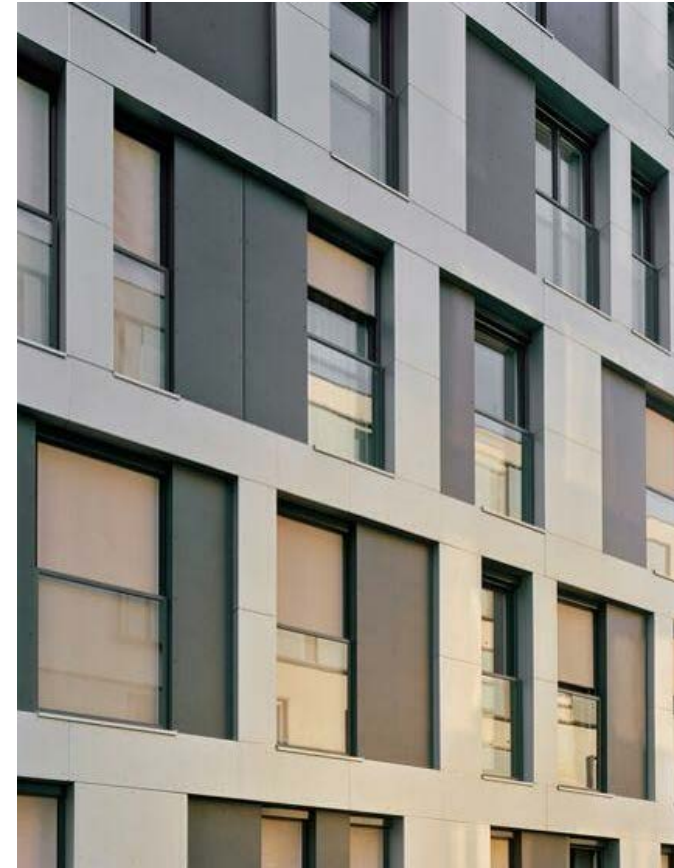
THE JEFFREY APARTMENTS



BRICK BASE



CURTAINWALL



WINDOW BAYS



EQUITONE PANELS WITH EXPOSED FASTENERS





1430 NW GLISAN

LOCATION: NW 14TH AND GLISAN, PORTLAND
 CLADDING: EQUITONE PANELS WITH CONCEALED FASTENERS (LEVELS 1-5) AND EXPOSED FASTENERS (LEVELS 6-15), METAL PANEL
 STATUS: UNDER CONSTRUCTION

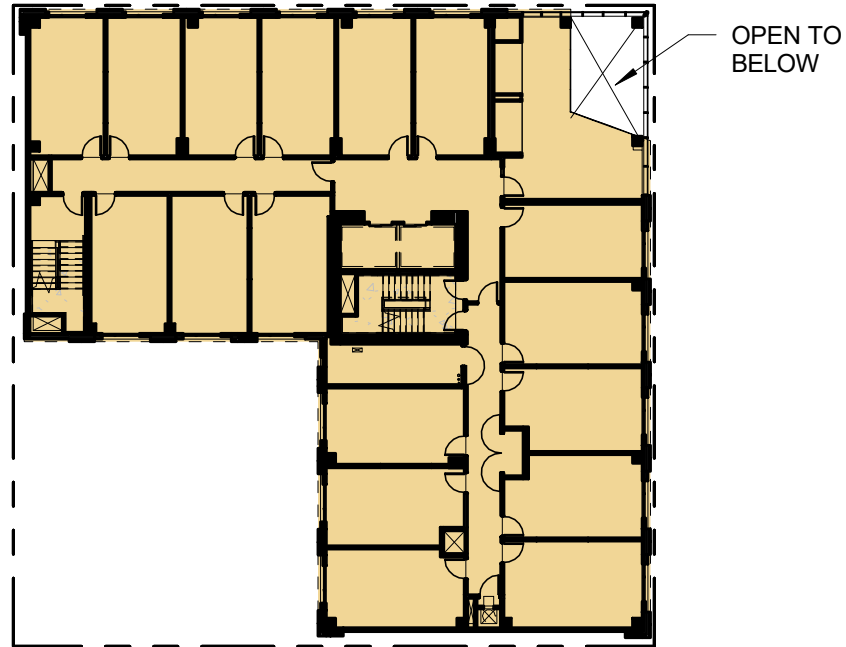


TOTAL SITE AREA
TOTAL BUILDING AREA
ECO ROOF AREA
MAX BUILDING AREA
CALCULATED F.A.R.
ALLOWED F.A.R.

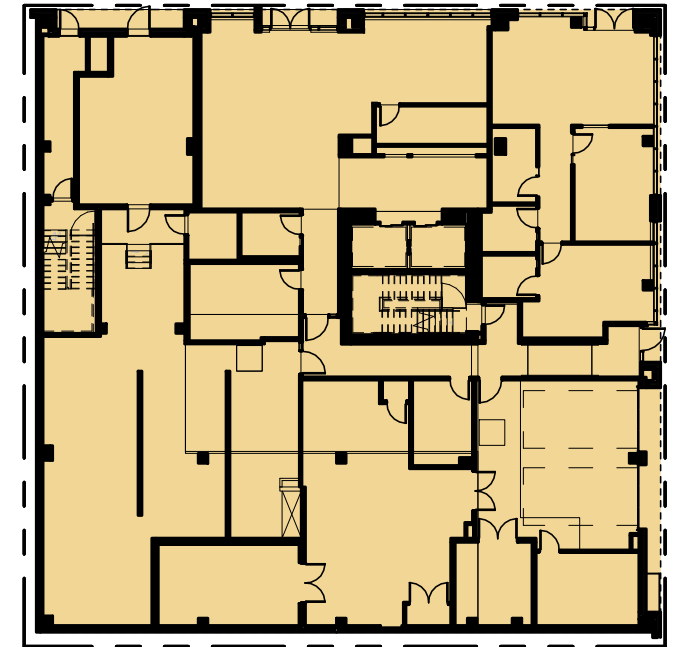
9,996 SF
119,353 SF
6,140 SF
119,952 SF
11.93 : 1
12.00 : 1

BUILDING AREA

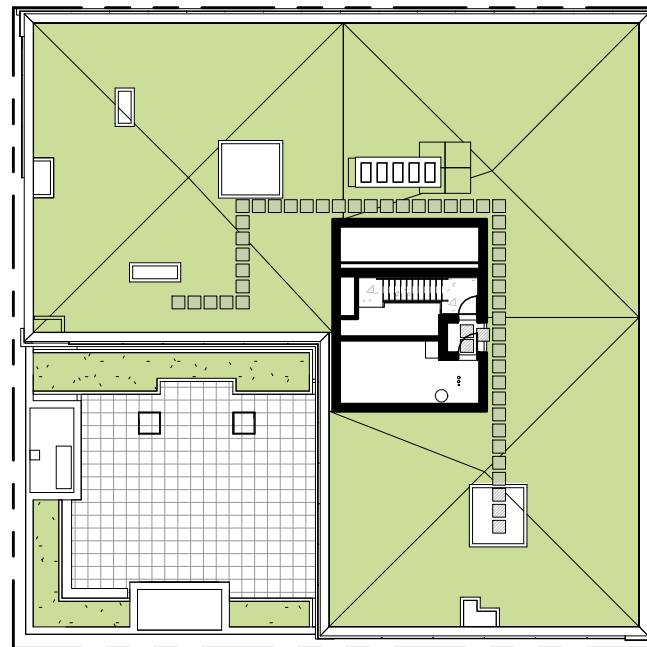
LEVEL	AREA
LEVEL 01	9,464 SF
LEVEL 02	7,379 SF
LEVEL 03	7,379 SF
LEVEL 04	7,180 SF
LEVEL 05	7,379 SF
LEVEL 06	7,379 SF
LEVEL 07	7,379 SF
LEVEL 08	7,180 SF
LEVEL 09	7,379 SF
LEVEL 10	7,379 SF
LEVEL 11	7,379 SF
LEVEL 12	7,180 SF
LEVEL 13	7,379 SF
LEVEL 14	7,379 SF
LEVEL 15	7,379 SF
LEVEL 16	7,180 SF
GRAND TOTAL 16	119,353 SF



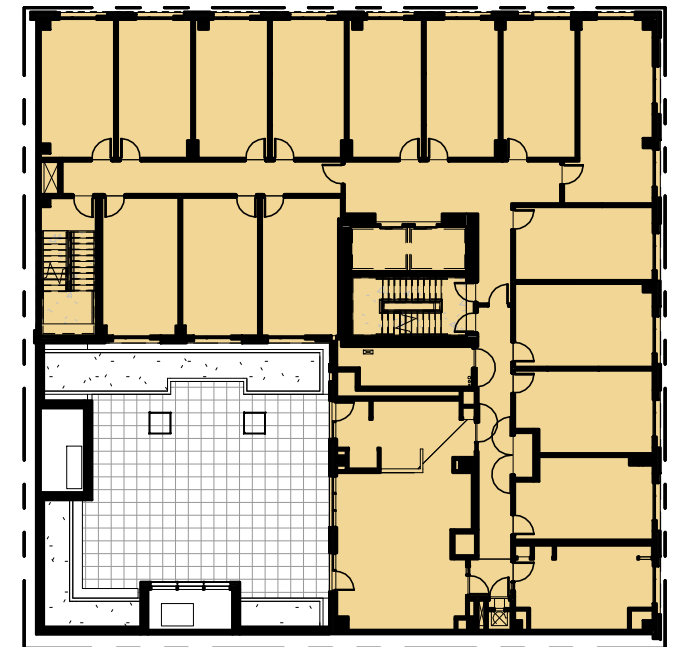
3 LEVELS 4, 8, 12, 16



1 LEVEL 1



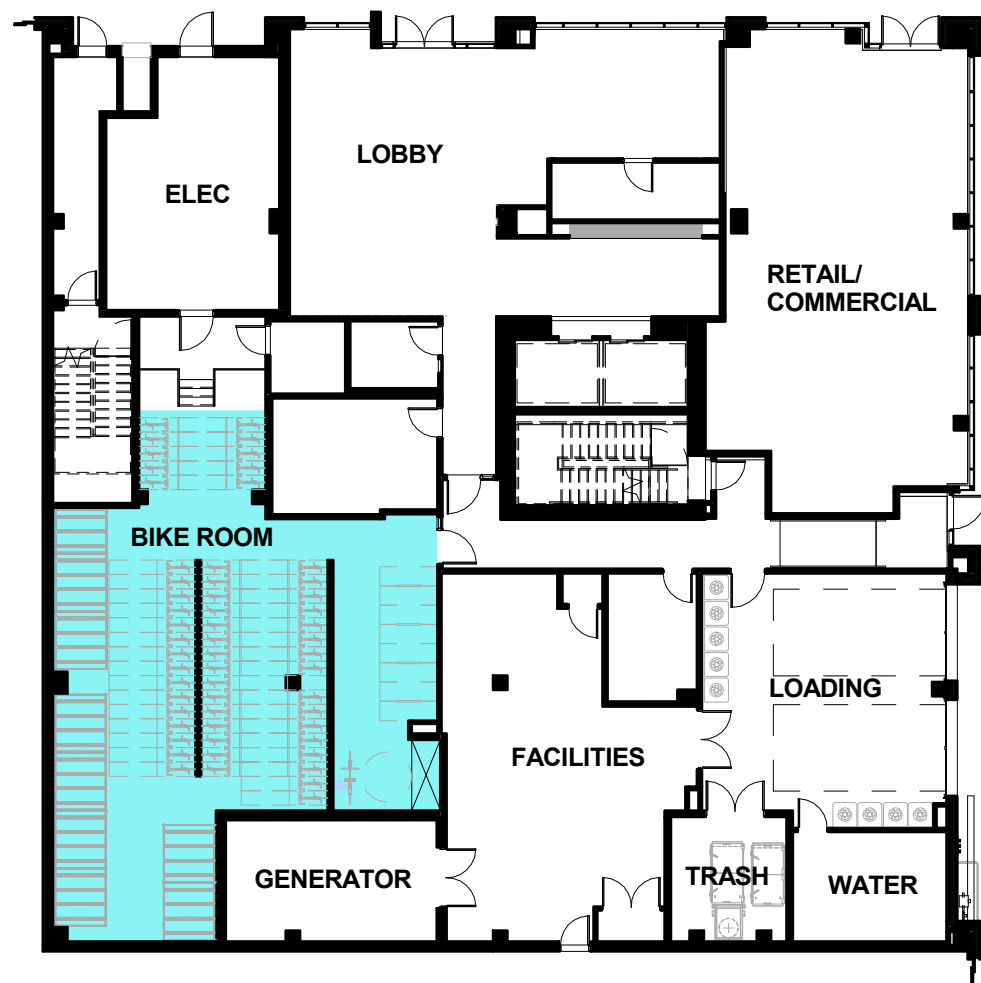
4 ECO ROOF



2 LEVELS 2-15, TYPICAL
 LEVELS 2-3, 5-7, 9-11, 13-15



2 BIKE ROOM - ENLARGED



1 BIKE STORAGE - LEVEL 1

BICYCLE PARKING

PER CITY OF PORTLAND
PLANNING AND ZONING CODE
CHAPTER 33.266, TABLE 266-6

LONG TERM BIKE PARKING REQUIREMENT	
1.5 SPACES PER UNIT:	1.5 x 259 = 389
1 PER 12,000 SF RETAIL:	0
TOTAL REQUIRED:	389

SHORT TERM BIKE PARKING REQUIREMENT	
1 SPACE PER 20 UNITS:	259 / 20 = 13
1 PER 5,000 SF RETAIL:	0
TOTAL REQUIRED:	13*

*PROJECT TO PAY INTO CITY BIKE FUND

LONG TERM BIKE PARKING BY LEVEL			
LEVEL 1	134	LEVEL 9	18
LEVEL 2	15	LEVEL 10	18
LEVEL 3	17	LEVEL 11	17
LEVEL 4	17	LEVEL 12	17
LEVEL 5	18	LEVEL 13	18
LEVEL 6	18	LEVEL 14	18
LEVEL 7	17	LEVEL 15	17
LEVEL 8	17	LEVEL 16	17

TOTAL PROVIDED: 393

WALL-MOUNTED BIKE RACK, TYP.



2

FLOOR PLAN - LEVELS 3, 7, 11, 15

WALL-MOUNTED BIKE RACK, TYP.



1

FLOOR PLAN - LEVEL 2

BICYCLE PARKING

PER CITY OF PORTLAND
PLANNING AND ZONING CODE
CHAPTER 33.266, TABLE 266-6

LONG TERM BIKE PARKING REQUIREMENT	
1.5 SPACES PER UNIT:	1.5 x 259 = 389
1 PER 12,000 SF RETAIL:	0
TOTAL REQUIRED:	389

SHORT TERM BIKE PARKING REQUIREMENT	
1 SPACE PER 20 UNITS:	259 / 20 = 13
1 PER 5,000 SF RETAIL:	0
TOTAL REQUIRED:	13*

*PROJECT TO PAY INTO CITY BIKE FUND

LONG TERM BIKE PARKING BY LEVEL			
LEVEL 1	134	LEVEL 9	18
LEVEL 2	15	LEVEL 10	18
LEVEL 3	17	LEVEL 11	17
LEVEL 4	17	LEVEL 12	17
LEVEL 5	18	LEVEL 13	18
LEVEL 6	18	LEVEL 14	18
LEVEL 7	17	LEVEL 15	17
LEVEL 8	17	LEVEL 16	17

TOTAL PROVIDED: 393



(1) BIKE RACK PER 1-BEDROOM AND 2-BEDROOM UNIT



WALL-MOUNTED BIKE RACK, TYP.

2

FLOOR PLAN - LEVELS 5-6, 9-10, 13-14

WALL-MOUNTED BIKE RACK, TYP.



1

FLOOR PLAN - LEVELS 4, 8, 12, 16

BICYCLE PARKING

PER CITY OF PORTLAND
PLANNING AND ZONING CODE
CHAPTER 33.266, TABLE 266-6

LONG TERM BIKE PARKING REQUIREMENT

1.5 SPACES PER UNIT: $1.5 \times 259 = 389$
1 PER 12,000 SF RETAIL: 0
TOTAL REQUIRED: 389

SHORT TERM BIKE PARKING REQUIREMENT

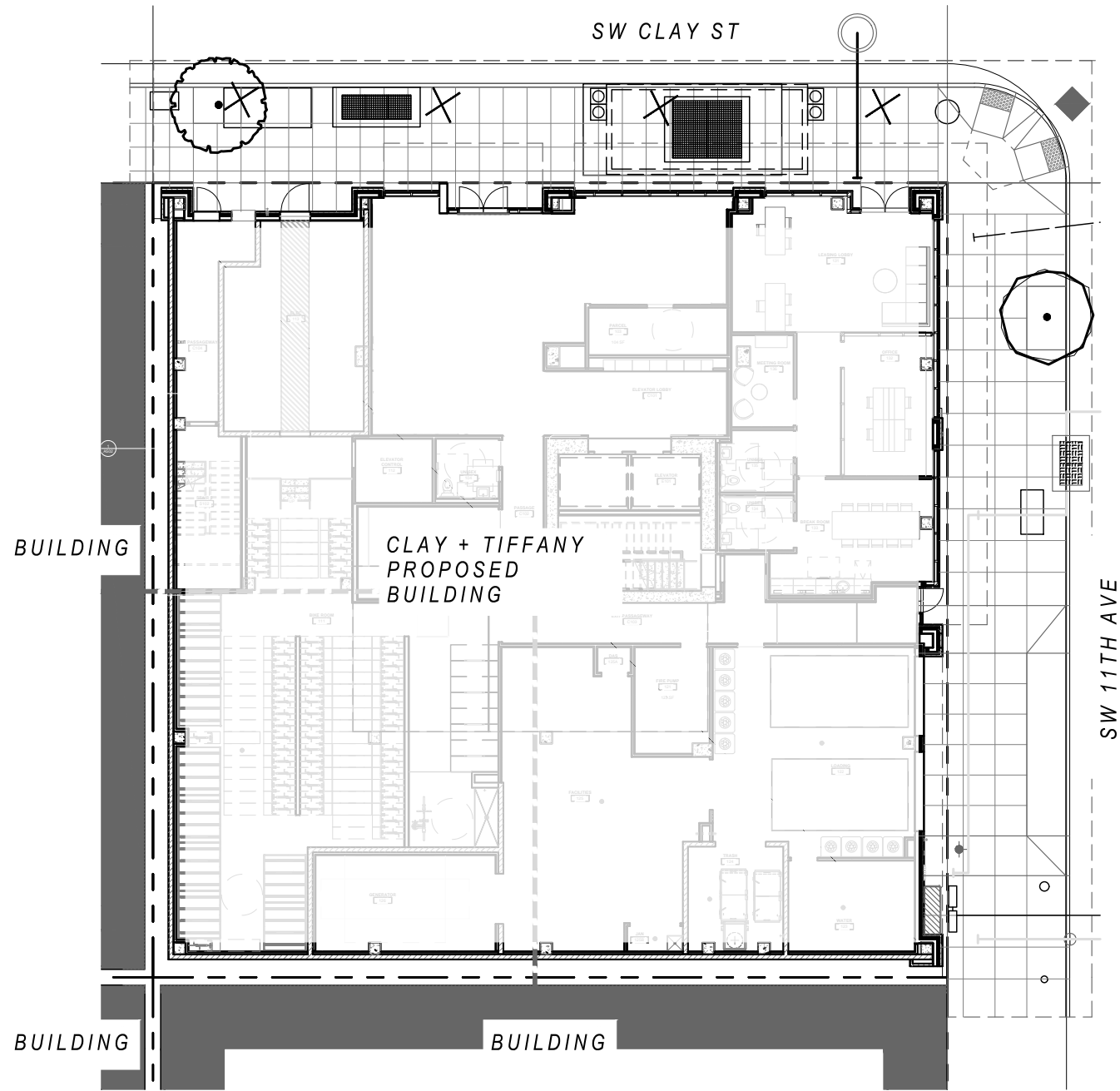
1 SPACE PER 20 UNITS: $259 / 20 = 13$
1 PER 5,000 SF RETAIL: 0
TOTAL REQUIRED: 13*

*PROJECT TO PAY INTO CITY BIKE FUND

LONG TERM BIKE PARKING BY LEVEL

LEVEL 1	134	LEVEL 9	18
LEVEL 2	15	LEVEL 10	18
LEVEL 3	17	LEVEL 11	17
LEVEL 4	17	LEVEL 12	17
LEVEL 5	18	LEVEL 13	18
LEVEL 6	18	LEVEL 14	18
LEVEL 7	17	LEVEL 15	17
LEVEL 8	17	LEVEL 16	17

TOTAL PROVIDED: 393



PLANT SCHEDULE

TREES	CODE	COMMON NAME	SIZE	CALIPER	QTY
	CC	AMERICAN HORNBEAM CARPINUS CAROLINIANA	B & B	2.5" CAL	1
	NS	SOUR GUM NYSSA SYLVATICA 'BLACK TUPELO'	B & B	2.5" CAL	1

TREE PRESERVATION LEGEND

EXISTING TREES TO BE REMOVED

ON SITE TREES	EXISTING	RETAINED	REMOVED
CALIPER SIZE			
6-12"	0	0	0
12-20"	0	0	0
12" -36"	0	0	0
TOTAL	0	0	0

STREET TREES	EXISTING	RETAINED	REMOVED
CALIPER SIZE			
6-12"	4	0	4
12-20"	0	0	0
12" -36"	0	0	0
TOTAL	4	0	4

TREE PRESERVATION SUMMARY

ON SITE TREES

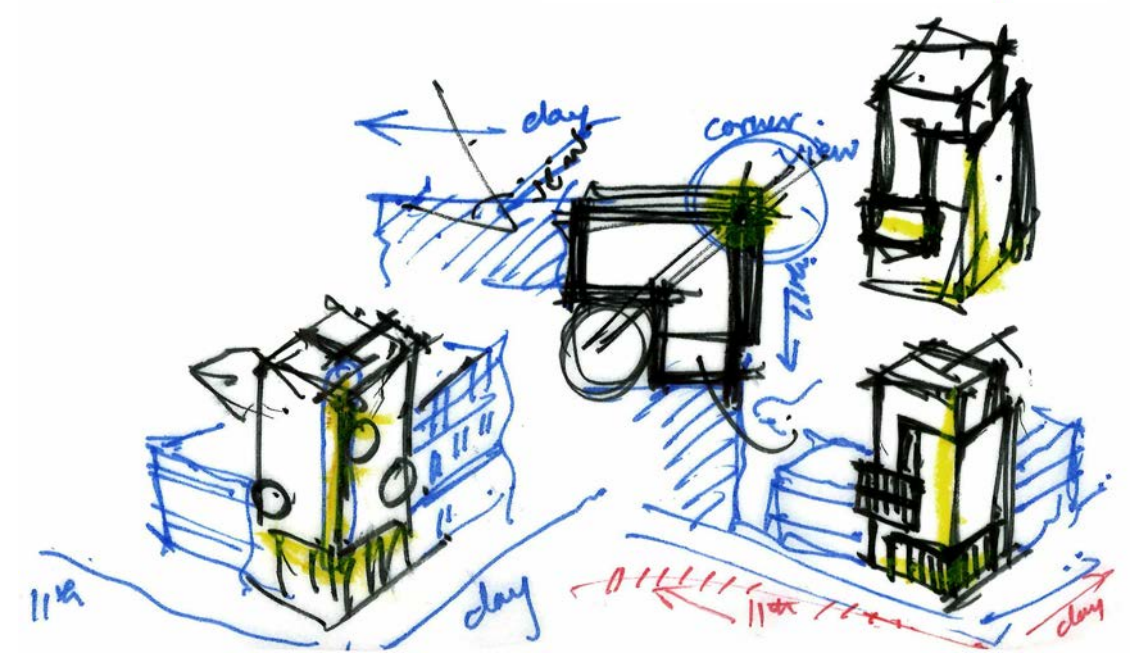
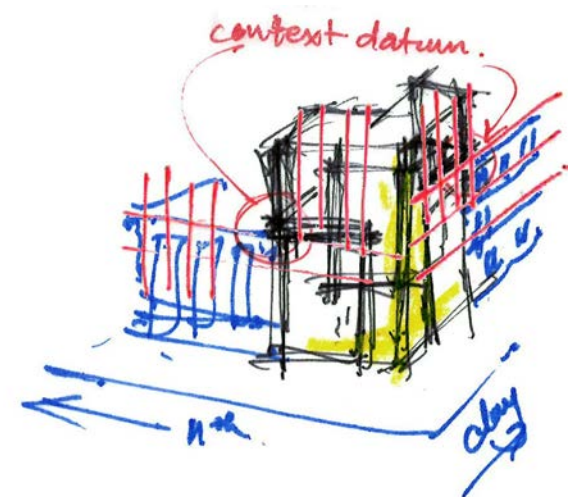
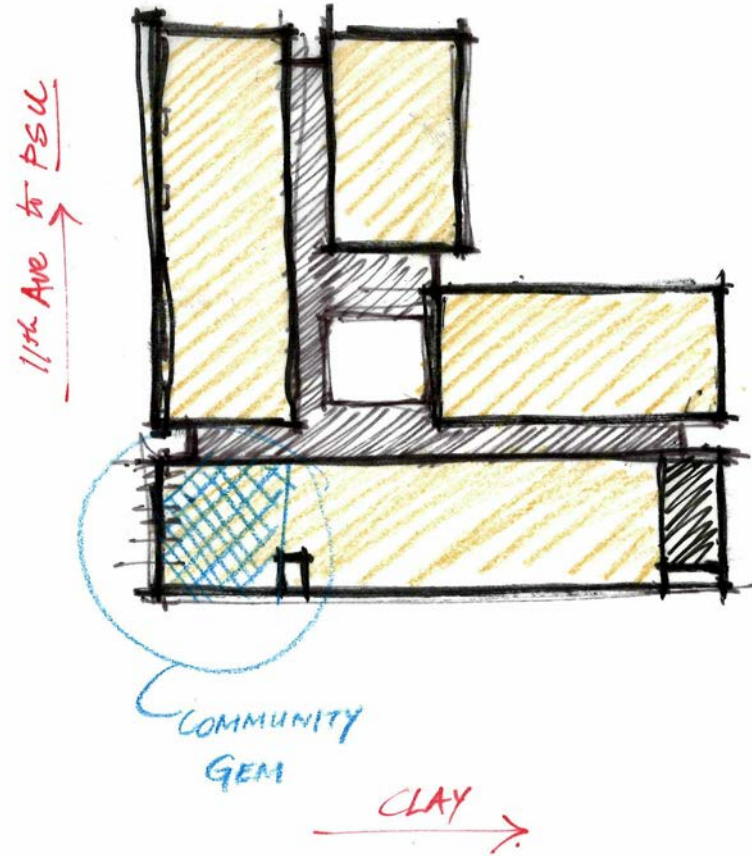
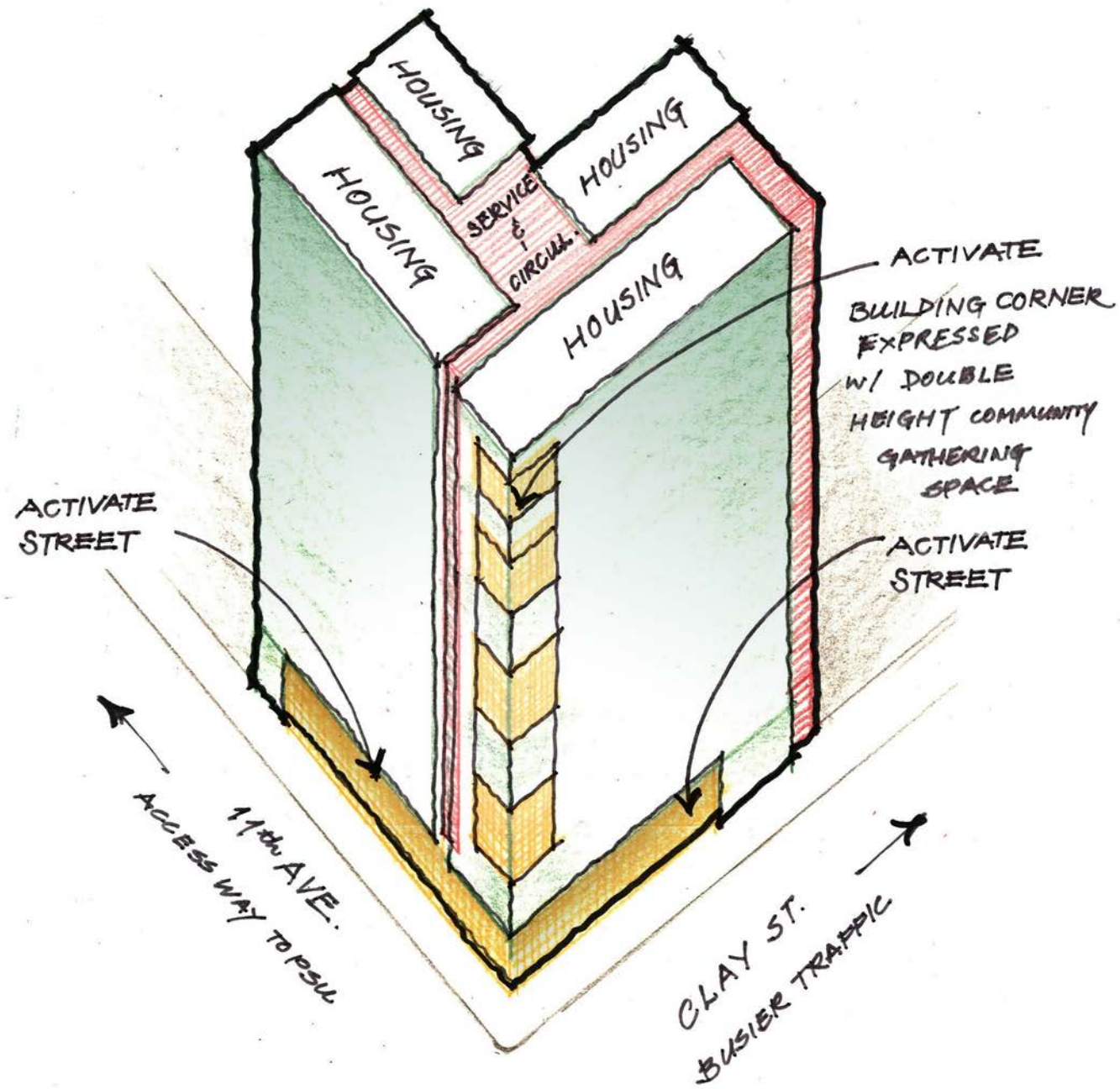
1/3 OF 12" CALIPER TREES	=0
12" OR MORE CALIPER TREES	=0

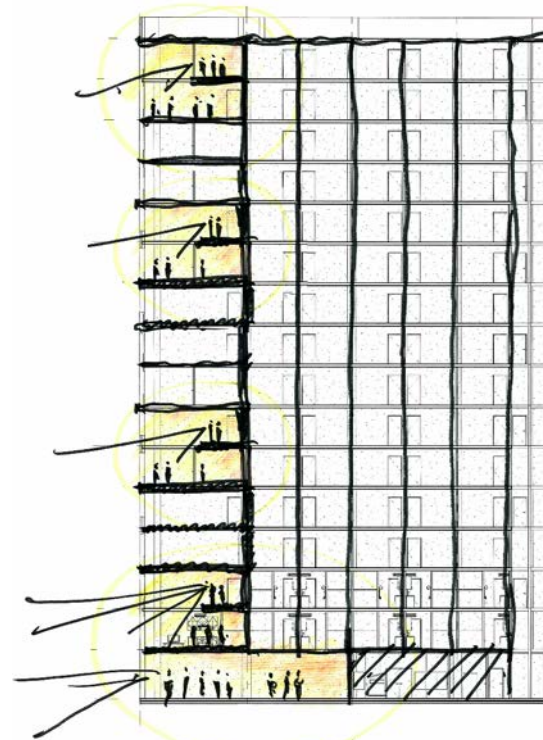
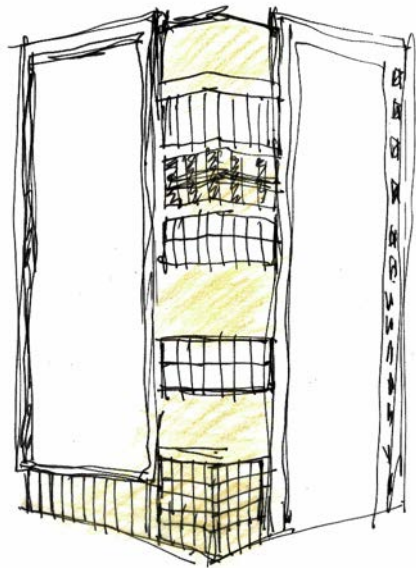
STREET TREES

12" OR MORE CALIPER TREES	=XX
PROPOSED STREET TREES	=2

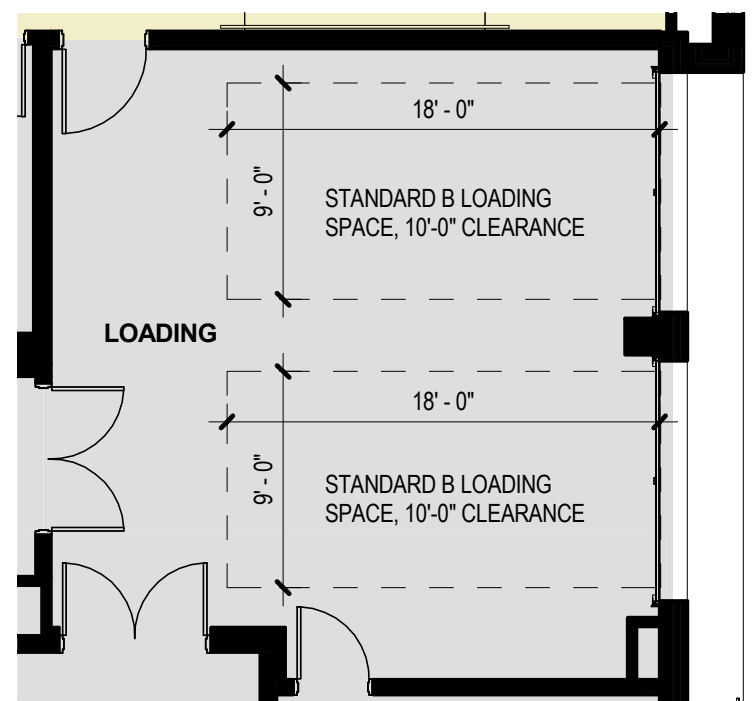


EXPRESS BLDG. PROGRAM









2

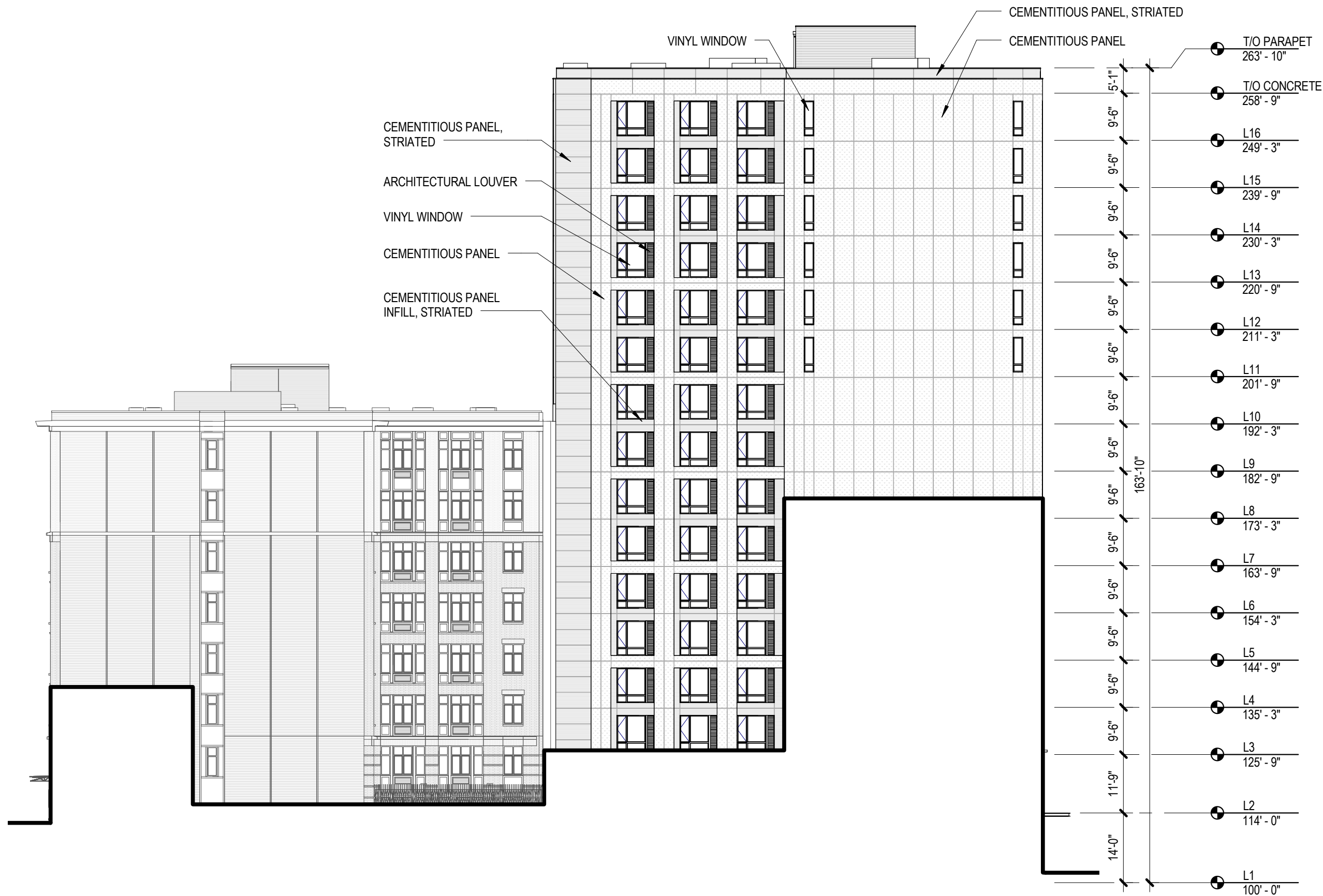
LEVEL 1

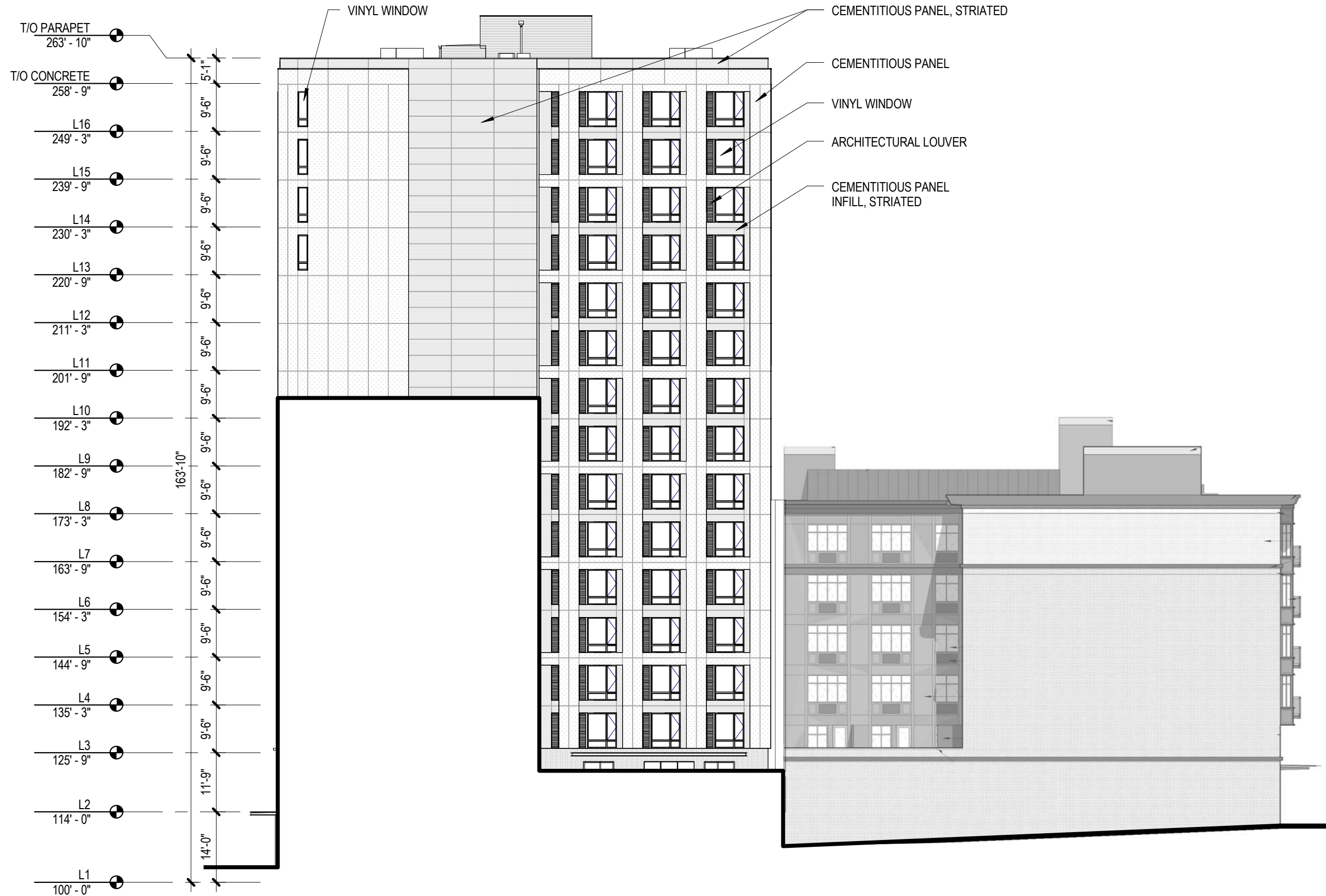
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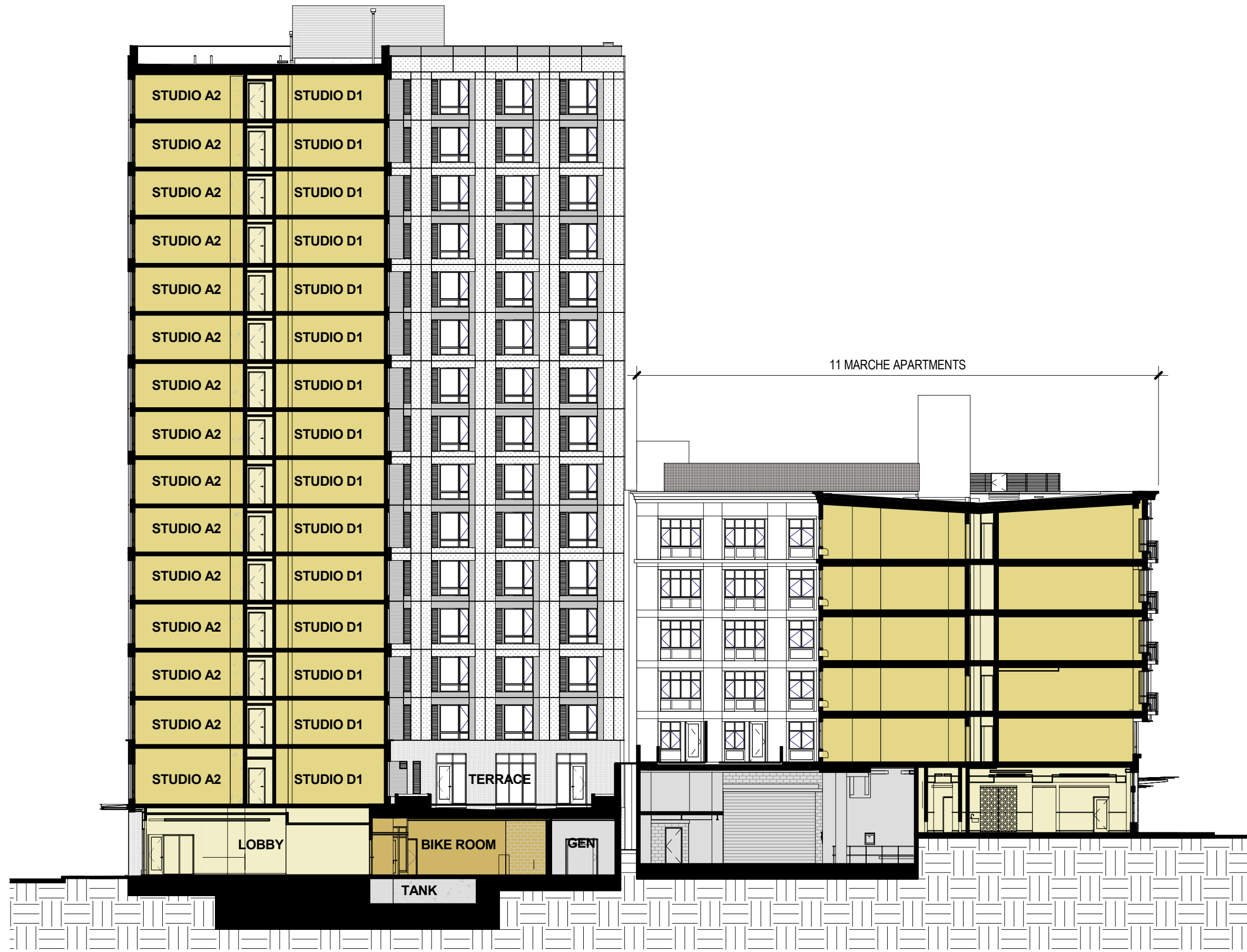












NORTH-SOUTH SECTION

2



BUILDING SECTION C.14



1

EAST-WEST SECTION

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