

An architectural line drawing of a multi-story apartment building complex. The drawing shows several interconnected structures with varying heights and rooflines. Some buildings have flat roofs, while others have gabled or sloped roofs. The buildings are situated on a rectangular plot with a yellowish ground area. A road or sidewalk is visible in the foreground. The text is overlaid on the central part of the drawing.

ANKENY APARTMENTS APPEAL OF DECISION LU 16-184524 DZM

APRIL 12th, 2017

12TH STREET (DR-03)



APP.1.1

ANKENY (DR-03)



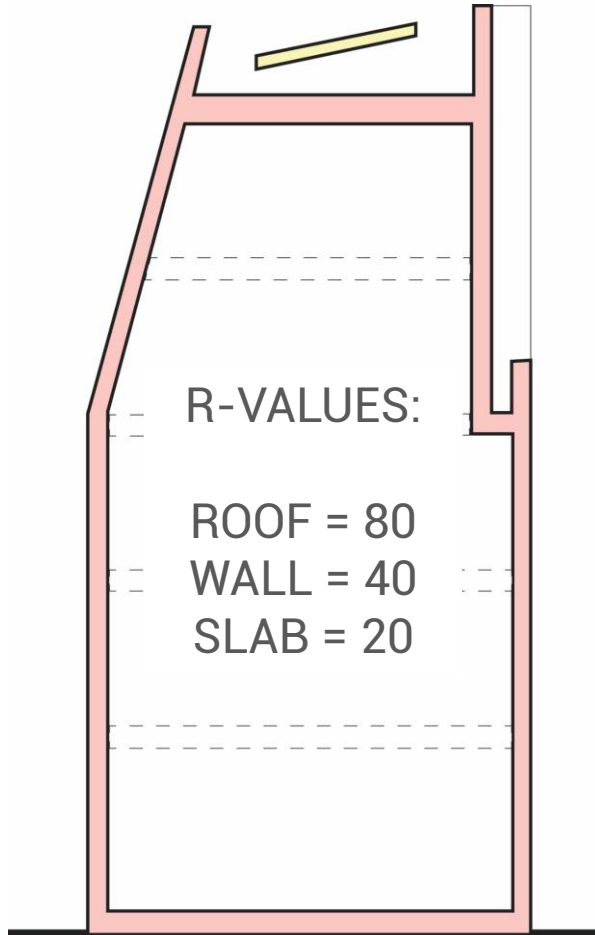
PROJECT ADVOCATES:

BUREAU OF PLANNING AND SUSTAINABILITY
C-PACE, CONNECTICUT GREEN BANK
PORTLAND DEVELOPMENT COMMISSION
HOUSING AND URBAN DEVELOPMENT

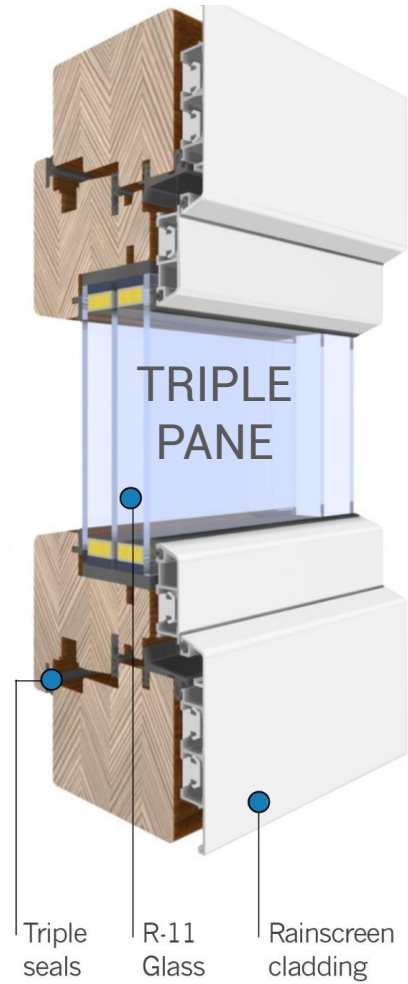


NET ZERO BUILDING:

ENVELOPE



WINDOWS



SYSTEMS



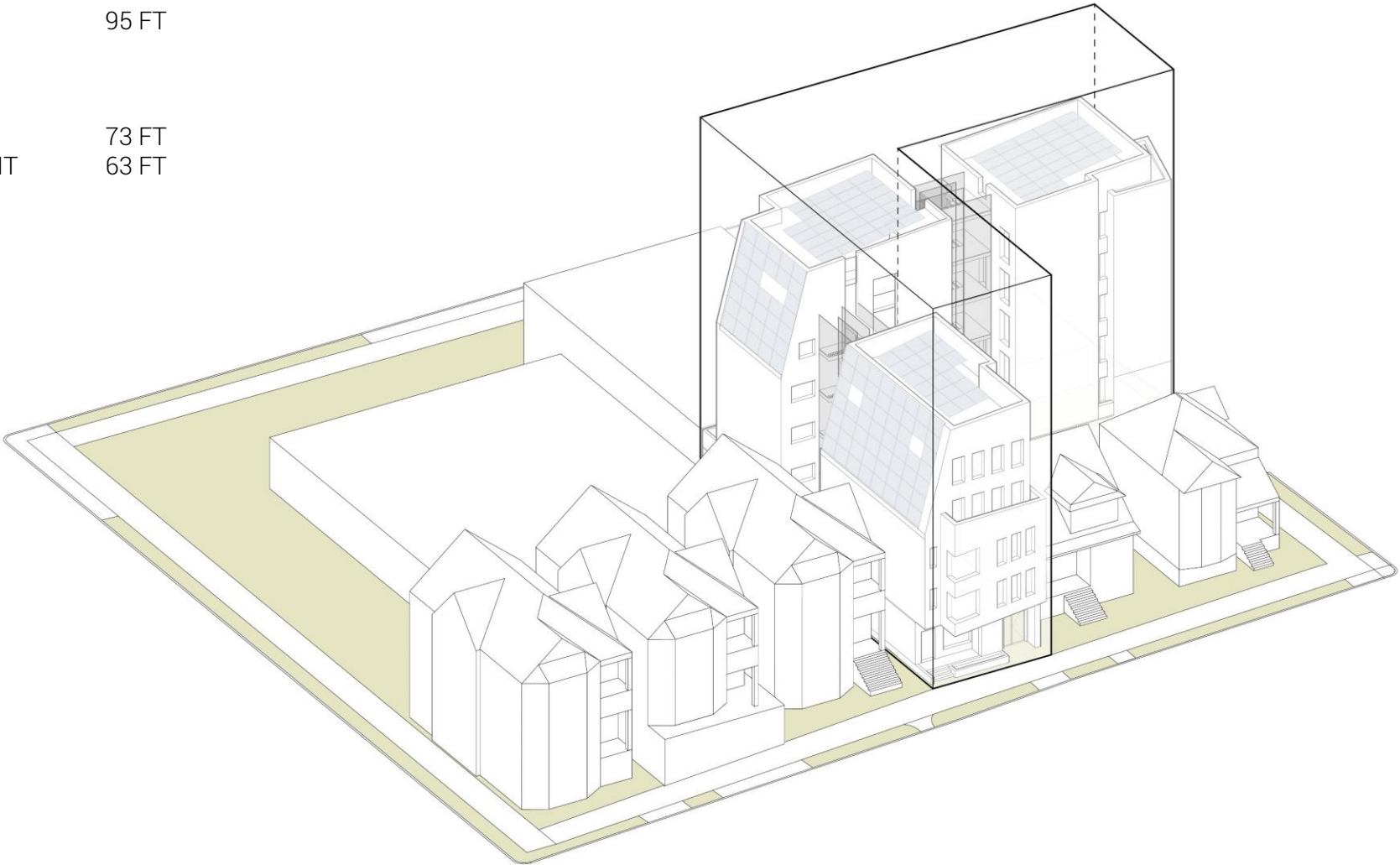
ALLOWED BUILDING ENVELOPE TODAY

ALLOWED HEIGHT 95 FT

PROPOSED:

ANKENY HEIGHT 73 FT

12TH STREET HEIGHT 63 FT



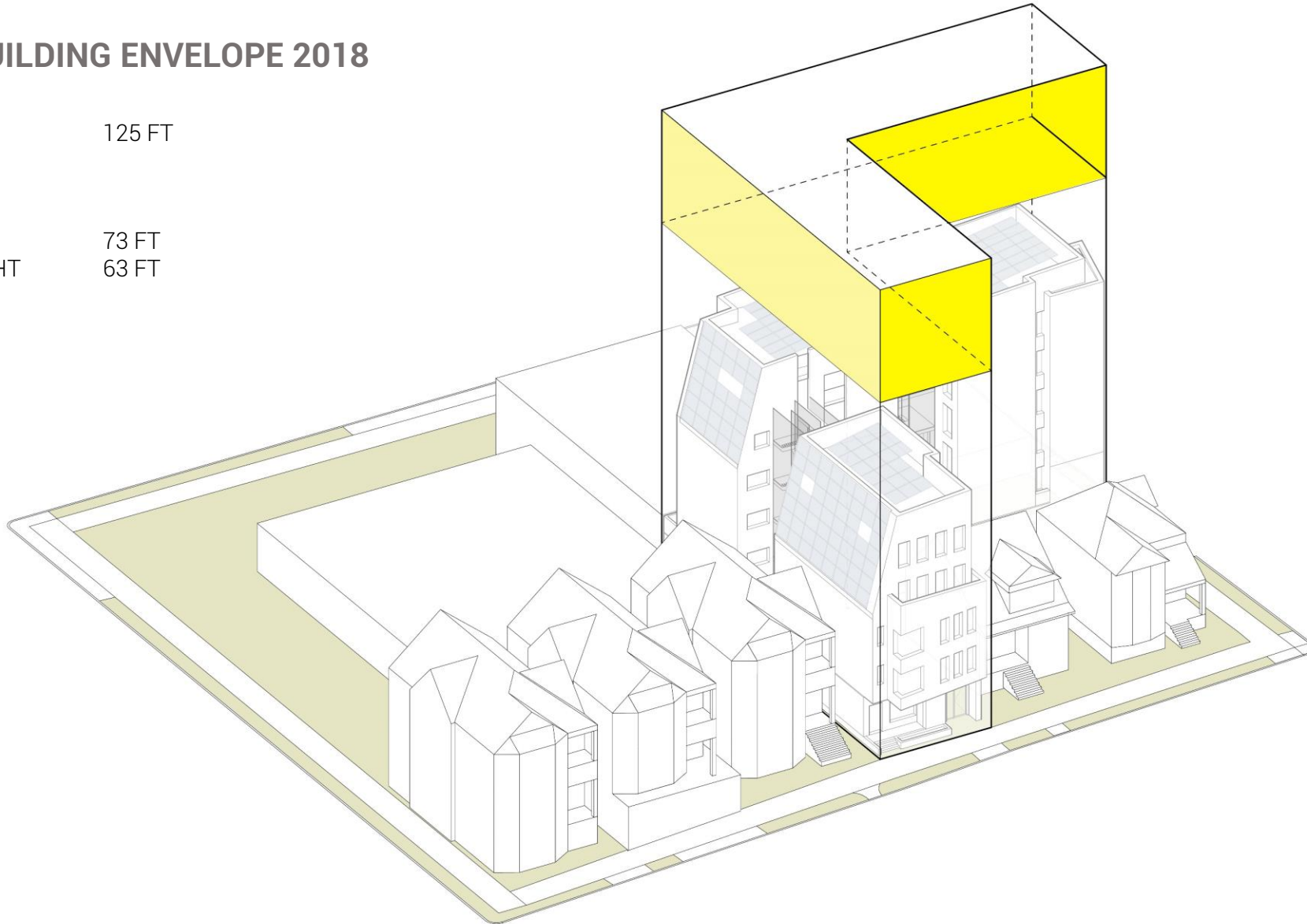
ALLOWED BUILDING ENVELOPE 2018

INCREASES TO 125 FT

PROPOSED:

ANKENY HEIGHT 73 FT

12TH STREET HEIGHT 63 FT

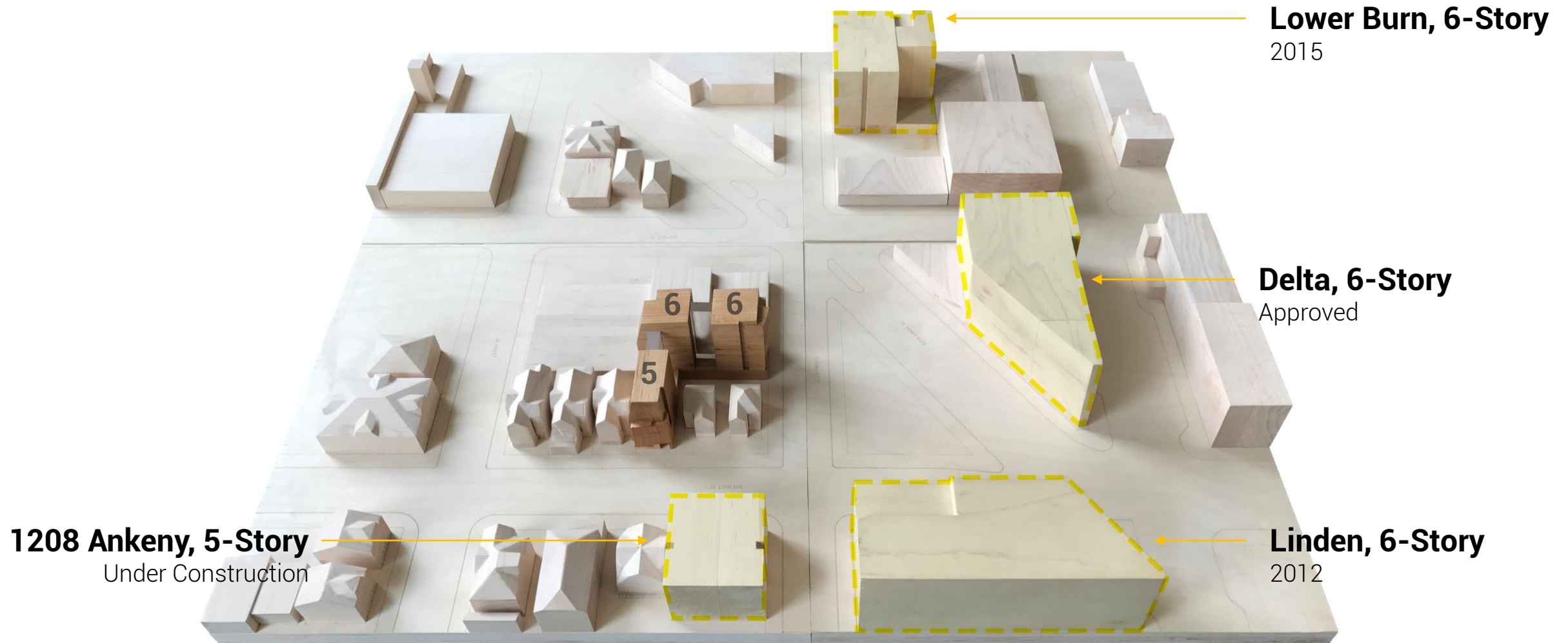


ALLOWED BUILDING ENVELOPE
ADJACENT SITE



APP.1.1

NEW ADJACENT DEVELOPMENT HEIGHTS



INITIAL DESIGN (Jun. 06, 2016)

HEIGHT: 75 FT

STORIES: 6

MATERIALS: CMU, DARK STEEL, CEDAR, DARK ALUMINUM, AND LIGHT ALUMINUM

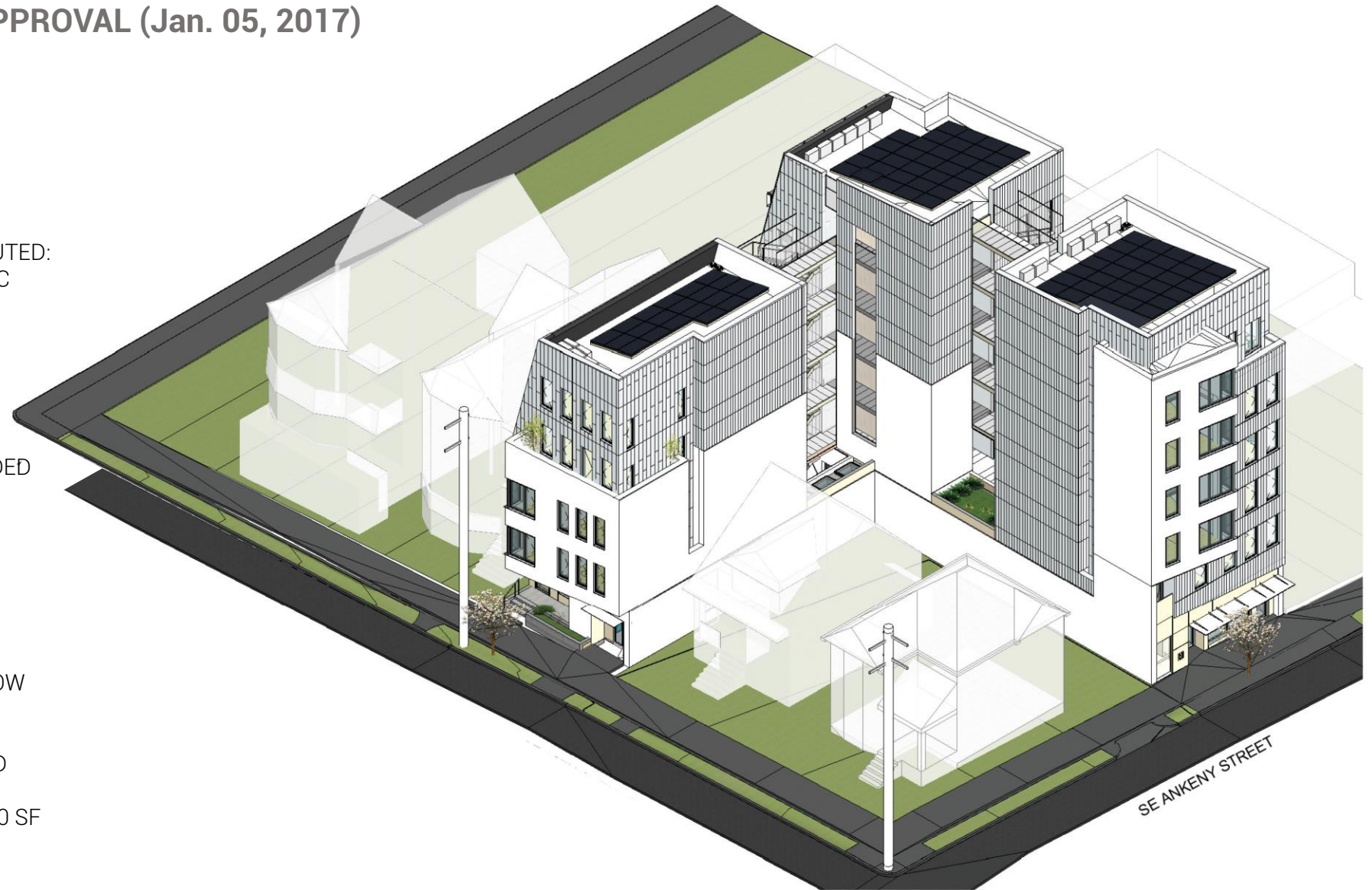
PARKING GARAGE AT LEVEL 1



STAFF RECOMMENDED APPROVAL (Jan. 05, 2017)

AGREED CHANGES:

1. 1 FLOOR LEVEL ON 12TH STREET REMOVED
2. ALL INITIAL MATERIALS SUBSTITUTED:
ALUMINUM REPLACED W/ ZINC
CMU REPLACED W/ PLASTER
CEDAR REMOVED
3-COAT PLASTER ADDED
3. PARKING REMOVED
4. GROUND FLOOR APARTMENT ADDED ON 12TH STREET
5. RETAIL EXPANDED
6. FAÇADE ON 12TH SIMPLIFIED AND REPROPORTIONED
7. SIDE WALL SETBACKS AND WINDOW RECESSES ADDED
8. STAIR LIGHTING DETAILS REFINED
9. BUILDING AREA REDUCED BY 2,010 SF
10. BALCONIES RECONFIGURED



12TH STREET VIEW



LEGEND

- SINGLE-FAMILY
- - - MULTI-FAMILY

ZONING DISTRICTS:

- IG1
- EXd
- R1
- R2.5
- CS
- CSdj

STREETS:

- E Burnside St
- SE 10th Ave
- SE 11th Ave
- SE 12th Ave
- SE 13th Ave
- SE 14th Ave
- SE 15th Ave
- SE 16th Ave
- SE 17th Ave
- SE 18th Ave
- SE 19th Ave
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- SE 22nd Ave
- SE 23rd Ave
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- SE 91st Ave
- SE 92nd Ave
- SE 93rd Ave
- SE 94th Ave
- SE 95th Ave
- SE 96th Ave
- SE 97th Ave
- SE 98th Ave
- SE 99th Ave
- SE 100th Ave

PLAN – LEVEL 1

Lot Size: 5,380 SF

Level 1	
Building Area	5,250 GSF
FAR	0.98
Level 2	
Building Area	5,030 GSF
FAR	0.93
Level 3	
Building Area	4,505 GSF
FAR	0.84
Level 4	
Building Area	4,505 GSF
FAR	0.84
Level 5	
Building Area	4,220 GSF
FAR	0.78
Level 6	
Building Area	2,940 GSF
FAR	0.55
Total	
Building Area	26,450 GSF
Max Building Area	32,280 GSF
FAR	4.92
FAR Allowed	6.00



PLAN – LEVEL 3

Lot Size: 5,380 SF

Level 1	
Building Area	5,250 GSF
FAR	0.98
Level 2	
Building Area	5,030 GSF
FAR	0.93
Level 3	
Building Area	4,505 GSF
FAR	0.84
Level 4	
Building Area	4,505 GSF
FAR	0.84
Level 5	
Building Area	4,220 GSF
FAR	0.78
Level 6	
Building Area	2,940 GSF
FAR	0.55
Total	
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