



PEARL

APARTMENTS



PAUL PROPERTIES
LLC



C.1	PROJECT
C.2	LOCATION
C. 3	ARCHITECTURAL CONTEXT
C. 4	EXISTING SITE
C. 5-12	RENDERINGS
C. 13	AREA PLANS
C. 14	CONTEXT SITE PLAN
C. 15-21	FLOOR PLANS
C. 22	ROOF PLAN
C. 23-26	ELEVATIONS
C. 27-30	SECTIONS
C. 31	CLADDING MATERIALS
C. 32	WINDOWS & DOORS
C. 33	FACADE COMPONENTS
C. 34-35	ZONING SUMMARY
C. 36	NARRATIVE RESPONSE TO PREAPP.
C. 37	RIVER CITY GUIDELINES
C. 38-40	CENTRAL CITY GUIDELINES
C. 41	EXTERIOR COMPOSITE SHEET
C. 42-54	DETAILS
C. 55-59	CUTSHEETS
C. 60-68	CONSULTANT DRAWINGS



Paul Properties LLC requests approval of a Type III Design Review for the proposed 7-story, Pearl Apartments, comprised of (58) studio and one-bedroom apartment units and ground floor retail.

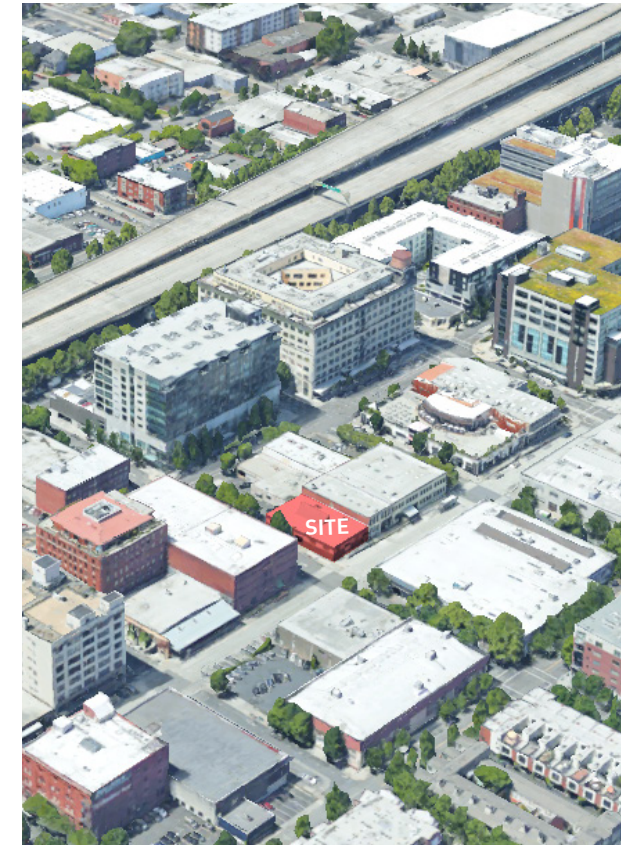
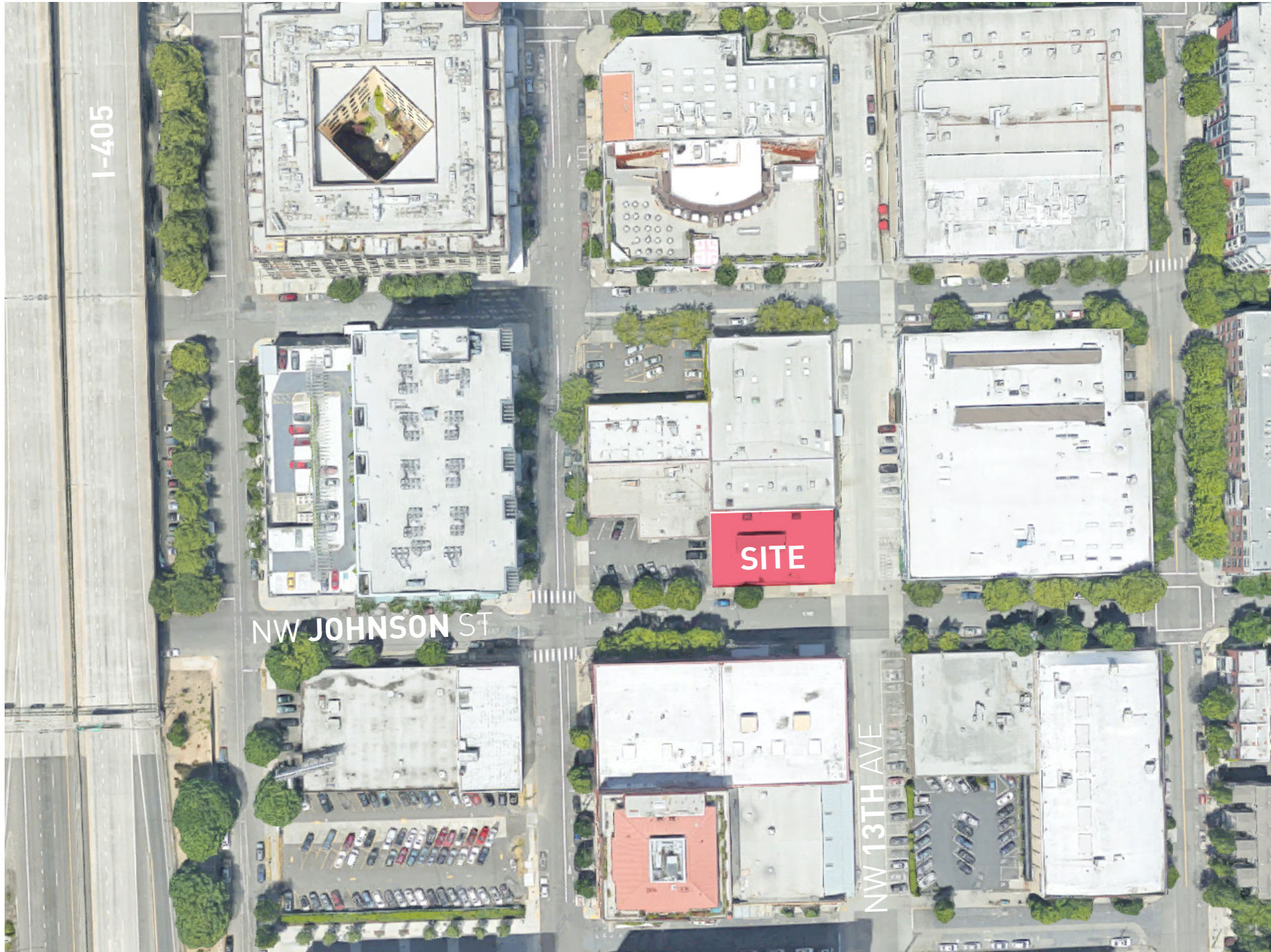
The applicant requests approval of a Type II Adjustment to eliminate the on-site Standard B loading stall required by Chapter 33.266.310.C.1.a.

The applicant also requests approval of a Design Modification to allow the size and spacing of long-term bicycle parking to vary from the requirements listed in Chapter 33.266.220.C.

The site is currently occupied by a coffee shop and serves as the company's main facility for roasting beans. The building housing this facility will be removed upon approval of the proposed building, and the facility will relocate.

As summarized on the table on page C.34, the project site has a base density of 4.0 FAR and is eligible for a residential density bonus of 3.0 FAR, for a total FAR of 7.0. The project will utilize 6.52 FAR.

The project includes (89) short- and long-term bicycle parking spaces. New curbs, sidewalks, street trees, and a loading dock on NW 13th Avenue will be provided.



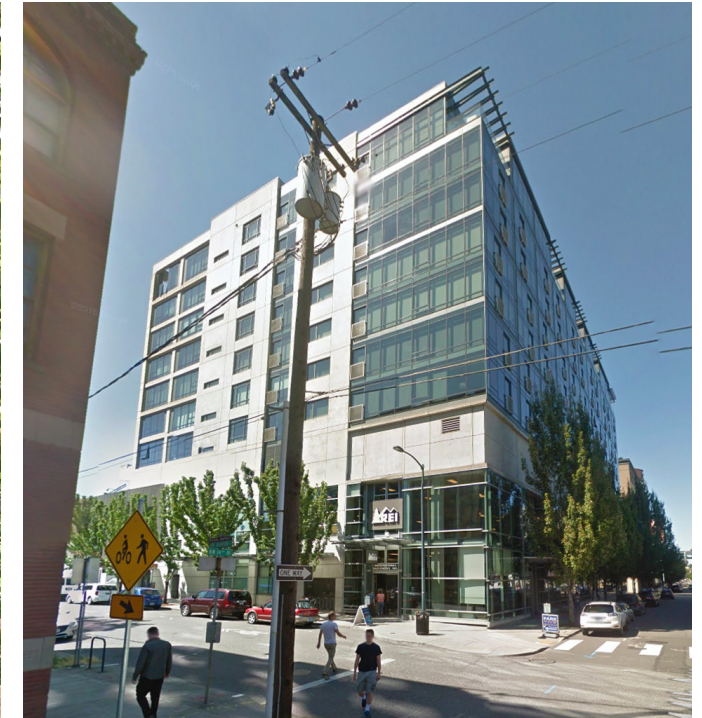
Address	1319 NW Johnson St. Portland, OR 97209
Map #	2928
Zone	EX (Central Employment)
Overlay	d (Design Overlay)
Property ID	R140753
Neighborhood	Pearl
Plan District	Central City (CC)
Subdistrict	River District



OFFICES



OFFICES



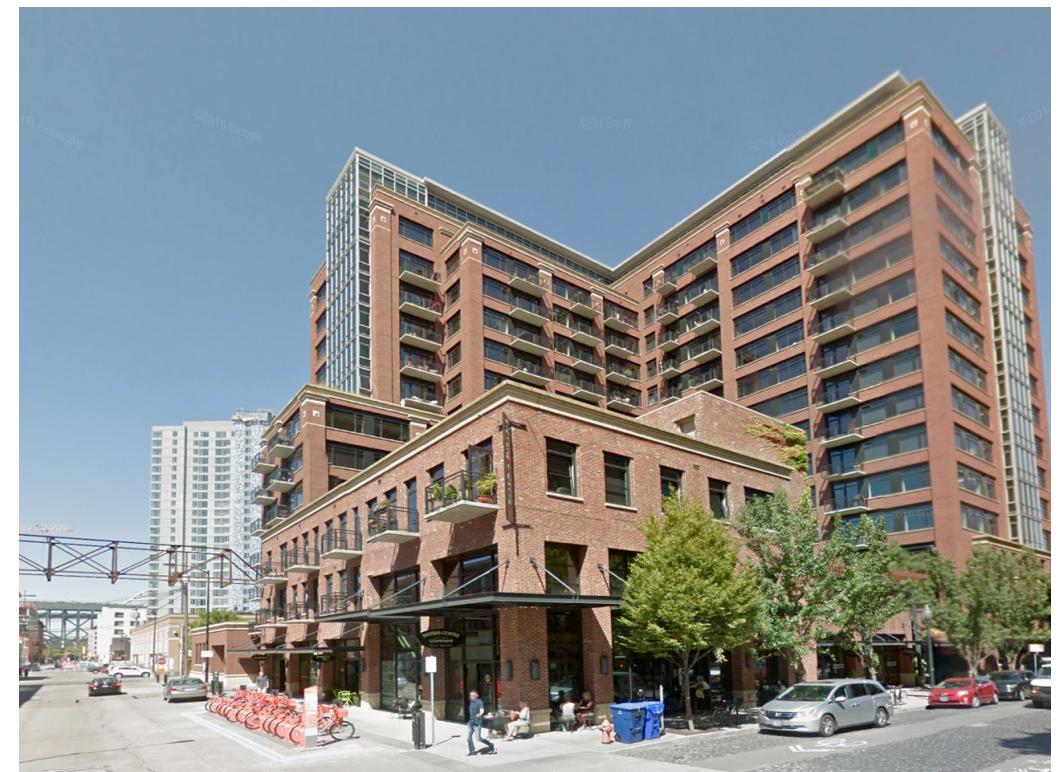
COMMERCIAL



MIXED USE



MIXED USE



MIXED USE



VIEW LOOKING NORTHEAST



VIEW LOOKING NORTHEAST



VIEW LOOKING SOUTHWEST



VIEW LOOKING NORTHWEST



VIEW LOOKING NORTHWEST



VIEW LOOKING NORTHWEST



VIEW LOOKING NORTHWEST



VIEW LOOKING NORTHEAST



VIEW LOOKING NORTH



VIEW LOOKING SOUTHWEST



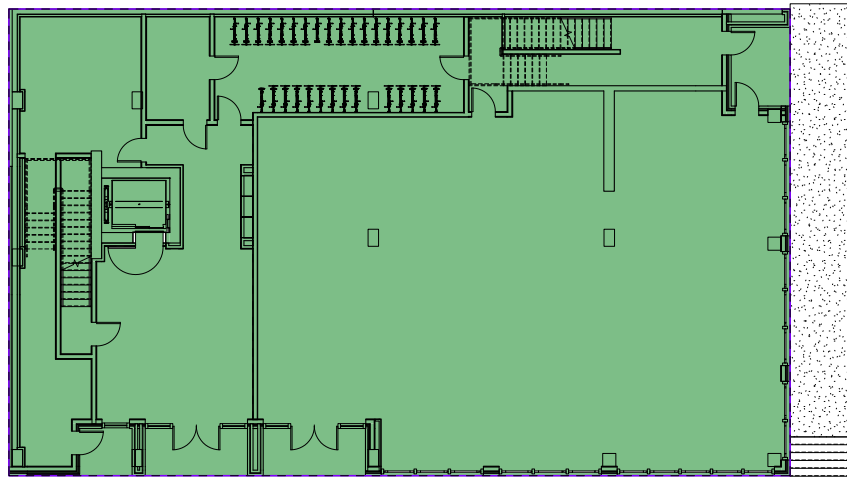
VIEW LOOKING SOUTHWEST



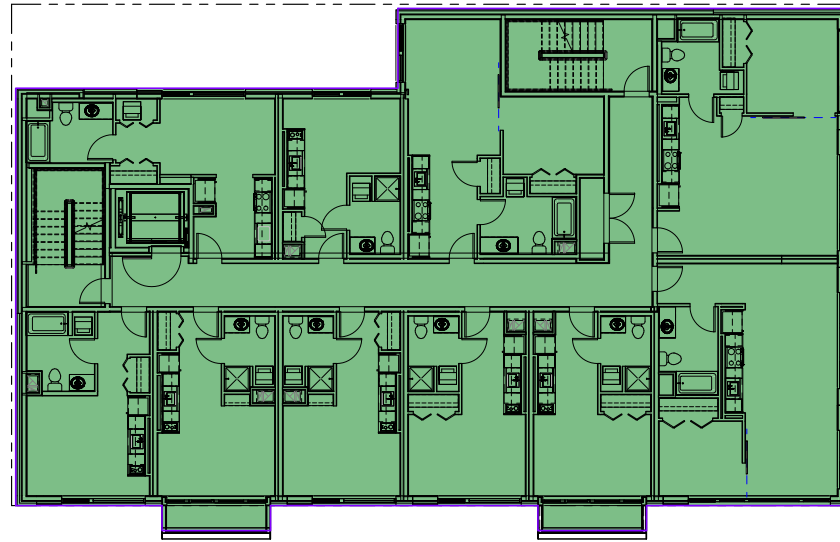
VIEW LOOKING SOUTHEAST



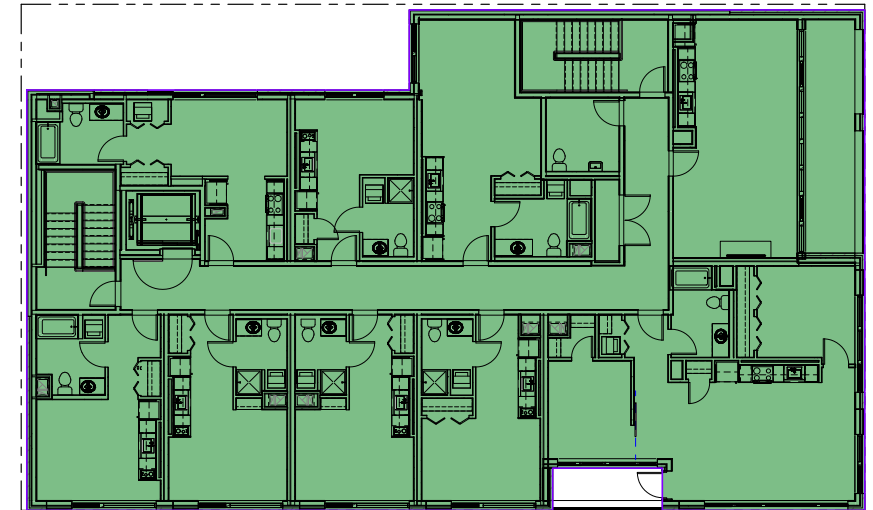
VIEW LOOKING NORTHWEST



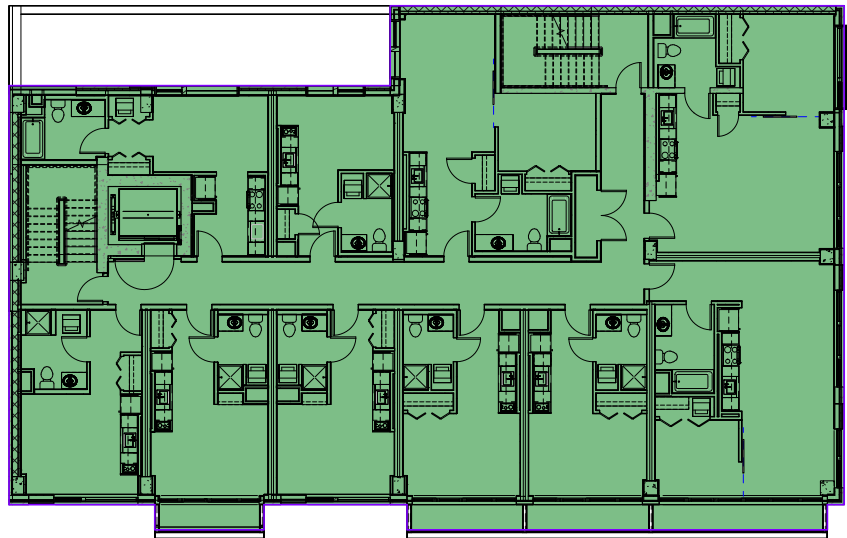
LEVEL 01 - 5,894 SF



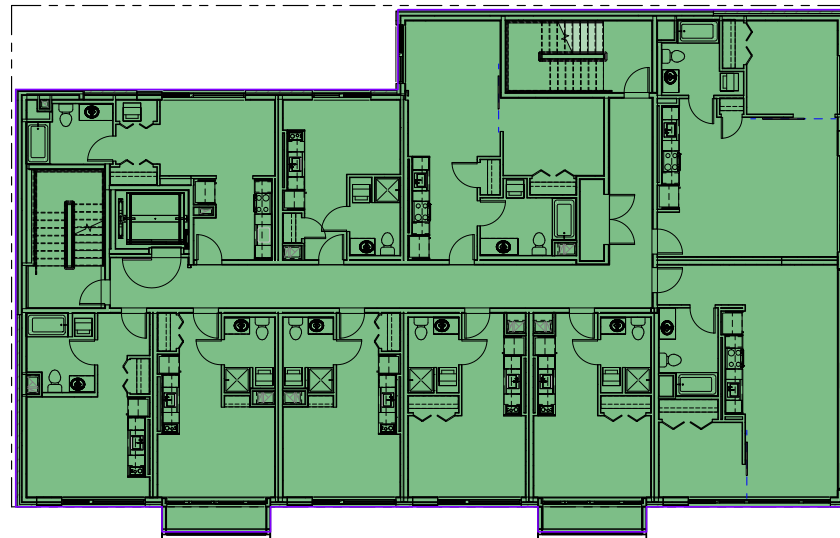
LEVEL 04 - 5,561 SF



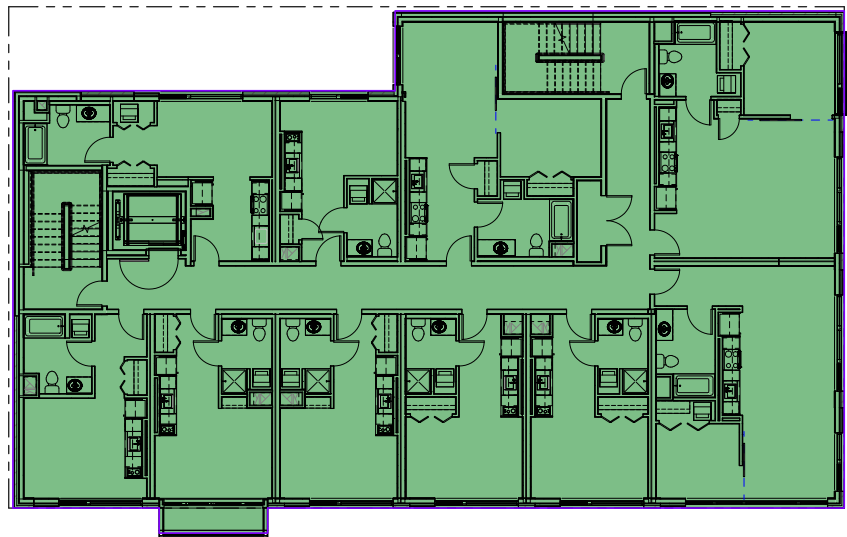
LEVEL 07 - 5,398 SF



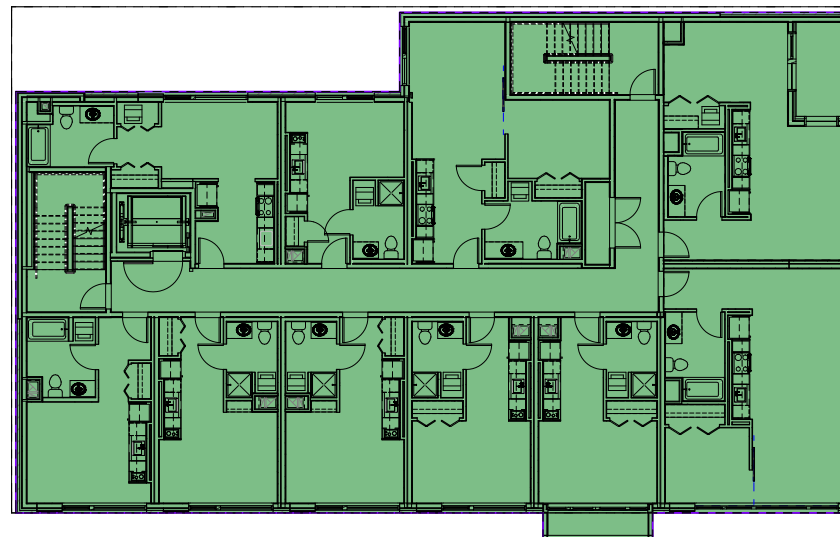
LEVEL 02 - 5,652 SF



LEVEL 05 - 5,561 SF



LEVEL 03 - 5,522 SF



LEVEL 06 - 5,516 SF

FAR CALCULATIONS

LEVEL 01	5,894 SF
LEVEL 02	5,652 SF
LEVEL 03	5,522 SF
LEVEL 04	5,561 SF
LEVEL 05	5,561 SF
LEVEL 06	5,516 SF
LEVEL 07	5,398 SF

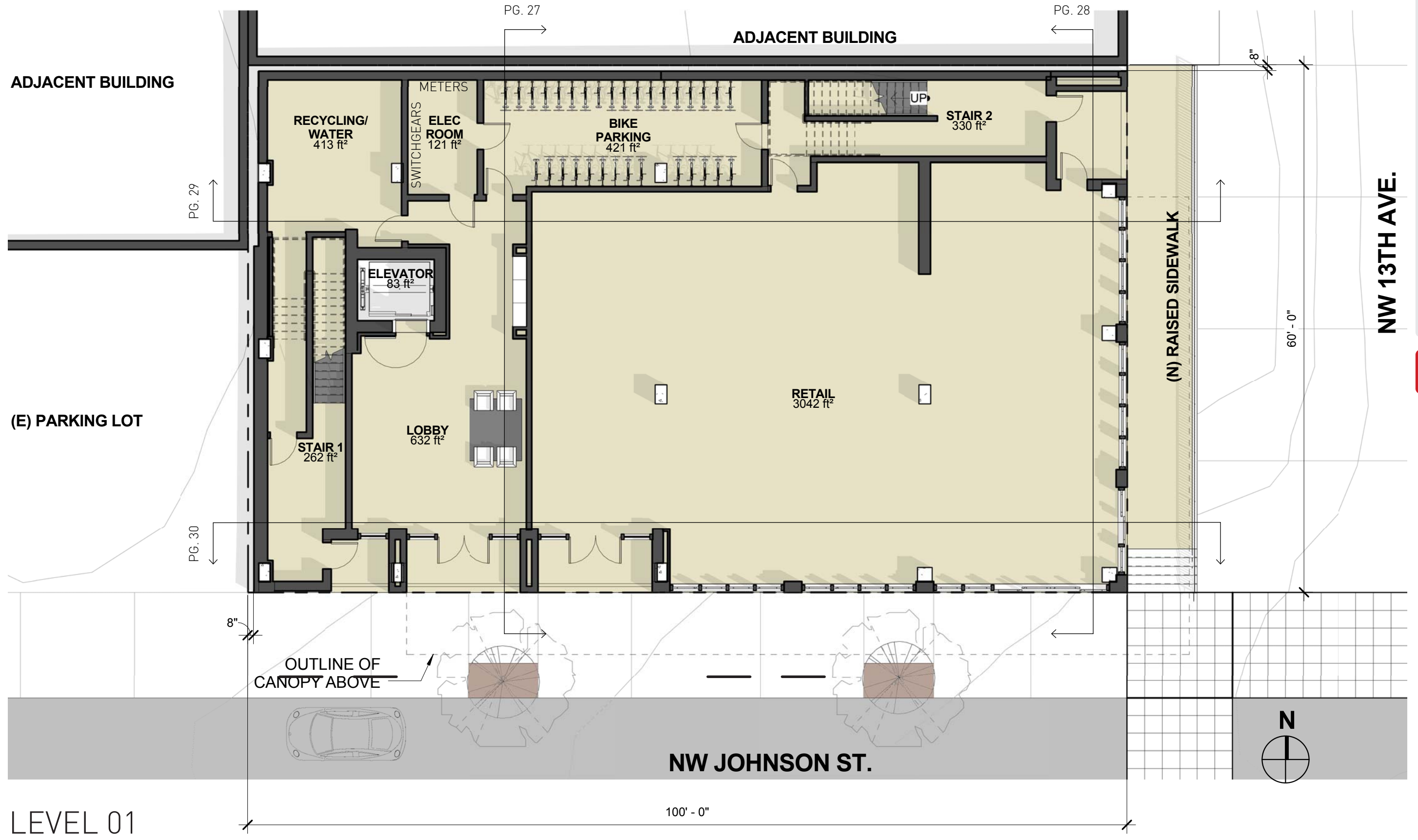
TOTAL 39,105 SF

$39,105 \text{ SF} / 6,000 \text{ SF} = \mathbf{6.5 : 1 \text{ FAR}}$



CONTEXT SITE PLAN

SCALE: 1" = 40'-0"



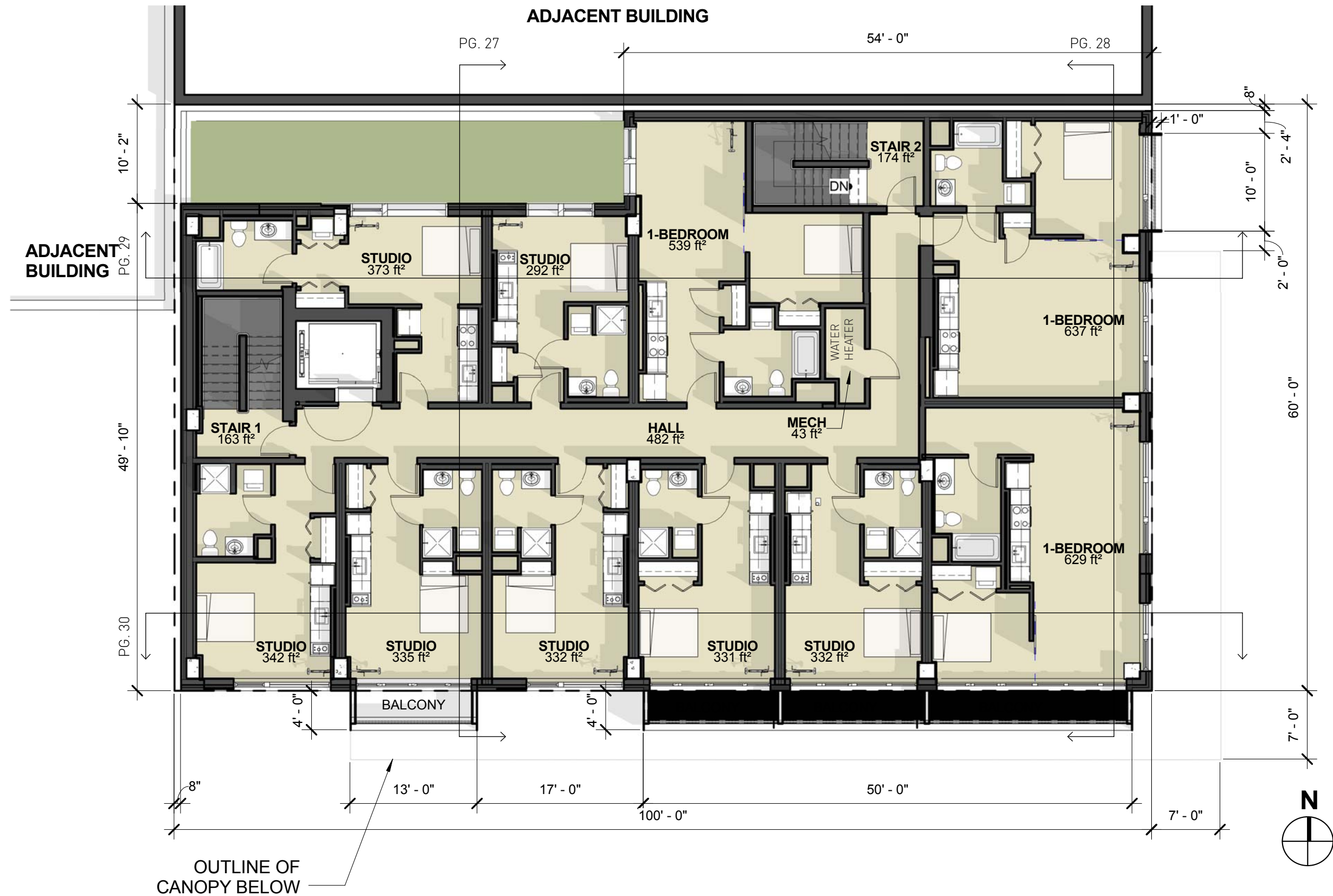
LEVEL 01

SCALE: 3/32" = 1'-0"

NW 13TH AVE.

PEARLAPARTMENTS





FLOOR PLAN LEVEL 02

SCALE: 3/32" = 1'-0"



FLOOR PLAN LEVEL 03

SCALE: 3/32" = 1'-0"



FLOOR PLAN LEVEL 04

SCALE: 3/32" = 1'-0"



FLOOR PLAN LEVEL 05

SCALE: 3/32" = 1'-0"



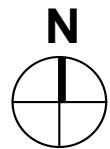
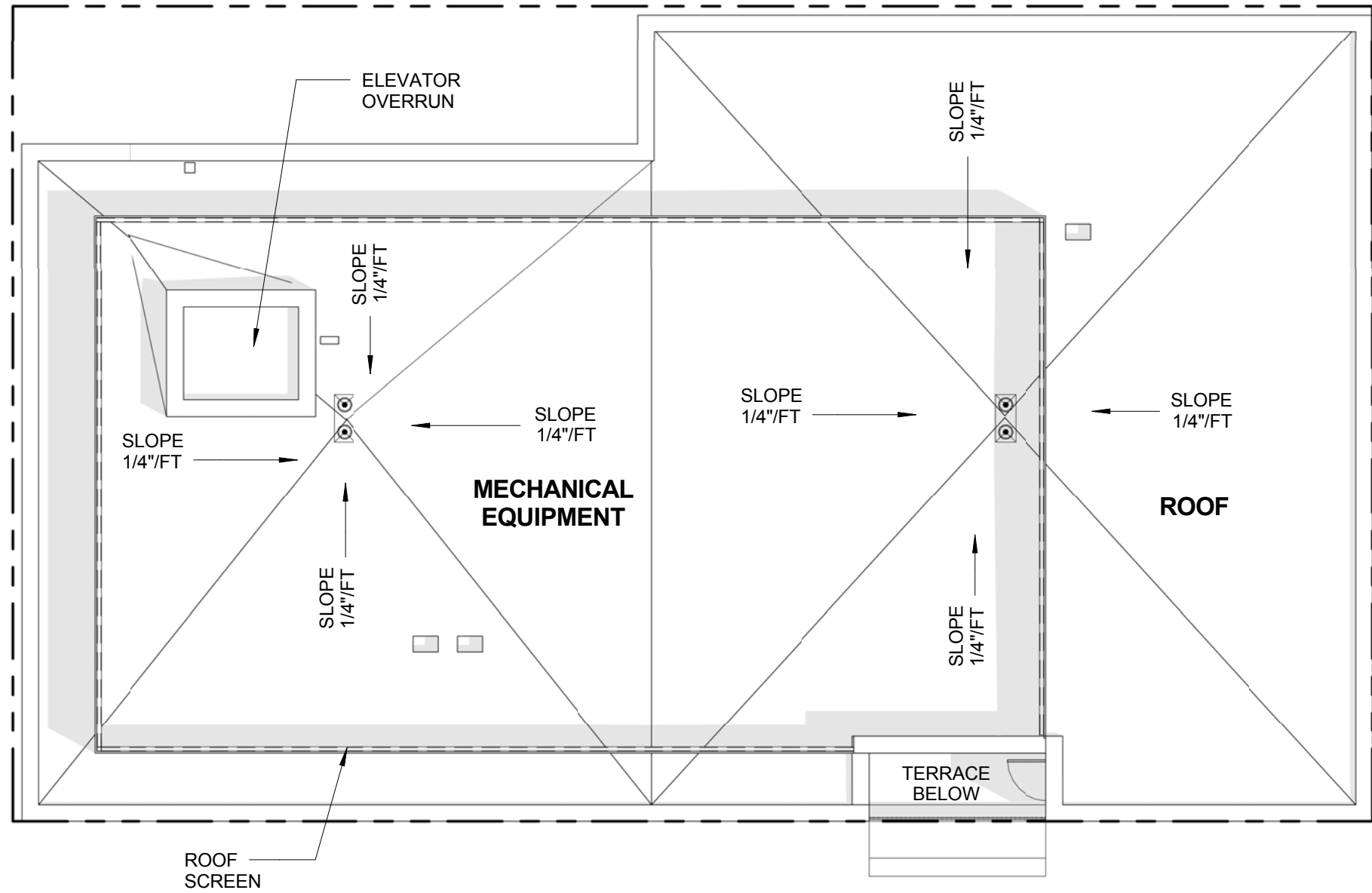
FLOOR PLAN LEVEL 06

SCALE: 3/32" = 1'-0"



FLOOR PLAN LEVEL 07

SCALE: 3/32" = 1'-0"



ROOF PLAN

SCALE: 3/32" = 1'-0"

- BR - BRICK VENEER - DARK GREY
- RMP - RIBBED METAL PANEL - DARK GREY
- SP - STEEL PLATE - DARK GREY
- SMP - SMOOTH METAL PANEL - DARK GREY

PEARL APARTMENTS



ELEVATION SOUTH

SCALE: 3/32" = 1'-0"

- BR - BRICK VENEER - DARK GREY
- RMP - RIBBED METAL PANEL - DARK GREY
- SP - STEEL PLATE - DARK GREY
- SMP - SMOOTH METAL PANEL - DARK GREY



PEARL APARTMENTS



ELEVATION EAST

SCALE: 3/32" = 1'-0"

- BR - BRICK VENEER - DARK GREY
- RMP - RIBBED METAL PANEL - DARK GREY
- SP - STEEL PLATE - DARK GREY
- SMP - SMOOTH METAL PANEL - DARK GREY

PEARL APARTMENTS



ELEVATION NORTH

SCALE: 3/32" = 1'-0"

BR - BRICK VENEER - DARK GREY

RMP - RIBBED METAL PANEL - DARK GREY

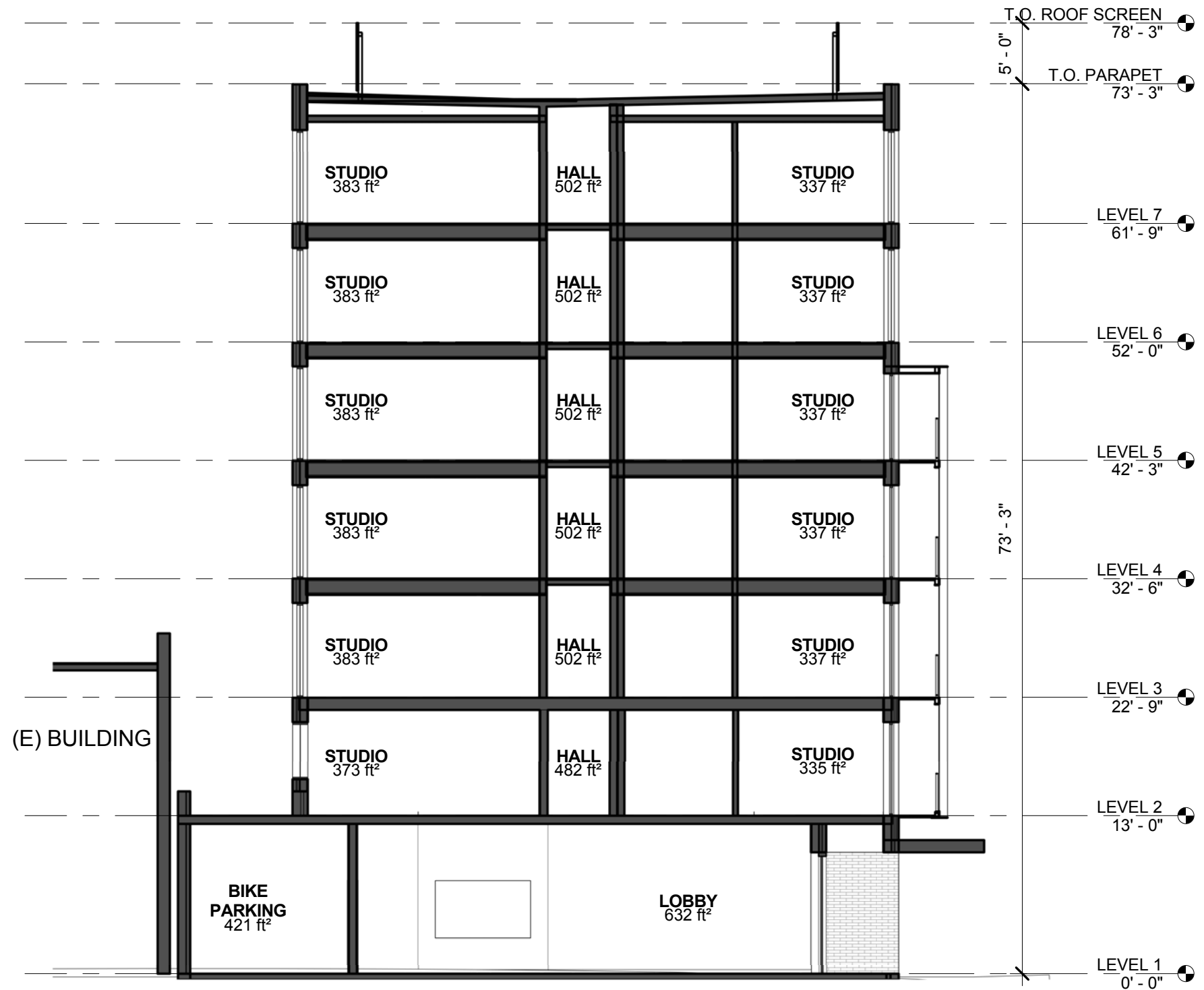
SP - STEEL PLATE - DARK GREY

SMP - SMOOTH METAL PANEL - DARK GREY



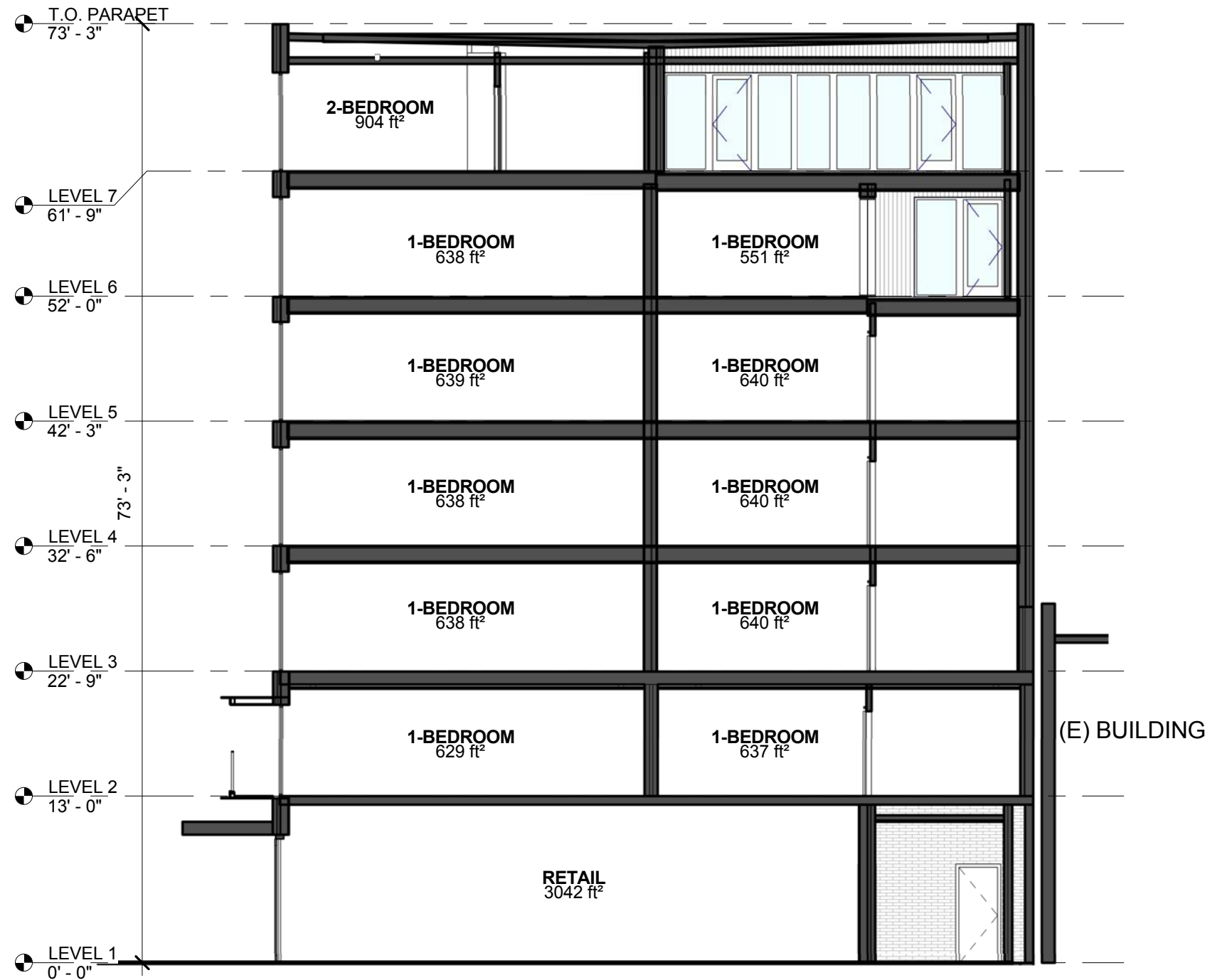
ELEVATION WEST

SCALE: 3/32" = 1'-0"



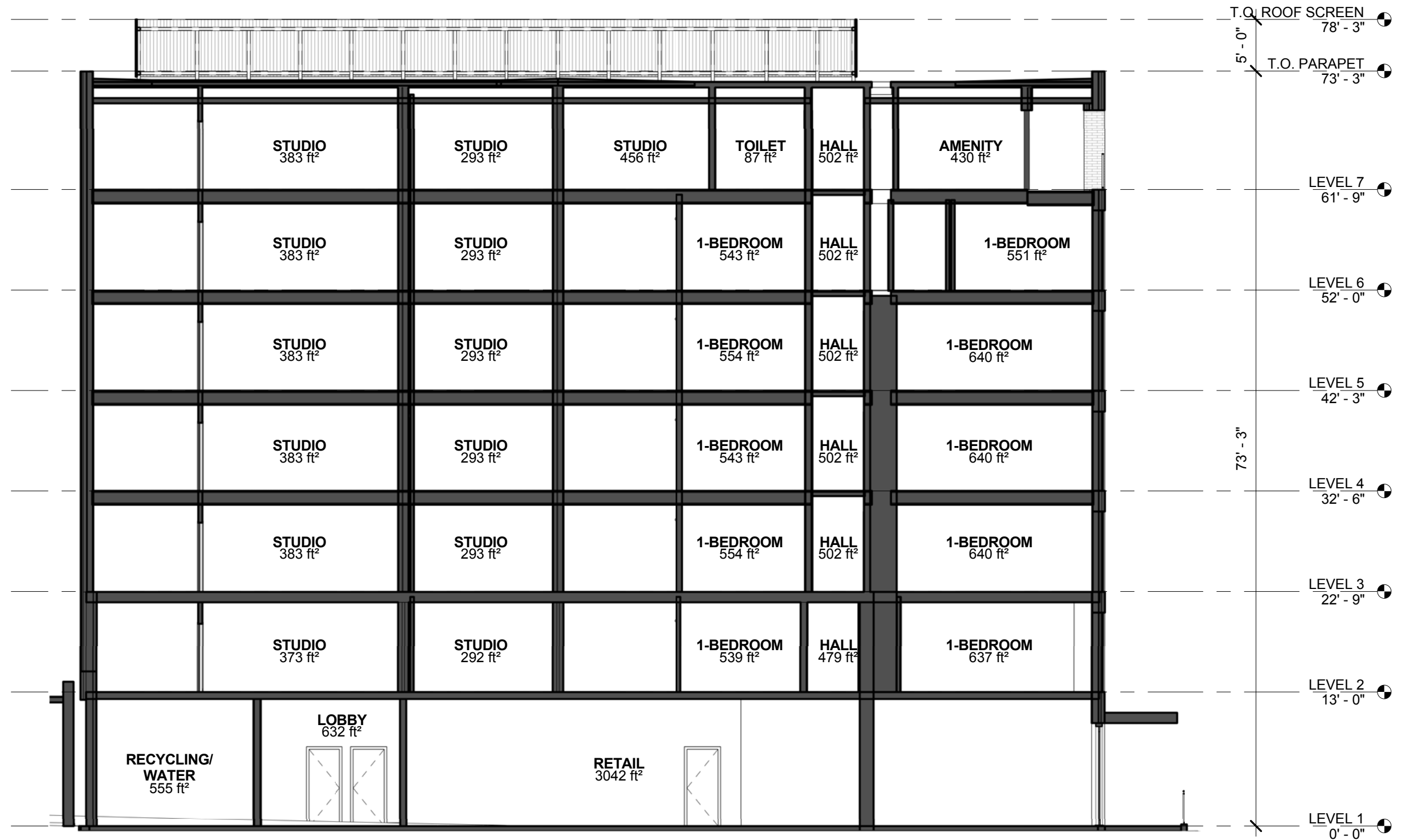
SECTION N-S

SCALE: 3/32" = 1'-0"



SECTION N-S

SCALE: 3/32" = 1'-0"



SECTION E-W

SCALE: 3/32" = 1'-0"



SECTION E-W

SCALE: 3/32" = 1'-0"



NORMAN BRICK
C.56

PERFORATED METAL PANEL
C.57

SMOOTH METAL PANEL

RIBBED METAL PANEL
C.57



FLOOR-TO-CEILING ALUMINUM WINDOWS
C.58

FLOOR-TO-CEILING ALUMINUM WINDOWS & DOORS
C.58

SLIDING WOOD STOREFRONT SYSTEM
C.55



TERRACE

WINDOW BAY

JULIET BALCONY

EXd

CENTRAL EMPLOYMENT



CODE	STANDARD / REQUIREMENT	PROPOSED
Zone	Central Employment (EX) w/ Design Overlay (d) (Map 2928)	-
Primary Uses	Household Living, Retail, Service (33.510.116c)	Mixed Use (Residential / Retail)
Site Area	-	6,000 sf
Existing Building Area	-	6,000 sf
Existing Lot Coverage	-	100%
Floor Area Ratio	4:1 (7:1 max bonus) (33.510.200c / Map 510-2.1)	6.52 : 1 (39,105 sf / 6,000 sf)
Building Height	75 ft. (33.510.205 / Map 510-3.1)	73'-3" ft., roof structure: 5'-0"
Required Building Lines / Setbacks	10' maximum setback; Required Building Lines apply (33.510.215 / Table 140-3)	No setbacks; Requirements met
Landscaping	Street Trees	Provided
Ground Floor Windows	Required (33.510.220)	Ground floor walls fronting the public R.O.W. are mostly glazed. Requirement met.
Required Windows Above the Ground Floor	Does not apply because more than 200' away from streetcar alignments (33.510.221 / Map 510-12)	N/A
Exterior Display and Storage	Exempt (33.510.223 / Map 510-18)	N/A
Mechanical Equipment along the Portland Streetcar Alignment	Does not apply (33.510.224 / Map 510-11)	N/A
Ground Floor Active Uses	(33.510.225)	Active retail spaces at the street level along both NW 13th Ave and NW Johnson St. This requirement is met.
Minimum Active Floor Area	Does not apply (33.510.226)	N/A
Required Residential Development Areas	(33.510.230)	N/A
Parking	Not Required (33.510.261)	N/A
Parking Access Restricted	NW 13th Ave.	No parking provided

EXd

CENTRAL EMPLOYMENT



CODE	STANDARD / REQUIREMENT	PROPOSED
Drive-Through Facilities	Does not apply (33.510.240)	N/A
Demolitions	Does not apply (33.510.242)	N/A
Additional Standards in the North Pearl Subarea	Building height shall not exceed 75' (33.510.251)	Requirement met. Building height is 73' - 3".
Additional Standards in the South Waterfront Subdistrict	Does not apply (33.510.252)	N/A
Greenway Overlay Zone in South Waterfront Subdistrict	Does not apply (33.510.253)	N/A
Central City Master Plans	Does not apply (33.510.255)	N/A
Signs for Additional Uses Allowed in the Open Space Zone	Does not apply (33.510.257)	N/A
Bicycle Parking	Short-term: Household living 2, or 1 per 20 units Retail 2, or 1 per 5,000 sf net bldg area Long-term: Household living 1.5 per unit Retail 2, or 1 per 12,000 sf retail (33.266.110 / Table 266-6)	Short-term: Household living 3 spaces Retail 2 spaces 5 short-term spaces provided Long-term: Household living 87 spaces Retail 2 spaces 89 long-term spaces provided
Loading Standards	(1) Standard B loading space (18'L x 9'W x 10'H) required (33.266.310c)	Seeking Type II Adjustment to eliminate requirement for loading space.

NARRATIVE RESPONSE TO PRE-APPLICATION CONFERENCE SUMMARY REPORT

PORTLAND BUREAU OF TRANSPORTATION (PBOT) REQUIREMENTS

NW 13th is a Special Function Street within the River District Right-of-Way Standards. Sidewalks are not required. NW 13th Avenue is classified as a City Walkway within a pedestrian district, and a Local Service Street for all other transportation modes in the City's Transportation System Plan. The Applicant will construct a dock with stairs and parallel parking. The dock will be constructed under an encroachment permit from PBOT as part of the building permit.

At this location, NW Johnson Street is classified as a City Bikeway, City Walkway within a pedestrian district, and a Local Service street for all other transportation modes in the City's Transportation System Plan. The applicant will reconstruct the sidewalk corridor to meet River District Standards. The street is improved with 26-ft of paving in a 60-ft right-of-way. Per the Pedestrian Design Guide, the site's frontage will be improved with a 12-ft pedestrian corridor (0.5-ft curb/4-ft wide furnishing zone/6-ft wide sidewalk/1.5-ft wide frontage zone). Dedications will not be required. A vault for the building's utility transformer will be installed under the sidewalk area with a vault lid in the furnishing zone. The vault and lid will be submitted to PBOT through the PBOT Design Exception process. Please reference the attached survey, which documents the 12-ft dimension from the face of the curb to the property line.

Due to the constraints of the site, an on-site loading space is technically infeasible. NW 13th is a Special Function Street within the River District Right-of-Way Standards and includes a raised dock, which prevents vehicular access to the site. The building frontage along NW Johnson Street is only 100-ft in length. The introduction of a loading dock on this street would preclude all reasonable economic use of the site, eliminating the functional use of the ground floor for retail and residential lobby functions. The applicant is requesting a Type II Adjustment to eliminate the requirement for one Type B on-site loading space.

A loading demand analysis was performed by Lancaster Engineering and describes the expected loading needs, including delivery activity, residential move-ins/outs, and service. The analysis confirms that existing on-street loading zones in the site vicinity provide ample space to accommodate the projected new loading demand in addition to existing demand. Due to the site constraints and the typical size of delivery/service vehicles for these types of uses, PBOT has stated it is likely to support modifications to the number of loading spaces. The loading demand analysis will be submitted to PBOT concurrent with the Type III Design Review application.

PORTLAND BUREAU OF ENVIRONMENTAL SERVICES (BES) REQUIREMENTS

There is a full complement of utilities – water, sanitary sewer, and stormwater – already within the streets surrounding the project as indicated on the attached Utility Plan.

According to the City of Portland Stormwater Hierarchy, the highest technically feasible category for this site is Category 3. Infiltration is not feasible on this site due to the required zero-lot-line setback. Therefore, Category 1 and 2 of the Stormwater Hierarchy, which require total on-site infiltration, cannot be accomplished. Category 3, which requires overflow into a drainage way, stream, river or storm-only pipe will be achieved by discharging all runoff into the Tanner Creek storm line located in NW Johnson Street. No water detention facilities are being installed as part of this development. Per coordination with City of Portland BES, no detention is required when connecting directly to the 84-inch Tanner Creek storm line. Connection details will be submitted during permitting.

The site will utilize a Contech water quality filter catchbasin to treat all of the impervious area and meet water quality requirements. All runoff will be collected internally in the building and flow through the filter catchbasin located in the entrance alcove to the southwest of the building. This catchbasin has one Contech filter media cartridge that will effectively treat the stormwater. This is a City of Portland approved method. The catchbasin filter was sized using the City of Portland water quality design storm, 0.83 inches per 24-hours.

A Phase 1 Environmental Site Assessment was performed by GeoDesign, Inc. A Preliminary Stormwater Report was provided by David Evans and Associates, Inc. The Phase I ESA and Preliminary Stormwater Report will be submitted to BES concurrently with the Type III Design Review application.

BUREAU OF DEVELOPMENT SERVICES SITE DEVELOPMENT

GeoDesign, Inc. performed a geotechnical analysis of the project site. The geotechnical report will be submitted to Site Development concurrently with the permit application and will address erosion, sediment and pollution control as well as requirements for temporary excavation support and demolition.

PORTLAND WATER BUREAU

Water is available to the site from the 8-inch main in NW Johnson Street. A domestic water meter will be installed under the sidewalk on NW Johnson Street near the southwest corner of the site, as indicated on the attached Utility Plan. A reduced pressure backflow assembly (RPBA) will be installed above finished grade at a location coordinated with the Water Bureau.

PORTLAND FIRE BUREAU

Water is available to the site from the 8-inch main in NW Johnson Street. A fire service water connection will be provided as indicated on the attached Utility Plan.

URBAN FORESTRY

The attached Tree Plan illustrates the size and location of street trees on NW Johnson Street. NW 13th Avenue is a Special Function Street within the River District Right-of-Way Standards and includes a raised dock, which prevents the planting of street trees along the approximately 60 feet of street frontage at this location.

RIVER DISTRICT GUIDELINES

A1-1 – LINK THE RIVER TO THE COMMUNITY

Link the Willamette River to the community reinforcing the river's significance.

Findings: Balconies and terraces maximize views of the river and emphasize the River District ambiance. An amenity space on the top floor provides exterior access and easterly views towards the river.

A3-1 – PROVIDE CONVENIENT PEDESTRIAN LINKAGES

Provide convenient linkages throughout the River District that facilitate movement for pedestrians to and from the river, and to and from adjacent neighborhoods.

Findings: The building scale, massing, loading dock, and canopy support the sense of place along NW 13th Avenue and reinforce the use of this pedestrian corridor for First Thursday Street Fairs and other creative uses.

A5-1-1 – REINFORCE THE IDENTITY OF THE PEARL DISTRICT NEIGHBORHOOD

Reinforce the identity of the Pearl District Neighborhood.

Findings: The building's scale, massing, and material palate, consisting of brick masonry and industrial canopy detailing, reflect the character of this unique pedestrian corridor. The punched opening pattern of the façade echoes the vertical and horizontal column and beam grid of the urban warehouse buildings in the 13th Avenue Historic District.

A8-1 – DESIGN FENCES, WALLS, AND GATEWAYS TO BE SEEN OVER

Design fences, walls and gateways located between a building and the sidewalk to be seen over to allow for social interaction.

Findings: A new warehouse loading dock will be provided on NW 13th Avenue to emphasize the NW 13th Avenue Historic District character. It will provide an additional level of pedestrian interaction with the retail frontage activities. The loading dock guardrail consists of flat bar vertical members which allow for views between the dock and street level.

B1-1 – PROVIDE HUMAN SCALE TO BUILDINGS ALONG WALKWAYS

Provide human scale and interest to buildings along sidewalks and walkways.

Findings: Extensive ground floor windows, a continuous canopy, residential balconies, and the 13th Avenue loading dock establish a human scale along NW 13th Avenue that activates the street level pedestrian zone.

C1-1 – INCREASE RIVER VIEW OPPORTUNITIES

Increase river view opportunities to emphasize the River District ambiance.

Findings: Balconies and terraces maximize views of toward the river and emphasize the River District ambiance. An amenity space on the top floor provides exterior access and easterly views towards the river.

C3-1 – INTEGRATE PARKING

Design parking garage exteriors to visually integrate with their surroundings.

Findings: No parking is required or provided for the building

C9-1 – REDUCE IMPACT OF RESIDENTIAL UNIT GARAGES ON PEDESTRIANS

Reduce the impact on pedestrians from cars entering and exiting residential unit garages by locating garage access on alleys, and active spaces on ground floors that abut streets.

Findings: No garages are required or provided for the building

CENTRAL CITY GUIDELINES

A1 – INTEGRATE THE RIVER

Orient architectural and landscape elements including, but not limited to, lobbies, entries, balconies, terraces, and outdoor areas to the Willamette River and greenway. Develop accessways for pedestrians that provide connections to the Willamette River and greenway.

Findings: Balconies and terraces maximize views of the river and emphasize the River District ambiance. An amenity space on the top floor provides exterior access and easterly views towards the river. This guideline is met.

A2 – EMPHASIZE PORTLAND THEMES

When provided, integrate Portland-related themes with the development's overall design concept.

Findings: The Pearl Apartments emphasizes the history and character of Portland's Pearl District and 13th Avenue Historic District through the use of materials like brick and steel, and by utilizing the loading dock that's reminiscent of NW 13th Avenue's former industries. This guideline is met.

A3 – RESPECT THE PORTLAND BLOCK STRUCTURES

Maintain and extend the traditional 200-foot block pattern to preserve the Central City's ratio of open space to built space. Where superblocks exist, locate public and/or private rights-of-way in a manner that reflects the 200-foot block pattern, and include landscaping and seating to enhance the pedestrian environment.

Findings: The Pearl Apartment building lies within a typical 200' x 200' typical city block and does not include setbacks. This guideline is met.

A4 – USE UNIFYING ELEMENTS

Integrate unifying elements and/or develop new features that help unify and connect individual buildings and different areas.

Findings: The Pearl Apartments is designed to integrate with the NW 13th Avenue Historic District and River District by utilizing a similar palate of materials - brick and steel - and by incorporating an industrial canopy and loading dock along NW 13th Avenue that will visually relate the building to other buildings in the area and along the NW 13th Avenue Historic District Corridor. This guideline is met.

A5 – ENHANCE, EMBELLISH, AND IDENTIFY AREAS

Enhance an area by reflecting the local character within the right-of-way. Embellish an area by integrating elements in new development that build on the area's character. Identify an area's special features or qualities by integrating them into new development.

Findings: The building's scale, massing, and material palate, consisting of brick masonry and industrial canopy detailing, reflect the character of this unique pedestrian corridor. The punched opening pattern of the façade echoes the vertical and horizontal column and beam grid of the urban warehouse buildings in the NW 13th Avenue Historic District.

A6 – REUSE/REHABILITATE/RESTORE BUILDINGS

Where practical, reuse, rehabilitate, and restore buildings and/or building elements.

Findings: This guideline is not applicable.

A7 – ESTABLISH AND MAINTAIN A SENSE OF URBAN ENCLOSURE

Define public rights-of-way by creating and maintaining a sense of urban enclosure.

Findings: The Pearl Apartments are built out to the lot line and provide a strong built edge to the city block. The building also shares a common scale and proportion to the other buildings around the site. This guideline is met.

A8 – CONTRIBUTE TO A VIBRANT STREETScape

Integrate building setbacks with adjacent sidewalks to increase the space for potential public use. Develop visual and physical connections into buildings' active interior spaces from adjacent sidewalks. Use architectural elements such as atriums, grand entries and large ground-level windows to reveal important interior spaces and activities.

Findings: A warehouse loading dock is maintained on NW 13th Avenue and will provide an additional level of pedestrian interaction with the ground floor retail frontage. Large ground-level windows that wrap around both NW 13th Avenue and NW Johnson Street further activate the pedestrian experience at street level. This guideline is met.

A9 – STRENGTHEN GATEWAYS

Develop and/or strengthen gateway locations.

Findings: This guideline is not applicable.

B1 – REINFORCE AND ENHANCE THE PEDESTRIAN SYSTEM

Maintain a convenient access route for pedestrian travel where a public right-of-way exists or has existed. Develop and define the different zones of a sidewalk: building frontage zone, street furniture zone, movement zone, and the curb. Develop pedestrian access routes to supplement the public right-of-way system through superblocks or other large blocks.

Findings: The public right-of-way along NW Johnson Street will be improved to include a building frontage zone, street furniture zone, movement zone, and curb to match City of Portland standards. NW 13th Avenue is classified as a City Walkway within a pedestrian district and a Special Function Street within the River District Right-of-Way Standards. The loading dock along NW 13th Avenue will be reconstructed to extend and complement the existing loading docks along NW 13th Avenue.

CENTRAL CITY GUIDELINES

B2 – PROTECT THE PEDESTRIAN

Protect the pedestrian environment from vehicular movement. Develop integrated identification, sign, and sidewalk oriented night-lighting systems that offer safety, interest, and diversity to the pedestrian. Incorporate building equipment, mechanical exhaust routing systems, and/or service areas in a manner that does not detract from the pedestrian environment.

Findings: The loading dock along NW 13th Avenue will serve as a threshold between pedestrian-only use on the west side of the building and the vehicle/pedestrian shared space along NW 13th Avenue. Signage and lighting will be integrated into the soffit of the canopy for wayfinding to the building entries and to illuminate pedestrian circulation. Building equipment and mechanical exhaust will be located on the rooftop and will be screened from view. This guideline is met.

B3 – BRIDGE PEDESTRIAN OBSTACLES

Bridge across barriers and obstacles to pedestrian movement by connecting the pedestrian system with innovative, well-marked crossings and consistent sidewalk designs.

Findings: This guideline is not applicable.

B4 – PROVIDE STOPPING AND VIEWING PLACES

Provide safe, comfortable places where people can stop, view, socialize, and rest. Ensure that these places do not conflict with other sidewalk uses.

Findings: Large windows fronting the public R.O.W. offer views of pedestrian movement and activities along NW Johnson Street and NW 13th Avenue. Apartment balconies and terraces provide opportunities for views and surveillance over the surrounding neighborhood. The loading dock on NW 13th Avenue offers a place to stop and observe activities on NW 13th Avenue. This guideline is met.

B5 – MAKE PLAZAS, PARKS, AND OPEN SPACE SUCCESSFUL

Orient building elements such as main entries, lobbies, windows, and balconies to face public parks, plazas, and open spaces. Where provided, integrate water features and/or public art to enhance the public open space. Develop locally-oriented pocket parks that incorporate amenities for nearby patrons.

Findings: This guideline is not applicable.

B6 – DEVELOP WEATHER PROTECTION

Develop integrated weather protection systems at the sidewalk-level of buildings to mitigate the effects of rain, wind, glare, shadow, reflection, and sunlight on the pedestrian environment.

Findings: The Pearl Apartments features a 7' deep canopy running along the perimeter of the building, fronting both NW 13th Avenue and NW Johnson Street. This guideline is met.

B7 – INTEGRATE BARRIER FREE DESIGN

Integrate access systems for all people with the building's overall design concept.

Findings: The loading dock will run along NW 13th Avenue and link to an existing accessible ramp located at the corner of NW 13th Avenue and NW Kearney Street. Residential and retail entries are located along an accessible route. This guideline is met.

C1 – ENHANCE VIEW OPPORTUNITIES

Orient windows, entrances, balconies, and other building elements to surrounding points of interest and activity. Size and place new buildings to protect existing views and view corridors. Develop building facades that create visual connections to adjacent public spaces.

Findings: Balconies and terraces maximize views of the river and emphasize the River District ambiance. An amenity space on the top floor provides exterior access and easterly views towards the river.

C2 – PROMOTE QUALITY AND PERMANENCE IN DEVELOPMENT

Use design principles and building materials that promote quality and permanence.

Findings: The material palette used for the Pearl Apartments includes brick masonry, ribbed and smooth metal panels and steel, which are recognized as attractive and durable materials. This guideline is met.

C3 – RESPECT ARCHITECTURAL INTEGRITY

Respect the original character of an existing building when modifying its exterior. Develop vertical and horizontal additions, that are compatible with the existing building, to enhance the overall proposal's architectural integrity.

Findings: The Pearl Apartments building is new construction and does not involve the rehabilitation or remodeling of an existing structure. This guideline is not applicable.

C4 – COMPLEMENT THE CONTEXT OF EXISTING BUILDINGS

Complement the context of existing buildings by using and adding to the local design vocabulary.

Findings: The overall sculptural massing and composition of the building has been simplified to reflect a simple punched opening façade, reflecting the old traditional warehouse structures along NW 13th Avenue. The punched opening pattern of the façade reflects the vertical and horizontal column and beam grid of the building structure. This guideline is met.

CENTRAL CITY GUIDELINES

C5 – DESIGN FOR COHERENCY

Integrate the different building and design elements including, but not limited to, construction materials, roofs, entrances, as well as window, door, sign, and lighting systems, to achieve a coherent composition.

Findings: Projecting balconies are located on the south facade of the building and are shrouded in perforated black metal panels, which tie them both vertically and horizontally together and to the continuous canopy. These elements are replicated on the east facade with juliette balconies framed by steel panels. This creates a simple pattern of projecting, dynamic elements and adds a woven geometry to the façade. Throughout, a pattern of ribbed metal panels adjacent to the windows emphasize the punched openings of the brick facade and tie to the roof screen above. This guideline is met.

C6 – DEVELOP TRANSITIONS BETWEEN BUILDINGS AND PUBLIC SPACES

Develop transitions between private development and public open space. Use site design features such as movement zones, landscape elements, gathering places, and seating opportunities to develop transition areas where private development directly abuts a dedicated public open space.

Findings: The Pearl Apartments features a loading dock along the NW 13th Avenue which creates a transition from private to public at street level through the use of a stair and accessible ramp. This guideline is met.

C7 – DESIGN CORNERS THAT BUILD ACTIVE INTERSECTIONS

Use design elements including, but not limited to, varying building heights, changes in facade plane, large windows, awnings, canopies, marquees, signs, and pedestrian entrances to highlight building corners. Locate flexible sidewalk-level retail opportunities at building corners. Locate stairs, elevators, and other upper floor building access points toward the middle of the block.

Findings: Large movable doors and windows at the corner of NW 13th Avenue and NW Johnson Street, together with integrated canopies, highlight the corner and enhance retail opportunities. This guideline is met.

C8 – DIFFERENTIATE THE SIDEWALK LEVEL OF BUILDINGS

Differentiate the sidewalk-level of the building from the middle and top by using elements including, but not limited to, different exterior materials, awnings, signs, and large windows.

Findings: The sidewalk level of the Pearl Apartments is differentiated through the use of large movable glass doors and windows, the use of board-formed concrete at the street level only, and a continuous. This guideline is met.

C9 – DEVELOP FLEXIBLE SIDEWALK LEVEL SPACES

Develop flexible spaces at the sidewalk-level of buildings to accommodate a variety of active uses.

Findings: The loading dock along NW 13th Avenue and the large operable doors allow the dock to be used in a variety of ways including seating for food service applications or display space for retail purposes.

C10 – INTEGRATE ENCROACHMENTS

Size and place encroachments in the public right-of-way to visually and physically enhance the pedestrian environment. Locate permitted skybridges toward the middle of the block, and where they will be physically unobtrusive. Design skybridges to be visually level and transparent.

Findings: Projecting balconies are included to provide human scale and allow for interaction between residents and passers-by.

C11 – INTEGRATE ROOFS AND USE ROOFTOPS

Integrate roof function, shape, surface materials, and colors with the building's overall design concept. Size and place rooftop mechanical equipment, penthouses, other components, and related screening elements to enhance views of the Central City's skyline, as well as views from other buildings or vantage points. Develop rooftop terraces, gardens, and associated landscaped areas to be effective stormwater management tools.

Findings: The Pearl Apartments features a small ecoroof at the second floor level of the northwest corner of the building and roof screening that will hide the mechanical equipment from neighboring developments. This guideline is met.

C12 – INTEGRATE EXTERIOR LIGHTING

Integrate exterior lighting and its staging or structural components with the building's overall design concept. Use exterior lighting to highlight the building's architecture, being sensitive to its impacts on the skyline at night.

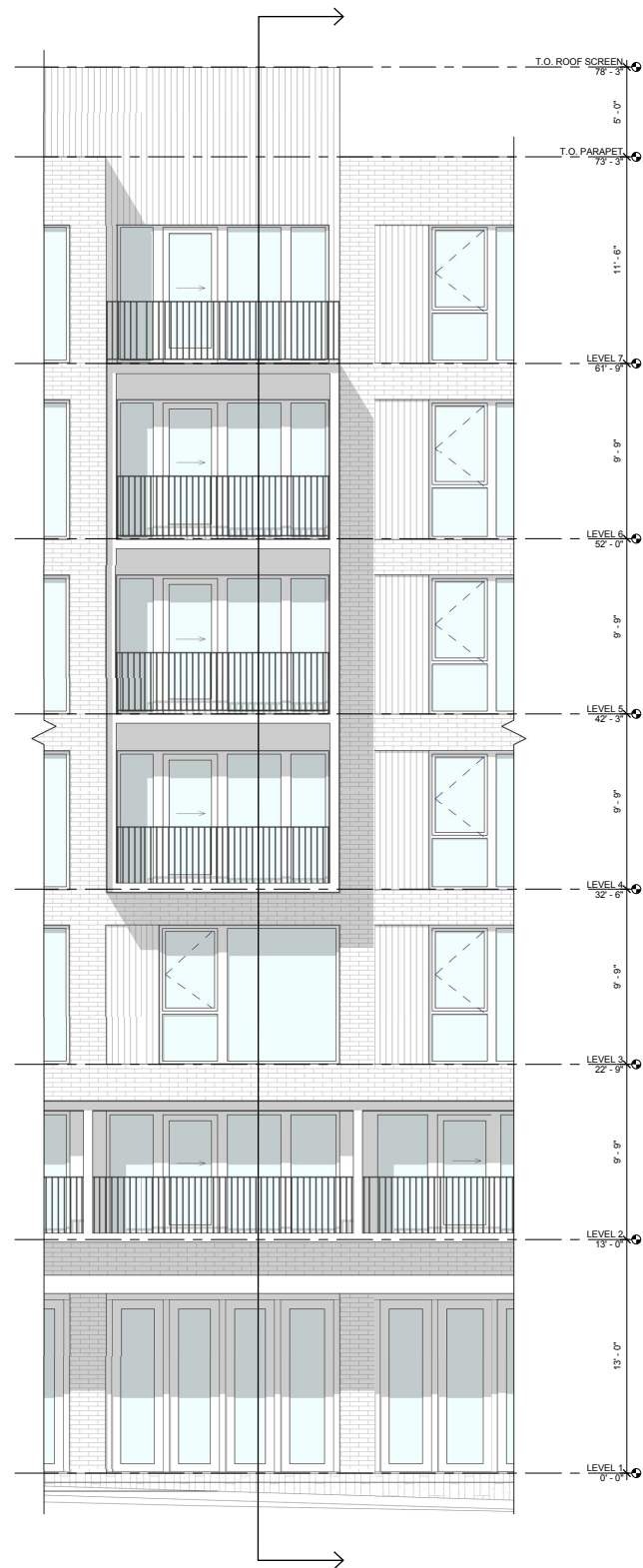
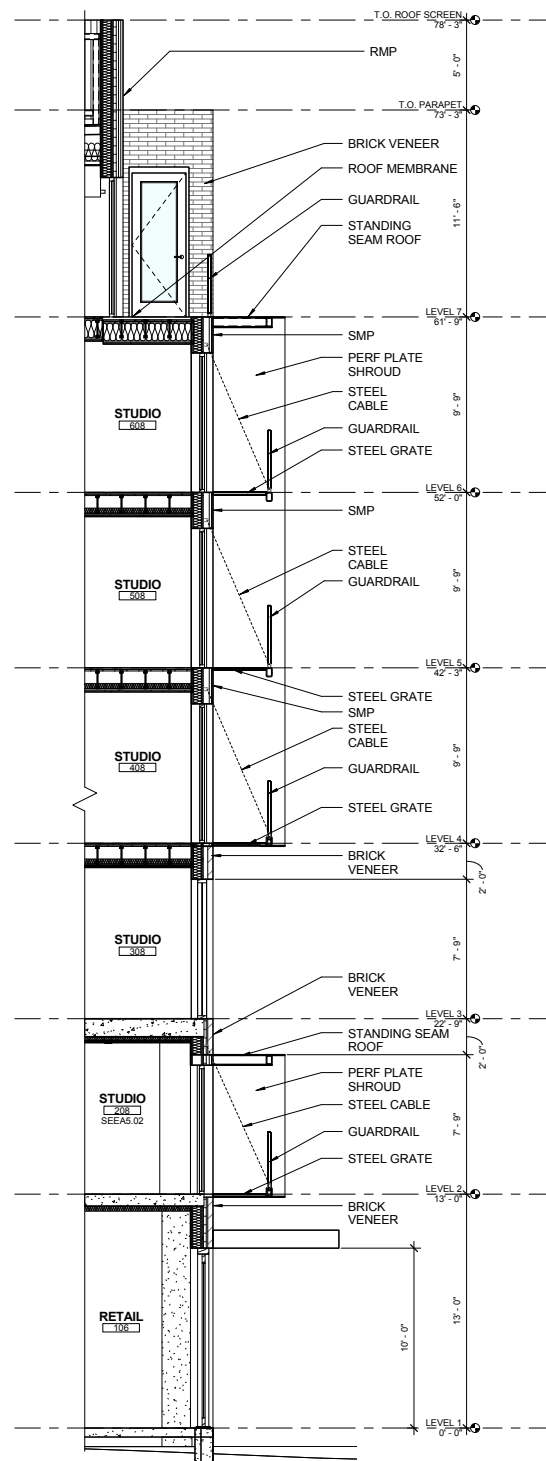
Findings: Exterior lighting is incorporated into the soffit of the continuous canopy to illuminate the sidewalk-level for nighttime pedestrian activity.

C13 – INTEGRATE SIGNS

Integrate signs and their associated structural components with the building's overall design concept. Size, place, design, and light signs to not dominate the skyline. Signs should have only a minimal presence in the Portland skyline.

Findings: Signage identifying the residential and retail entries is incorporated into the canopy soffit and sized to add a human scale to the pedestrian zone.

WALL SECTION SOUTH



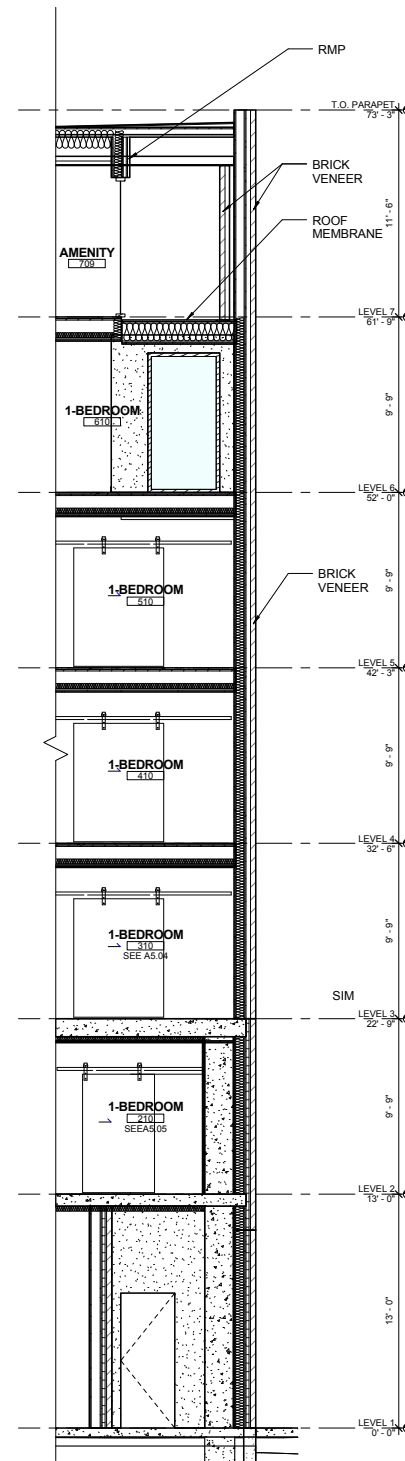
WALL SECTION SOUTH

SCALE: 3/32" = 1'-0"

ENLARGED ELEVATION SOUTH

SCALE: 3/32" = 1'-0"

WALL SECTION EAST

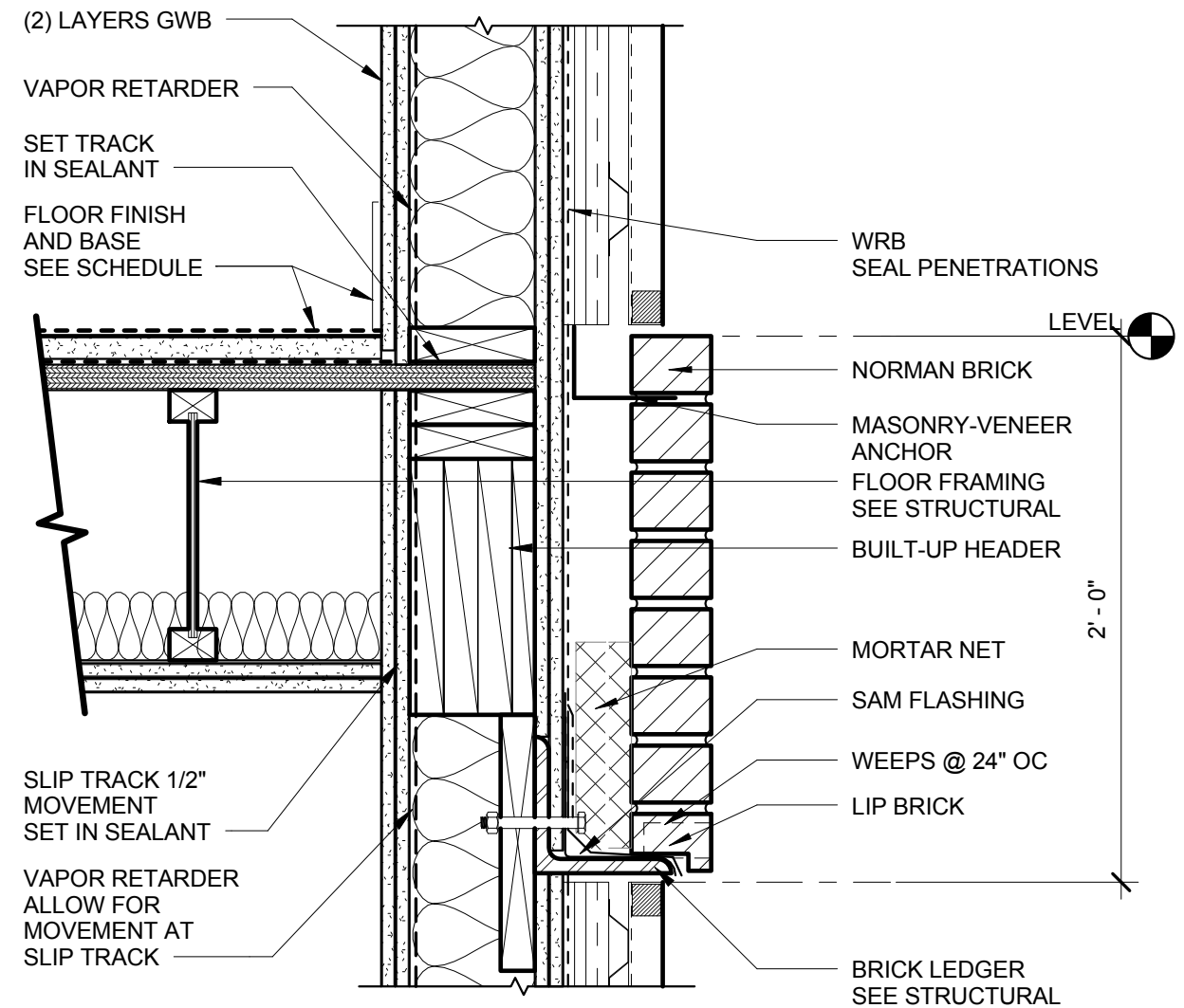
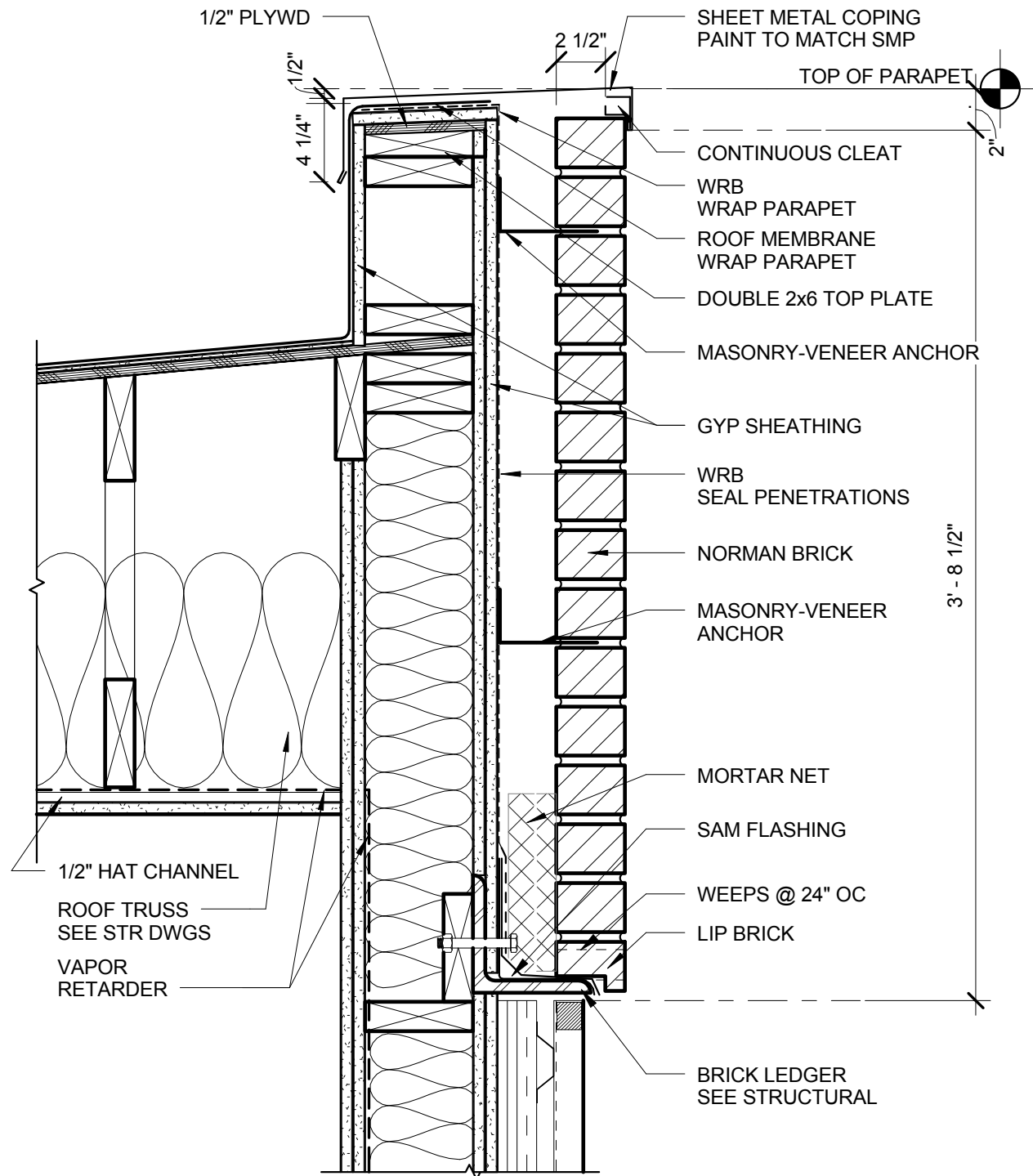


WALL SECTION EAST

SCALE: 3/32" = 1'-0"

ENLARGED ELEVATION EAST

SCALE: 3/32" = 1'-0"

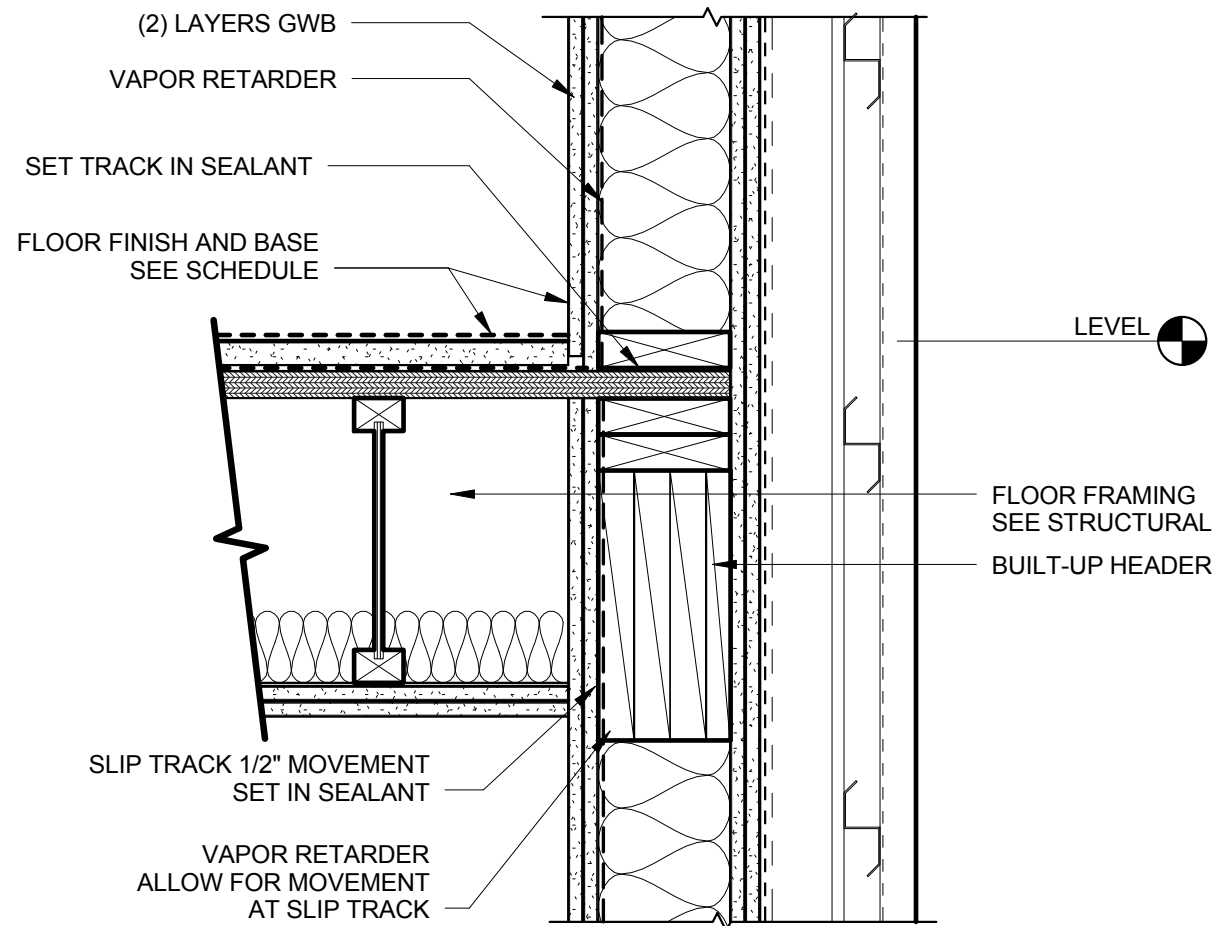
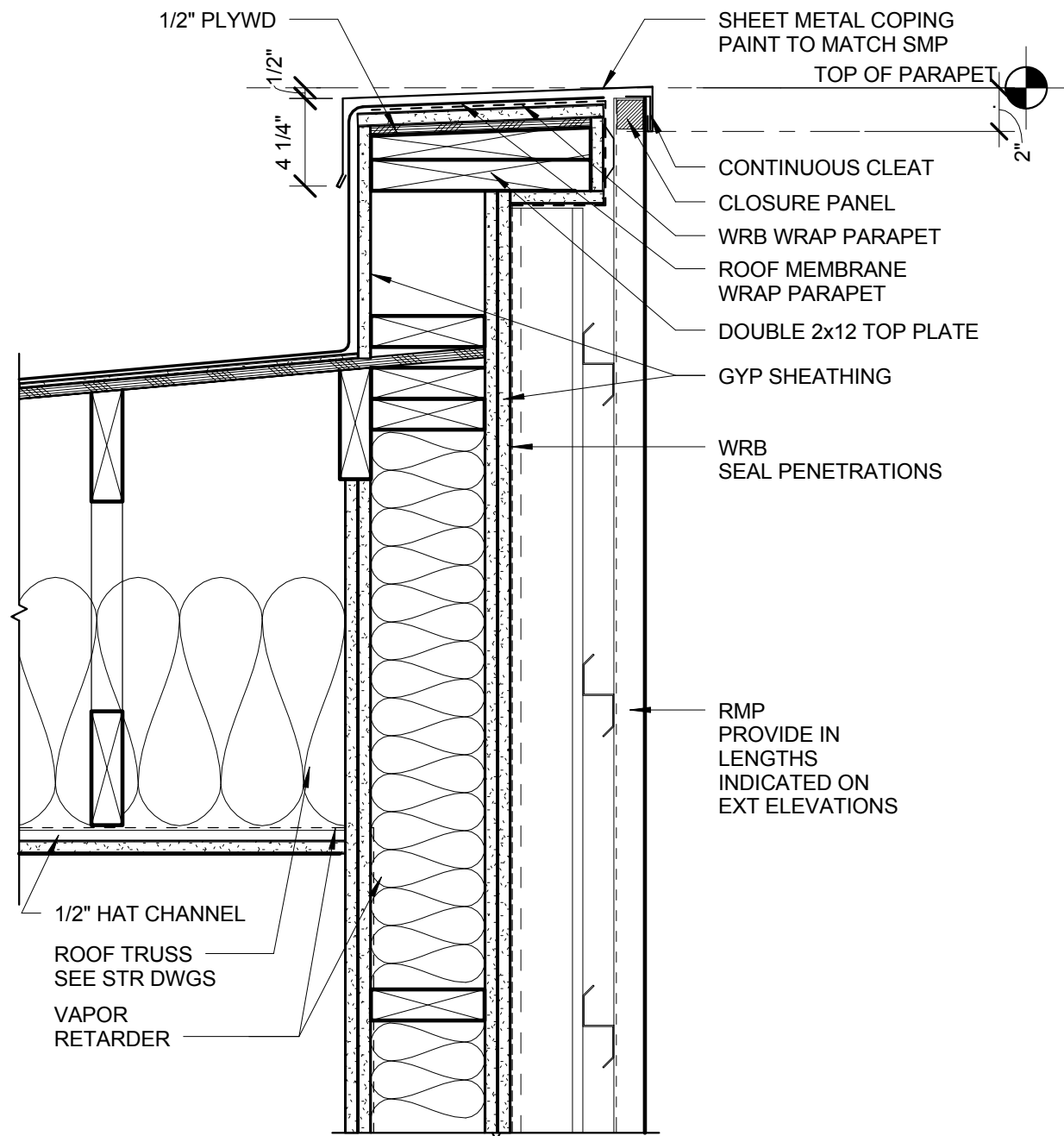


A PARAPET @ BRICK / RMP

SCALE: 1 1/2" = 1'-0"

B LV 04 - 07 DECK EDGE @ BRICK / RMP

SCALE: 1 1/2" = 1'-0"

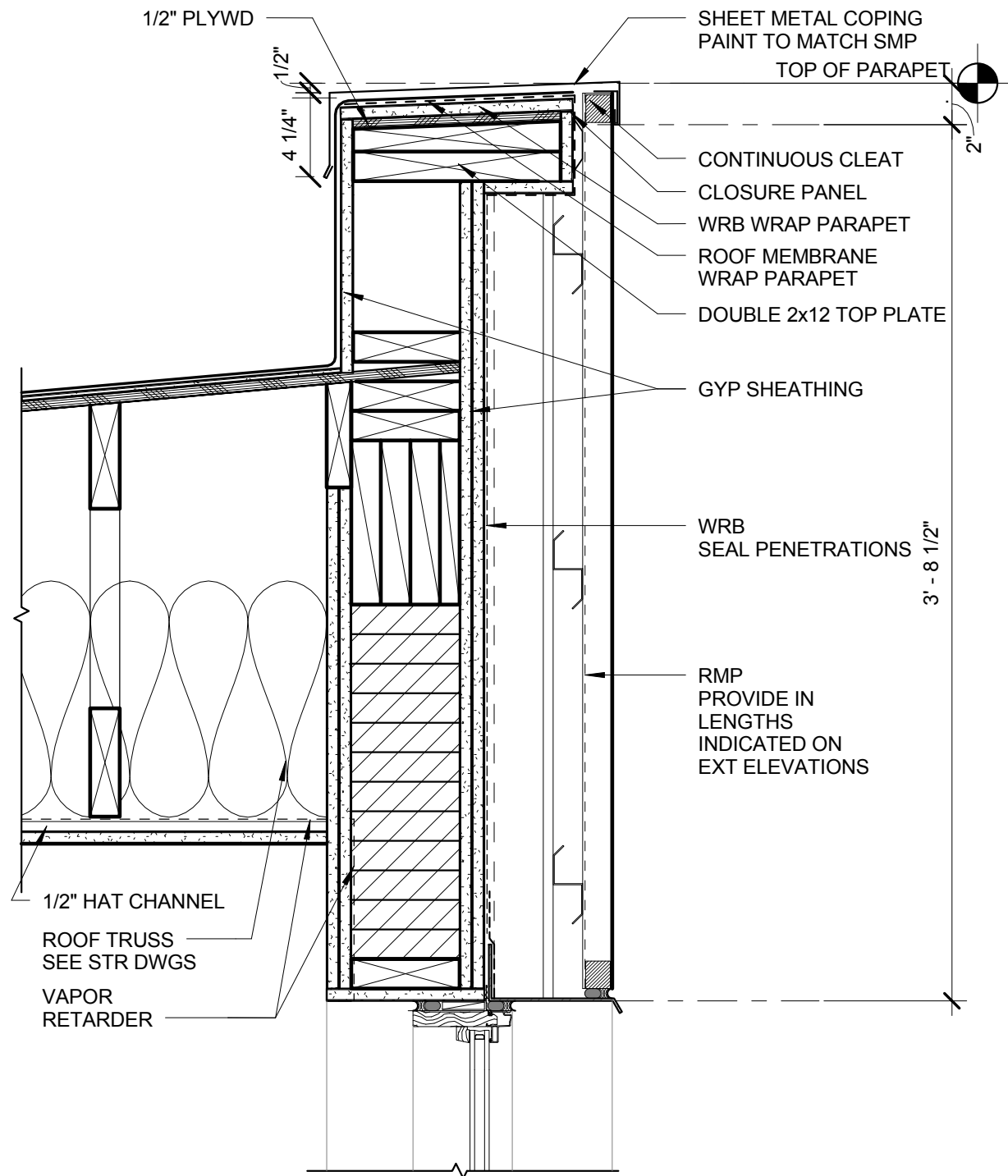


A PARAPET @ RMP

SCALE: 1 1/2" = 1'-0"

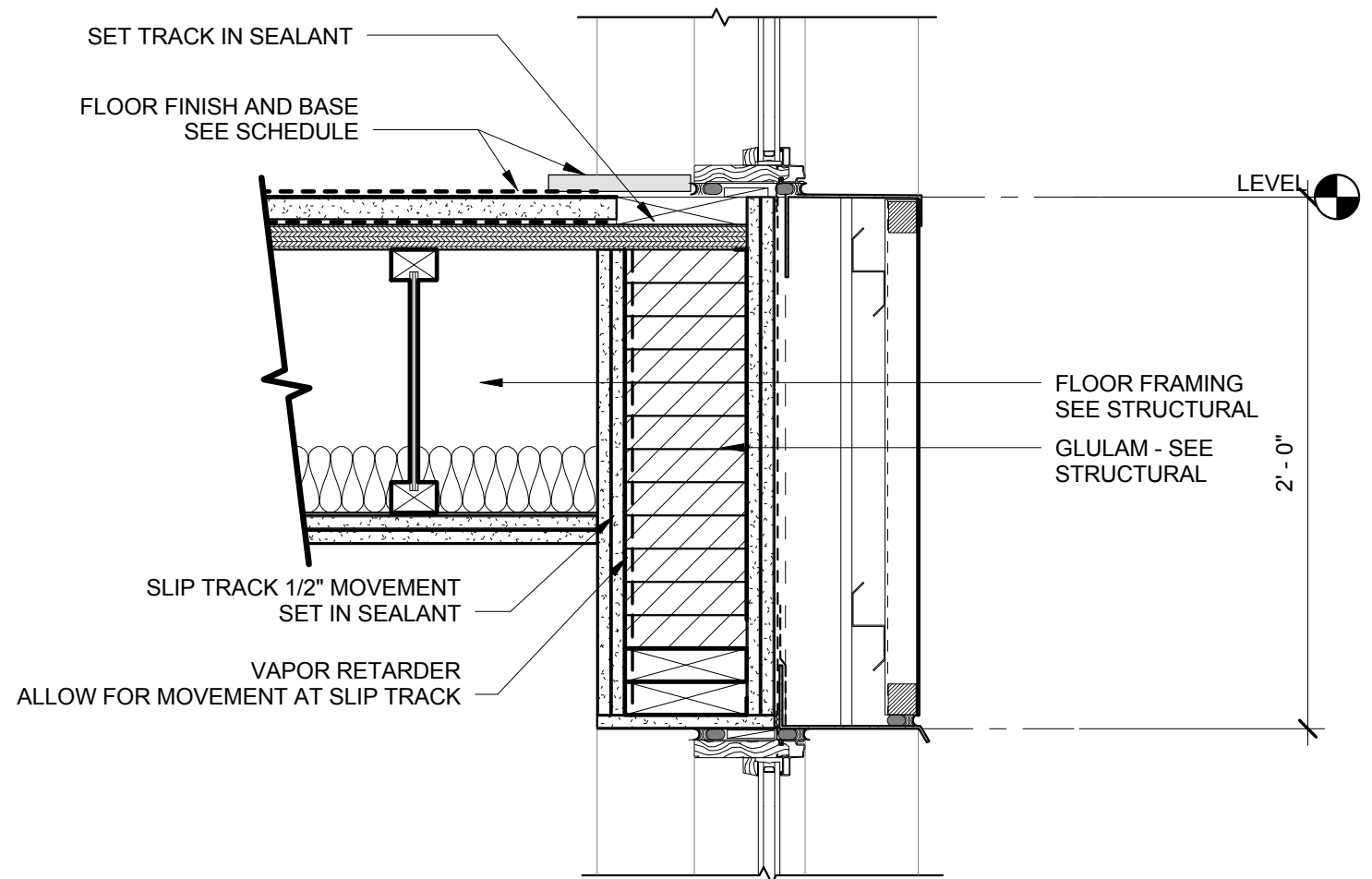
B LV 04 - 07 DECK EDGE @ RMP

SCALE: 1 1/2" = 1'-0"



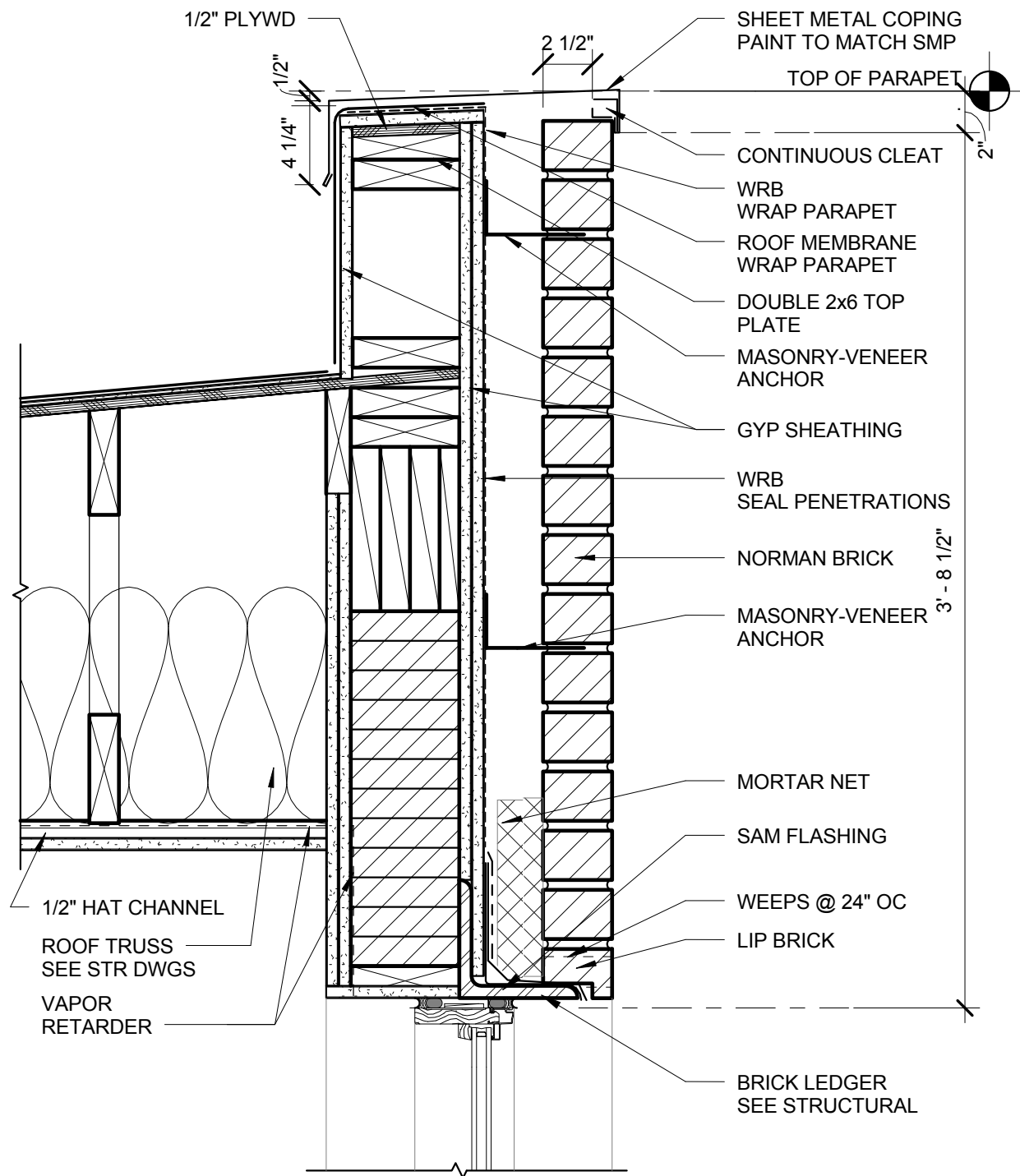
A PARAPET @ WINDOW / RMP

SCALE: 1 1/2" = 1'-0"



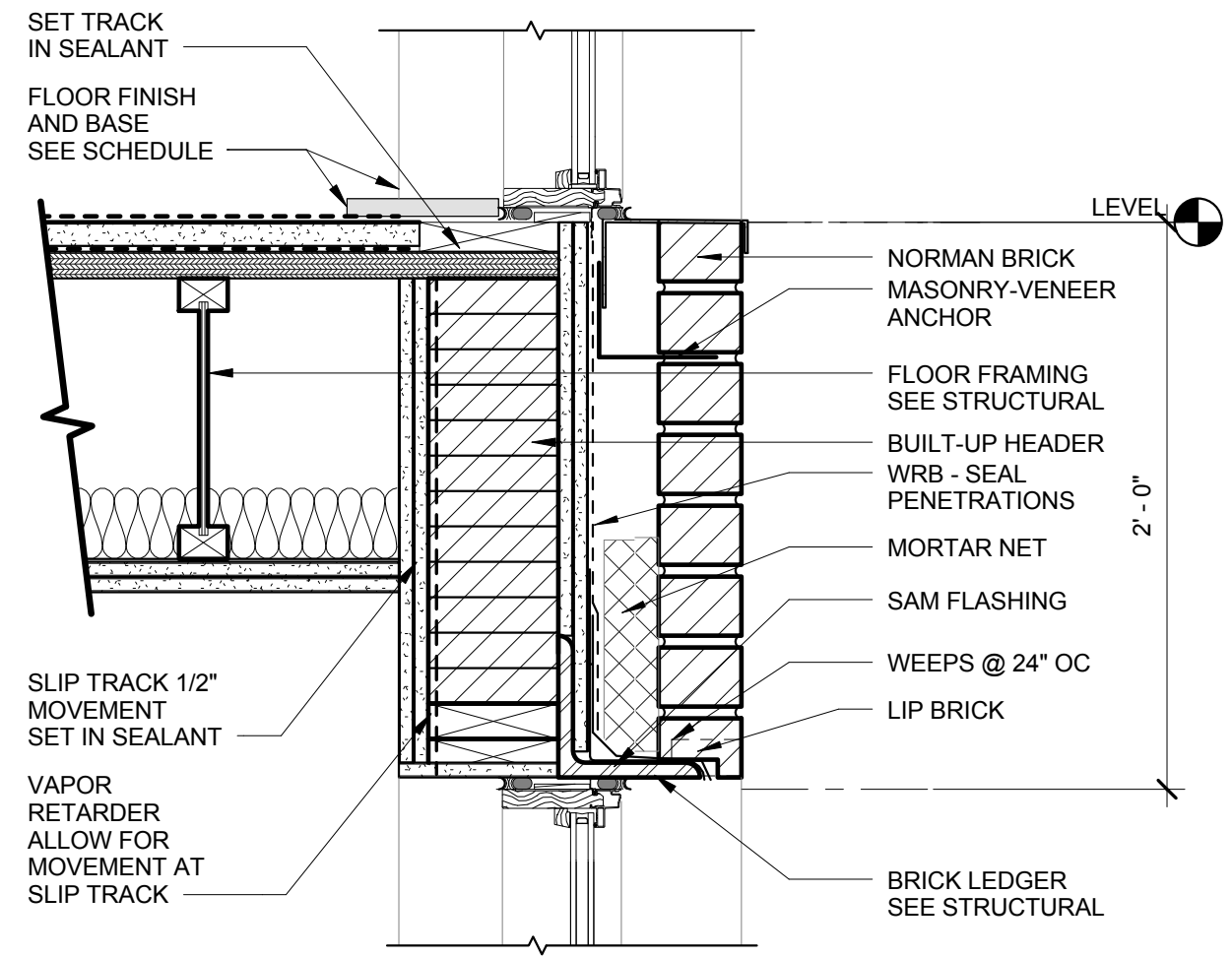
B LV 04 - 07 DECK EDGE @ WINDOW / RMP

SCALE: 1 1/2" = 1'-0"



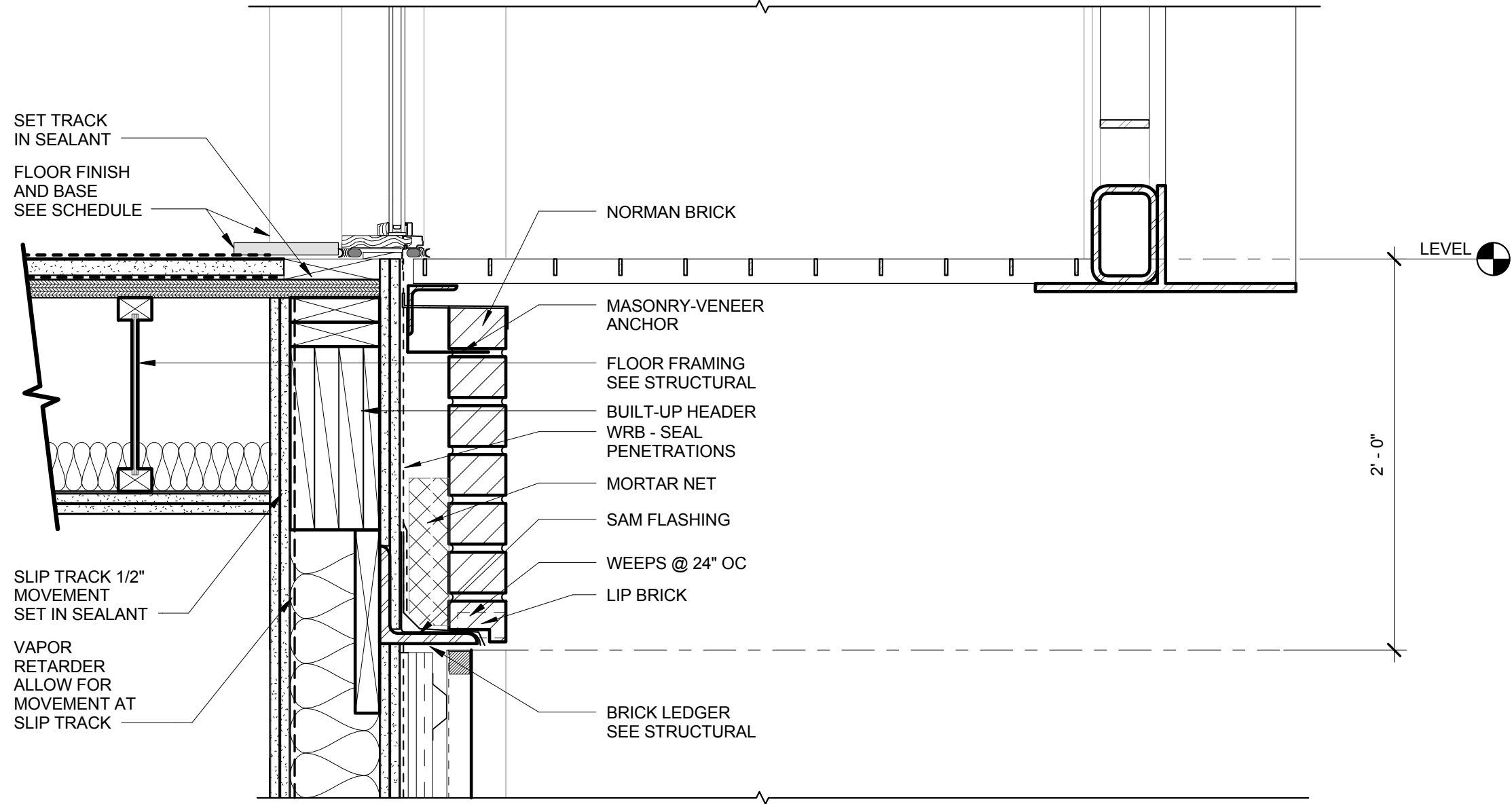
A PARAPET @ WINDOW / BRK

SCALE: 1 1/2" = 1'-0"



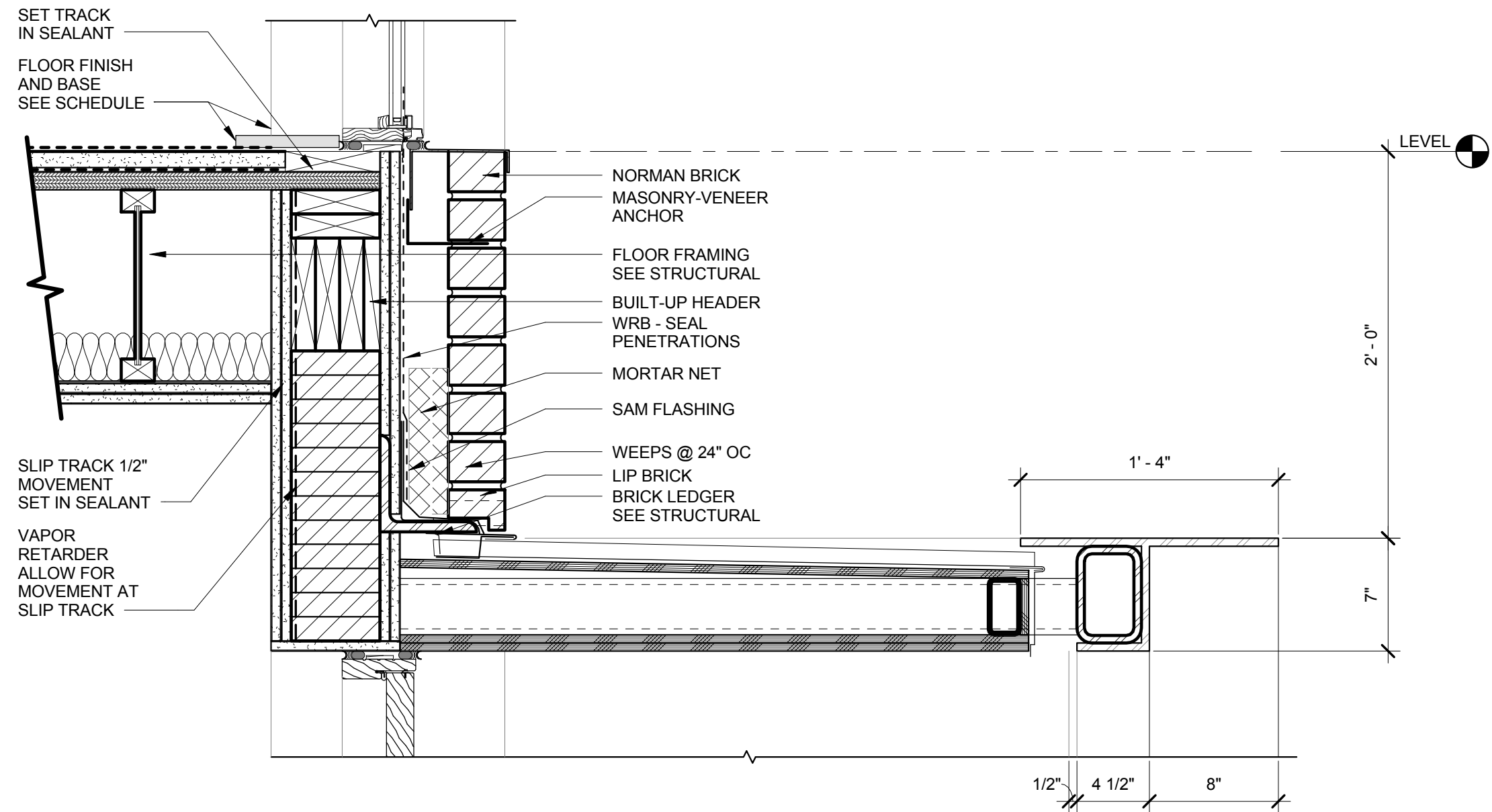
B LV 04 - 07 DECK EDGE @ WINDOW / BRK

SCALE: 1 1/2" = 1'-0"



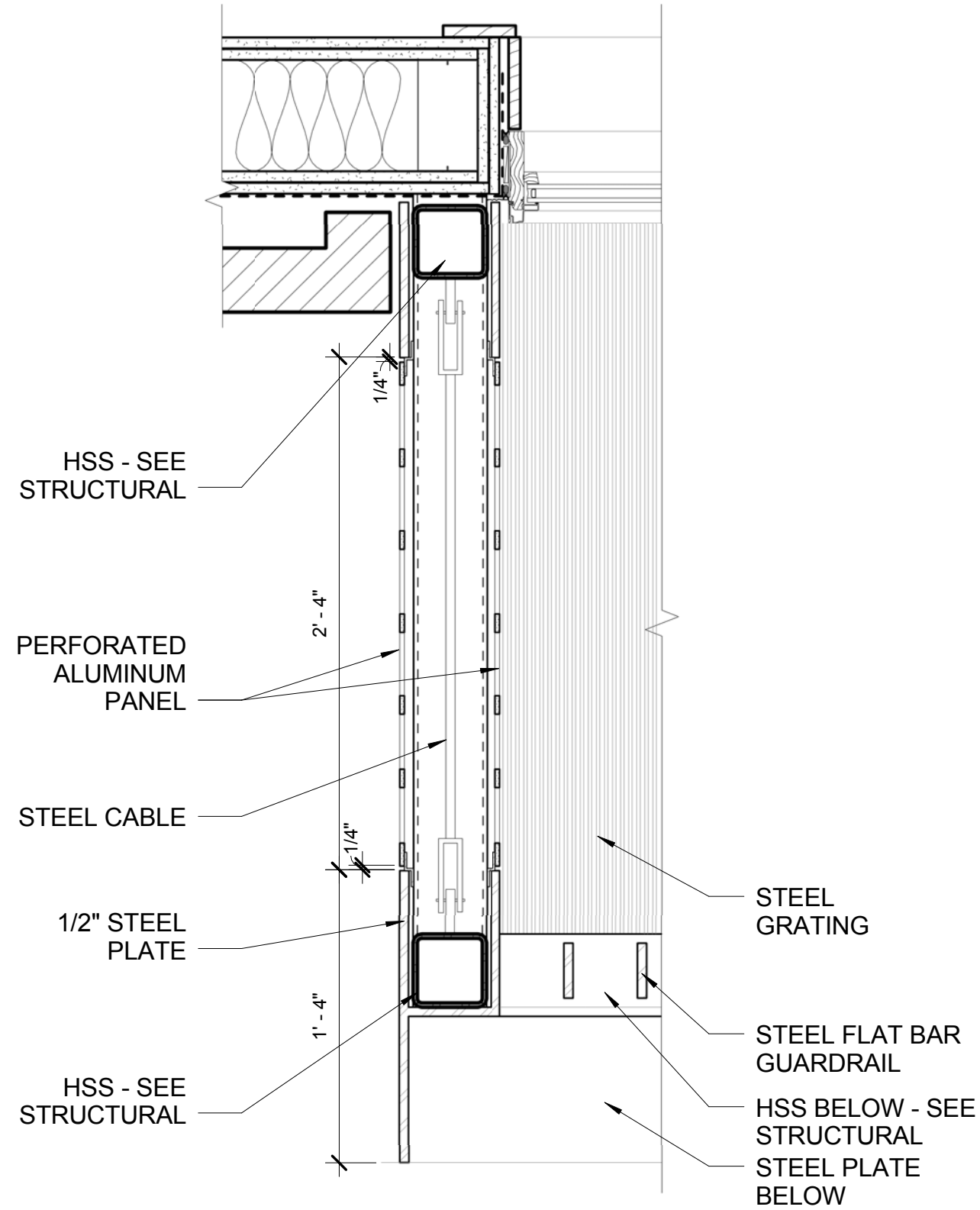
LV 04 - 07 SHROUD @ WINDOW / BRK / RMP

SCALE: 1 1/2" = 1'-0"



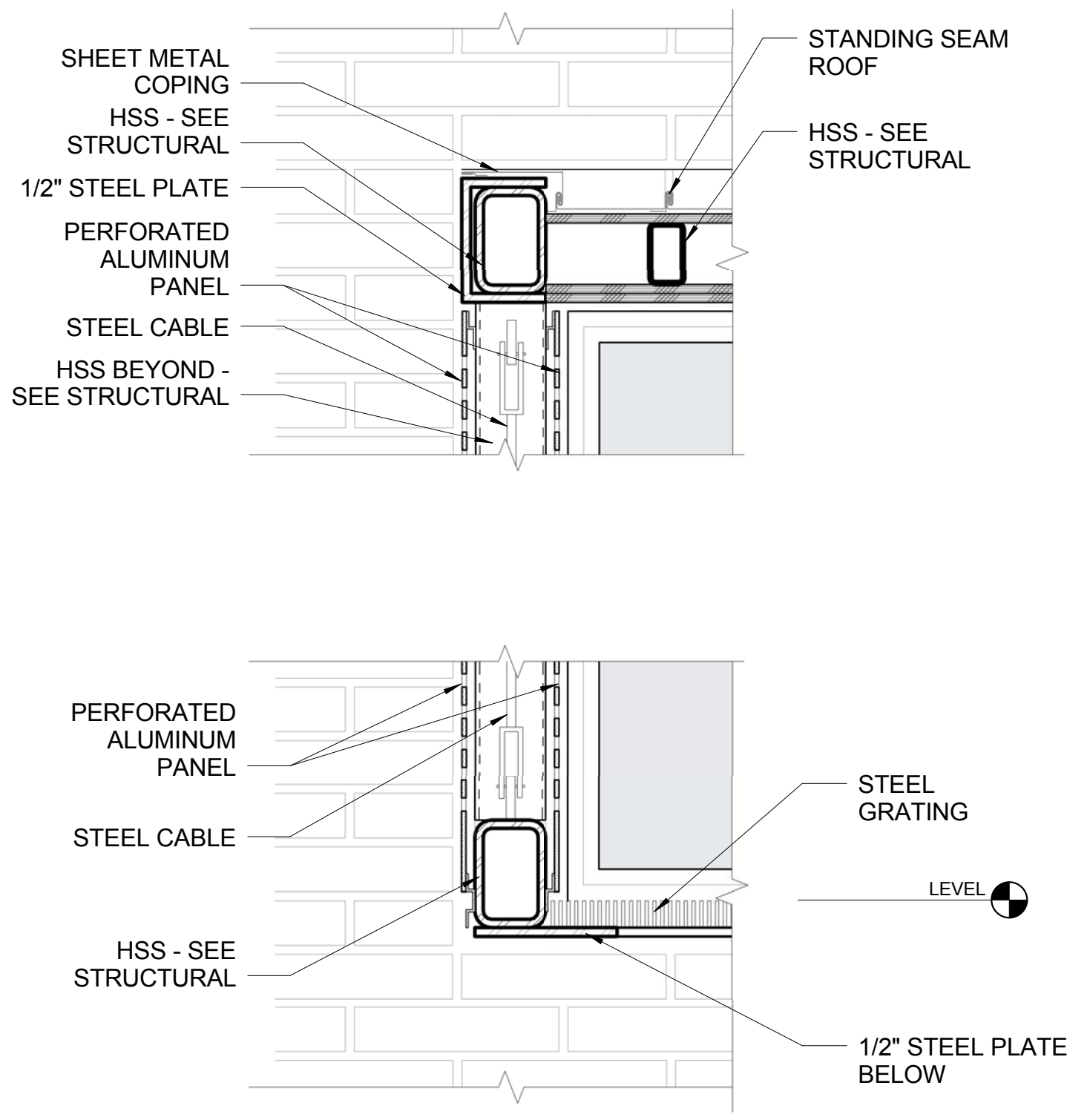
LV 04 - 07 SHROUD @ WINDOW / BRK / DOOR

SCALE: 1 1/2" = 1'-0"



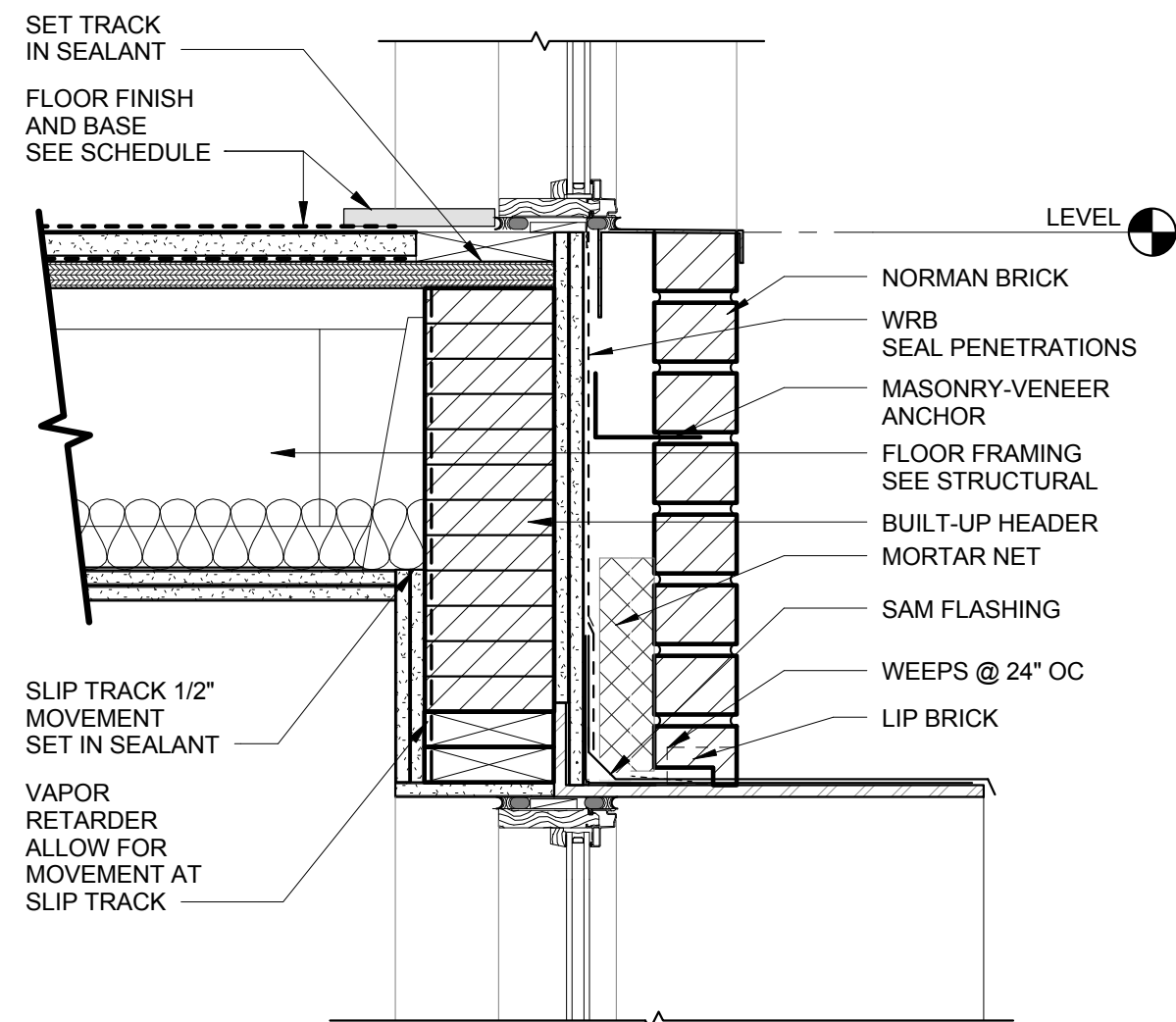
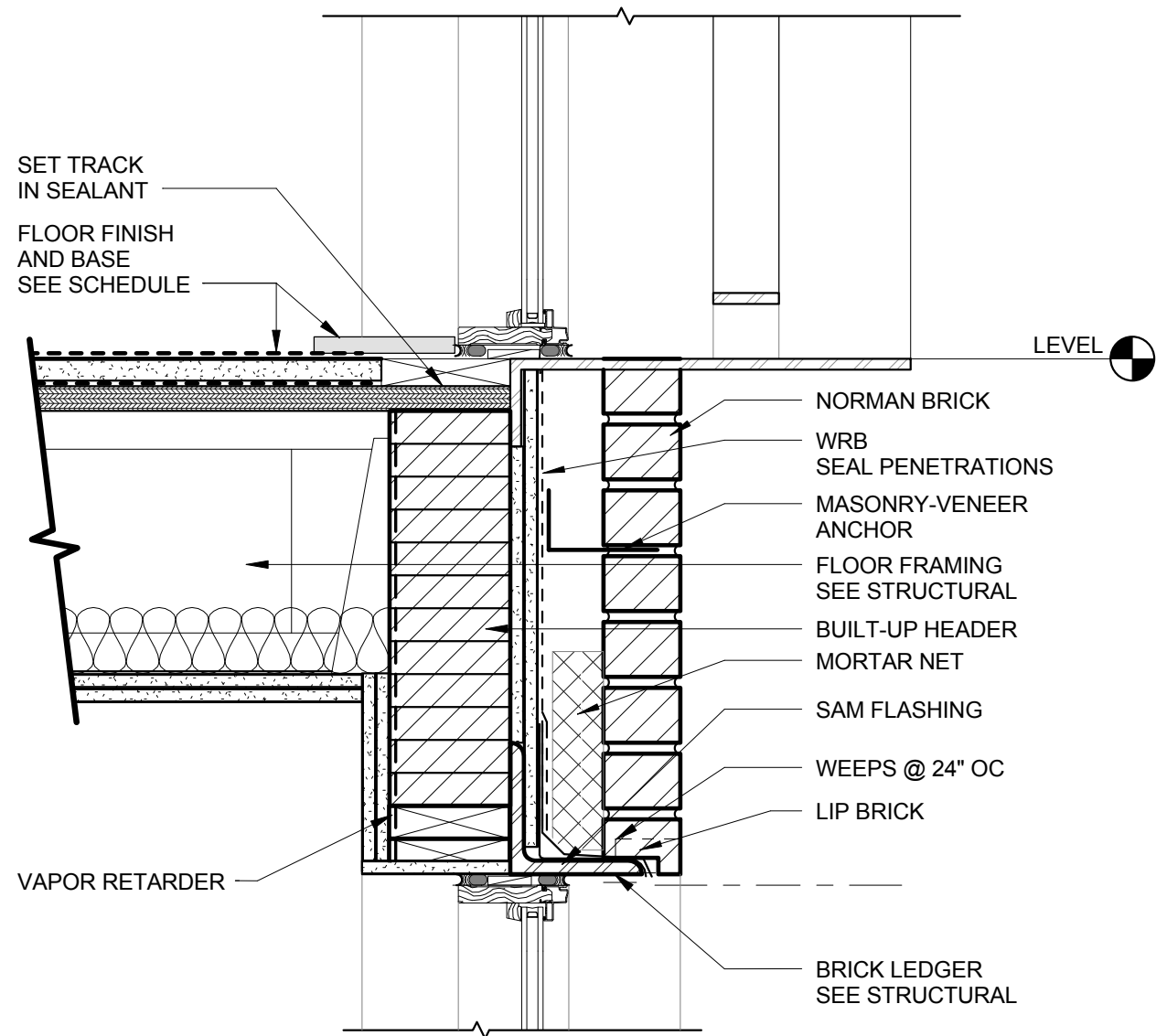
A BALCONY SHROUD PLAN DETAIL

SCALE: 1 1/2" = 1'-0"



B BALCONY SHROUD SECTION - FACING FACADE

SCALE: 1 1/2" = 1'-0"

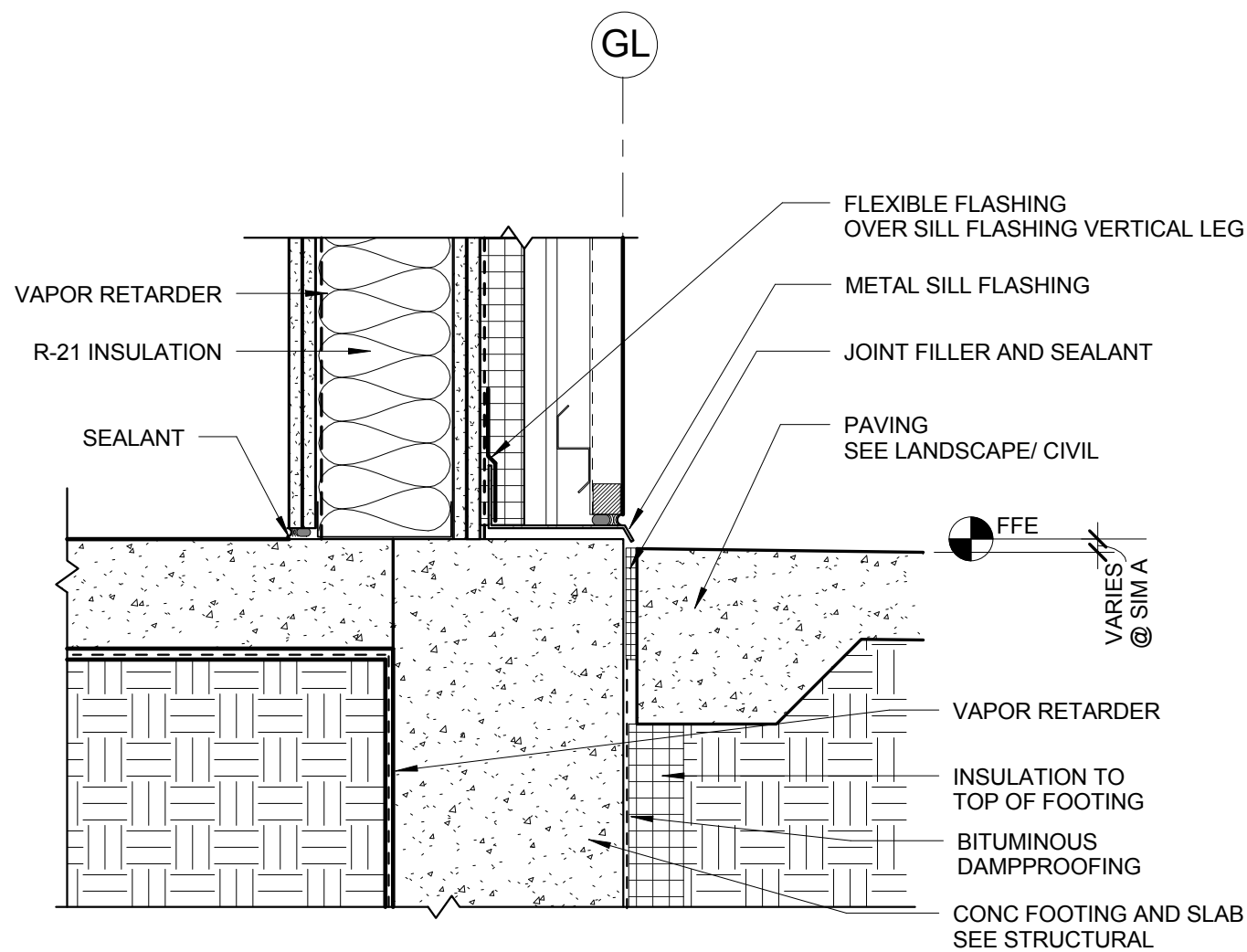
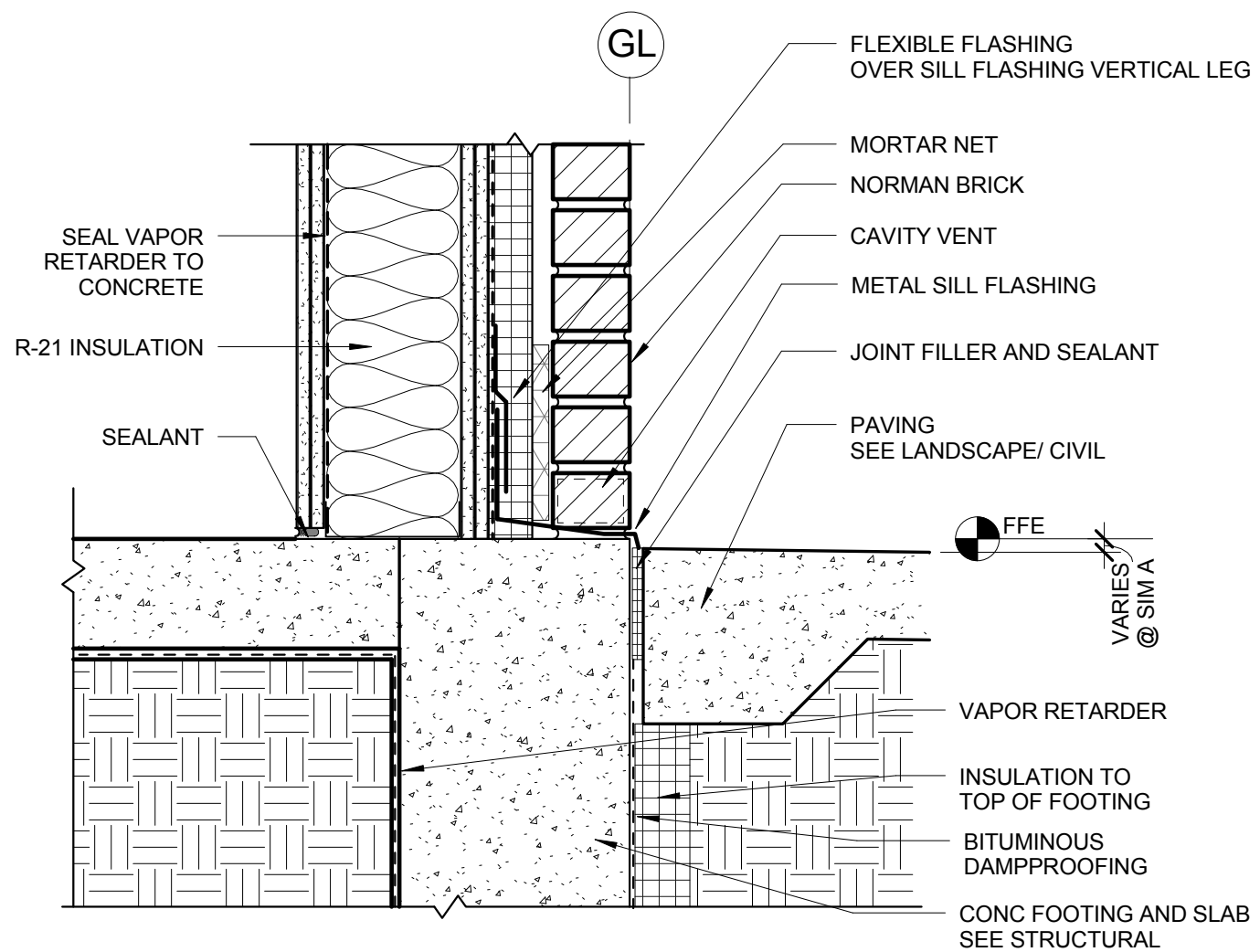


A EAST SHROUD @ FLOOR GRATE / BRK

SCALE: 1 1/2" = 1'-0"

B EAST SHROUD TOP @ WINDOW / BRK

SCALE: 1 1/2" = 1'-0"



A

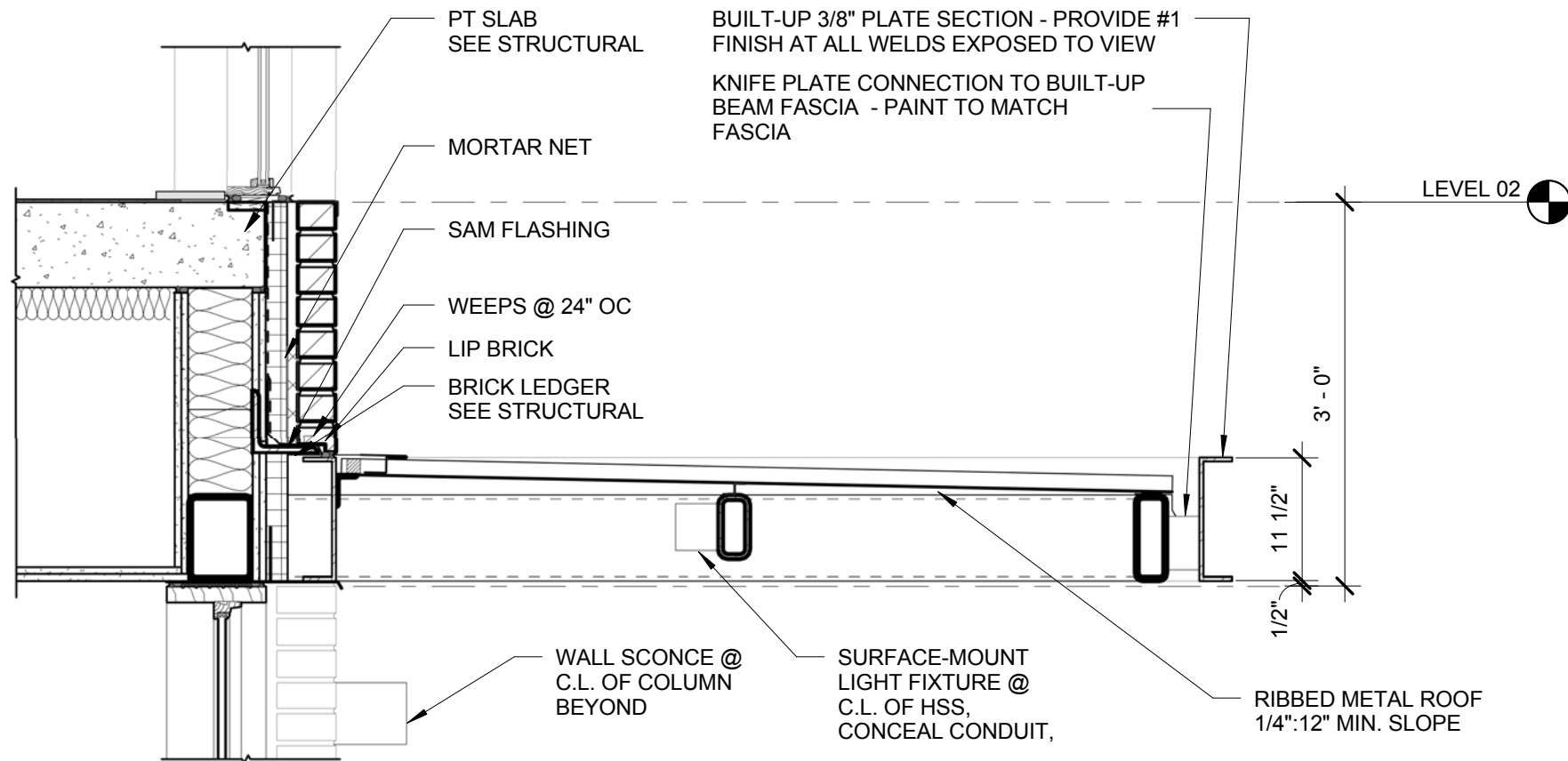
BRICK @ HARDSCAPE

SCALE: 1 1/2" = 1'-0"

B

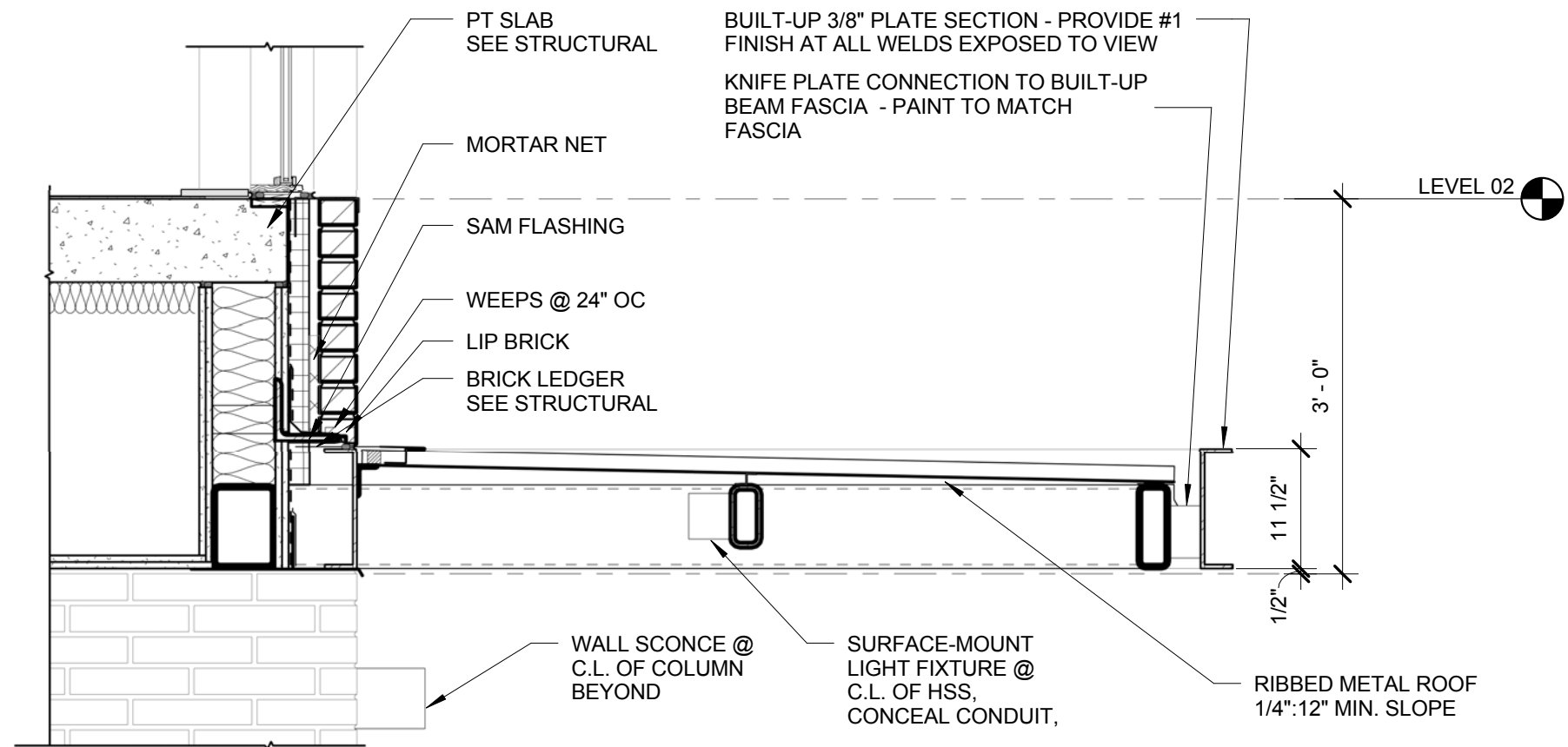
RMP @ HARDSCAPE

SCALE: 1 1/2" = 1'-0"



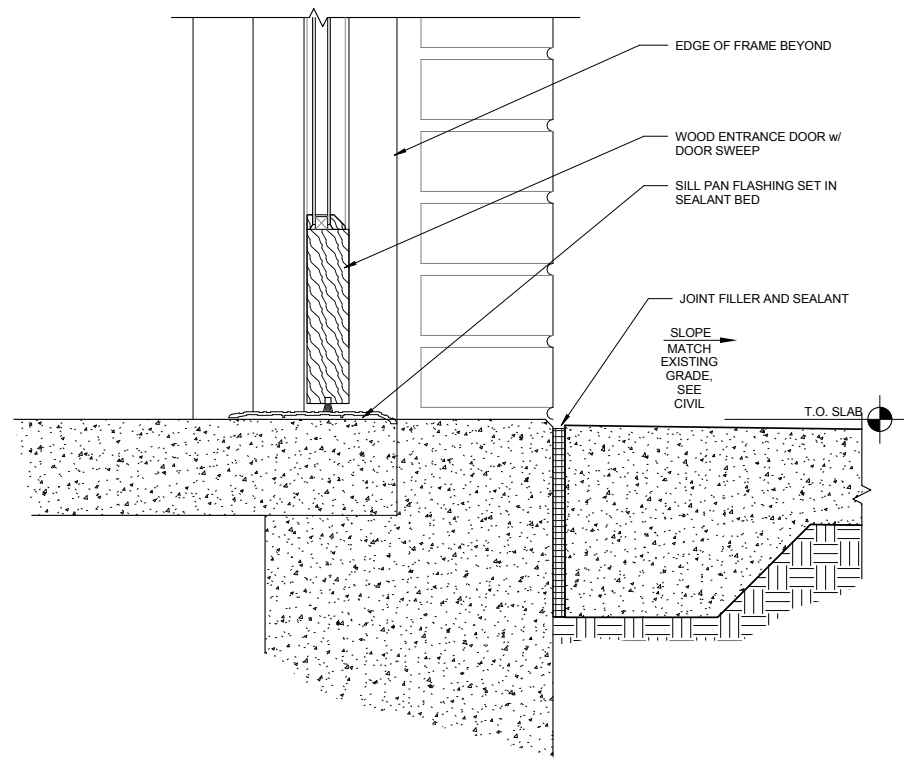
TYPICAL CANOPY SECTION @ WOOD STOREFRONT

SCALE: 1 1/2" = 1'-0"



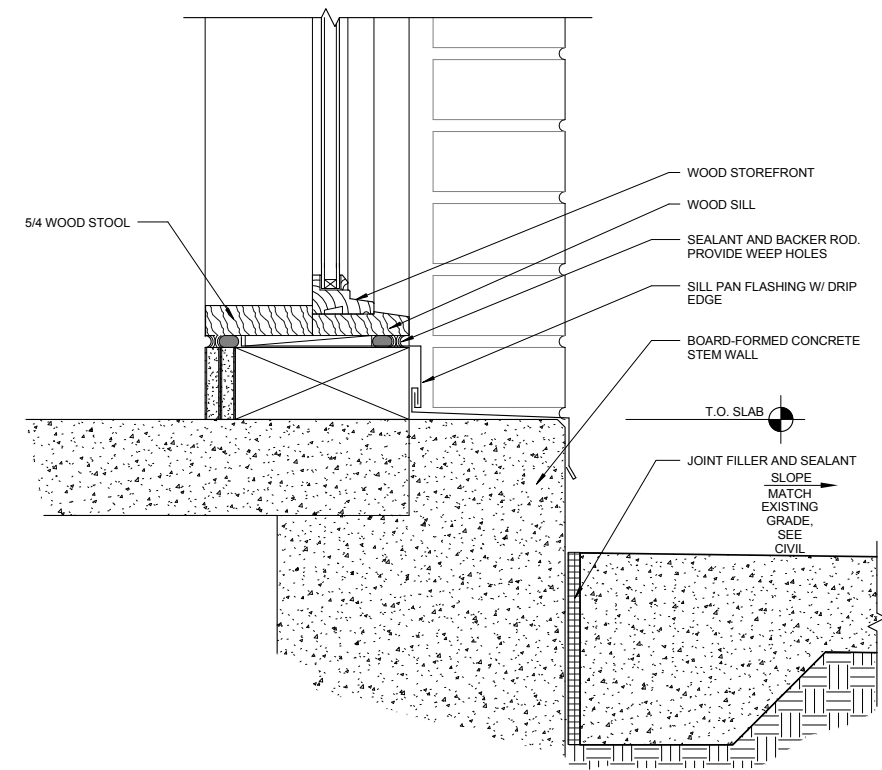
CANOPY SECTION @ RECESSED ENTRY

SCALE: 1 1/2" = 1'-0"



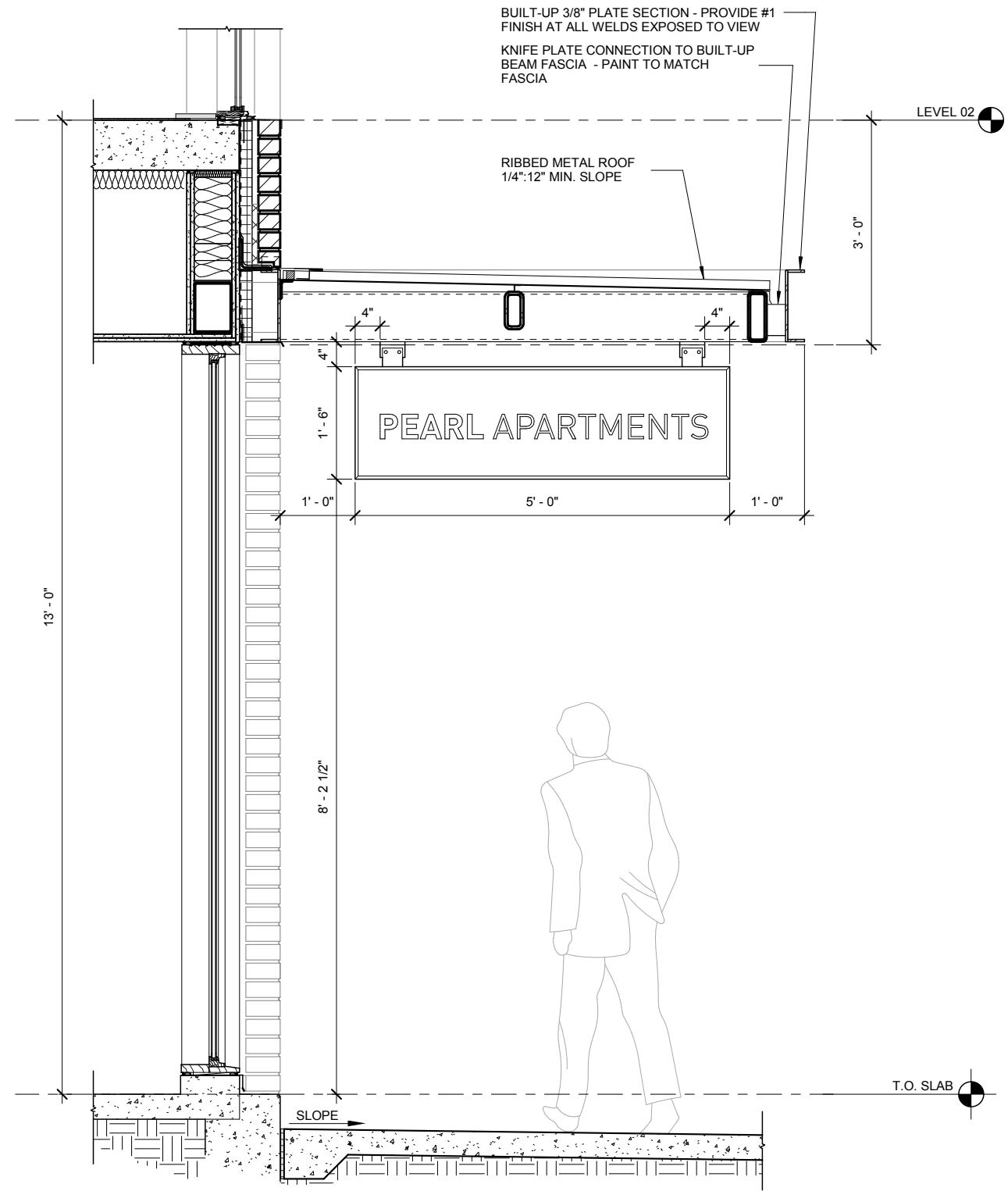
A THRESHOLD @ STOREFRONT

SCALE: 1 1/2" = 1'-0"



B BASE @ WOOD STOREFRONT

SCALE: 1 1/2" = 1'-0"



SIGNAGE DETAIL

SCALE: 1/2" = 1'-0"

WOOD STOREFRONT

SAPELI (MAHOGANY) WOOD



BOARD-FORMED CONCRETE

@ BUILDING BASE (SEE PERSPECTIVES)



NORMAN BRICK

MUTUAL MATERIALS



THE BRICK BOOK
COLORS | TEXTURES | ASTM
 Reds and Browns

COLOR*: Raven
 TEXTURE: Mission, Smooth, Rug
 TYPE**: Special Order
 PLANT: Columbia, OR
 COLLECTION: N/A
 ASTM: ASTM C-216, SW, FBX

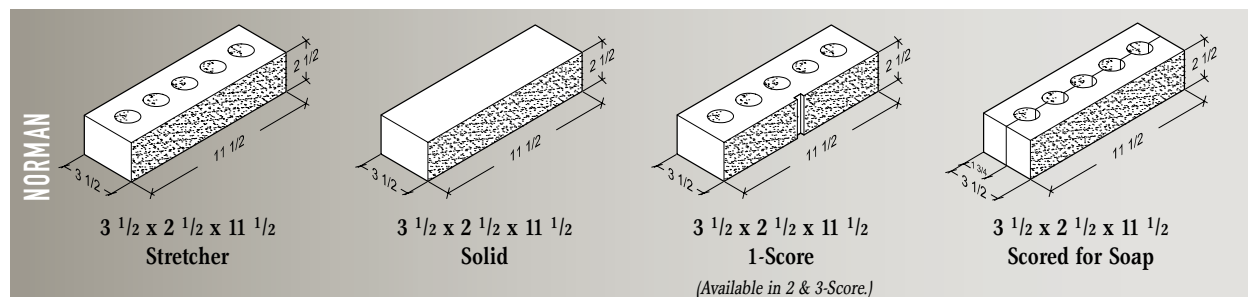
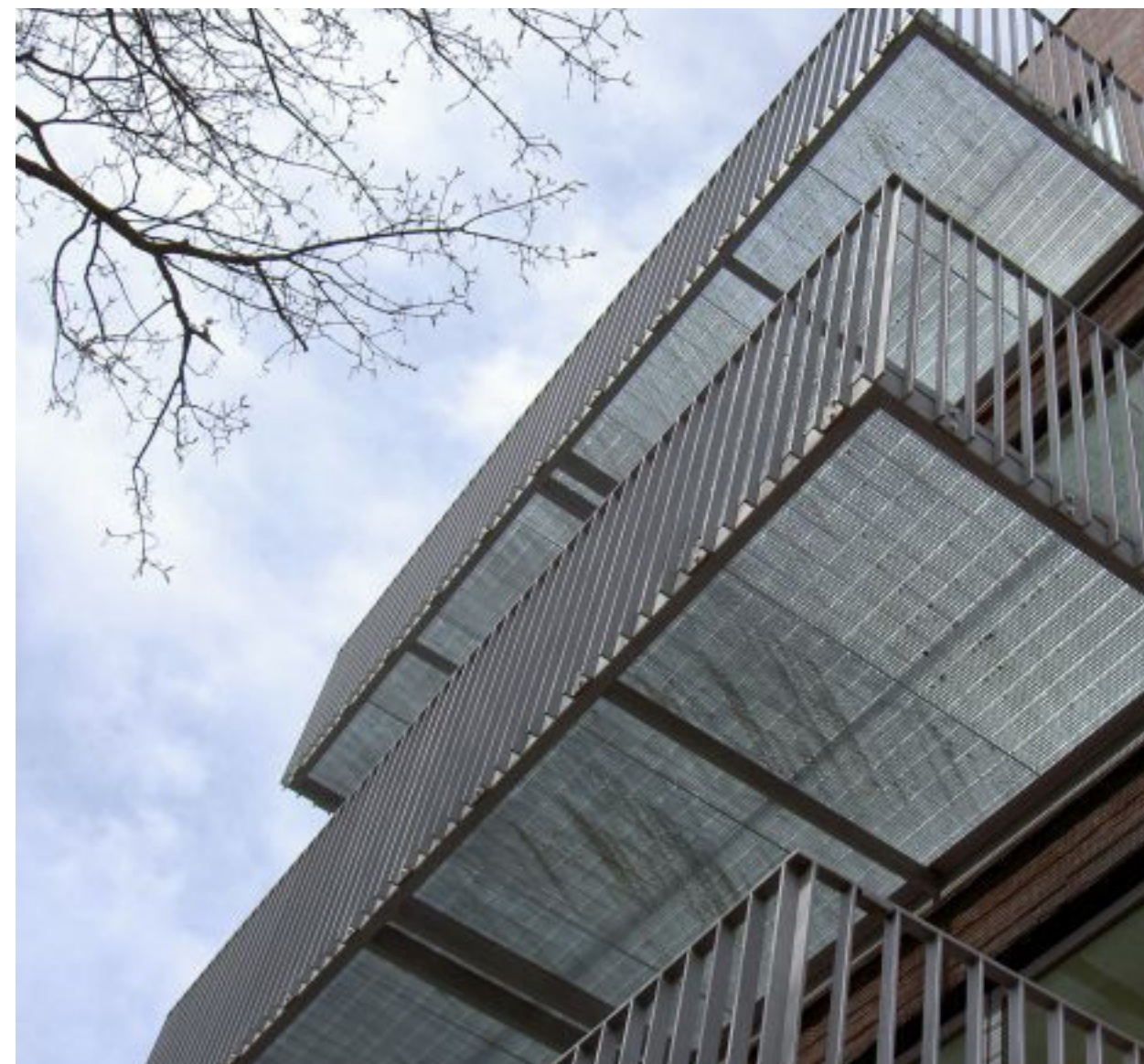
- Due to the limitations of photography, the actual product shipped is not guaranteed to duplicate the image shown here. Final color and product selection should be made from actual samples.
- ** Special Order Colors require a minimum order. Additional production time should be allowed.

Considering brick for your project?
 For samples and ordering information contact your Mutual Materials Sales Representative or call (888) 688-8250.



FLOOR GRATE

@ BALCONIES (SEE PERSPECTIVES)



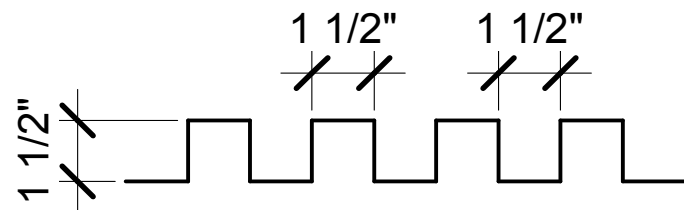
RIBBED METAL PANEL

ATAS INTERNATIONAL, INC.



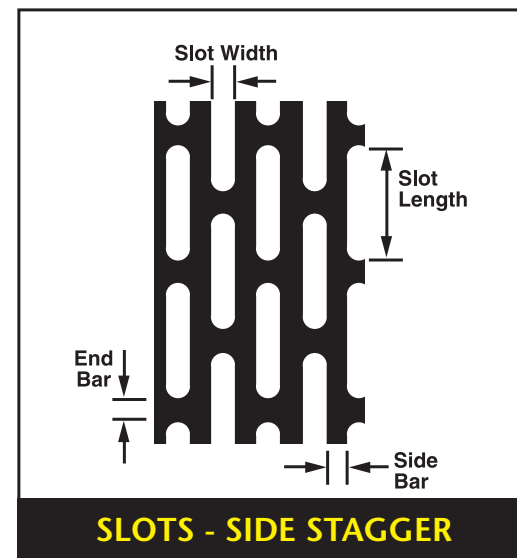
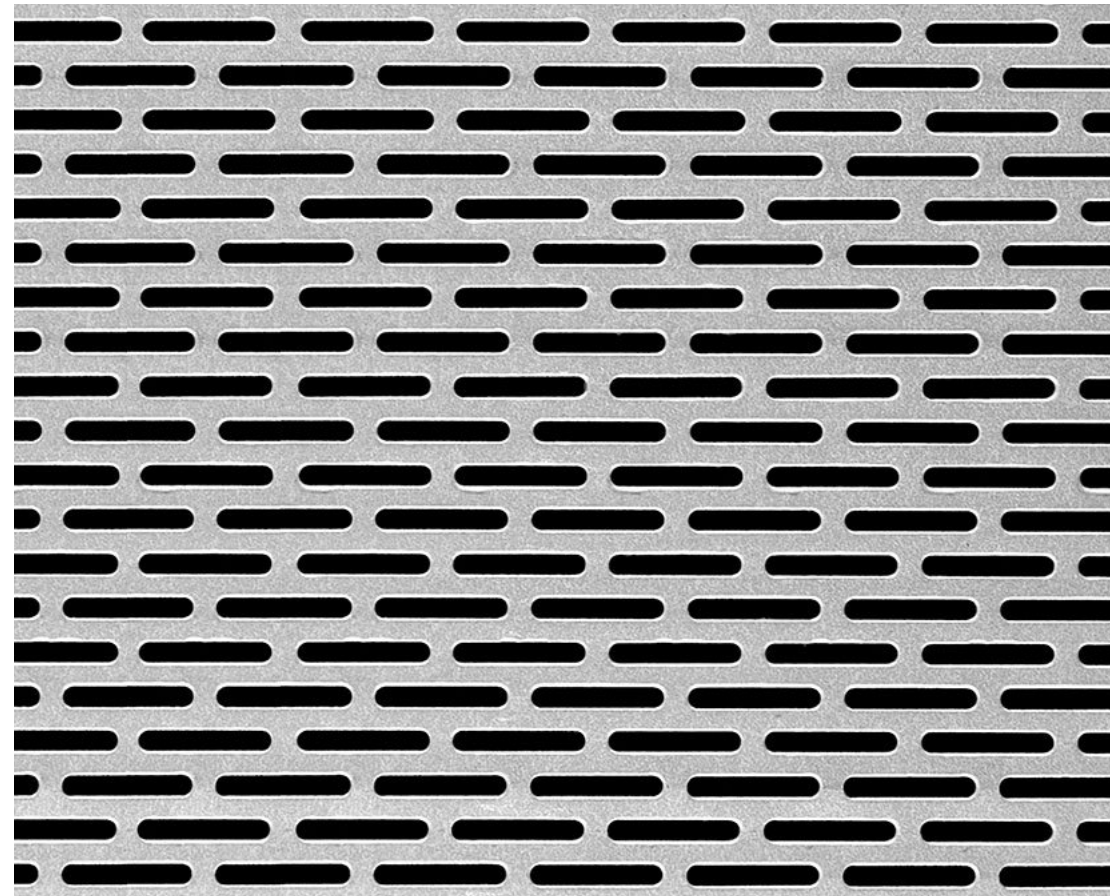
MATT KNIGHT ARENA - TVA

PROFILE:



PERFORATED METAL PANEL

@ BALCONIES (SEE PERSPECTIVES)



RESIDENTIAL GLAZING

SIERRA PACIFIC

PEARL APARTMENTS



CASEMENT WINDOWS



Casement Windows

Casement Standard Features

6 industry-leading color collections, including 35 Heritage Collection Standard finishes, 4 Heritage Collection Textured finishes, 6 Weathered Collection finishes, 5 Metallic and 5 Pearl Metallic Collection finishes, 3 Anodized Collection finishes, 2 Industrial Series finishes and Custom Colors. Finishes meet AAMA 2604 specifications. AAMA 2605 finishes are available upon request. Multiple exterior clad colors can be used in single units to suit any architectural or aesthetic design.

5 Extruded aluminum frame corners are sealed with silicone, corner keys, pads and secured with screws.

6 A continuous extruded aluminum nailing flange is an integral part of the frame extrusion - stout and watertight.

7 The mitred corners of the nailing flange are sealed with factory-applied, butyl corner pads.

A factory-applied, extruded aluminum drip cap in matching color is standard with all products.

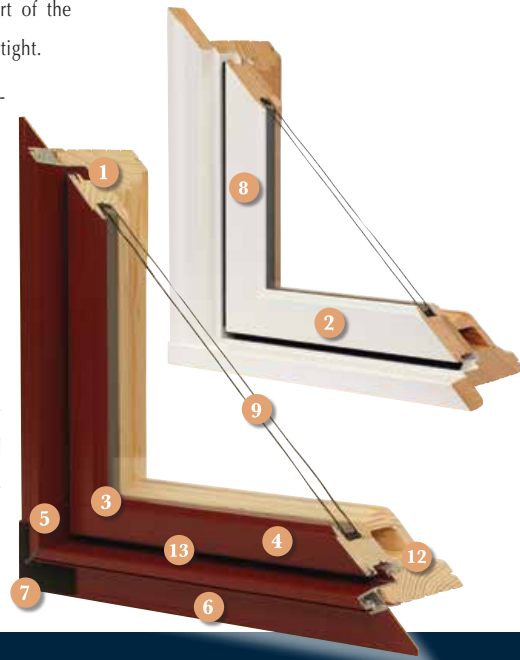
Wood Exterior

8 Exterior surfaces are available with either a factory-applied latex primer or in a clear Ponderosa Pine or Douglas Fir. All units with exterior trim (brickmould, stucco brickmould or S4S) fea-

ture factory-applied flexible flashing on sides and head.

Glazing

9 Available in single or double pane configurations with double strength glass. Triple pane units are available in 2 1/4" Designer (Wide) sash in some sizes. Insulated units are 3/4" overall, separated by 1/2" TrueWARM® Edge structural silicone foam spacer from Quanex. All standard types of glass are available - from LoE to tints to specialty glazings - as is the capillary tube system for high altitude. The glass is dual bedded with a structural sealant and secured in the sash with a removable interior glazing bead.



Sash and Frame Interior

1 Sash and frame components are manufactured from kiln-dried, preservative-treated Ponderosa Pine, Douglas Fir or other species by request in unfinished clear wood ready to prep for stain or paint. An optional factory-applied interior prime coat is available. Douglas Fir interiors are available with an optional distressed finish. The 1 3/4" thick sash is available in two widths for aluminum clad product: 1 1/2" standard or 2 1/4" Designer (Wide) sash.

2 Wood exterior casements feature 2 1/4" Designer (Wide) sash only.

3 All sash corners have mortise and tenon joints that are sealed and screwed.

Aluminum Clad Exterior

4 Exterior surfaces of both sash and frame are clad with .062" extruded aluminum (one of the thickest on the market) available in a palette of 60 colors in

Options & Accessories

Hardware

10 Truth Encore hardware is standard and features a low profile folding handle with nesting cover. A hinge arm shoe is used in conjunction with a track that is an integral part of the frame extrusion for increased strength and durability.

Sash locks and crank handles are high-pressure, die-cast zinc available in standard finishes (white, coppertone, black, bronze, chestnut bronze, ORB, satin nickel or brushed chrome), as well as a variety of optional finishes.

11 All units 40" and taller have two sash locks. Concealed snubbers are applied on the hinge stile opposite all sash locks for enhanced security. The roto operator has hardened steel gears and operator arm. The casement opens to 90 degrees to allow easy cleaning or removal of sash from inside. A stainless steel hardware package is available for coastal applications.

Weatherstrip

Casement units feature two weatherstrips.

12 The compression-style frame weatherstrip is composed of closed cell foam, encapsulated in a seamless elastomeric skin. It makes contact with two sides of the sash and has superior memory properties.

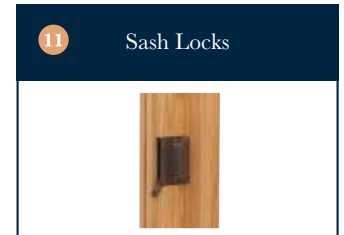
13 The leaf weatherstrip at the sash consists of a rigid base made from a 5%



glass-filled polypropylene that reduces expansion and contraction to maintain form and flexibility.

Screens

14 Screens are constructed of an aluminum frame and charcoal fiberglass cloth (18 x 16 mesh). BetterVue and UltraVue screen mesh also available. The frame color matches the hardware color when possible and screens are spring-loaded for easy removal.



Crank Handles and Operator Covers

Standard Hardware Finishes

White

Coppertone

Black

Bronze

Chestnut Bronze

Oil Rubbed Bronze*

Satin Nickel*

Brushed Chrome*

* Standard Lead Time - Upcharge Will Apply

Optional Hardware Finishes*

Antique Brass

Bright Chrome

Western Pewter

Brushed Brass

Bright Brass

* Upcharge and Additional Lead Time Will Apply
Finishes shown are representative only. For an actual color sample please contact your Sierra Pacific Windows Sales Representative.

Casement Windows

EXTERIOR LIGHTING

BEGA



Wall luminaires with one sided light output

Housing: One piece die-cast aluminum with mounting holes for direct attachment to the wall over a 3 1/2" or 4" octagonal wiring box. Die castings are marine grade, copper free (≤ 0.3% copper content) A360.0 aluminum alloy.

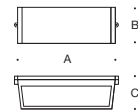
Enclosure: One piece die-cast aluminum guard, secured by two stainless steel captive screws threaded into a stainless steel insert. Fully gasketed for weather tight operation using a molded silicone rubber gasket. Downward orientation only. Tempered frosted glass diffuser.

Electrical: Fluorescent lampholders are multiple wattage sockets, GX24q-3, GX24q-4 (26W, 32W, 42W) rotary lock lampholders. Ballasts are electronic universal voltage 120V through 277V.

Finish: All BEGA standard finishes are polyester powder coat with minimum 3 mil thickness. Available in four standard BEGA colors: Black (BLK); White (WHT); Bronze (BRZ); Silver (SLV). To specify, add appropriate suffix to catalog number. Custom colors supplied on special order.

UL listed for US and Canadian Standards, suitable for wet locations. Protection class: IP 65.

Type:
BEGA Product:
Project:
Voltage:
Color:
Options:
Modified:



One-sided light output					
	Lamp	Lumen	A	B	C
22 298	ADA 1 42W CF triple-4p	3200	11 13/16	4 3/8	4

BEGA-US 1000 BEGA Way, Carpinteria, CA 93013 (805) 684-0533 FAX (805) 566-9474 www.bega-us.com
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Wall luminaires with shielded light sources

Housing: One piece die-cast aluminum supplied with universal mounting bracket for direct attachment to 3 1/2" or 4" octagonal wiring box. A round "rotation plate" allows the housing to be precisely leveled (or rotated) after installation. Die castings are marine grade, copper free (≤ 0.3% copper content) A360.0 aluminum alloy.

Enclosure: Molded clear borosilicate glass, fully gasketed for water tight operation using silicone rubber gaskets.

Electrical: Lampholders; Incandescent, double contact bayonet, stainless steel with porcelain insulator disk, rated 600. Available in 120V only.

Finish: All BEGA standard finishes are polyester powder coat with minimum 3 mil thickness. Available in five standard BEGA colors: Black (BLK); White (WHT); Bronze (BRZ); Silver (SLV); Eurocoat™ (URO). To specify, add appropriate suffix to catalog number. Custom colors supplied on special order.

U.L. listed for US and Canadian Standards, suitable for wet locations. Protection class: IP 65.

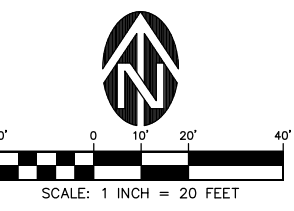
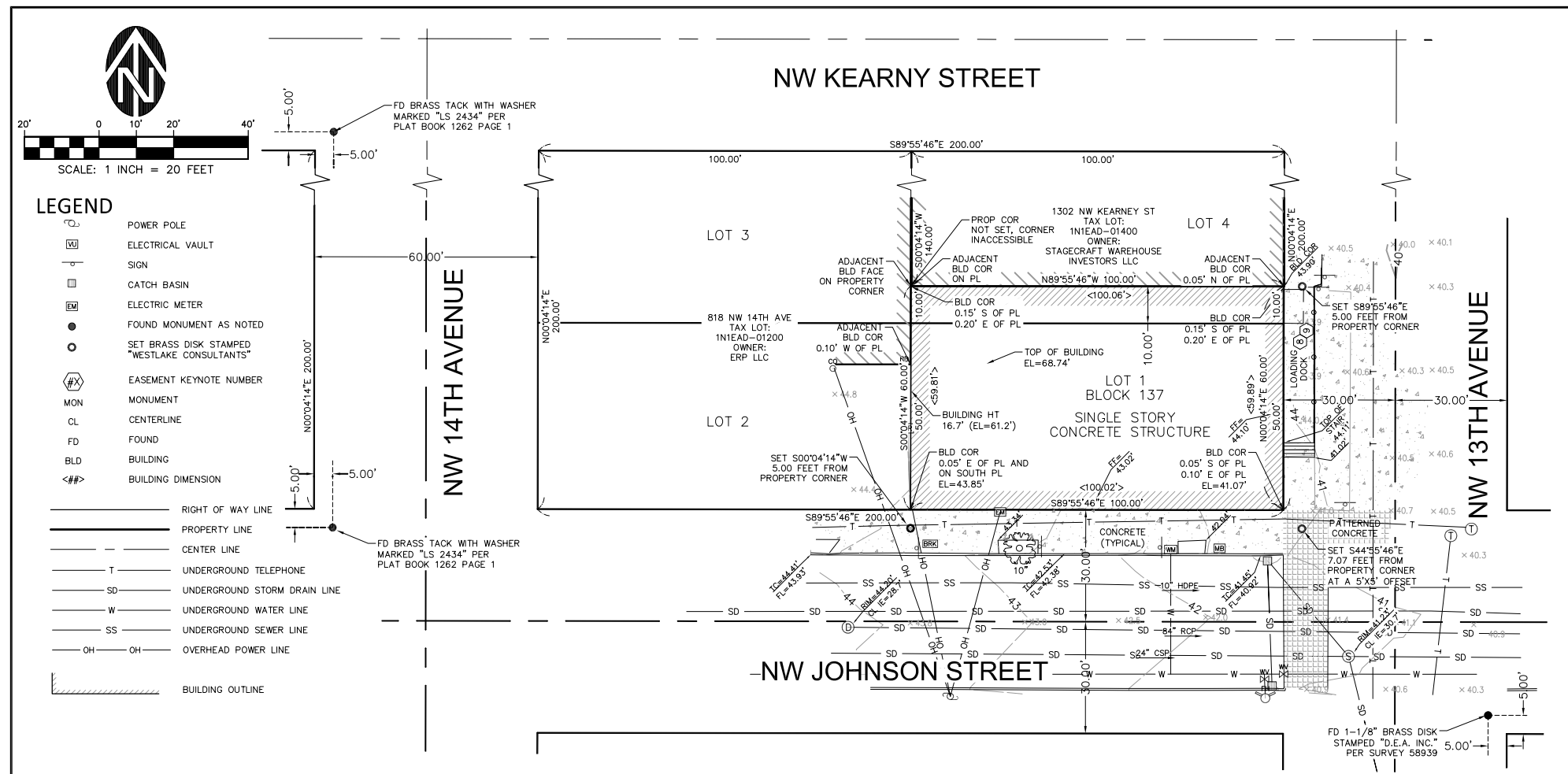
Type:
BEGA Product:
Project:
Voltage:
Color:
Options:
Modified:



Wide spread and very narrow beam				
	Lamp	Lumen	A	B
33 221	1 100W T4 DCB	1900	5 7/8	6 3/4



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- LEGEND**
- POWER POLE
 - ELECTRICAL VAULT
 - SIGN
 - CATCH BASIN
 - EM ELECTRIC METER
 - FOUND MONUMENT AS NOTED
 - SET BRASS DISK STAMPED "WESTLAKE CONSULTANTS"
 - #X EASEMENT KEYNOTE NUMBER
 - MON MONUMENT
 - CL CENTERLINE
 - FD FOUND
 - BLD BUILDING
 - <##> BUILDING DIMENSION
 - RIGHT OF WAY LINE
 - PROPERTY LINE
 - CENTER LINE
 - T UNDERGROUND TELEPHONE
 - SD UNDERGROUND STORM DRAIN LINE
 - W UNDERGROUND WATER LINE
 - SS UNDERGROUND SEWER LINE
 - OH OH OVERHEAD POWER LINE
 - BUILDING OUTLINE

TITLE REPORTS

THIS ALTA/NSPS LAND TITLE SURVEY IS BASED UPON THE FOLLOWING PRELIMINARY TITLE REPORT (PTR):
CHICAGO TITLE COMPANY ORDER NO: 472516004788, EFFECTIVELY DATED July 15, 2016

PROPERTY INFORMATION

PROPERTY ADDRESS: 1319 NW JOHNSON STREET
PORTLAND, OR 97209
MAP AND TAXLOT ID: 1N1E33AD-01500
FEE TITLE TO SAID ESTATE IS VESTED IN:
ERP, LLC, AN OREGON LIMITED LIABILITY COMPANY

LEGAL DESCRIPTION

LOT 1 AND THE SOUTH 10 FEET OF LOT 4, BLOCK 137, COUCH'S ADDITION TO THE CITY OF PORTLAND, IN THE CITY OF PORTLAND, COUNTY OF MULTNOMAH AND STATE OF OREGON.

FLOOD ZONE INFORMATION

THE SUBJECT SITE IS LOCATED WITHIN ZONE X ACCORDING TO FEMA FLOOD INSURANCE RATE MAP (FIRM) FOR MULTNOMAH COUNTY, OREGON, COMMUNITY-PANEL NUMBER 410183 0093 E, EFFECTIVELY DATED OCTOBER 19, 2004.

ZONING NOTES

A ZONING LETTER OR REPORT WAS NOT PROVIDED TO WESTLAKE CONSULTANTS AT THE TIME OF PREPARATION OF THIS SURVEY. THE FOLLOWING ZONING INFORMATION IS PER THE CITY OF PORTLAND ZONING MAP AND CODE.

ZONING: Exd - CENTRAL EMPLOYMENT ZONE WITH A DESIGN OVERLAY (PER ZONING MAP)
SELECTED EXd DEVELOPMENT STANDARDS PER CHAPTER 33.140
MAXIMUM FAR: 3:1 (33.140.205)
MAXIMUM HEIGHT: 65 FT (33.140.210)
MIN SETBACK: 0 FT (ABUTTING STREET) (33.140.215) (NOT PLOTTABLE)
MAX SETBACK: 10 FT (33.140.215)
MAX BLDG COVERAGE: 100% (33.140.220)
MINIMUM LOT DIMS: FRONT LOT LINE 10FT, NO OTHER REQUIRED DIMENSIONS (33.614.100)

SURVEYORS NOTES

- THE BEARINGS SHOWN HEREON ARE BASED ON THE CENTERLINE OF NW 14TH AVENUE BEING THERE WAS NO EVIDENCE OF THE SITE BEING SOUTH 00°04'14"W AS SHOWN ON EDGE LOFTS CONDOMINIUM PLAT RECORDED IN PLAT BOOK 1262 PAGE 1.
- TOTAL LAND AREA = 6,000± SQUARE FEET
AREA OF BUILDING FOOTPRINT AT GROUND LEVEL = 5,987± SQUARE FEET
- THERE CURRENTLY IS NO PARKING ON SITE.
- THE STRUCTURE IS FREE STANDING WITH NO DIVISION OR PARTY WALLS PRESENT.
- THERE WERE NO WETLANDS ON THE SITE AT THE TIME OF SURVEY.
- THERE WERE NO OFFSITE EASEMENTS DISCLOSED BY THE TITLE REPORT ON WHICH THIS SURVEY WAS PREPARED.
- THE UNDERGROUND UTILITIES SHOWN HAVE BEEN MAPPED FROM FIELD SURVEY INFORMATION, OBSERVED ABOVE GROUND EVIDENCE AND GROUND MARKINGS BY OTHERS, AND EXISTING DRAWINGS SUPPLIED BY OTHERS. THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH HE DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES.

EASEMENTS AND EXCEPTIONS

THE EXCEPTIONS LISTED BELOW ARE BASED ON THE PTR REFERENCED HEREON. ITEMS 1 THROUGH 7 PERTAIN TO TAXES AND LIENS IF ANY. SEE PTR FOR DETAILS. ITEMS 10 THROUGH 13 ARE NOT SURVEY RELATED MATTERS AND ARE NOT SHOWN HEREON.

- 8 PERTAINS TO A PERMIT TO USE STREET AREA. RECORDED DECEMBER 28, 1971 IN BOOK 831 AT PAGE 1030, MULTNOMAH COUNTY. (PLOTTED HEREON - LOADING DOCK AREA)
- 9 PERTAINS TO A PERMIT TO USE STREET AREA. RECORDED JANUARY 24, 2014 AS DOCUMENT NO. 2014-007070 (PLOTTED HEREON - LOADING DOCK AREA)

SURVEYORS CERTIFICATE

TO PAUL PROPERTIES LLC, CHICAGO TITLE COMPANY AND DEPARTMENT OF HOUSING AND URBAN DEVELOPMENT:

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH 2016 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 1, 2, 3, 4, 6(a)(b), 7(a, b), 8, 9, 10(a, b), 11, 12, 13, 16, 17, 18 AND 19 OF TABLE A THEREOF. THE FIELD WORK WAS COMPLETED ON OCTOBER, 2016.

GARY ANDERSON
GANDERSON@WESTLAKECONSULTANTS.COM

REGISTERED PROFESSIONAL LAND SURVEYOR

GARY R. ANDERSON
2434

RENEWAL: 12-31-17

WESTLAKE CONSULTANTS INC.
ENGINEERING • SURVEYING • PLANNING
PACIFIC CORPORATE CENTER
10115 S.W. SANDOZA PARKWAY, SUITE 100
TUALOIN, OREGON 97264
(503) 664-0052
FAX (503) 664-0187

A.L.T.A./N.S.P.S. LAND TITLE SURVEY
PAUL PROPERTIES LLC
NE 1/4 SEC 33, T1N, R1E, W1M
CITY OF PORTLAND, MULTNOMAH COUNTY, OREGON

THESE DRAWINGS ARE THE PROPERTY OF WESTLAKE CONSULTANTS INC. (WCI) AND ARE NOT TO BE REPRODUCED IN ANY MANNER EXCEPT WITH THE WRITTEN PERMISSION OF WCI.

NO.	DATE	DESCRIPTION
1	10/19/16	UPDATE TO HAD STANDARDS AND ADD TYPO
0	10/17/16	INITIAL RELEASE
		DRAFT CHECK
		BLD

SHEET 1 OF 1
JOB NO. 2679-001
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DRAWING NAME: J33P-COULUS-REV-CAD-DWG OCT 19, 2016 - 14:58AM - C98

Revisions:



SCHEMATIC DESIGN SET

CIVIL SITE PLAN

Project # 16021

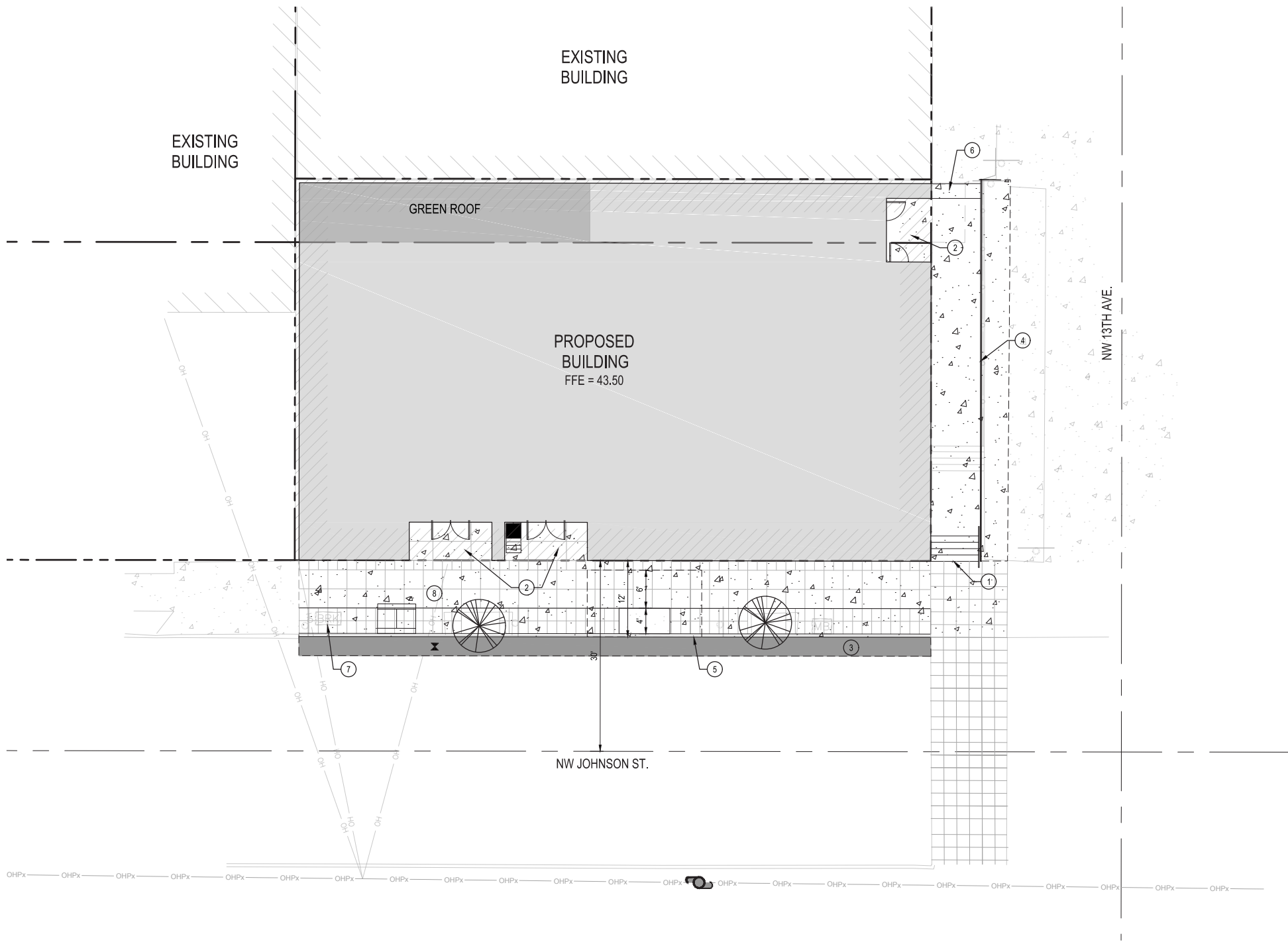
C.1

Date: 05.05.17

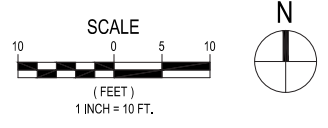
- LEGEND:**
- PROPERTY LINE
 - OHTx— EXISTING OVERHEAD UTILITY
 - - - SAWCUT LINE
 - [Pattern] CONCRETE PAVEMENT
 - [Solid] ASPHALT PAVEMENT

- GENERAL NOTES:**
1. SEE ARCHITECTURAL PLAN FOR DIMENSIONS AND ADDITIONAL SITE ELEMENTS.
 2. SEE PUBLIC STREET IMPROVEMENT DESIGN SET FOR WORK WITHIN R.O.W.

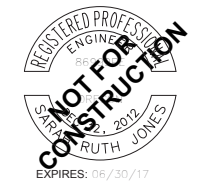
- ① CONSTRUCTION KEYNOTES:**
1. CONCRETE STEPS PER PUBLIC IMPROVEMENT PLANS. SEE GRADING PLAN FOR ELEVATIONS.
 2. CONCRETE PAVEMENT PER XIX.X.
 3. ASPHALT PAVEMENT PER PUBLIC IMPROVEMENT PLANS.
 4. RAISED SIDEWALK PER PUBLIC IMPROVEMENT PLANS.
 5. STANDARD CONCRETE CURB PER PUBLIC IMPROVEMENT PLANS.
 6. RAMP TO MATCH TO EXISTING RAISED SIDEWALK PER PUBLIC IMPROVEMENT PLANS
 7. EXISTING PARKING KIOSK TO REMAIN PER PUBLIC IMPROVEMENT PLANS
 8. CONCRETE SIDEWALK PER PUBLIC IMPROVEMENT PLANS



① SITE PLAN
1" = 10'



Revisions:



SCHEMATIC DESIGN SET

UTILITY PLAN

Project # 16021

C.2

Date: 05.05.17

PRIVATE UTILITY NOTES:

- UTILITY TRENCHING PER X/CX.X FOR ONSITE WORK.
- CLEANOUTS SHALL BE INSTALLED PER X/CX.X AND PER THE UNIFORM PLUMBING CODE (MAX. 100' SPACING AND/OR 135' AGGREGATE HORIZONTAL CHANGE IN DIRECTION).
- ALL WATER LINE TEES, PLUGS, BENDS, REDUCERS, VALVES, AND HYDRANT BRANCHES SHALL BE MECHANICALLY RESTRAINED OR USE THRUST BLOCKING PER X/CX.X.
- MINIMUM COVER ON WATER PIPES SHALL BE 36".
- THE CONTRACTOR SHALL CALL FOR ALL INSPECTIONS AND PERFORM THE NECESSARY TESTING REQUIRED BY THE SPECIFICATIONS AND THE PLUMBING PERMIT.
- MATCH PIPE INVERTS UNLESS OTHERWISE NOTED.
- ALL SANITARY SEWER PIPE MATERIAL TO BE 3034 PVC, UNLESS NOTED OTHERWISE.
- ALL STORM SEWER PIPE MATERIAL TO BE HDPE, UNLESS NOTED OTHERWISE.
- ALL SANITARY PIPE TO PIPE CONNECTIONS SHALL USE WYE FITTINGS, UNLESS NOTED OTHERWISE.

UTILITY KEYNOTES:

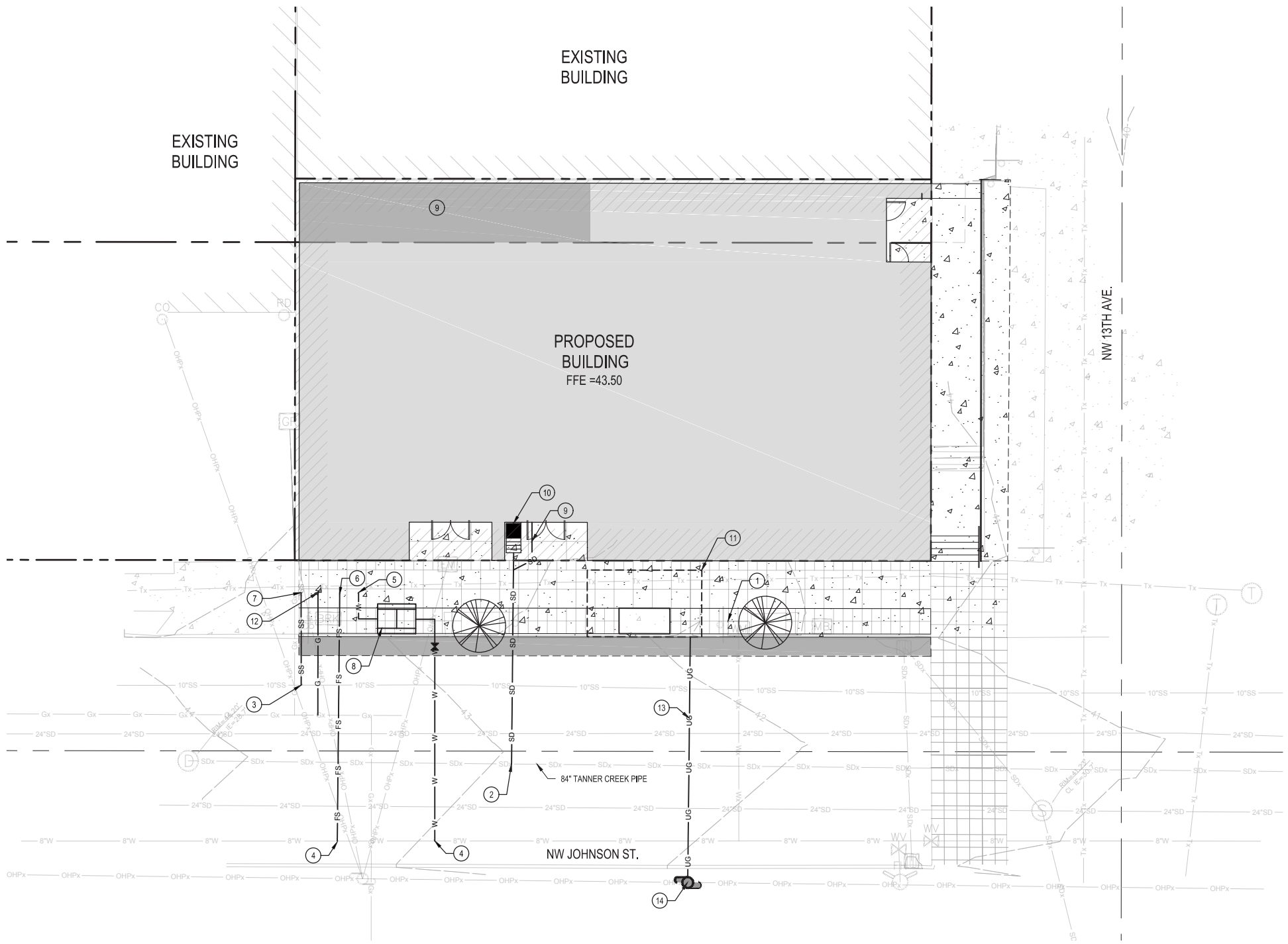
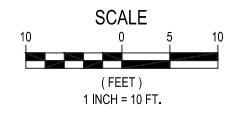
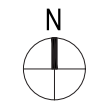
- REMOVE EXISTING WATER METER. COORDINATE WITH PORTLAND WATER BUREAU. SEE PUBLIC WORKS PLANS FOR DETAIL.
- CONNECT TO 84" TANNER CREEK STORM LINE USING AN INSERTA-TEE PER 1/C.4.
- CONNECT TO EXIST. 10" SANITARY SEWER.
- CONNECT TO EXIST. 8" WATER LINE. CONNECTION BY PORTLAND WATER BUREAU.
- DOMESTIC WATER POC. DCVA LOCATED INSIDE BUILDING.
- FIRE SERVICE POC. DDCVA INSIDE BUILDING.
- SANITARY SEWER POC.
- DOMESTIC WATER METER
- GREEN ROOF TO DISCHARGE DIRECTLY TO EXISTING STORM LINE.
- CONTECH FILTER CATCH BASIN WITH SOLID LID PER 2/C.4.
- UNDERGROUND PGE TRANSFORMER VAULT. SEE ELECTRICAL PLANS FOR DETAILS.
- GAS LINE. COORDINATE WITH NW NATURAL. NW NATURAL WILL INSTALL FROM CONNECTION POINT IN ROW TO GAS METER. INSIDE BUILDING. SEE "GAS NOTES" ON THIS SHEET FOR CONDUIT INSTALLATION REQUIREMENTS.
- UNDERGROUND POWER LINE. COORDINATE WITH PGE.
- NEW POLE BY OTHERS.

GAS NOTES:

- INSTALL YELLOW PVC CONDUIT PROVIDED BY NW NATURAL. SIZE TO BE CONFIRMED WITH PLUMBING AND NW NATURAL BEFORE INSTALLATION.
- INSTALL CONDUIT AT LEAST 12" FROM OTHER UTILITIES IN THE TRENCH.
- SERVICE DEPTH FOR CONDUIT INSTALLATION ARE:
-OUTSIDE PROPERTY LINE: 30" MINIMUM, 36" MAXIMUM.
-INSIDE PROPERTY LINE: 18" MINIMUM, 24" MAXIMUM.
- LEAVE BOTH ENDS OF THE INSTALLED PVC CONDUIT EXPOSED OR MARK THE LOCATION OF THE ENDS WITH A SECTION OF CONDUIT RISING AT LEAST 2 FEET ABOVE GRADE.
- TAPE OR CAP THE ENDS OF INSTALLED CONDUIT TO PREVENT BLOCKAGE.
- INSTALL CONDUIT IN STRAIGHT RUNS, UNLESS THE INSTALLATION IS A CROSS LOT OR IS APPROVED BY NW NATURAL.
- CONTACT NW NATURAL FOR CONDUIT INSTALLATIONS GREATER THAN 200 FEET.
- BACKFILL MATERIAL SHOULD BE FREE FROM ROCKS WHERE THE SERVICE LINE WILL BE CONNECTED TO THE MAIN OR CURB SERVICE.

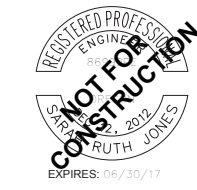
LEGEND:

- — — — — PROPERTY LINE
- - - - - SAWCUT LINE
- SDx — — — — — EXISTING STORM SEWER
- OHPx — — — — — EXISTING OVERHEAD UTILITY
- SSx — — — — — EXISTING SANITARY SEWER
- Tx — — — — — EXISTING COMMUNICATION LINE
- Wx — — — — — EXISTING WATER LINE
- - - - -200 - - - - - EXISTING CONTOUR
- 200 — — — — — PROPOSED CONTOUR
- W — — — — — PROPOSED WATER LINE
- SS — — — — — PROPOSED SANITARY SEWER
- SD — — — — — PROPOSED STORM LINE
- G — — — — — PROPOSED GAS LINE
- [Symbol] DOMESTIC METER
- [Symbol] GATE VALVE
- [Symbol] WATER QUALITY CATCH BASIN



2 UTILITY PLAN
1" = 10'

Revisions:



SCHEMATIC DESIGN SET

GRADING & EROSION CONTROL PLAN

Project # 16021

C.3

Date: 05.05.17

LEGEND:

- PROPERTY LINE
- - - SAWCUT LINE
- OHTx --- EXISTING OVERHEAD UTILITY
- - - .200 - - - EXISTING CONTOUR
- 200 — PROPOSED CONTOUR
- SF - SF - SEDIMENT FENCE
- INLET PROTECTION
- FLOW ARROW
- PROPOSED ELEVATION
- EXISTING ELEVATION

CONSTRUCTION KEYNOTES:

1. INLET PROTECTION PER XIXC.00.

EROSION AND SEDIMENT CONTROL BMP IMPLEMENTATION:

1. ALL BASE ESC MEASURES (INLET PROTECTION, PERIMETER SEDIMENT CONTROL, GRAVEL CONSTRUCTION ENTRANCES, ETC.) MUST BE IN PLACE, FUNCTIONAL, AND APPROVED IN AN INITIAL INSPECTION, PRIOR TO COMMENCEMENT OF CONSTRUCTION ACTIVITIES.
2. LONG TERM SLOPE STABILIZATION MEASURES "INCLUDING MATTING" SHALL BE IN PLACE OVER ALL EXPOSED SOILS BY OCTOBER 1.
3. INLET PROTECTION SHALL BE IN-PLACE IMMEDIATELY FOLLOWING PAVING ACTIVITIES.

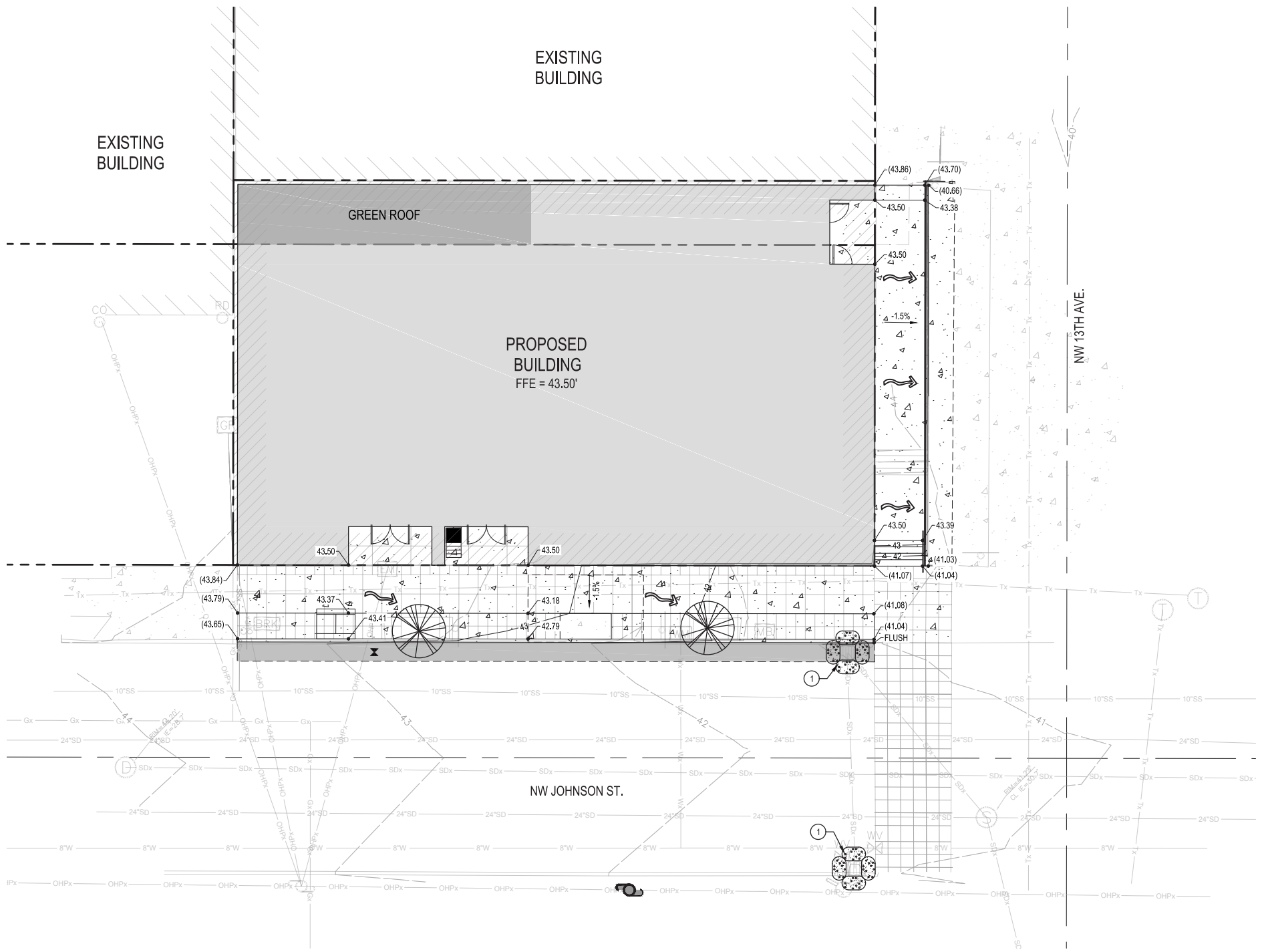
THESE EROSION AND SEDIMENT CONTROL PLANS ASSUME "DRY WEATHER" CONSTRUCTION. "WET WEATHER" CONSTRUCTION MEASURES NEED TO BE APPLIED BETWEEN OCTOBER 1ST AND MAY 31ST.

GENERAL NOTES:

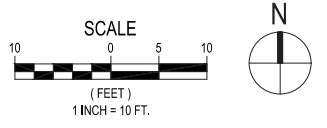
1. EROSION CONTROL MEASURES TO BE INSTALLED PRIOR TO BEGINNING WORK.

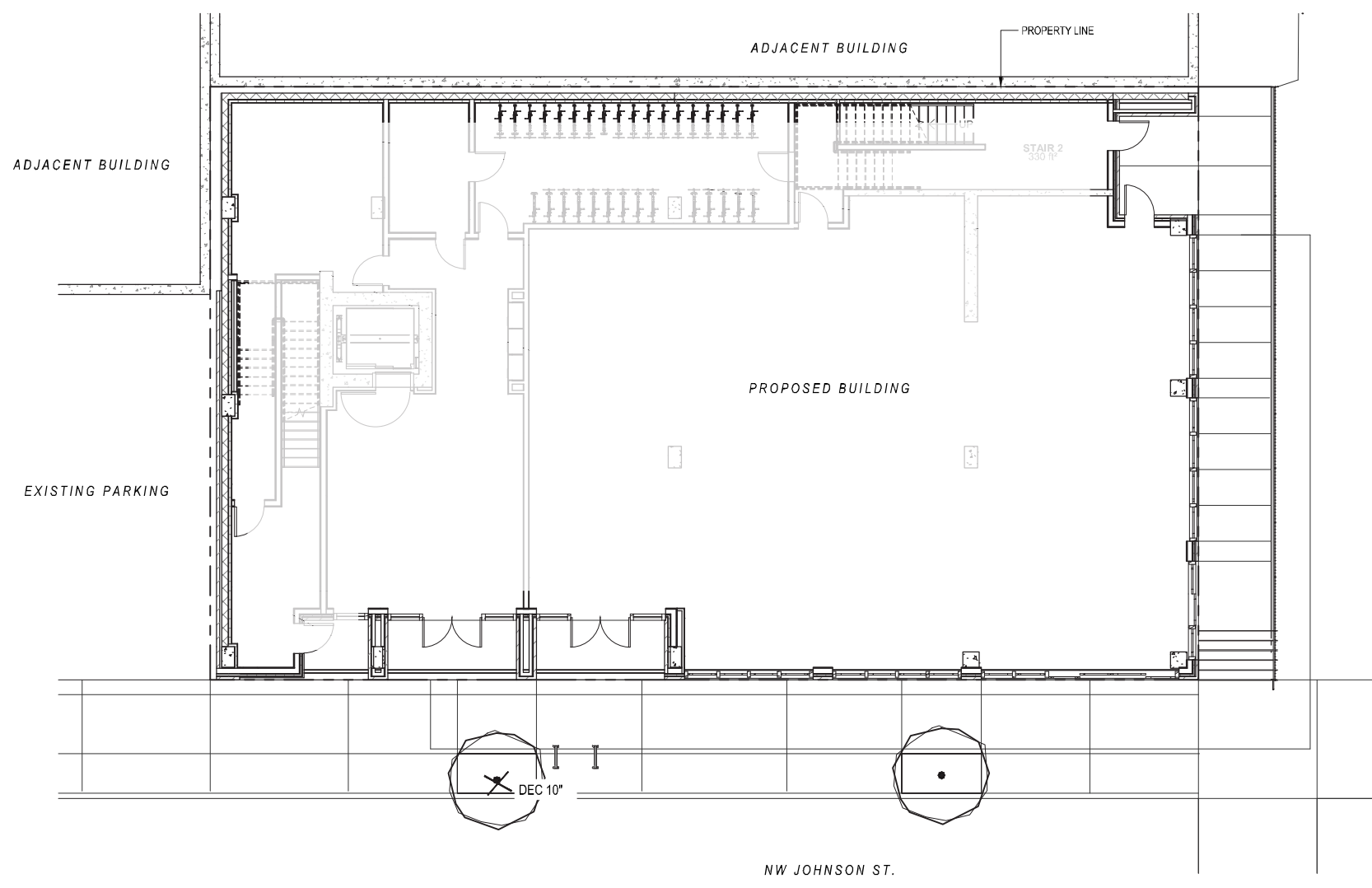
GRADING, STREET AND UTILITY EROSION AND SEDIMENT CONSTRUCTION NOTES:

1. SEED USED FOR TEMPORARY SEEDING SHALL BE COMPOSED OF ONE OF THE FOLLOWING MIXTURES, UNLESS OTHERWISE AUTHORIZED:
 - A. VEGETATED CORRIDOR AREAS REQUIRE NATIVE SEED MIXES. SEE RESTORATION PLAN FOR APPROPRIATE SEED MIX.
 - B. DWARF GRASS MIX (MIN. 100 LB./AC.)
 - 1. DWARF PERENNIAL RYEGRASS (80% BY WEIGHT)
 - 2. CREEPING RED FESCUE (20% BY WEIGHT)
 - C. STANDARD HEIGHT GRASS MIX (MIN. 100LB./AC.)
 - 1. ANNUAL RYEGRASS (40% BY WEIGHT)
 - 2. TURF-TYPE FESCUE (60% BY WEIGHT)
2. SLOPE TO RECEIVE TEMPORARY OR PERMANENT SEEDING SHALL HAVE THE SURFACE ROUGHENED BY MEANS OF TRACK-WALKING OR THE USE OF OTHER APPROVED IMPLEMENTS. SURFACE ROUGHENING IMPROVES SEED BEDDING AND REDUCES RUN-OFF VELOCITY.
3. LONG TERM SLOPE STABILIZATION MEASURES SHALL INCLUDE THE ESTABLISHMENT OF PERMANENT VEGETATIVE COVER VIA SEEDING WITH APPROVED MIX AND APPLICATION RATE.
4. TEMPORARY SLOPE STABILIZATION MEASURES SHALL INCLUDE: COVERING EXPOSED SOIL WITH PLASTIC SHEETING, STRAW MULCHING, WOOD CHIPS, OR OTHER APPROVED MEASURES.
5. STOCKPILED SOIL OR STRIPPINGS SHALL BE PLACED IN A STABLE LOCATION AND CONFIGURATION, DURING "WET WEATHER" PERIODS. STOCKPILES SHALL BE COVERED WITH PLASTIC SHEETING OR STRAW MULCH. SEDIMENT FENCE IS REQUIRED AROUND THE PERIMETER OF THE STOCKPILE.
6. EXPOSED CUT OR FILL AREAS SHALL BE STABILIZED THROUGH THE USE OF TEMPORARY SEEDING AND MULCHING, EROSION CONTROL BLANKETS OR MATS, MID-SLOPE SEDIMENT FENCES OR WATTLES, OR OTHER APPROPRIATE MEASURES. SLOPES EXCEEDING 25% MAY REQUIRE ADDITIONAL EROSION CONTROL MEASURES.
7. AREAS SUBJECT TO WIND EROSION SHALL USE APPROPRIATE DUST CONTROL MEASURES INCLUDING THE APPLICATION OF A FINE SPRAY OF WATER, PLASTIC SHEETING, STRAW MULCHING, OR OTHER APPROVED MEASURES.
8. CONSTRUCTION ENTRANCES SHALL BE INSTALLED AT THE BEGINNING OF CONSTRUCTION AND MAINTAINED FOR THE DURATION OF THE PROJECT. ADDITIONAL MEASURES INCLUDING, BUT NOT LIMITED TO, TIRE WASHES, STREET SWEEPING, AND VACUUMING MAY BE REQUIRED TO INSURE THAT ALL PAVED AREAS ARE KEPT CLEAN FOR THE DURATION OF THE PROJECT.
9. ACTIVE INLETS TO STORM WATER SYSTEMS SHALL BE PROTECTED THROUGH THE USE OF APPROVED INLET PROTECTION MEASURES. ALL INLET PROTECTION MEASURES ARE TO BE REGULARLY INSPECTED AND MAINTAINED AS NEEDED.
10. SATURATED MATERIALS THAT ARE HAULED OFF-SITE MUST BE TRANSPORTED IN WATER-TIGHT TRUCKS TO ELIMINATE SPILLAGE OF SEDIMENT AND SEDIMENT-LADEN WATER.
11. AN AREA SHALL BE PROVIDED FOR THE WASHING OUT OF CONCRETE TRUCKS IN A LOCATION THAT DOES NOT PROVIDE RUN-OFF THAT CAN ENTER THE STORM WATER SYSTEM. IF THE CONCRETE WASH-OUT AREA CAN NOT BE CONSTRUCTED GREATER THAN 50' FROM ANY DISCHARGE POINT, SECONDARY MEASURES SUCH AS BERMS OR TEMPORARY SETTLING PITS MAY BE REQUIRED. THE WASH-OUT SHALL BE LOCATED WITHIN SIX FEET OF TRUCK ACCESS AND BE CLEANED WHEN IT REACHES 50% OF THE CAPACITY.
12. SWEEPINGS FROM EXPOSED AGGREGATE CONCRETE SHALL NOT BE TRANSFERRED TO THE STORM WATER SYSTEM. SWEEPINGS SHALL BE PICKED UP AND DISPOSED IN THE TRASH.
13. AVOID PAVING IN WET WEATHER WHEN PAVING CHEMICALS CAN RUN-OFF INTO THE STORM WATER SYSTEM.
14. USE BMPs SUCH AS CHECK-DAMS, BERMS, AND INLET PROTECTION TO PREVENT RUN-OFF FROM REACHING DISCHARGE POINTS.



3 GRADING & EROSION CONTROL PLAN
1" = 10'





TREE PRESERVATION LEGEND

EXISTING TREES TO BE REMOVED

ON SITE TREES			
CALIPER SIZE	EXISTING	RETAINED	REMOVED
6-12"	0	0	0
12-20"	0	0	0
12"-36"	0	0	0
TOTAL	0	0	0

STREET TREES			
CALIPER SIZE	EXISTING	RETAINED	REMOVED
6-12"	1	0	1
12-20"	0	0	0
12"-36"	0	0	0
TOTAL	1	0	1

TREE PRESERVATION SUMMARY

ON SITE TREES

1/3 OF 12" CALIPER TREES	=0
12" OR MORE CALIPER TREES	=0

STREET TREES

12" OR MORE CALIPER TREES	=0
PROPOSED STREET TREES	=2

PLANT SCHEDULE

TREES	CODE	COMMON NAME	CONT	CAL
	CB	FRANZ FONTAINE HORNBEAM CARPINUS BETULUS 'FRANZ FONTAINE'	B & B	2.5" CAL

Portland Oregon
PEARL APARTMENTS

Revisions:

No.	Date	Description

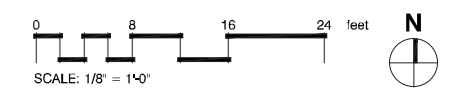
TREE PLAN

Project # 16021

L1.00

Date: 05.12.2017

1 TREE PLAN
1/8" = 1'-0"



Revisions:

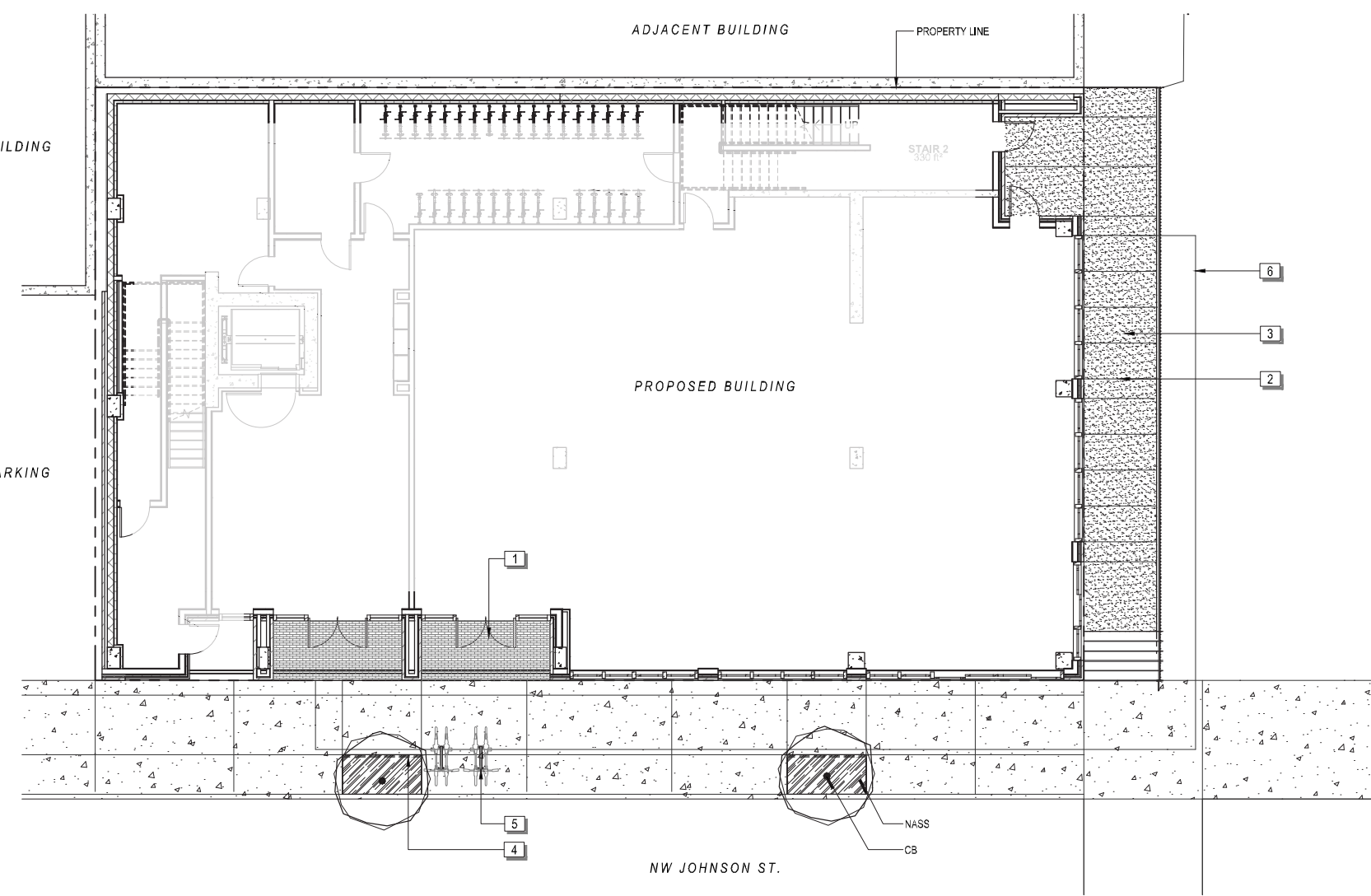
No.	Date	Description

GROUND LEVEL LANDSCAPE PLAN

Project # 16021

L1.01

Date: 05.12.2017



REFERENCE NOTES SCHEDULE

SYMBOL	DESCRIPTION	QTY	DETAIL
1	PAVERS SEE ARCHITECT		
2	CONCRETE SCORE LINES, EXTENDED FROM BUILDING LINES		
3	LIGHT WASH OR TOP CAST CONCRETE PAVING		
4	ROOT BARRIER, AT TREE WELLS TYPICAL		
5	BIKE RACK		
6	BUILDING OVER HANG SEE ARCHITECT		

PLANT SCHEDULE

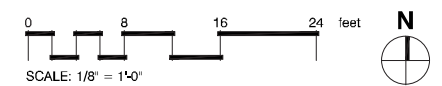
TREES	CODE	COMMON NAME	CONT	CAL
	CB	FRANZ FONTAINE HORNBREAM CARPINUS BETULUS 'FRANZ FONTAINE'	B & B	2.5'CAL

GROUND COVERS	CODE	COMMON NAME	CONT	SPACING
	NASS	MEXICAN FEATHERGRASS NASSELLA TENUISSIMA 'PONY TAILS'	1 GAL	12" o.c.

GENERAL SITE NOTES:

- A. ALL WORK WITHIN THE PUBLIC RIGHT OF WAY UNDER SEPARATE PERMIT. SHOWN FOR REFERENCE ONLY. REFER TO APPROVED PBOT RIGHT OF WAY DRAWINGS PRIOR TO CONSTRUCTION.
- B. REFERENCE CIVIL AND ARCHITECTURAL DRAWINGS FOR ADDITIONAL SITEWORK INFORMATION.

1 GROUND LEVEL LANDSCAPE PLAN
1/8" = 1'-0"

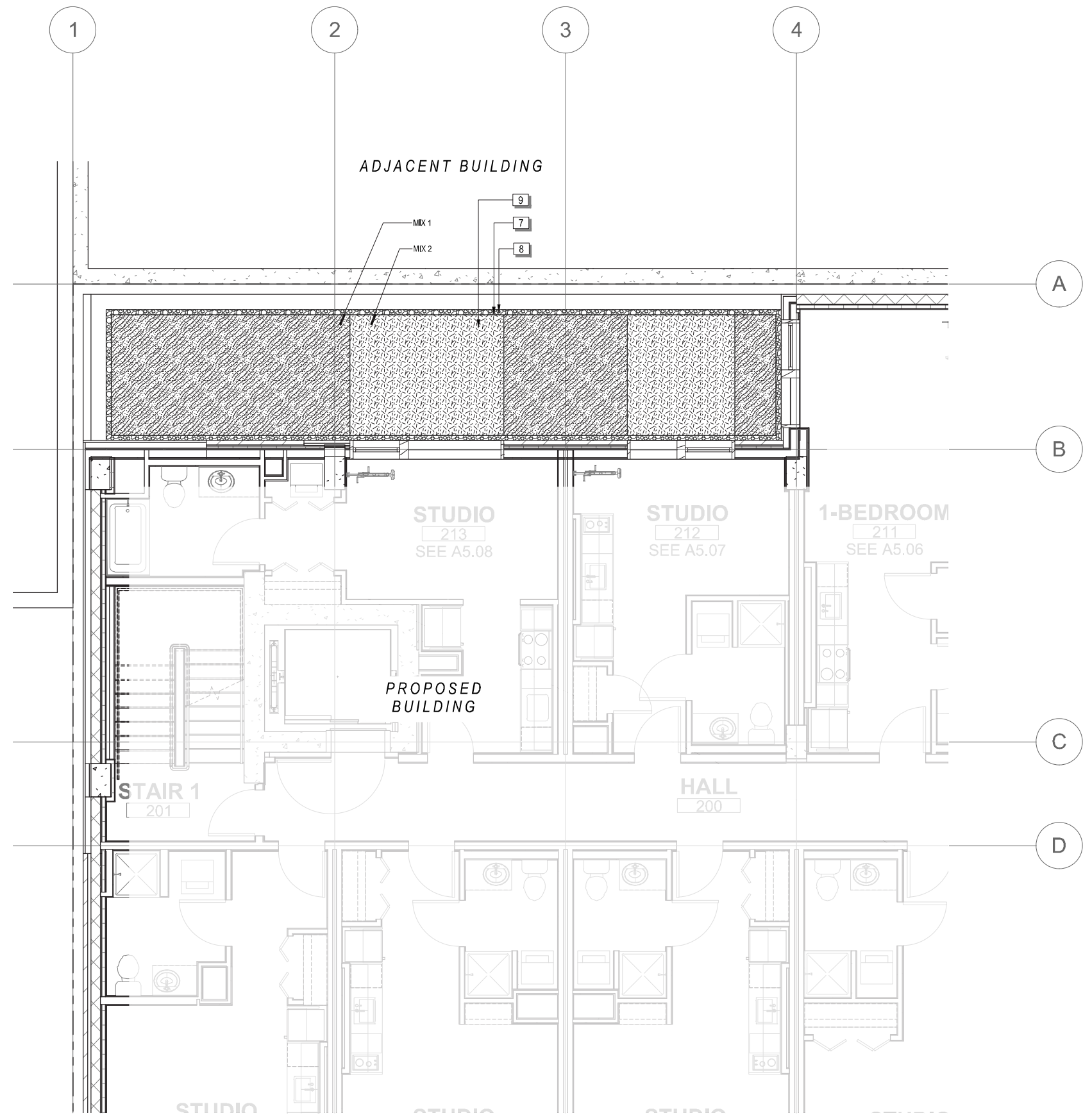




SEDUM EXAMPLE



SEDUM EXAMPLE



REFERENCE NOTES SCHEDULE

SYMBOL	DESCRIPTION	DETAIL
7	METAL EDGING FOR GREEN ROOF BALLAST	1/L3
8	GRAVEL BALLAST, 1.5 INCH FRACTURED AND WASHED BASSALT	
9	TRAY SYSTEM GREEN ROOF	2/L3

PLANT SCHEDULE

GREEN ROOF	CODE	COMMON NAME	CONT
	MIX 1	SEDUM SEDUM SOD	TRAY SYSTEM
	MIX 2	SEDUM SEDUM SOD	TRAY SYSTEM

Portland Oregon
PEARL APARTMENTS

Revisions:
No. Date Description

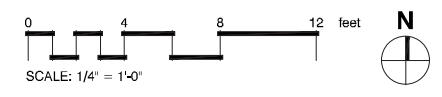
**LEVEL 2
LANDSCAPE
PLAN**

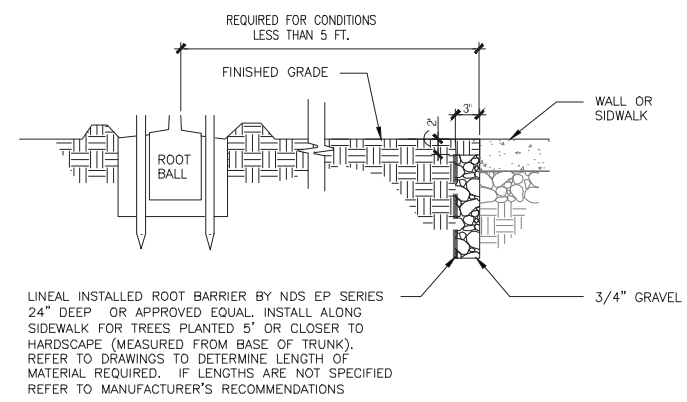
Project # 16021

L1.02

Date: 05.12.2017

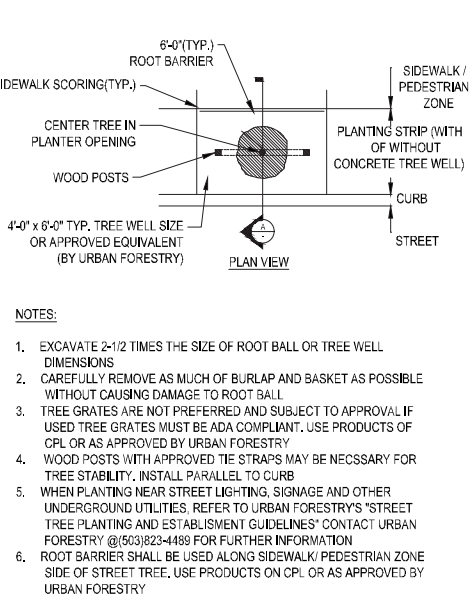
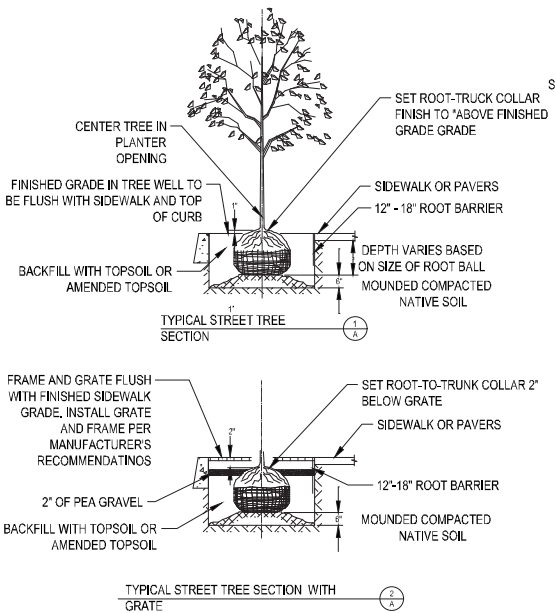
1 LEVEL 2 GREEN ROOF PLAN
1/4" = 1'-0"





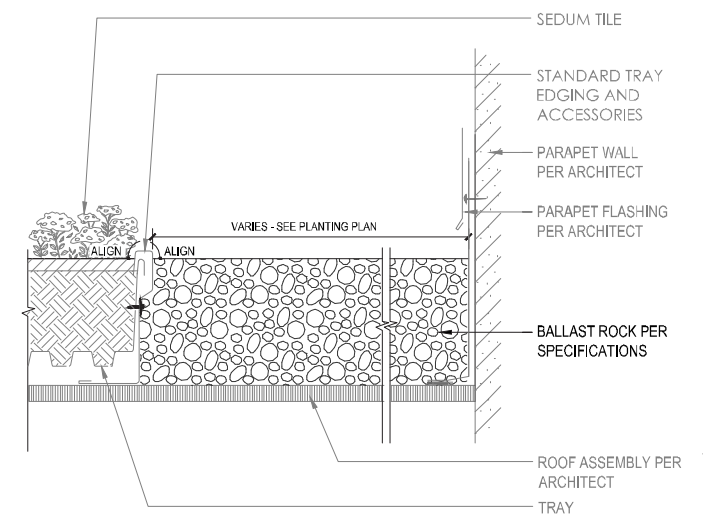
LINEAL INSTALLED ROOT BARRIER BY NDS EP SERIES 24" DEEP OR APPROVED EQUAL. INSTALL ALONG SIDEWALK FOR TREES PLANTED 5' OR CLOSER TO HARDSCAPE (MEASURED FROM BASE OF TRUNK). REFER TO DRAWINGS TO DETERMINE LENGTH OF MATERIAL REQUIRED. IF LENGTHS ARE NOT SPECIFIED REFER TO MANUFACTURER'S RECOMMENDATIONS

4 TREE ROOT BARRIER - LINEAR
1" = 1'-0"
329416-01

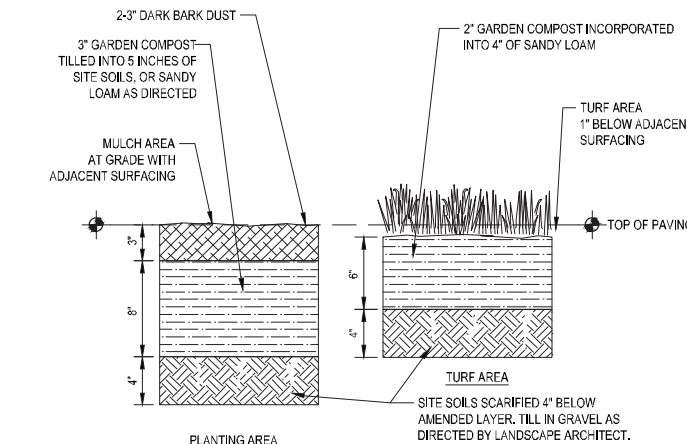


9 CITY OF PORTLAND ON STRUC / GRADE
NTS

- TREE CLEARANCE REQUIREMENTS:**
MEASURED FROM TREE TRUNK
- DIRECTIONAL TRAFFIC SIGNS - 10' CLEAR
 - DRIVEWAYS AND ALLEY MARGINS - 5' CLEAR
 - DRYWELLS - 5' - 10' REQUIRES ROOT BARRIER
 - FIRE HYDRANTS - 10' CLEAR
 - INTERSECTION - 25' FROM THE CURB LINE
 - PROPERTY LINES 2' CLEAR
 - STREET LIGHTS - 25' UNLESS A COLUMNAR SPECIES OF TREE IS SELECTED, THE DISTANCE MAY BE REDUCED TO 15'
 - TRAFFIC STOP OR YIELD SIGNS - 20' CLEAR
 - TREES ADJACENT - 20' CLEAR
 - WET UTILITIES - REFER TO CITY OF PORTLAND STANDARD DETAIL P-845
 - DRY UTILITIES - 5' CLEAR
 - UTILITY LINES OVERHEAD - 5' VERTICAL CLEARANCE AT MATURE HEIGHT.
 - UTILITY POLES - 5' CLEAR
- FOR ALTERNATE TREE PLANTING LOCATION APPROVAL (PRIOR TO PLANTING), CONTACT URBAN FORESTRY AT 503-823-TREE (8733).

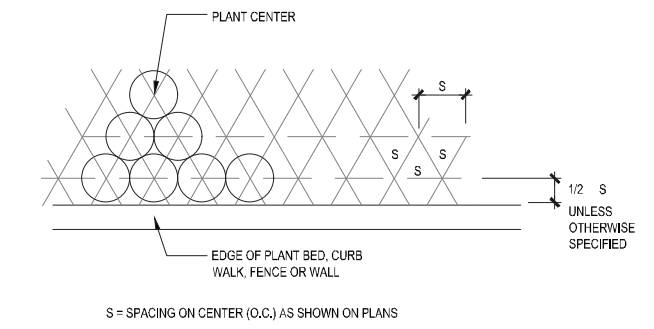


1 BALLAST ROCK EDGE
3" = 1'-0"
329700-02

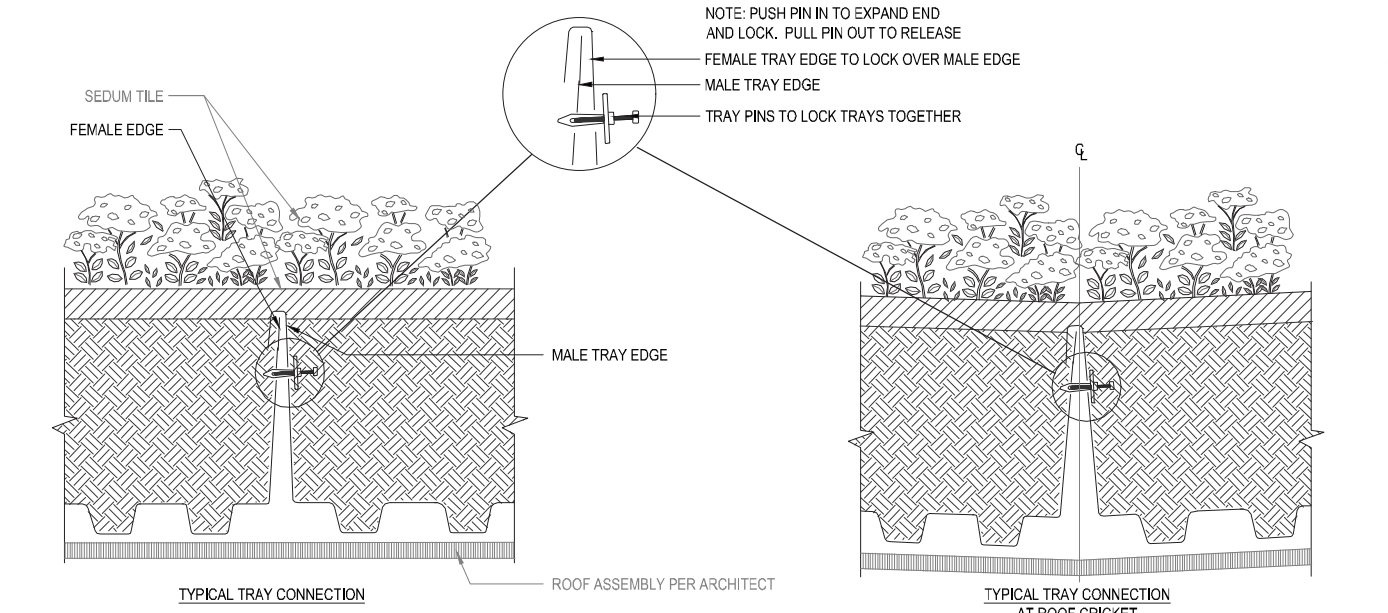


- NOTES:
ALL SOIL AREAS DISTURBED OR COMPACTED DURING CONSTRUCTION AND NOT COVERED BY BUILDINGS SHALL BE AMENDED AS DESCRIBED.
1. SUBSOIL SHALL BE SCARIFIED (TILLED) 4" BELOW AMENDMENT LAYER, EXCEPT WHERE SCARIFICATION WOULD DAMAGE TREE ROOTS OR AS DETERMINED BY LANDSCAPE ARCHITECT OR ARBORIST.
 2. PLANTING AREAS SHALL HAVE COMPOST TILLED TO A DEPTH OF 8" INTO EXISTING OR SPECIFIED SOILS.
 3. TURF AREAS SHALL HAVE COMPOST AND SANDY LOAM TILLED TO A DEPTH OF 6".
 4. PLANTING BEDS SHALL RECEIVE 3" OF DARK BARK DUST.

10 SOIL AMENDMENT AND DEPTH
1 1/2" = 1'-0"
DETAIL-FILE



3 GROUNDCOVER SPACING
1 1/2" = 1'-0"
329333-83-01



2 TRAY CONNECTION
6" = 1'-0"
329700-03

TREE BACKFILL AMENDED AS FOLLOWS:

- 3 PARTS OF EXISTING TOPSOIL
- 1 PART COMPOST
- AS SPECIFIED SEE CHART

CALIPER SIZE	PERMAMATRIX POUNDS REQUIRED (DRY)
1.0"	5.00
1.5"	7.50
2.0"	10.00
2.5"	20.00
3.0"	30.00
3.5"	50.00

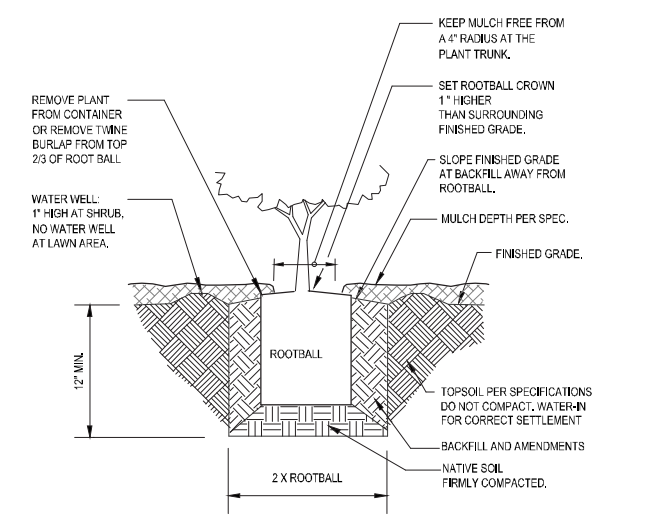
SHRUB, GRASSES AND GROUNDCOVER BACKFILL AMENDED AS FOLLOWS:

- 3 PARTS OF EXISTING TOPSOIL
- 1 PART COMPOST
- AS SPECIFIED SEE CHART

CONTAINER SIZE	PERMAMATRIX POUNDS REQUIRED (DRY)
PLUG	.06
4-INCH	.20
1 GAL.	.50
2 GAL.	.75
3 GAL.	1.25
6 GAL.	1.50
15 GAL.	5.00

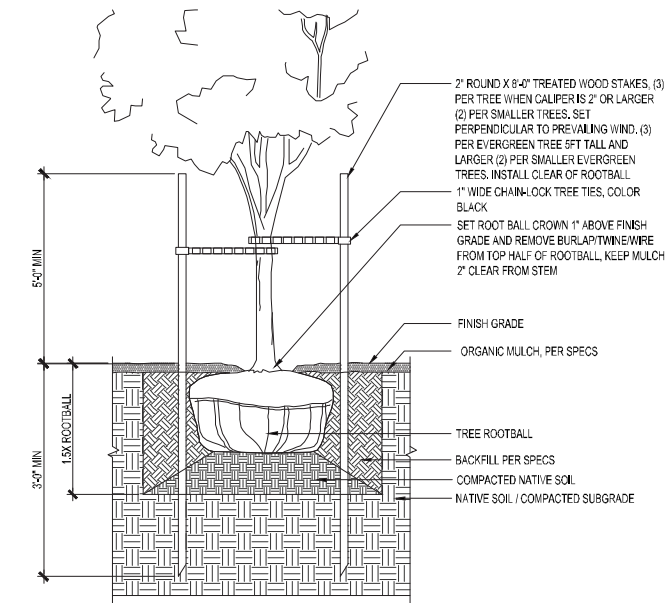
PERMAMATRIX AVAILABLE LOCALLY FROM SUNMARK ENVIRONMENTAL 503.241.7333

1 PLANTING BACKFILL SOIL AMENDMENT
1" = 1'-0"
329416-01

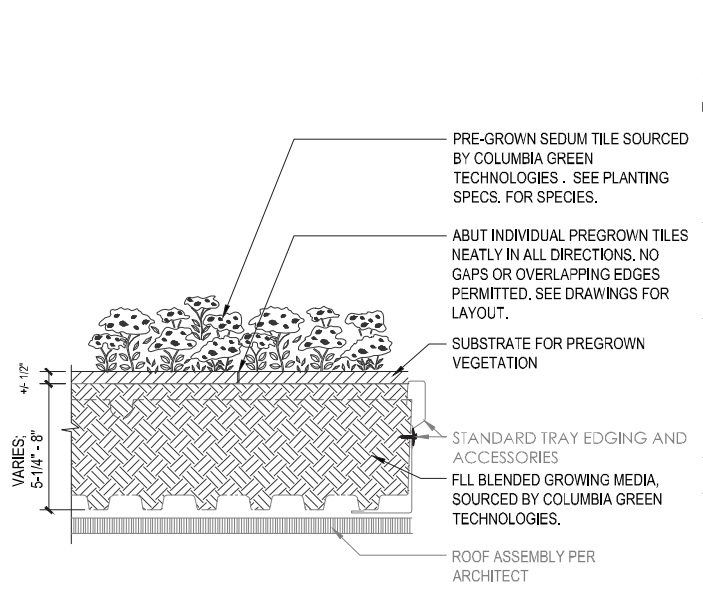


NOTE: CHECK ROOTBALL FOR PRESENCE OF ROOT FLARE AT BASE OF TRUNK, REMOVE EXCESS SOIL OVER ROOT FLARE AND ADJUST DEPTH OF PLANTING HOLE TO ACCOMMODATE REDUCED ROOTBALL DEPTH IF NEEDED. ROOT FLARE MUST BE VISIBLE ABOVE MULCH/SOIL/ROOTBALL.

6 SHRUB PLANTING
1" = 1'-0"
329333-13-01



6 TREE PLANTING ON GRADE
NTS
DETAIL-FILE



3 TILE PLANTING METHOD
3" = 1'-0"
329700-04

Portland Oregon
PEARL APARTMENTS

Revisions:

No.	Date	Description

DETAILS
Project # 16021
L2.01
Date: 05.12.2017