

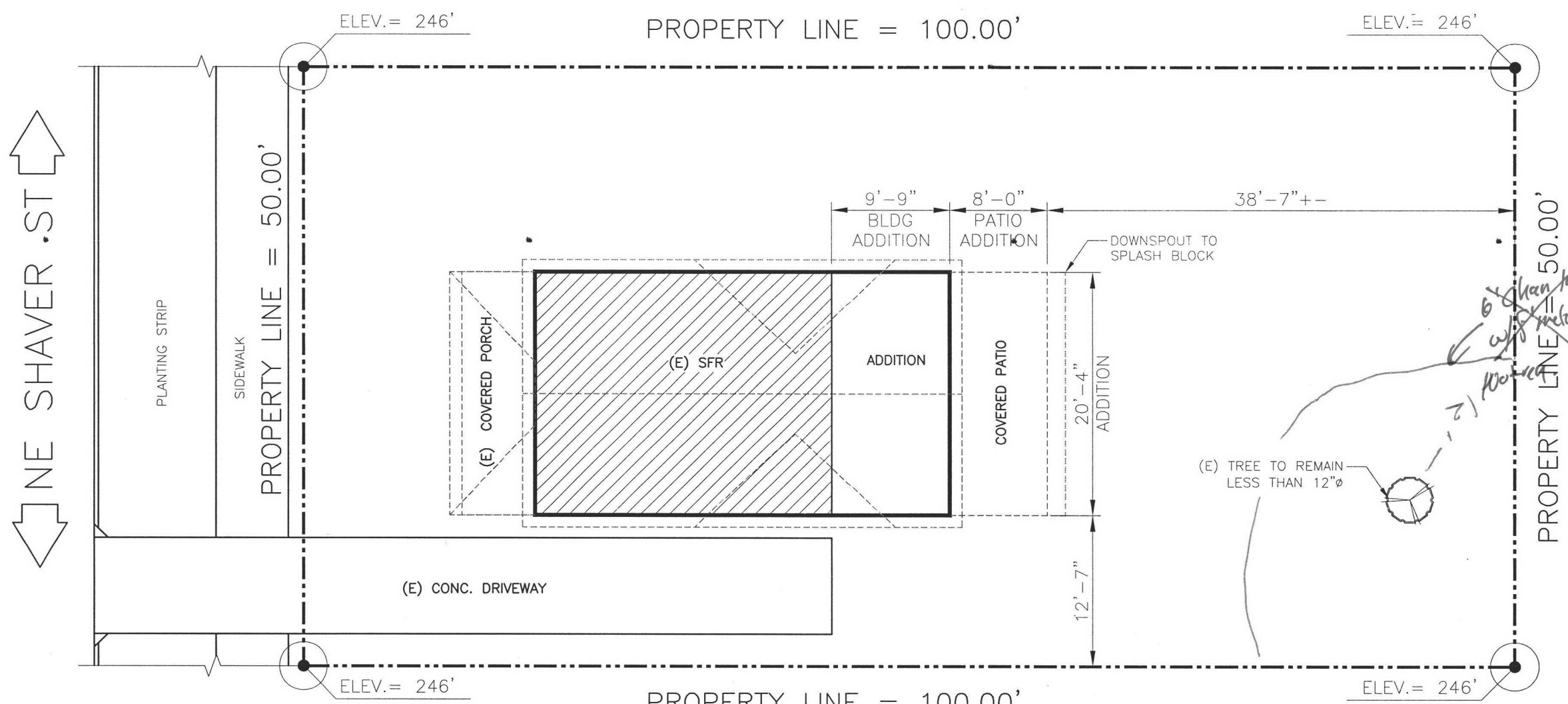
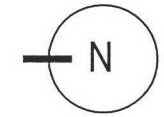
2

PROJECT SCOPE
ADDITION OF 198 SQFT
TO AN EXISTING SFR

PROJECT ADDRESS
4550 NE SHAVER ST.
PORTLAND OR 97213

LEGAL DESCRIPTION
PROPERTY ID#: R125723
STATE ID: 1N2E19CC 500
ALT ACCT#: R128401970

LOT AREA: 5000 SqFt
SFR FOOTPRINT: 696 SqFt
BUILDING COVERAGE: 13%

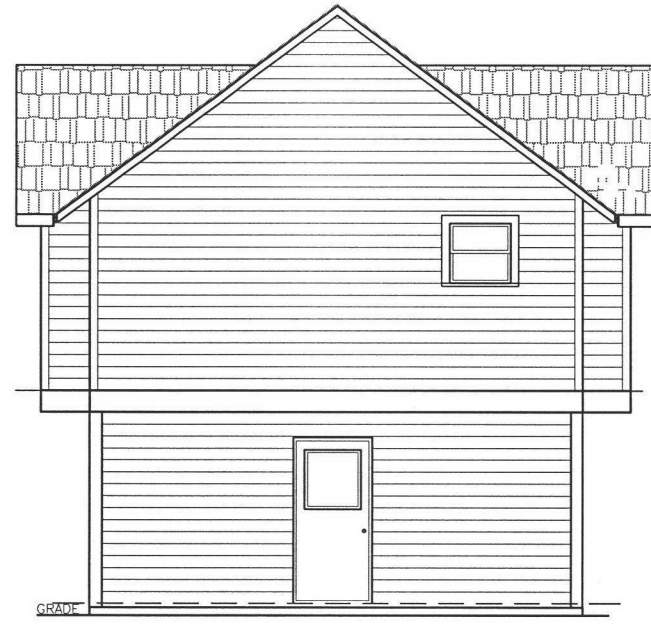


17-185448 RS

General Notes & Supplemental Information
The attached 8 1/2 x 11 sheets are part of this plan approval. Plans are considered null and void without this information attached to the approved set of plans.

City of Portland
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JUN 16 2017
Permit Number

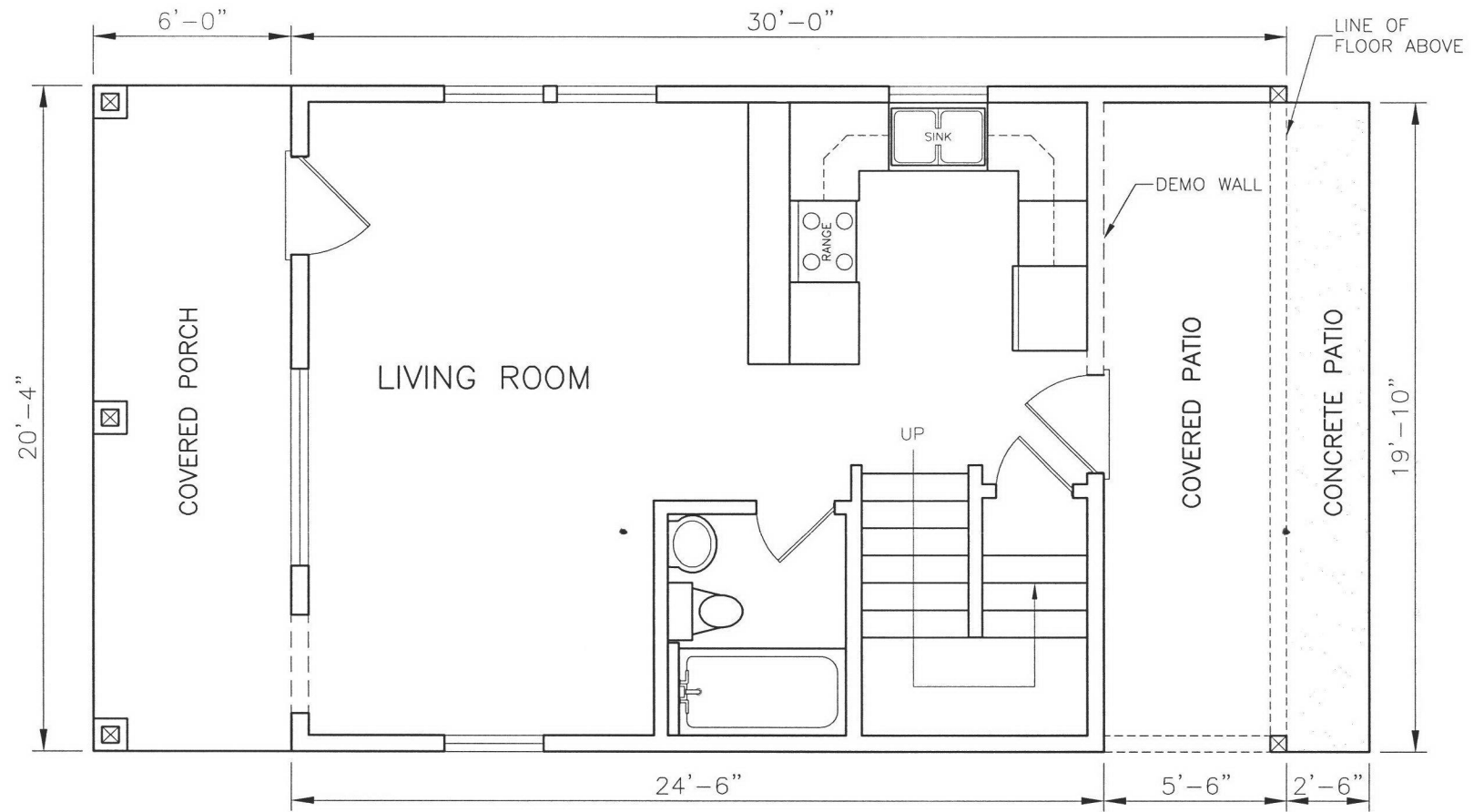
City of Portland
Bureau of
Development Services
By T. MANN Date 6/12/17
Approved by
Planning and Zoning Review



(E) SOUTH (BACK) ELEVATION



(E) WEST (RIGHT) ELEVATION



(E) FLOOR PLAN 498 SqFt
 DENOTES DEMO [-----]

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 PROJECT NO. 1708
 03.22.17

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 PH: (503) 960-7150
 INFO@ISVALLEREGINAL.COM
 WWW.ISVALLEREGINAL.COM

DESIGNED BY:
 VICTOR VALLE

"LOOMIS RESIDENCE"
 4550 NE SHAVER ST, PORTLAND OR 97213

AS BUILTS
 SC: 1/8" = 1'

AIO

LEGEND	
⊙ SD	SMOKE DETECTOR
⊙ CO	CO DETECTOR
⊙	EXHAUST FAN
△	REVISION
▬	NEW WALL
□	DEMO

ORSC 2014 OREGON NOTES:

1) GFI OUTLETS LOCATIONS 6' FROM ANY WATER SOURCE. ALSO NEEDED IN GARAGE AREAS AND ON ANY EXTERIOR WALL W/WEATHER PROOF FACE PLATE.

2) DRYER, RANGE, BATH FANS, GAS WATER TANKS TO BE VENTED DIRECTLY OUTSIDE.

3) SMOKE DETECTORS TO BE INSTALLED IN EACH BEDROOM, HALLWAY AND NEAR ANY STAIRWAY AND MUST HAVE 110V BATTERY BACKUP-REQUIRED PER ORSC 2014. (WIRED IN SEQUENCE)

4) CARBON MONOXIDE ALARMS SHALL BE INSTALLED IN EACH SLEEPING ROOM OR WITHIN 15 FEET OUTSIDE EACH SLEEPING ROOM DOOR. CO ALARMS MAY BE HARD-WIRED OR BATTERY-POWERED. CO ALARMS MAY BE COMBINATION SMOKE/CO ALARMS WHEN INSTALLED AS REQUIRED FOR SMOKE ALARMS.

**

1) HEATING & ELECTRICAL SYSTEMS WILL BE ENGINEERED & DESIGNED BY THE HEATING & ELECTRICAL CONTRACTOR.

2) ALL BEARING WALL HEADERS SIZES EXTERIOR (2) 2x10's W/2x6 UNDER INTERIOR (2) 2x10's W/2x4 UNDER.

3) FIRE STOP ALL SOFFITS AND EACH FLOOR/CEILING LINE PER 2014 ORSC

4) PROVIDE MIN. REQUIRED COMBUSTION AIR AT LOCATIONS OF FUEL BURNING EQUIPMENT PER IMC. VENT ALL FANS DIRECTLY TO THE OUTSIDE.

5) TERMINATION SHALL BE A MIN. 3" FROM ANY OPENING INTO THE BUILDING.

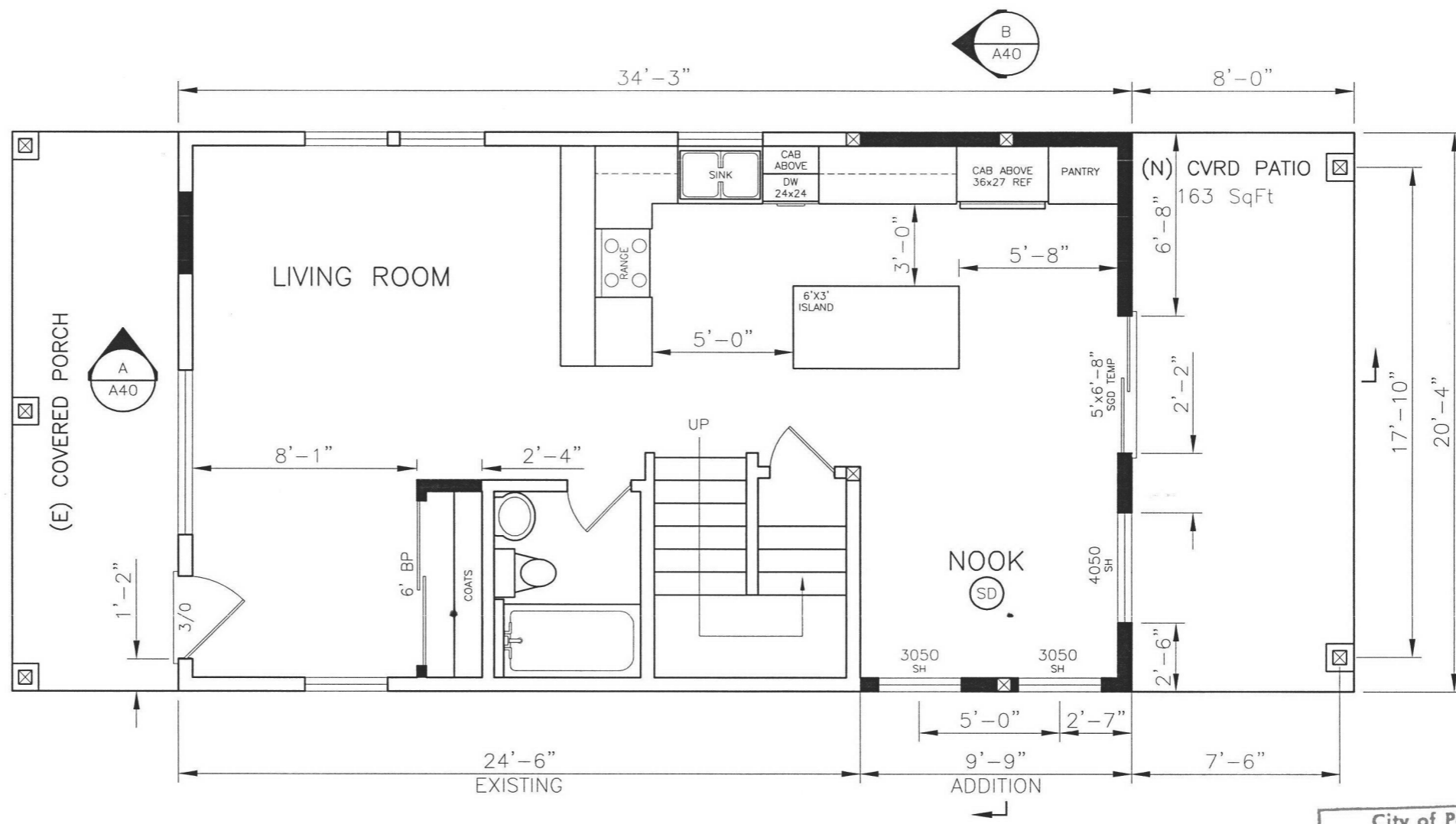
6) VENT MATERIALS SHALL BE METAL OR PVC AND SHALL BE EQUIPPED WITH BACK DRAFT DAMPERS.

**

1) ATTIC SPACE ACCESS MIN. 22"x30" VENTILATION REQUIRED IN 1 SqFt. OF VENT PER EVERY 300 SqFt. OF ATTIC SPACE AREA.

2) ACCURACY AND STACK-UP OF CONSTRUCTION DIMENSIONS WITH INTERFACES TO VENDOR PRODUCTS ARE THE RESPONSIBILITY OF THE CONTRACTOR TO FIELD VERIFY BEFORE PROCEEDING TO SUBSEQUENT PHASES OF CONSTRUCTION.

3) CONTRACTOR SHALL COORDINATE AND OBTAIN ALL BUILDING PERMITS REQUIRED FOR CONSTRUCTION AND CERTIFICATES OF OCCUPANCY, AND SHALL BE RESPONSIBLE FOR ALL CONSTRUCTION METHODS, TECHNIQUES AND PROCEDURES.



PROPOSED FLOOR PLAN TOTAL= 696 SqFt
 ADDITIONAL 198 SqFt
 DENOTES NEW WALL

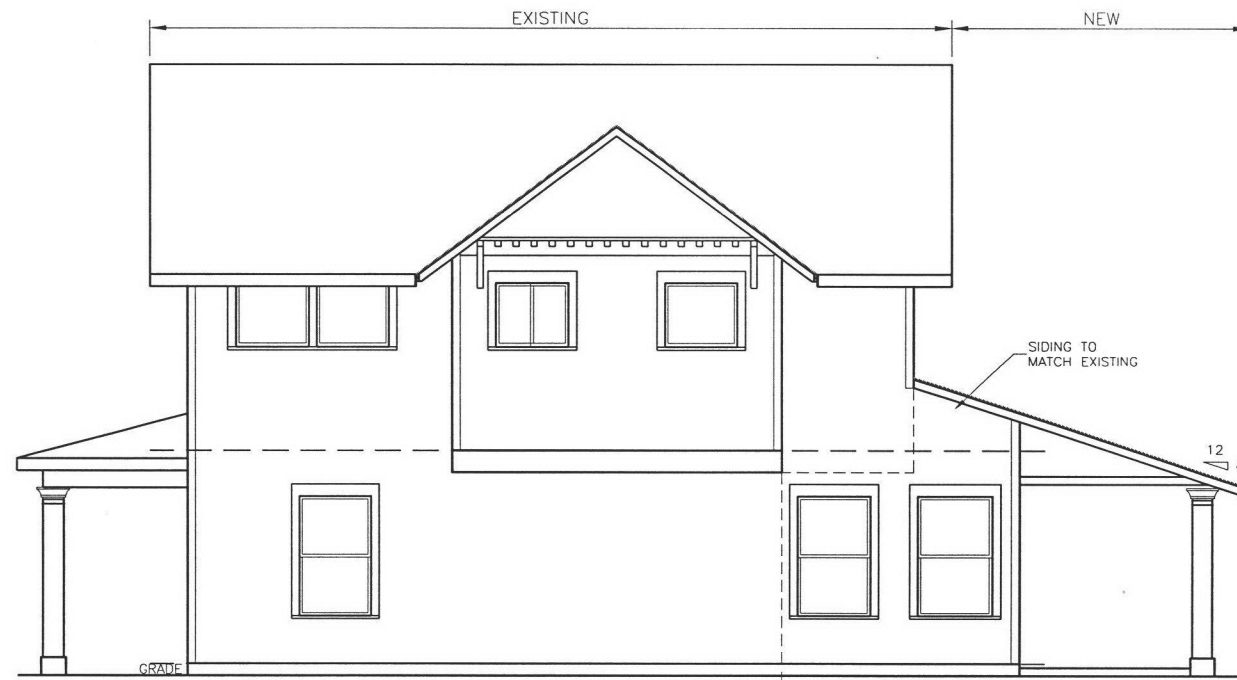
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SMALL ADDITION (HIGH EFFICIENCY ENVELOPE)

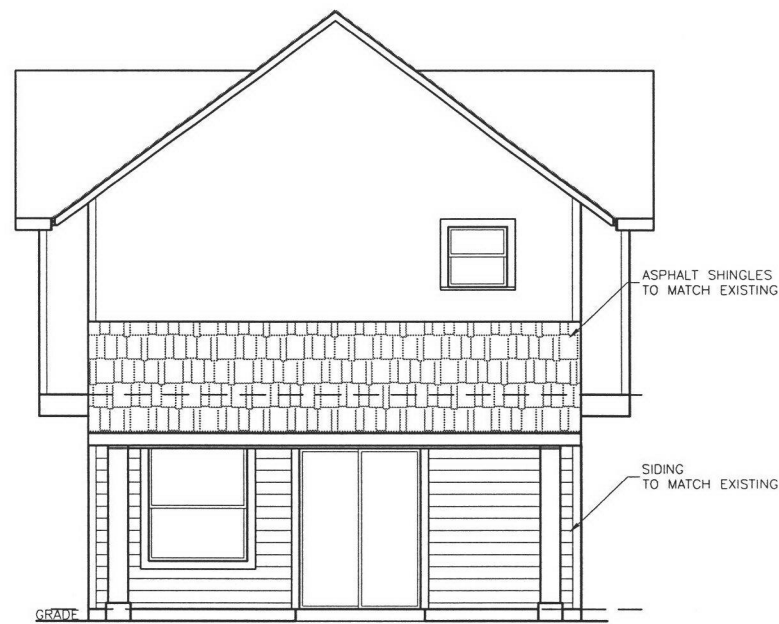
- NEW WINDOWS u=0.30
- DOORS u=0.20 OR ADDITIONAL 15% LIGHT FIXTURES HIGH EFFICIENCY
- CEILING INSULATION R=49



NORTH (FRONT) ELEVATION



WEST (RIGHT) ELEVATION



SOUTH (BACK) ELEVATION



EAST (LEFT) ELEVATION

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City of Portland
 Bureau of
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 By T. MANU Date 6/12/17
 Approved by
 Planning and Zoning Review

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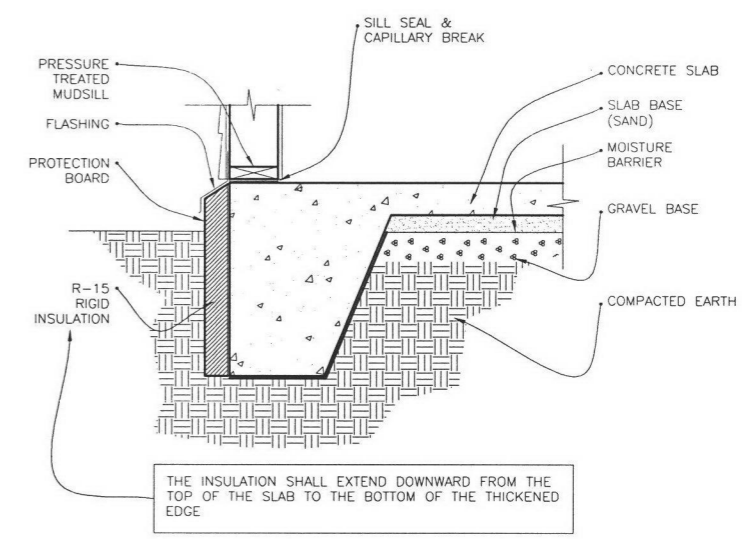
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 WWW.PORTLANDDRAWING.COM

DESIGNED BY:
 VICTOR VALLE

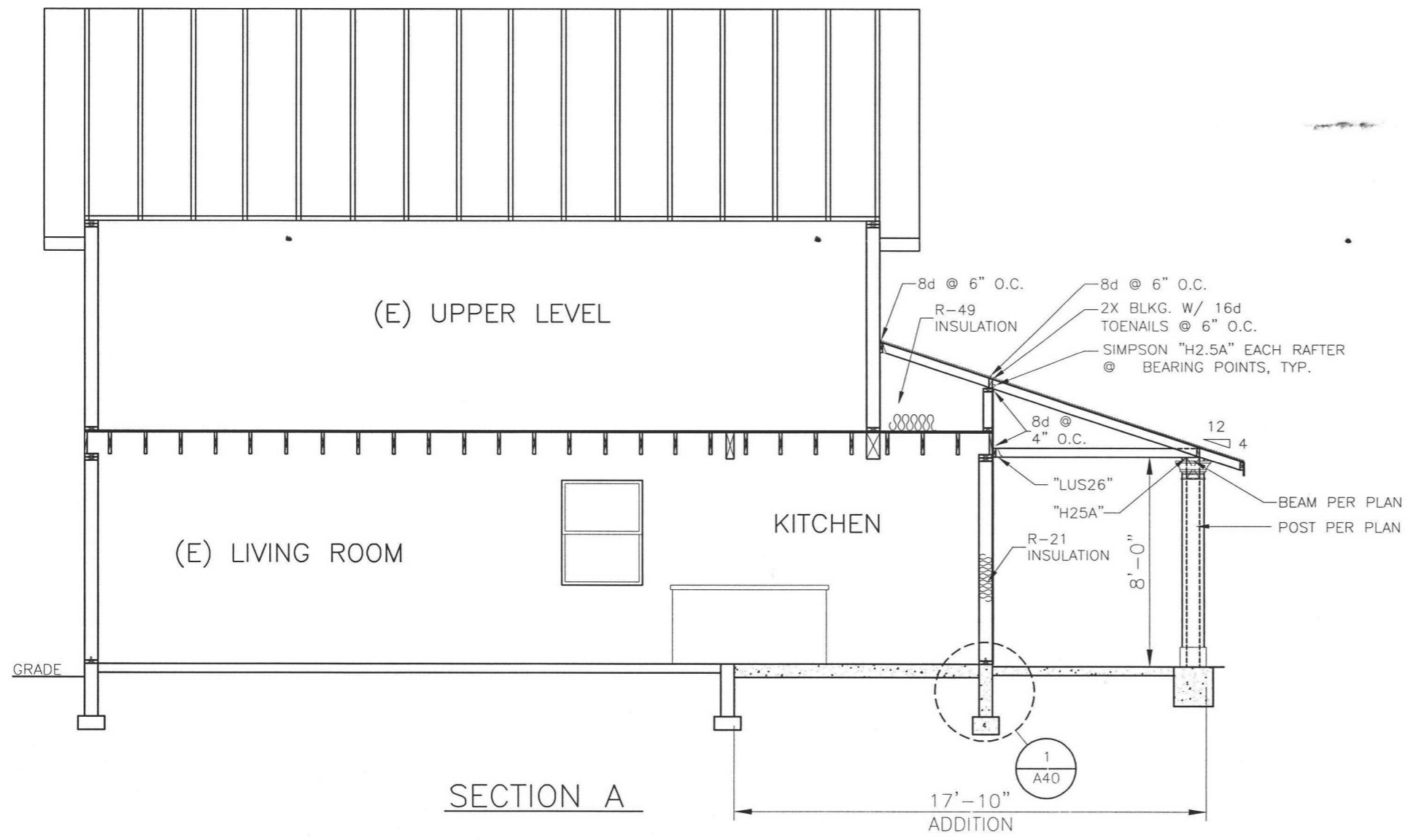
"LOOMIS RESIDENCE"
 4550 NE SHAVER ST, PORTLAND OR 97213

SECTIONS
 SC: 3/16" = 1'

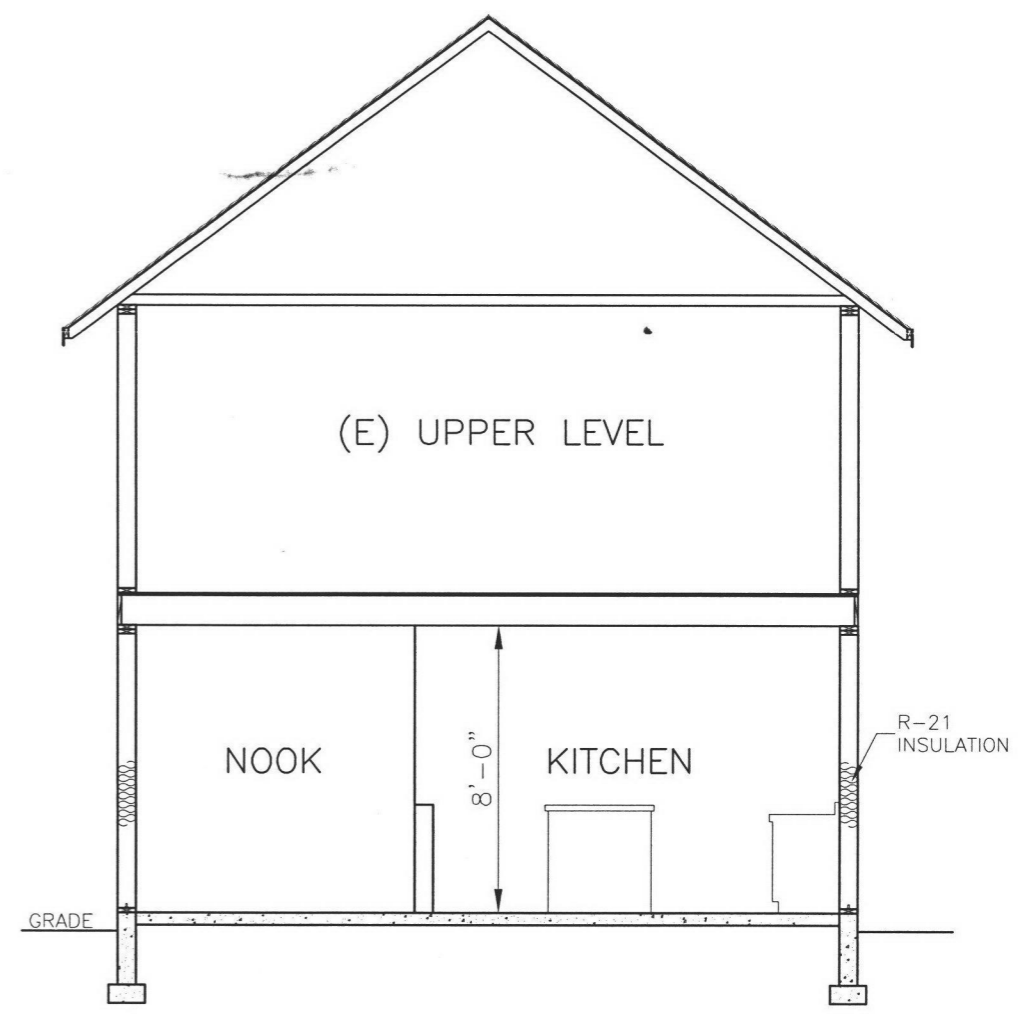
A40



1
 A40
MONOLITHIC SLAB ON GRADE
 1/2" = 1'

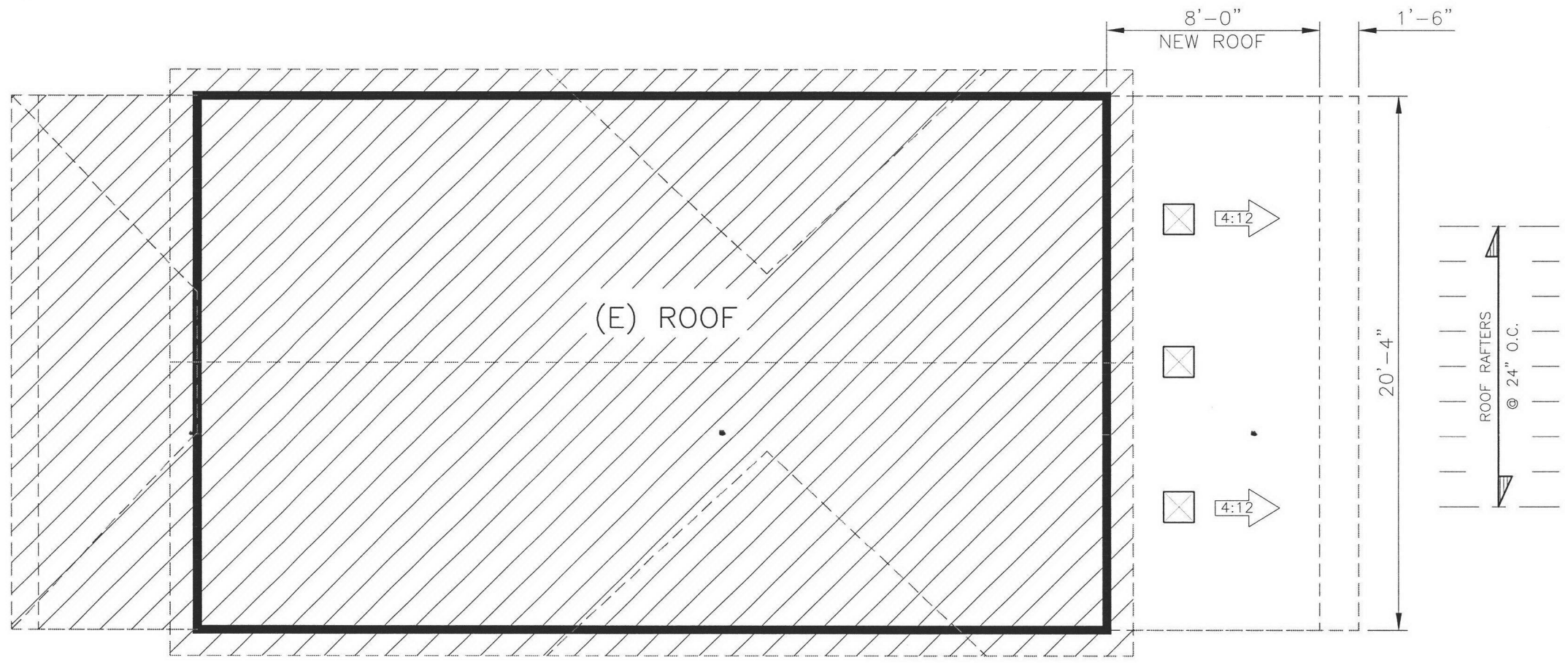


SECTION A



SECTION B

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ROOF PLAN

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Roof Plan

SC: 3/16" = 1'

"LOOMIS RESIDENCE"

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A50

GENERAL NOTES

DESIGN STANDARD 2014 OREGON RESIDENTIAL STRUCTURAL CODE

GENERAL

- FIELD VERIFY DIMENSIONS AND ELEVATIONS RELATIVE TO THE EXISTING STRUCTURE PRIOR TO FABRICATION OF MATERIALS.
- FOR FEATURES OF CONSTRUCTION NOT FULLY SHOWN, PROVIDE THE SAME TYPE AND CHARACTER AS SHOWN FOR SIMILAR CONDITIONS, SUBJECT TO REVIEW BY THE ARCHITECT AND STRUCTURAL ENGINEER OF RECORD.
- APPLY, PLACE, ERECT, OR INSTALL ALL PRODUCTS AND MATERIALS IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS.
- ADEQUATELY BRACE STRUCTURE AND ALL STRUCTURAL COMPONENTS AGAINST WIND, LATERAL, EARTH, AND SEISMIC FORCES UNTIL THE PERMANENT LATERAL FORCE-RESISTING SYSTEMS HAVE BEEN INSTALLED.

STRUCTURAL FILL OR BACK-FILL

- STRUCTURAL FILL MATERIAL:
 - SAND AND GRAVEL MIXTURE OR CRUSHED ROCK
 - WELL GRADED FROM COARSE TO FINE WITH LESS THAN 10% BY WEIGHT OF THE MINUS 3/4" FRACTION PASSING THE NO.200 SEIVE.
 - FREE OF ORGANICS, RUBBISH, CLAY BALLS OR ROCKS LARGER THAN 4"
- PLACE STRUCTURAL FILL IN LOOSE LIFTS, MAXIMUM OF 8" IN THICKNESS
- COMPACT STRUCTURAL FILL TO A MINIMUM DENSITY OF 95% OF MAXIMUM DRY DENSITY, AS DETERMINED BY ASTM D 1557
- VERIFY ADEQUACY OF STRUCTURAL FILL COMPACTION WITH RANDOM FIELD DENSITY TESTS.

FOUNDATIONS

- FOUNDATION SIZES BASED ON ALLOWABLE SOIL BEARING PRESSURE OF 1,500 PSF (DEAD + LIVE) WITH AN ALLOWABLE ONE-THIRD INCREASE FOR WIND AND SEISMIC.
- PLACE FOOTINGS ON FIRM, UNDISTURBED NATIVE SOIL OR ON STRUCTURAL FILL (SEE "STRUCTURAL FILL" NOTES FOR ADDITIONAL INFORMATION)
- LOCATE BOTTOM OF FOOTINGS A MINIMUM OF 1' - 6" BELOW FINISH GRADE.
- PRIOR TO PLACEMENT OF CONCRETE, REMOVE ALL DISTURBED SOIL FROM FOOTING EXCAVATION.

CONCRETE REINFORCING STEEL

- REINFORCING STEEL SHALL BE ASTM A 615, GRADE 60.
- MINIMUM COVER FROM CONCRETE SURFACE TO REINFORCING SHALL BE AS FOLLOWS:
 - 3" TO BOTTOM OF FOOTING
 - 1 1/2" WALL REINFORCING TO SURFACES EXPOSED TO EARTH OR WEATHER
 - 2" TO MAIN STEEL BEAMS AND COLUMNS

CAST IN-PLACE CONCRETE

- CONCRETE MIX DESIGN - UNLESS NOTED OTHERWISE, ALL CONCRETE STRENGTHS SHALL BE:
 - 2,500 PSI FOR FOOTINGS
 - 3,000 PSI ALL OTHER CONCRETE
 - 4,000 PSI FOR INTERIOR SLABS ON-GRADE

FRAMING LUMBER

- LUMBER SPECIES: DOUGLAS FIR-LARCH (HEMLOCK-FIR FOR PRESSURE TREATED MATERIAL), GRADE LUMBER ACCORDING TO RULES OF WEST COAST LUMBER INSPECTION BUREAU (WCLIB).
- LUMBER GRADE SHALL BE #2 UNLESS NOTED OTHERWISE

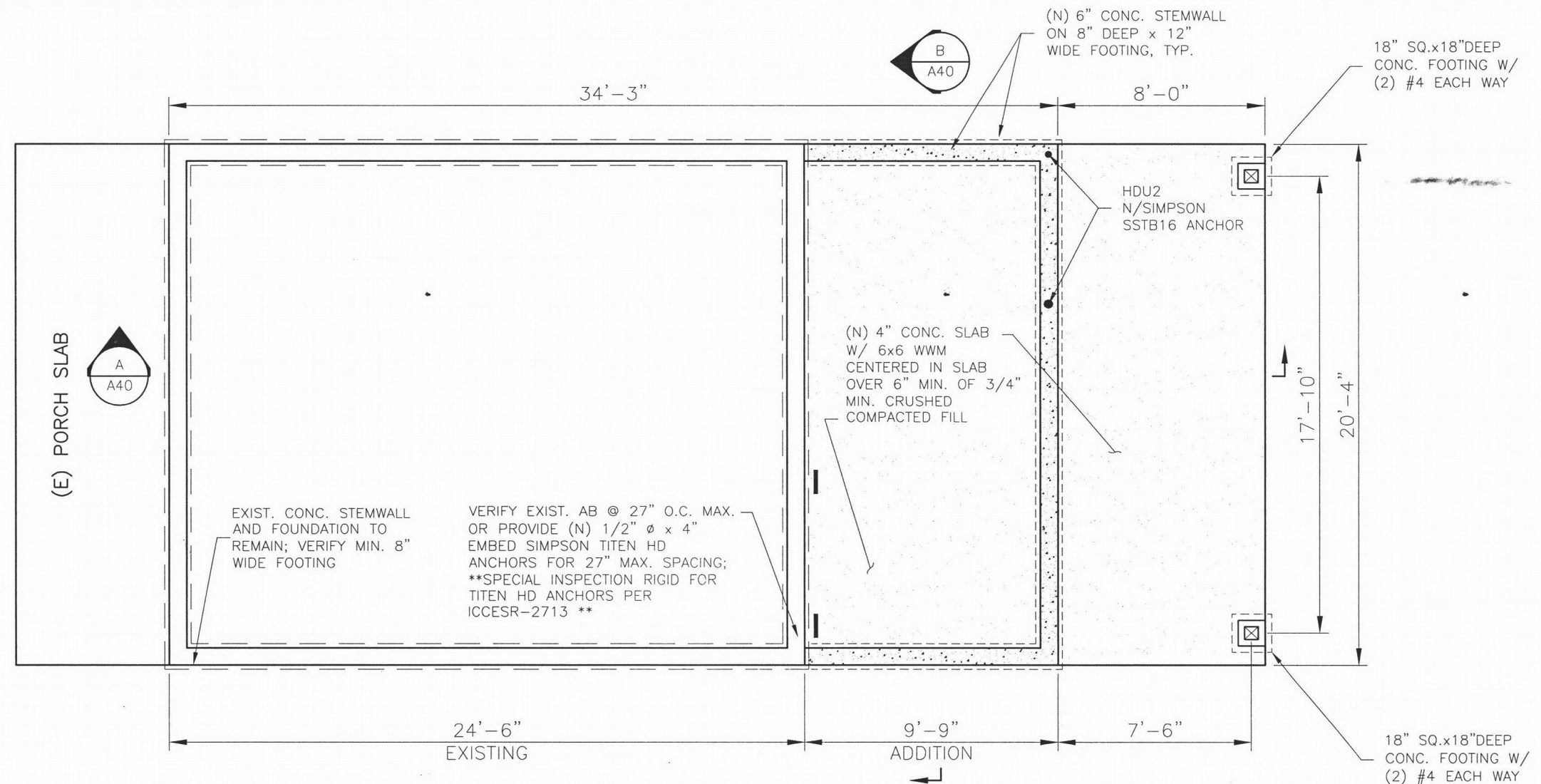
PLYWOOD SHEATHING

- PLYWOOD MATERIAL:
 - GRADE: C-D, UNLESS NOTED OTHERWISE.
 - MANUFACTURED WITH EXTERIOR GLUE ACCORDING TO UNITED STATES PRODUCT STANDARD PS 1-96.
 - SHALL BEAR THE AMERICAN PLYWOOD ASSOCIATION (APA) TRADEMARK.
- NAILS IN CONTACT WITH PRESSURE-TREATED LUMBER SHALL BE STAINLESS STEEL.

3. SUBSTITUTION OF ORIENTED STRAND BOARD (OSB) FOR PLYWOOD IS ACCEPTABLE IF THE OSB:
 - CONFORMS WITH APA PERFORMANCE STANDARDS FOR WOOD BASED STRUCTURAL PANELS PRP-105 AND UNITED STATES PRODUCT STANDARD PS 2-92.
 - IS MANUFACTURED WITH EXTERIOR GLUE.
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 - BEARS THE APA TRADEMARK.
4. SHEATHING TYPES:
 - FLOOR SHEATHING 3/4" INDEX 32/16
 - ROOF SHEATHING 1/2" INDEX 24/0
 - WALLS 1/2" INDEX 24/0
5. PLYWOOD LAYOUT AND INSTALLATION:
 - LAY OUT PLYWOOD SHEATHING WITH END JOINTS STAGGERED, UNLESS NOTED OTHERWISE.

GLUE LAMINATED MEMBERS

- MEMBER SPECIES: WESTERN
- MEMBER GRADE:
 - SIMPLE SPANS: 24F-V4.
 - CONTINUOUS OR CANTILEVERED SPANS: 24F-V8.



FOUNDATION PLAN

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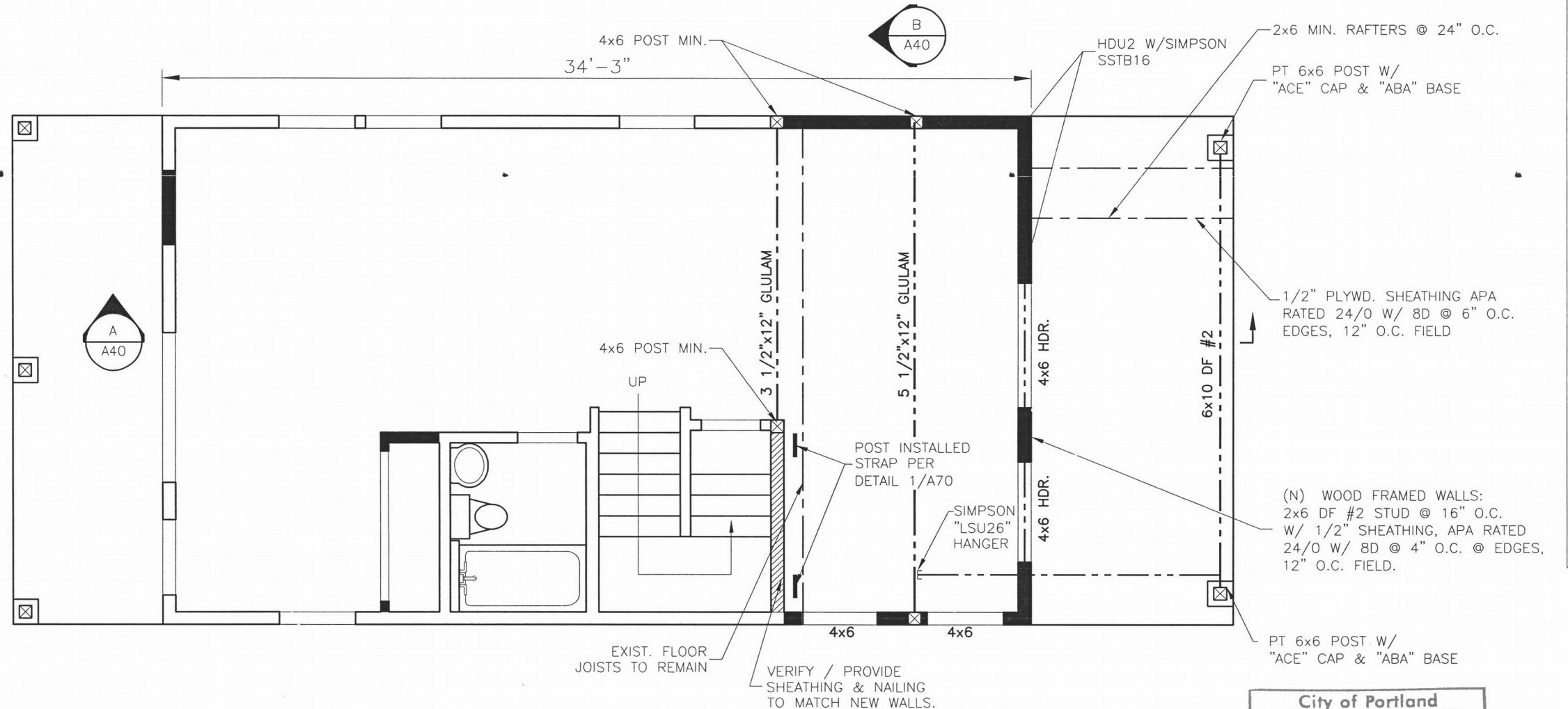
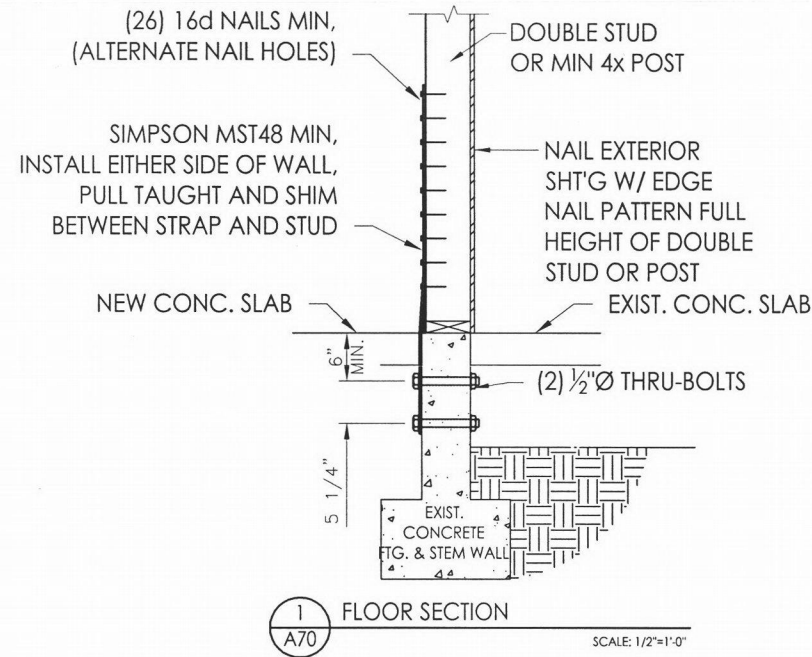
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FRAMING PLAN
DENOTES NEW WALL

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 PROJECT NO. 1708
 DS.22.17
 DESIGNED BY: VICTOR VALLE
 "LOOMIS RESIDENCE"
 4550 NE SHAVER ST, PORTLAND OR 97213
 FRAMING PLAN
 SC: 3/16" = 1'
 A70