

City of Portland, Oregon - Bureau of Development Services



1900 SW Fourth Avenue Portland, Oregon 97201 | 503-823-7300 | www.portlandoregon.gov/bds

Permit Revision Submittal Requirements and Application

A Permit Revision is required when there are proposed changes to the project after the permit has been issued. This may arise due to discrepancies between the city-approved permit drawings and actual field conditions, or the customer has changed their mind about an aspect of the project. In all cases, a revision to the existing permit must be submitted, reviewed and approved.

One (1) copy of the original city approved permit			
drawings. (NOTE: If your project has an assigned process manager please contact them regarding submittal of the revision). Two (2) sets of calculations, if applicable Inspector's correction notice, if revision is due to an inspection correction Revision fee (paid at time of submittal)			
4N			
Steszyn @comcast.a			
Issued permit # 16 - 244444 R5			
Lison Portland OR 97214			
th of upper level by			

Fees:

The Permit Revisions are subject to fees associated with plan review, processing and any increase in project value. Additional fees may apply if adding plumbing fixtures.

The Bureau of Development Services fee schedule is available under the fees tab on the BDS web site at: www.portlandoregon.gov/bds. Fees are updated annually on July 1st.

Helpful Information:

Bureau of Development Services

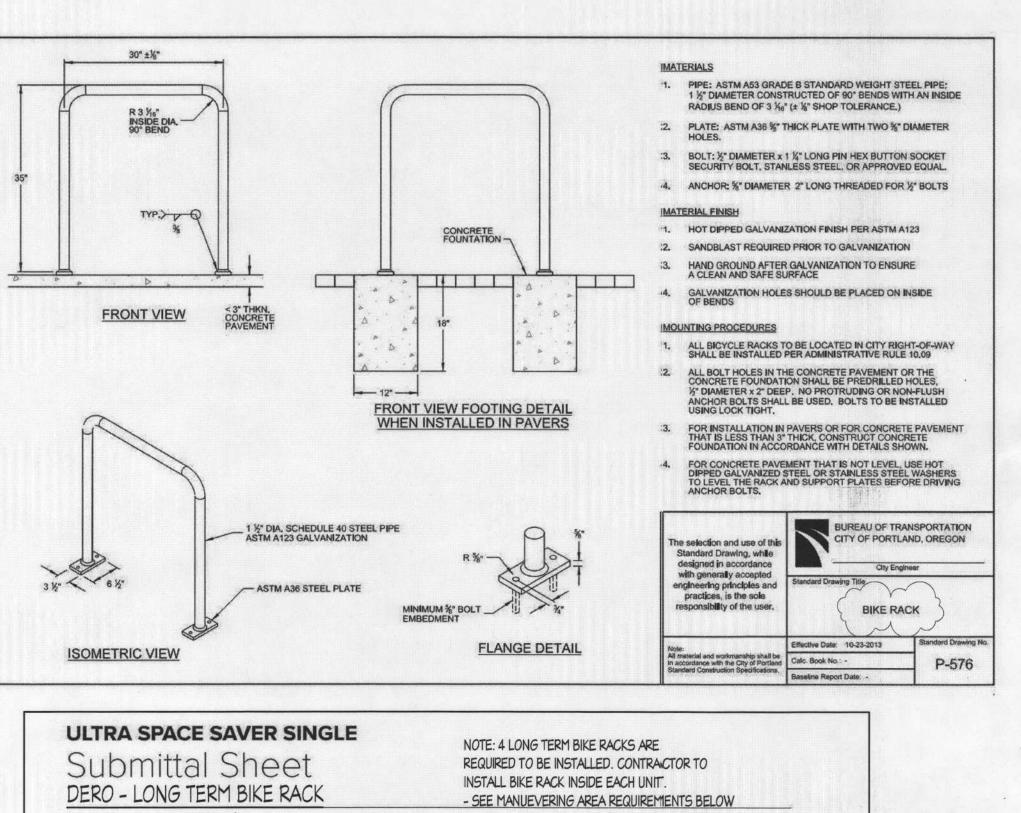
City of Portland, Oregon 1900 SW 4th Avenue, Portland, OR 97201 www.portlandoregon.gov/bds

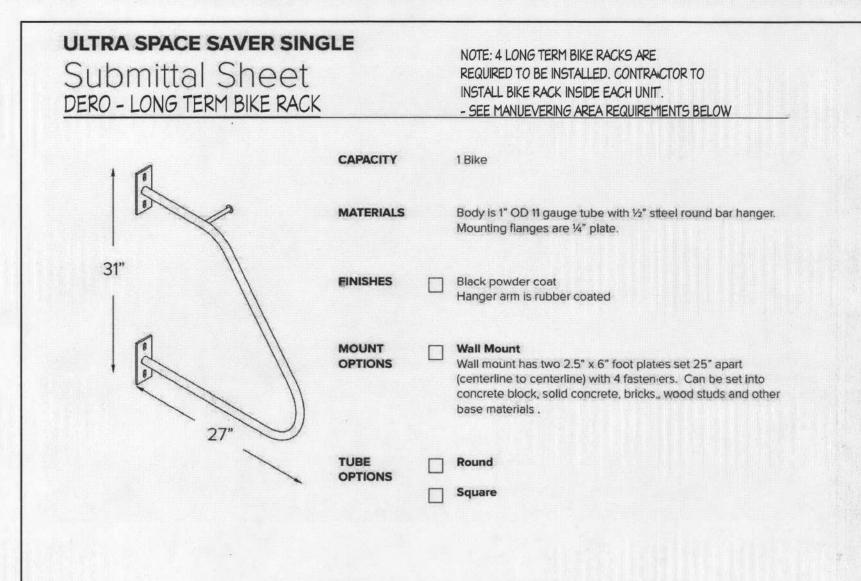
Submit your plans in person to:

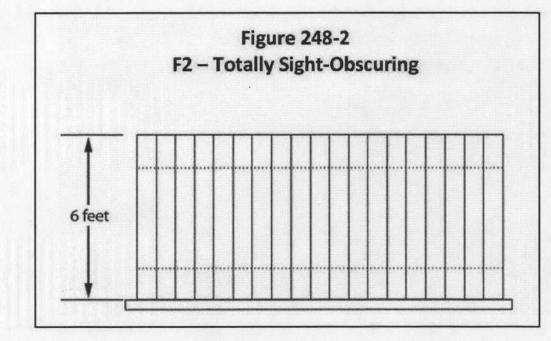
Development Services Center (DSC), First Floor, For Hours Call 503-823-7310 | Select option 1

Important Telephone Numbers:

BDS main number	503-823-7300
DSC automated information line	503-823-7310
Building code information	503-823-1456
BDS 24 hour inspection request	line503-823-7000
Residential information for	
one and two family dwelling	503-823-7388
General Permit Processing and	
Fee Estimate info	503-823-7357
City of Portland TTY	503-823-6868

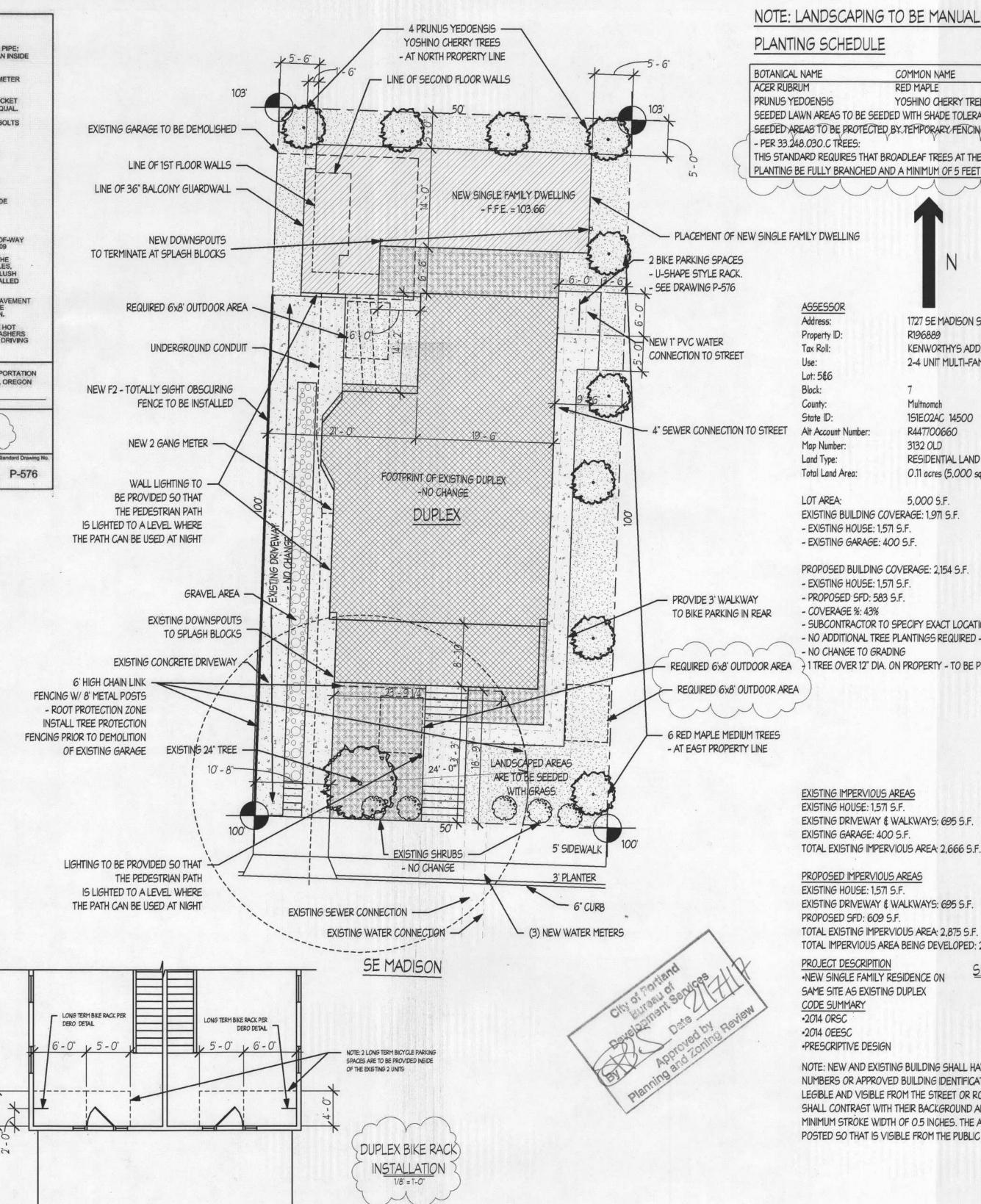






BIKE PARKING REQUIREMENTS

Standards for all bijcycle parking found in Title 33, Planning and Zoning, 33.26i6.220.C.3 are as follows: The bicycle frame and one wheel can be locked to the rack with a high security, U-shaped shackle lock even if both wheels are left on the bicycle; An area of 2 feet by 6 feet must be provided for each bicycle parking space in order that a bicycle six feet long can be securely helld in place with its frame supported by the rack. The bicycile should not be able to be pushed over or fall in a manner that will damage its wheels or The rack must be securely anchored.



NOTE: LANDSCAPING TO BE MANUALLY IRRIGATED

PLANTING SCHEDULE

BOTANICAL NAME	COMMON NAME	QTY.	SIZE	
ACER RUBRUM	RED MAPLE		6	1.5" CAL.
PRUNUS YEDOENSIS	YOSHINO CHERRY TREES		4	1.5" CAL.
SEEDED LAWN AREAS TO BE	SEEDED WITH SHADE TOLERANT	LAWN M	IXTURE.	
SEEDED AREAS TO BE PROT	ECTED BY TEMPORARY FENCING U	NTIL EST	ABLISHE	D.
- PER 33.248.030.C TREES:	Y		5	
THIS STANDARD REQUIRES T	HAT BROADLEAF TREES AT THE TIN	1E OF	1	
PLANTING BE FULLY BRANCH	IED AND A MINIMUM OF 5 FEET IN	HEIGHT.)	
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1727 SE MADISON ST, PORTLAND, OR 97214 Address: Property ID: R196889 Tax Roll: KENWORTHYS ADD, BLOCK 7, W 1/2 OF LOT 5&6 2-4 UNIT MULTI-FAMILY

County: Multnomah 151E02AC 14500

R447700660 Alt Account Number: 3132 OLD Map Number: Land Type: RESIDENTIAL LAND Total Land Area: 0.11 acres (5,000 sq ff)

LOT AREA: 5,000 S.F. EXISTING BUILDING COVERAGE: 1,971 S.F. - EXISTING HOUSE: 1,571 S.F. - EXISTING GARAGE: 400 S.F.

PROPOSED BUILDING COVERAGE: 2,154 S.F.

- EXISTING HOUSE: 1,571 S.F. - PROPOSED SFD: 583 S.F.

- COVERAGE %: 43% - SUBCONTRACTOR TO SPECIFY EXACT LOCATIONS OF UTILITY STUBS NO ADDITIONAL TREE PLANTINGS REQUIRED - <\$153,000 VALUATION

- NO CHANGE TO GRADING

1 TREE OVER 12" DIA. ON PROPERTY - TO BE PROTECTED

EXISTING IMPERVIOUS AREAS

EXISTING HOUSE: 1,571 S.F. EXISTING DRIVEWAY & WALKWAYS: 695 S.F. EXISTING GARAGE: 400 S.F.

PROPOSED IMPERVIOUS AREAS EXISTING HOUSE: 1,571 S.F.

EXISTING DRIVEWAY & WALKWAYS: 695 S.F. PROPOSED SFD: 609 S.F.

TOTAL EXISTING IMPERVIOUS AREA: 2,875 S.F. TOTAL IMPERVIOUS AREA BEING DEVELOPED: 209 S.F.

PROJECT DESCRIPITION •NEW SINGLE FAMILY RESIDENCE ON SAME SITE AS EXISTING DUPLEX CODE SUMMARY •2014 ORSC -2014 OEESC •PRESCRIPTIVE DESIGN

FEB 1 7 2017

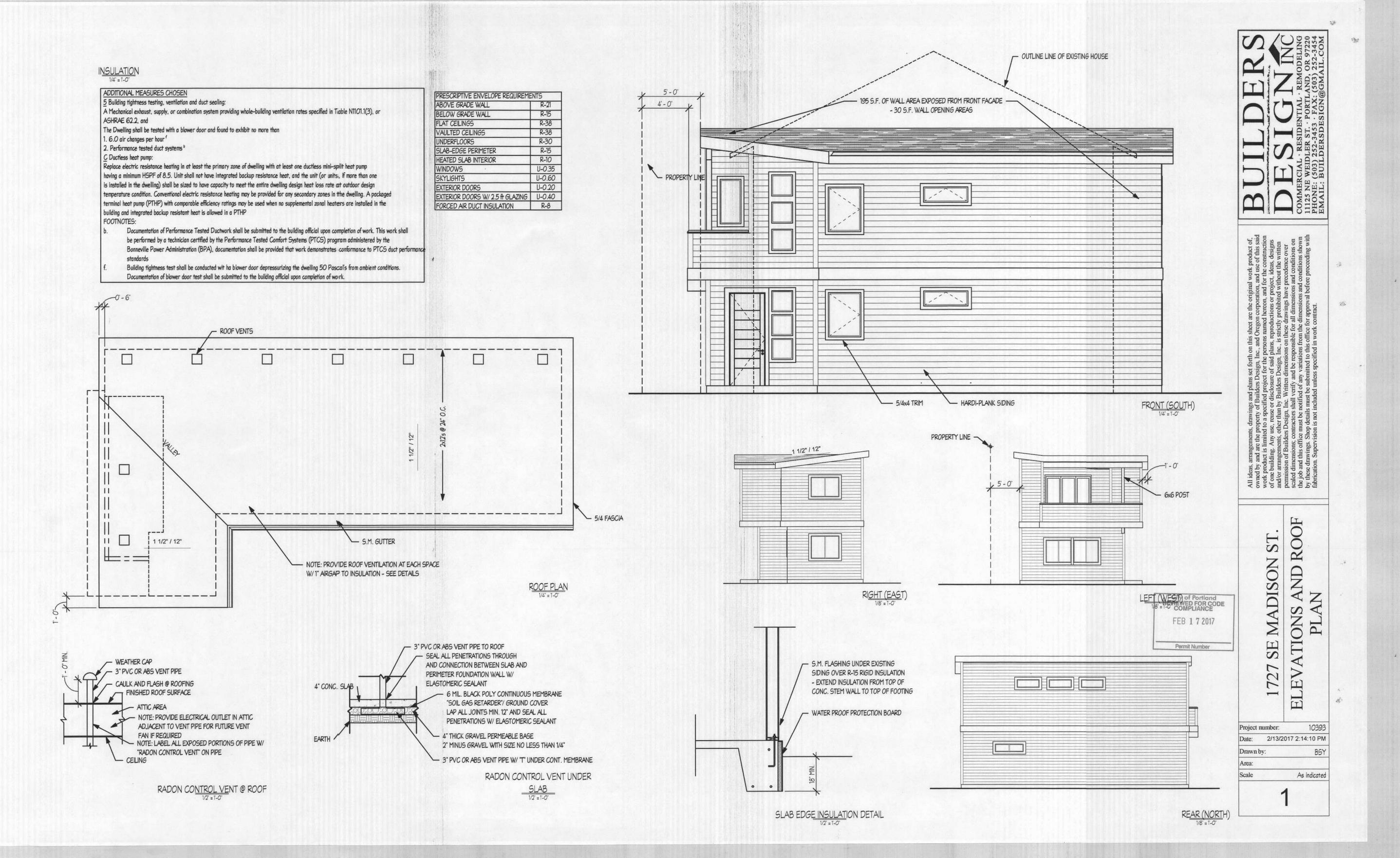
Permit Number

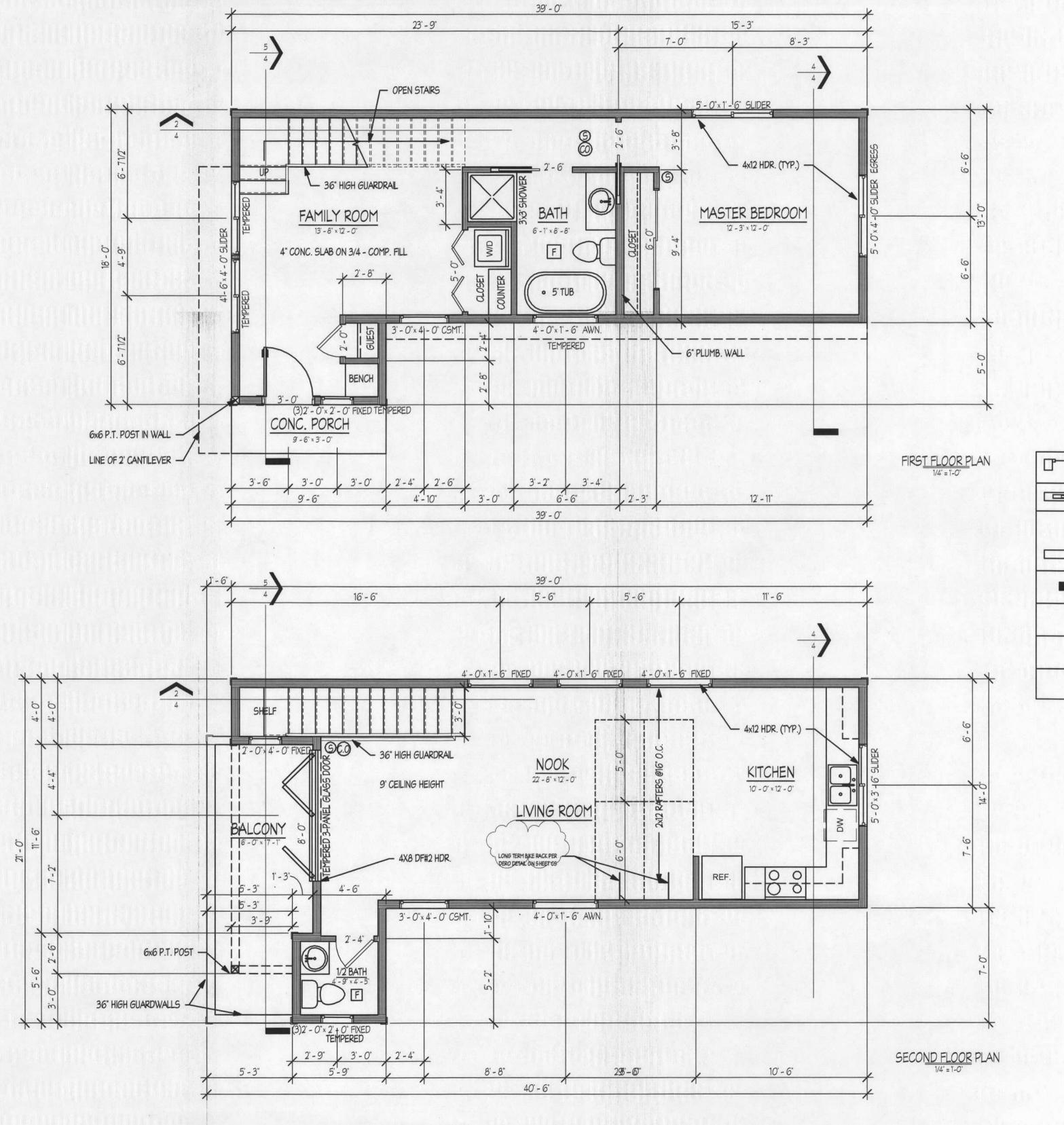
NOTE: NEW AND EXISTING BUILDING SHALL HAVE APPROVED ADDRESS NUMBERS, BUILDING Project number: NUMBERS OR APPROVED BUILDING IDENTIFICATION PLACED IN A POSITION THAT IS PLAINLY LEGIBLE AND VISIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY. THESE NUMBERS Date: 2/13/2017 2:14:14 PM SHALL CONTRAST WITH THEIR BACKGROUND AND BE A MINIMUM OF 4 INCHES HIGH WITH A MINIMUM STROKE WIDTH OF 0.5 INCHES. THE ADDRESS FOR THE ADU SHALL BE CLEARLY POSTED SO THAT IS VISIBLE FROM THE PUBLIC STREET.

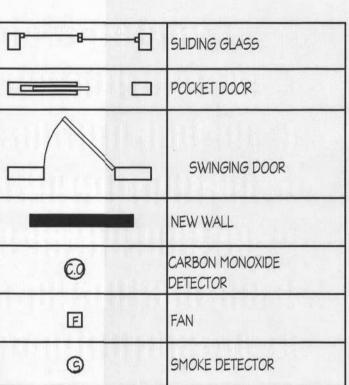
SE MADIS PI SITE 2

As indicated

CS









City of Portland
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COMPLIANCE
FEB 1 7 2017

Permit Number

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Project number: 10393

Date: 2/13/2017 2:14:11 PM

Drawn by: BSY

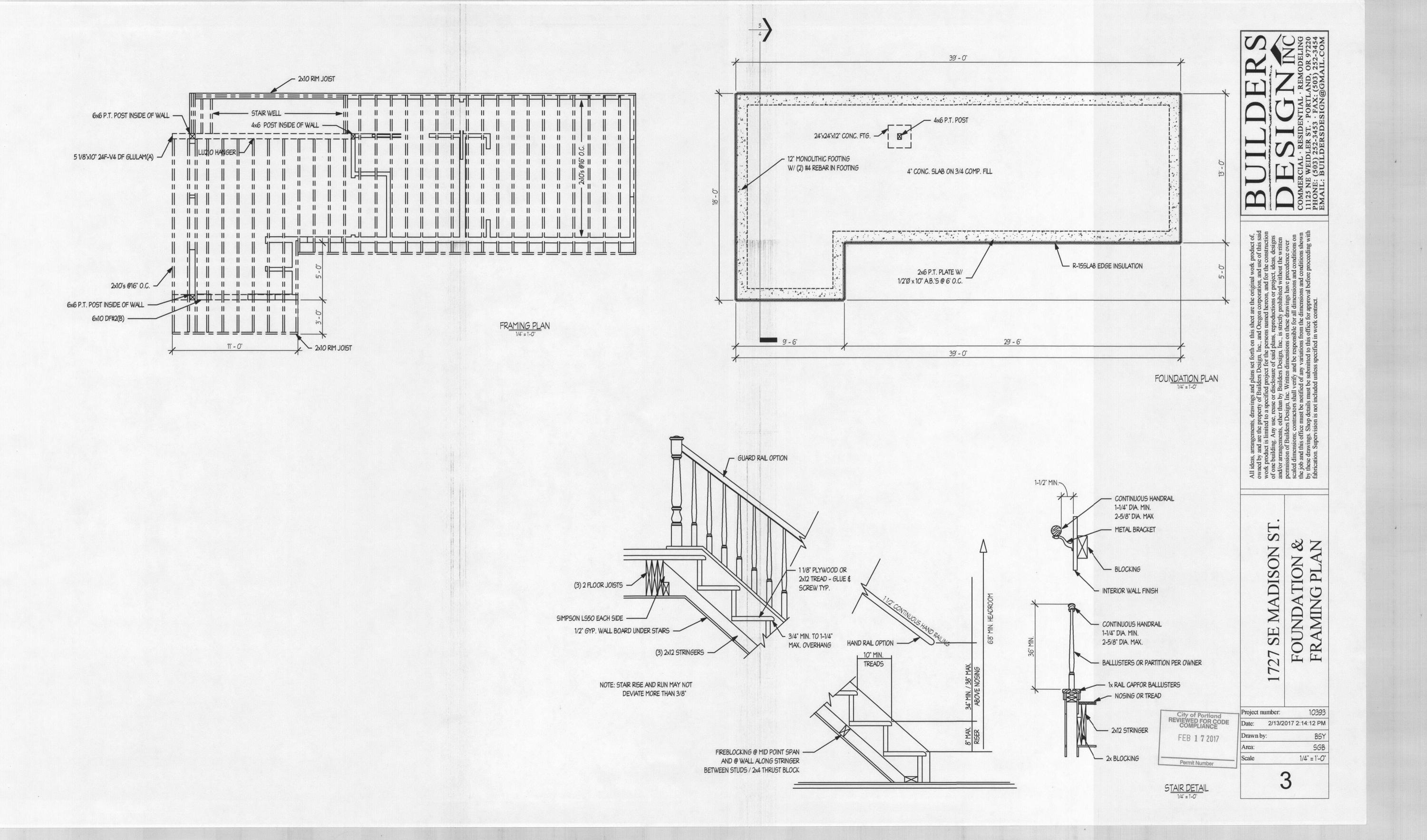
Area: 1,059.35

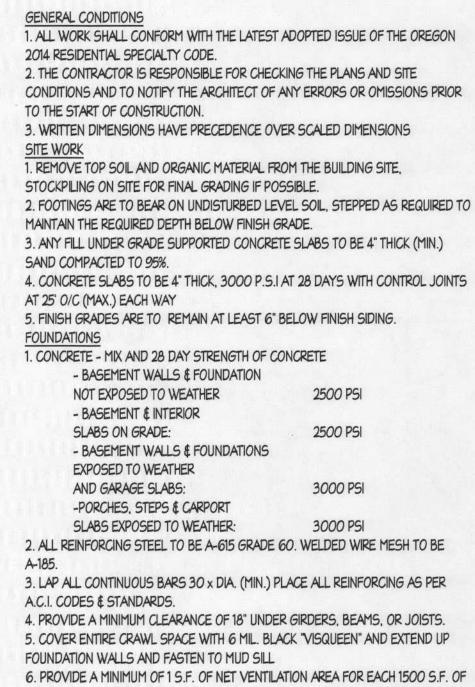
Scale 1/4" = 1'-0"

1727 SE MADISON ST.

AN

1st FLOOR PL





CRAWL SPACE AREA. VENTS ARE TO BE CLOSABLE AND HAVE 1/4" OPENINGS IN

8. BEAM POCKETS IN CONCRETE WALLS TO HAVE 1/2" AIR SPACE AT SIDES AND

9. MUD SILLS TO BE 2x6 PRESSURE TREATED WOOD WITH 1/2" DIA. x 10" ANCHOR

CORNERS. LAYOUT FOR 14' LONG 2x6 P.T. SILL PLATE, PROVIDE AB. EACH SIDE OF

BOLTS SPACED 6'-0" O/C, OR PER SHEAR WALL SCHEDULE AND WITHIN 12" OF

10. PROVIDE 4" DIA. PERFORATED DRAIN TILE BELOW THE TOP OF FOOTINGS.

CORROSIVE RESISTANT SCREEN. POST NOTICE ABOUT OPENING VENTS NEAR

7. ALL WOOD IN CONTACT WITH CONCRETE TO BE PRESSURE TREATED.

ELECTRICAL PANEL.

SILL SPLICES.

ENDS AND 3" OF BEARING (MIN.)

NAILING SCHEDULE: JOIST TO SILL OF GIRDER: TOE NAIL BRIDGE TO JOIST (2) 8d TOE NAIL **BOTTOM PLATE TO JOIST** 16d@16" O.C. FACE NAIL PLYWOOD SUBFLOOR 84@6" EDGE NAIL 8d @ 12" INTERIOR END NAIL TOP PLATE TO JOIST (2)16dSTUD TO BOTTOM PLATE (4)8d TOE OR END NAIL DOUBLE STUDS 16d@ 16" O.C FACE NAIL DOUBLE TOP PLATE 16d@ 16" O.C. FACE NAIL CONTINUOUS HEADER (2 PC) 16d@ 16" O.C. EDGE NAIL CEILING JOIST TO PLATE (3) 8d FACE NAIL (3) 16d FACE NAIL CEILING JOIST LAP OVER PLATE CEILING JOIST TO RAFTER (3)16dFACE NAIL RAFTER TO TOP PLATE (3) 8d TOE NAIL (6) 10d (U.N.O.) FACE NAIL COLLAR TIES (EACH END) BUILD UP CORNER STUDS 16d @ 24" O.C. FACE NAIL TOP PLATE AT INTERSECTIONS FACE NAIL (2) 16d MULTIPLE LVL'S (2 PLIES) 2 ROWS - 16d @ 12" O.C. STAGGERED MULTIPLE LVL'S (3 PLIES) STAGGERED 2 ROWS - 16d @ 12" O.C. MULTIPLE JOISTS (UP TO 3) 2 ROWS - 16d @ 12" O.C. STAGGERED 1x6 SPACED SHEATHING FACE NAIL RAFTERS TO HIPS, VALLEY OR RIDGE (4) 16d HEALTH AND SAFETY: All new smake and CO alarms shall be hardwired with battery backup and interconnected within the dwelling unit Smoke alarms shall be located within each sleeping room, immediately outside of each sleeping room, and on each level of the dwelling. CO alarms shall be located within 15' outside off each bedroom door. All alarms shall be cross listed for interconnecttion. All Smoke Alarms shall be listed in accordance: with UL 217. Combination Smoke / Carbon monoxide alarms shall be listed as complying with UL 2034 and UL 217. Combination Smoke / Carbon monoxide alarms shall be listed as complying with ANSI/UL 2075 and ANSI/UL FANS AND SMOKE DETECTORS

A MINIMUM 6 MIL. POLY OR EQUIV. FLEXIBLE SHEETING MATERIAL SHALL BE

PLACED ON TOP OF THE GAS-PERMEABILE LAYER PRIOR TO CASTING THE SLAB.

THE SHEETING SHALL COVER THE ENTIRE FLOOR AREA WITH SEPARATE SHEETING

LAPPED AT LEAST 12". THE SHEETING SIHALL FIT CLOSELY AROUND ANY PENETRATION OF THE MAT.

1. WOOD FRAMING MEMBER GRADES ARE AS FOLLOWS UNLESS, OTHERWISE NOTED ON THE DRAWINGS: A. POSTS, BEAMS, HEADERS, JOISTS AND RAFTERS - NO. 1 DOUG FIR OR LVL'S - 2650 FB & 1.8E B. PLATES, BLOCKING AND BRIDGING -C. STUDS -D. T&G DECKING -E. PLY. SHEATHING -F. GLU-LAM -2. UNLESS OTHERWISE NOTED ON DRAWINGS, ALL EXTERIOR WINDOW AND DOOR HEADERS ARE TO BE 4x12 DOUG FIR No. 1 3. PROVIDE DOUBLE JOISTS UNDER ALL BEARING PARTITIONS. 4. DESIGN LOADS 5. SOIL BEARING PRESSURE IS ASSUMED TO BE 1500 P.S.F 6. NAILING SCHEDULE AS PER TABLE 25-Q, U.B.C., TYPICAL PLYWOOD NAILING WITH 8d NAILS @ 6" O/C AT EDGES AND 12" O.C. FIELD. 7. DECK AND BALCONY GUARDRAILS TO BE 36" HIGH WITH MAXIMUM OPENING SPACES SO THAT A 4" SPHERE CAN NOT PASS THROUGH. 8. PROVIDE METAL TRUSS AND RAFTER TIE DOWNS SUCH AS A, "SIMPSON" H2.5 TO EACH RAFTER AT TOP 9. ALL EXTERIOR FASTENERS, EXPOSED TO THE ELEMENTS TO BE STAINLESS STEEL OR GALVANIZED. INCLUDING NAIL, STAPLES, CLIPS, ETC. GYPSUM BOARD FINISH 1. ERECT SINGLE LAYER 1/2" STANDARD, 5/8" F.R. AND 1/2" MOISTURE RESISTANT GYPSUM BOARD IN MOST ECONOMICAL DIRECTIONS, WITH ENDS OCCURRING OVER FIRM BACKING. ROOF COVERINGS ROOF COVERINGS ASPHALT SHINGLES SHALL BE USED ONLY ON ROOF SLOPES OR 2/12 OR GREATER. FOR ROOF SLOPES FROM 2/12 TO 4/12, DOUBLE UNDERLAYMENT APPLICATION IS REQUIRED. **ENTRY ROUTES:** FLOOR OPENINGS: FANS IN BATHING AREAS SHALL BE CONTROLLED BY TIMER. SMOKE DETECTORS SHALL BE 110V BATTERY BACKUP. RADON CONTROL NOTES: GAS PERMEABLE MATERIAL SHALL BE P'LACED UNDER ALL CONCRETE SLABS INCLUDING: 1. A UNIFORM OF CLEAN AGGRIEGATE, A MINIMUM OF 4" THICK. 2. A UNIFORM LAYER OF SAND) A MINIMUM OF 4" THICK. 3. OTHER MATERIALS, SYSTEMIS, OR FLOOR DESIGNS WITH DEMONSTRATED CAPABILITY TO PERMIT DEPIRESSURIZATION ACROSS THE ENTIRE SUB-FLOOR AREA SOIL GAS RETARDER:

OTHER OBJECTS THAT PENETRATE CONC. SLABS) SHALL BE SEALED WITH POLYURETHANE CAULK APPLIED ACCORDING TO MANU. SPEC'S. CONCRETE JOINTS: ALL JOINTS IN CONCRETE OR BETWEEN SLAB AND FOUNDATION WALL SHALL BE SEALED WITH CAULK OR SEALANT. GAPS AND JOINTS SHALL BE CLEARED OF LOOSE MATERIAL AND FILLED ACCORDING TO MANU. SPEC'S. CONDENSATE DRAINS: CONDENSATE DRAINS SHALL BE TRAPPED OR ROUTED THROUGH NON-PERFORATED PIPE TO DAYLIGHT SUMP PITS OPEN TO SOIL OR SERVING AS TERMINATION POINT FOR SUB-SLAB OR EXTERIOR DRAIN TILE LOOPS SHALL BE COVERED WITH GASKETED OR OTHERWISE SEALED LID. SUMPS USED AS THE SUCTION POINT IN A SUB-SLAB DEPRESSURIZATION SYSTEM SHALL HAVE A LID DESIGNED TO ACCOMMODATE THE VENT PIPE. SUMPS USED AS A FLOOR DRAIN SHALL HAVE A LID EQUIPPED WITH TRAPPED INLET

NO. 3 DOUG FIR

24-F V-4

POTENTIAL RADON ENTRY ROUTES (BATHTUBS, SHOWERS, PIPES, WIRES, OR

25 P.S.F. (LL)

40 P.S.F. (LL)

100 P.S.F. (LL)

40 P.S.F. (LL)

GARAGE FLOOR - 50 P.S.F. (LL)

:ROOF -

FLOOR -

STAIRS -

STUD GRADE DOUG FIR

CD DOUG FIR PLY. (32/16)

STUD & BETTER GRADE DOUG FIR

2x12 RAFTERS@24" O.C. ---2x8 CEILING JOISTS @24" O.C. -- 3' GUARD RAIL 3/4" EDGE-GOLD 5 1/8"x10 1/2" 24F-Y4 DF GLULAM - 2x12's @ 16" O.C (3) 2x12 STRINGERS 3/4" EDGE-GOLD TREADS 1/2"Ø x 10" A.B.'S @ 6' O.C. — - MAX 8" RISE/ MIN. 9" RUN 7.25" RISE / 9.5" RUN SHOWN 2x6 JOISTS @ 16" O.C. AT STAIR LANDINGS 4" CONC. SLAB ON 3/4- COMP. FILL R-15 INSULATION -12" MONOLITHIC FOOTING W/(2) #4 REBAR IN FOOTING City of Portland REVIEWED FOR CODE COMPLIANCE

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GENERAL I SECTIONS ANI

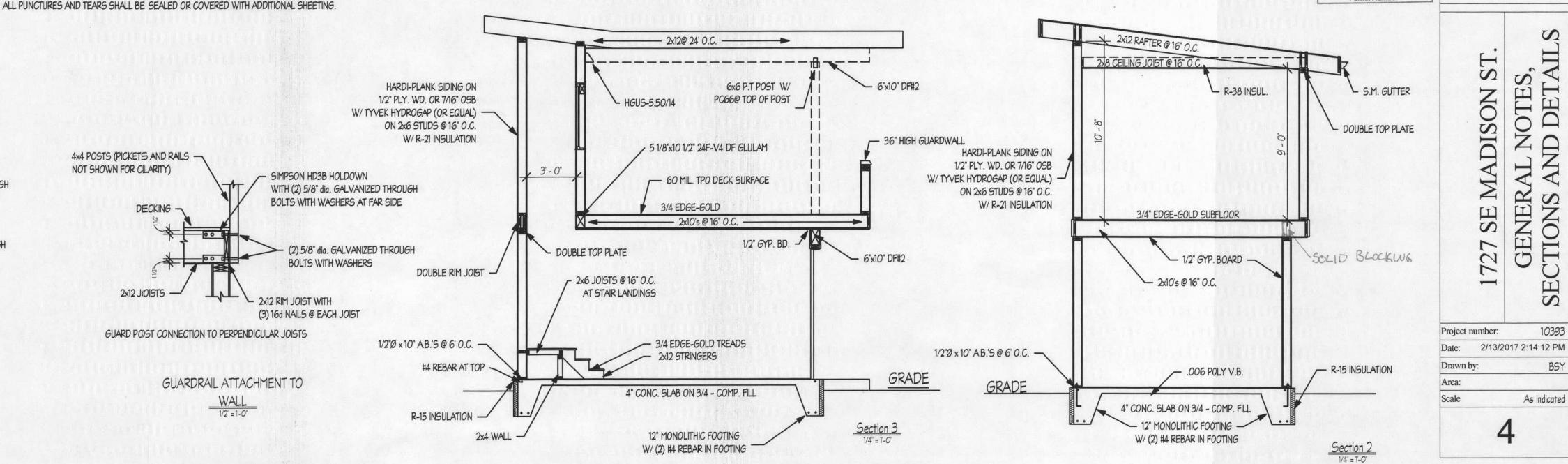
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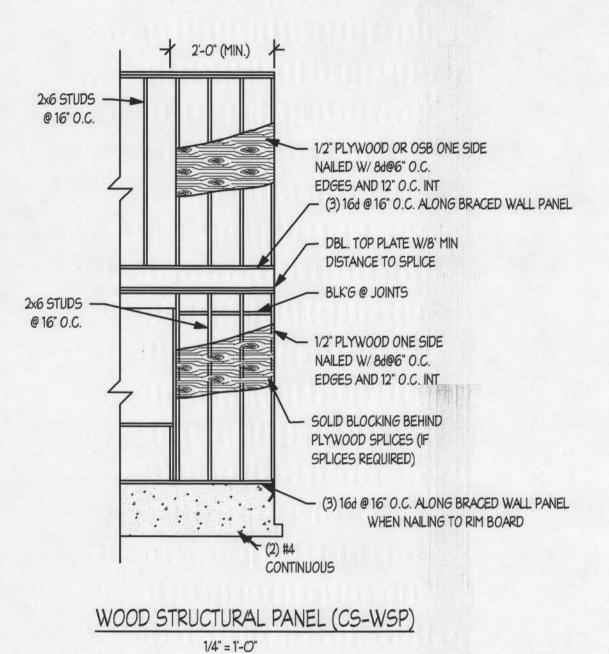
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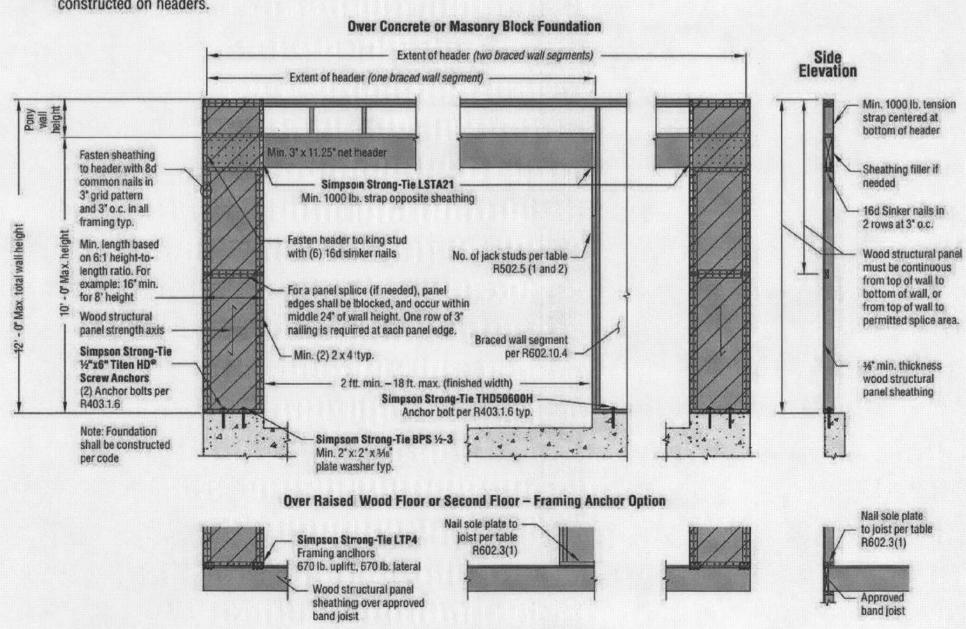
- 4x4 POSTS (PICKETS AND RAILS NOT SHOWN FOR CLARITY) SIMPSON HD3B HOLDOWN WITH (2) 5/8" dia. GALVANIZED THROUGH DECKING BOLTS WITH WASHERS AT FAR SIDE 2x12 JOIST -(2) 5/8" dia. GALVANIZED THROUGH **BOLTS WITH WASHERS** MANU. I-JOISTS 2x12 RIM JOIST WITH (3) 16d NAILS @ EACH JOIST 2x12 BLOCKING GUARD POST CONNECTION TO PARRALEL JOISTS W/ SIMPSON A34 FRAMING ANGLE EACH SIDE AT EACH END (4 TOTAL CONNECTORS)



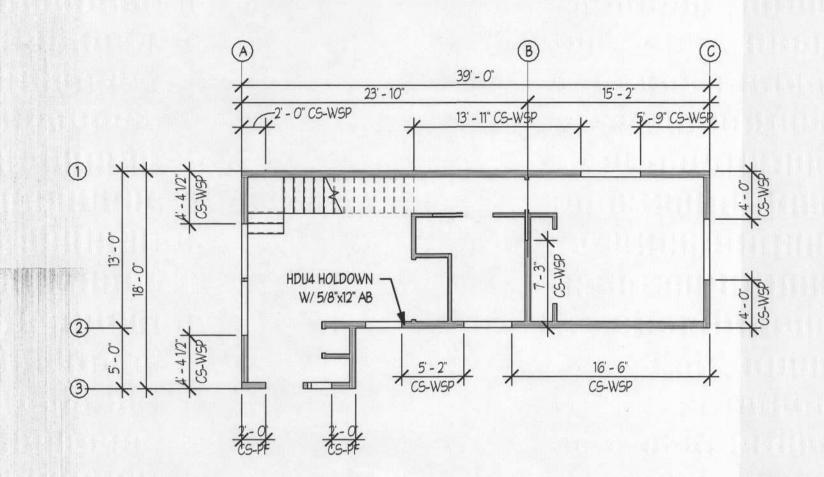


Method CS-PF: Continuous Portal Frame SECTION R602.10.4.1.1

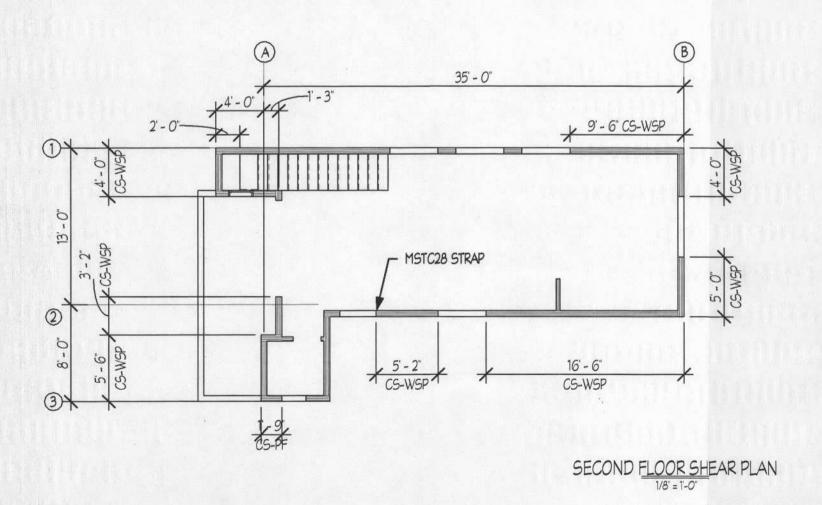
Refer to Table 3 (page 2) in conjunction with Talble B (page 5) for straps required due to pony walls constructed on headers.



Method CS-PF: Continuous Portal Frame Panel Construction



FIRST FLOOR SHEAR PLAN



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1727 SE MADISON ST. SHEAR BRACING DETAILS

 Project number:
 10393

 Date:
 2/13/2017 2:14:12 PM

 Drawn by:
 Author

 Area:
 Checker

 Scale
 As indicated