



City of Portland, Oregon - Bureau of Development Services

1900 SW Fourth Avenue • Portland, Oregon 97201 | 503-823-7300 | www.portlandoregon.gov/bds



Permit Revision Submittal Requirements and Application

A Permit Revision is required when there are proposed changes to the project after the permit has been issued. This may arise due to discrepancies between the city-approved permit drawings and actual field conditions, or the customer has changed their mind about an aspect of the project. In all cases, a revision to the existing permit must be submitted, reviewed and approved.

Applicants will provide:

☒ A copy of this application

☒ Three (3) sets of plans that clearly reflect the proposed change(s).

Drawings and calculations must be stamped and signed by the Architect and/or the Engineer of Record, if applicable.

☒ One (1) copy of the original city approved permit

drawings. (NOTE: If your project has an assigned process manager please contact them regarding submittal of the revision).

☐ Two (2) sets of calculations, if applicable

☐ Inspector's correction notice, if revision is due to an inspection correction

☐ Revision fee (paid at time of submittal)

Contact Information:

Contact name Elizabeth Steszyn

Address 404 SE 45th Ave

City Portland

State OR

Zip Code 97215

Phone 503-341-9226

Email steszyn@comcast.net

Value of proposed revision —

Issued permit # 16-24444 RS

Job site address 410 1727 SE Madison Portland OR 97214

Description of revision extending width of upper level by one foot.

Fees:

The Permit Revisions are subject to fees associated with plan review, processing and any increase in project value. Additional fees may apply if adding plumbing fixtures.

The Bureau of Development Services fee schedule is available under the fees tab on the BDS web site at: www.portlandoregon.gov/bds. Fees are updated annually on July 1st.

Helpful Information:

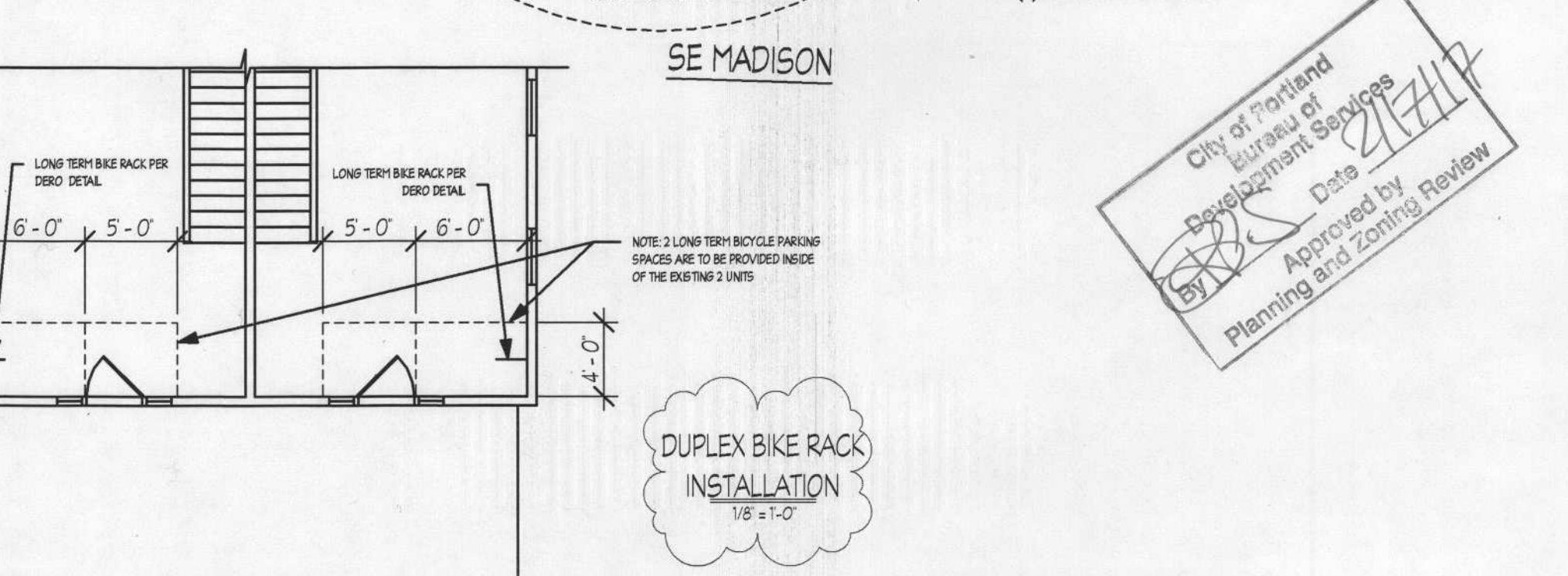
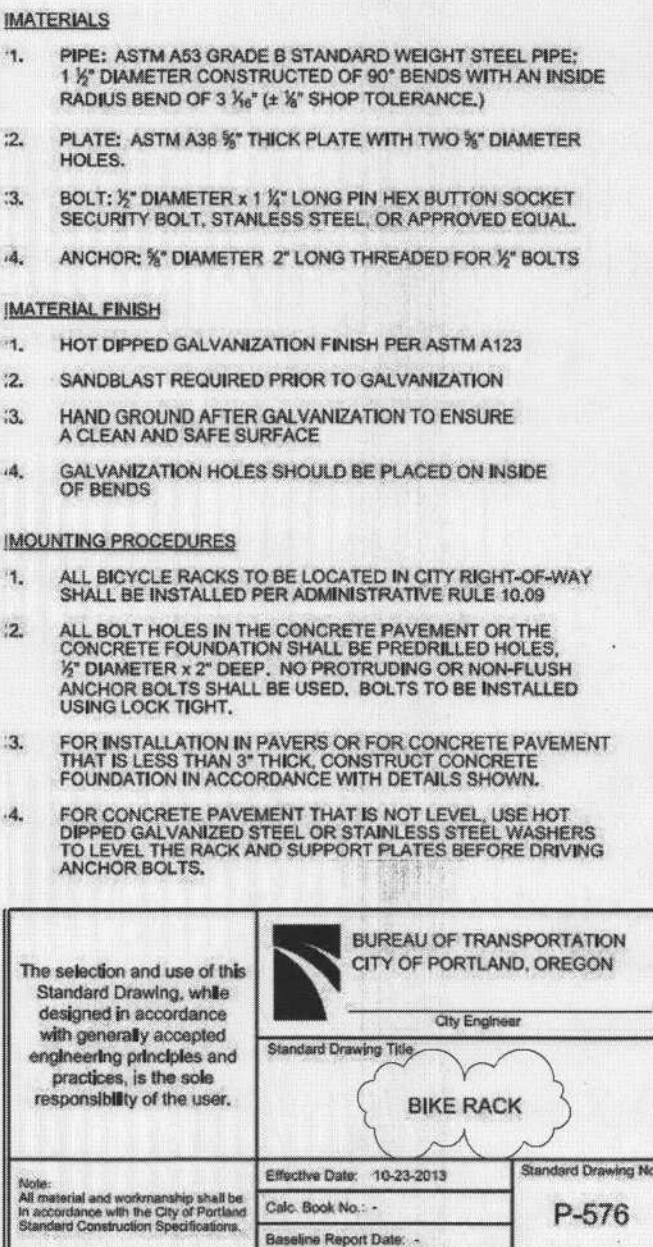
Bureau of Development Services
City of Portland, Oregon
1900 SW 4th Avenue, Portland, OR 97201
www.portlandoregon.gov/bds

Submit your plans in person to:

Development Services Center (DSC), First Floor,
For Hours Call 503-823-7310 | Select option 1

Important Telephone Numbers:

BDS main number 503-823-7300
DSC automated information line 503-823-7310
Building code information 503-823-1456
BDS 24 hour inspection request line 503-823-7000
Residential information for
one and two family dwelling 503-823-7388
General Permit Processing and
Fee Estimate info 503-823-7357
City of Portland TTY 503-823-6868



PLANTING SCHEDULE

<u>ASSESSOR</u>	
Address:	1727 SE MADISON ST, PORTLAND, OR 97214
Property ID:	R196889
Tax Roll:	KENWORTHYS ADD, BLOCK 7, W 1/2 OF LOT 566
Use:	2-4 UNIT MULTI-FAMILY
Lot: 566	
Block:	7
County:	Multnomch
State ID:	151E02AC 14500
Alt Account Number:	R447700660
Map Number:	3132 OLD
Land Type:	RESIDENTIAL LAND
Total Land Area:	0.11 acres (5,000 sq ft)
LOT AREA:	5,000 S.F.
EXISTING BUILDING COVERAGE:	1,971 S.F.
- EXISTING HOUSE:	1,571 S.F.
- EXISTING GARAGE:	400 S.F.

EXISTING IMPERVIOUS AREAS
EXISTING HOUSE: 1,571 S.F.
EXISTING DRIVEWAY & WALKWAYS: 695 S.F.
EXISTING GARAGE: 400 S.F.
TOTAL EXISTING IMPERVIOUS AREA: 2,666 S.F.

PROJECT DESCRIPTION
 •NEW SINGLE FAMILY RESIDENCE ON
 SAME SITE AS EXISTING DUPLEX
CODE SUMMARY
 •2014 ORSC
 •2014 OEESC
 •PRESCRIPTIVE DESIGN

SITE PLAN
 1" = 10'-0"

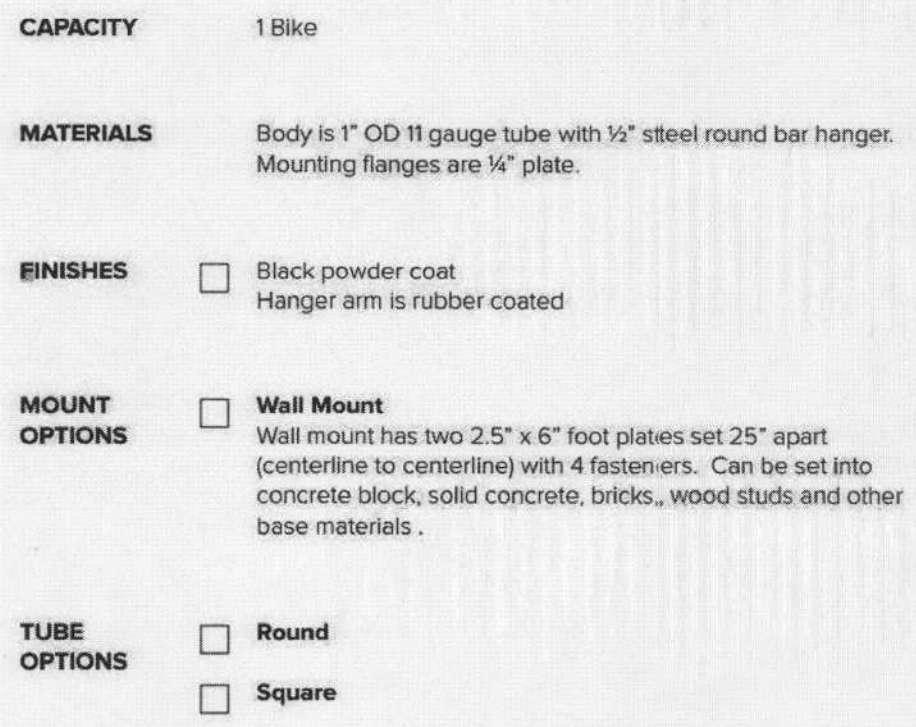
SITE PLAN
1" = 10'-0"

City of Portland
REVIEWED FOR CODE
COMPLIANCE
FEB 17 2017
Permit Number

1727 SE MADISON ST.
SITE PLAN

CS

NOTE: 4 LONG TERM BIKE RACKS ARE
REQUIRED TO BE INSTALLED. CONTRACTOR TO
INSTALL BIKE RACK INSIDE EACH UNIT.
- SEE MANUEVERING AREA REQUIREMENTS BELOW



A diagram showing a rectangular area divided into 12 equal vertical sections by 11 vertical lines. To the left of the rectangle, a vertical double-headed arrow indicates the height is 6 feet.

Standards for all bicycle parking found in Title 33, Planning and Zoning, §§ 2616.220, C.3 are as follows:

The bicycle frame and one wheel can be locked to the rack with a high security, U-shaped shackle lock even if both wheels are left on the bicycle;

An area of 2 feet by 6 feet must be provided for each bicycle parking space in order that a bicycle six feet long can be securely held in place with its frame supported by the rack. The bicycle should not be able to be pushed over or fall in a manner that will damage its wheels or components.

The rack must be securely anchored.

INSULATION

ADDITIONAL MEASURES CHOSEN

5 Building tightness testing, ventilation and duct sealing:

A Mechanical exhaust, supply, or combination system providing whole-building ventilation rates specified in Table N101.1(3), or ASHRAE 62.2, and

The Dwelling shall be tested with a blower door and found to exhibit no more than

1. 6.0 air changes per hour¹

2. Performance tested duct systems²

C Ductless heat pump:

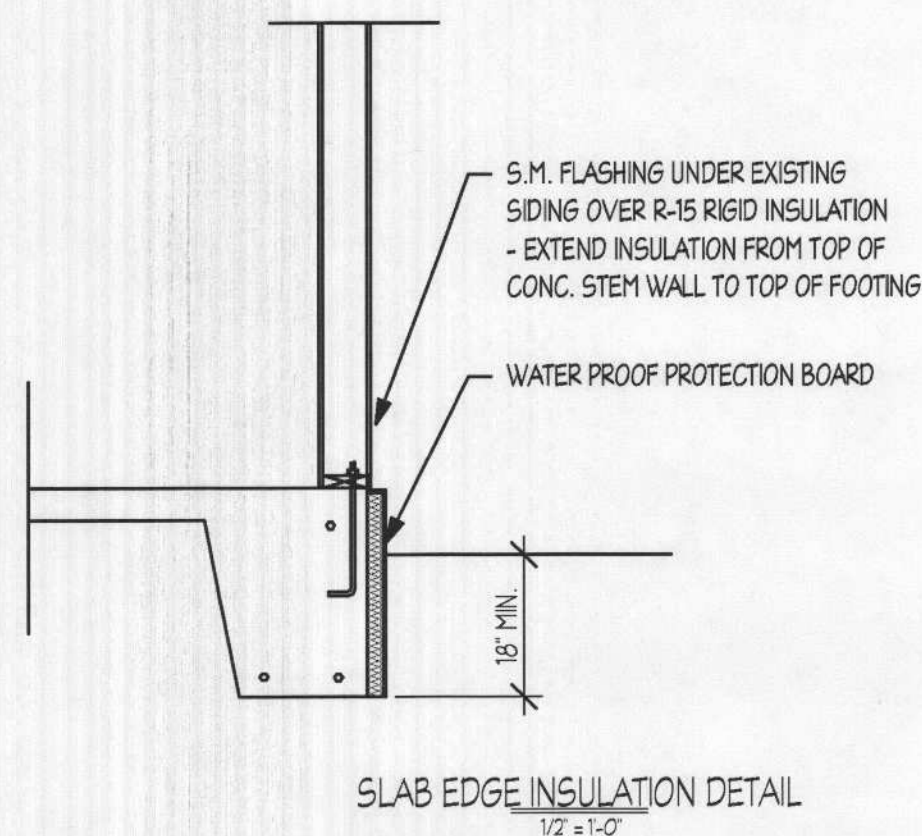
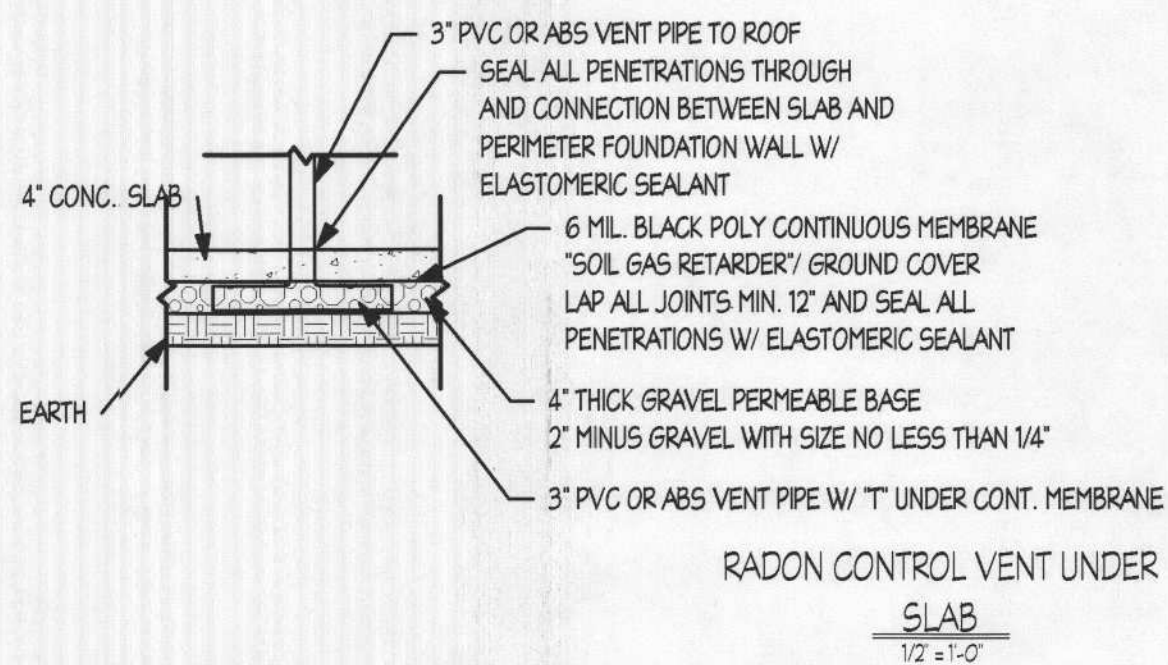
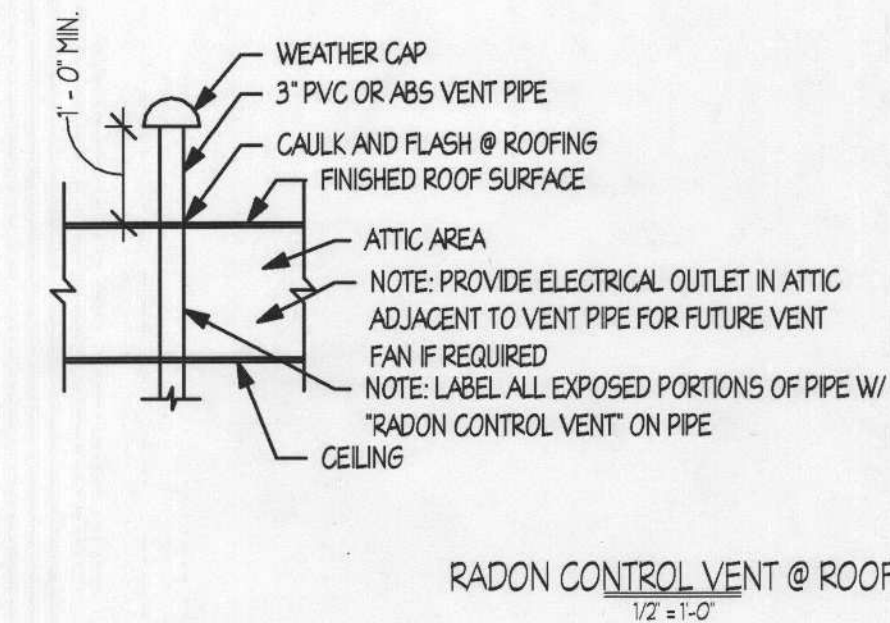
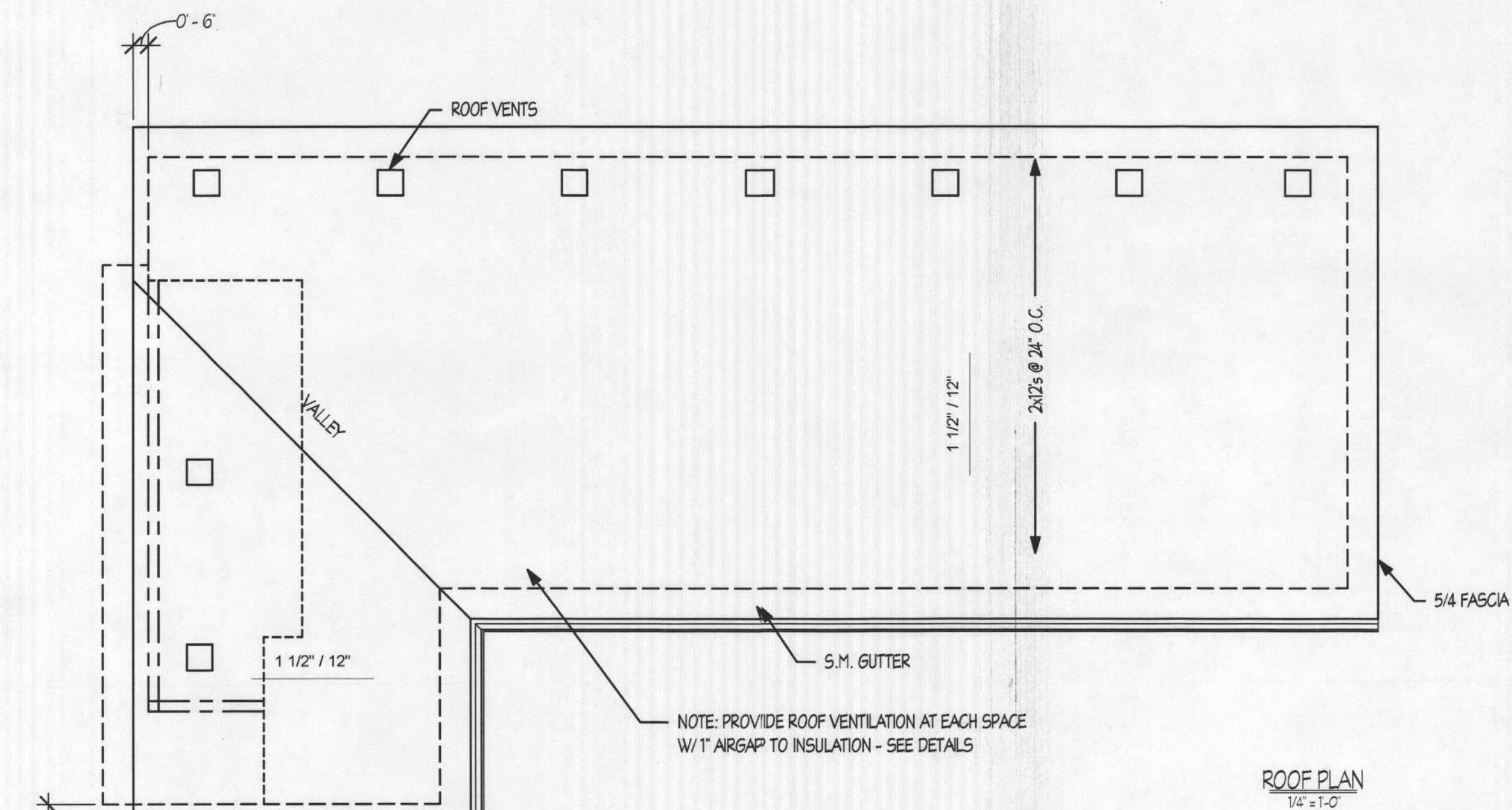
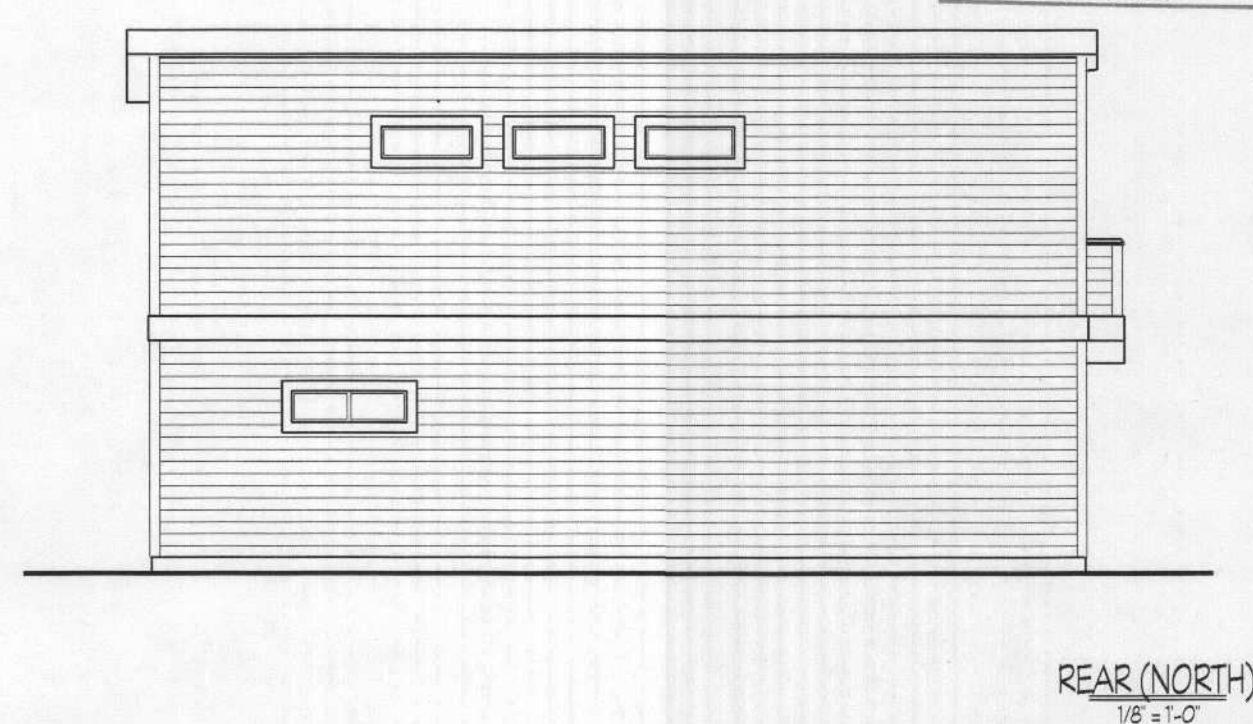
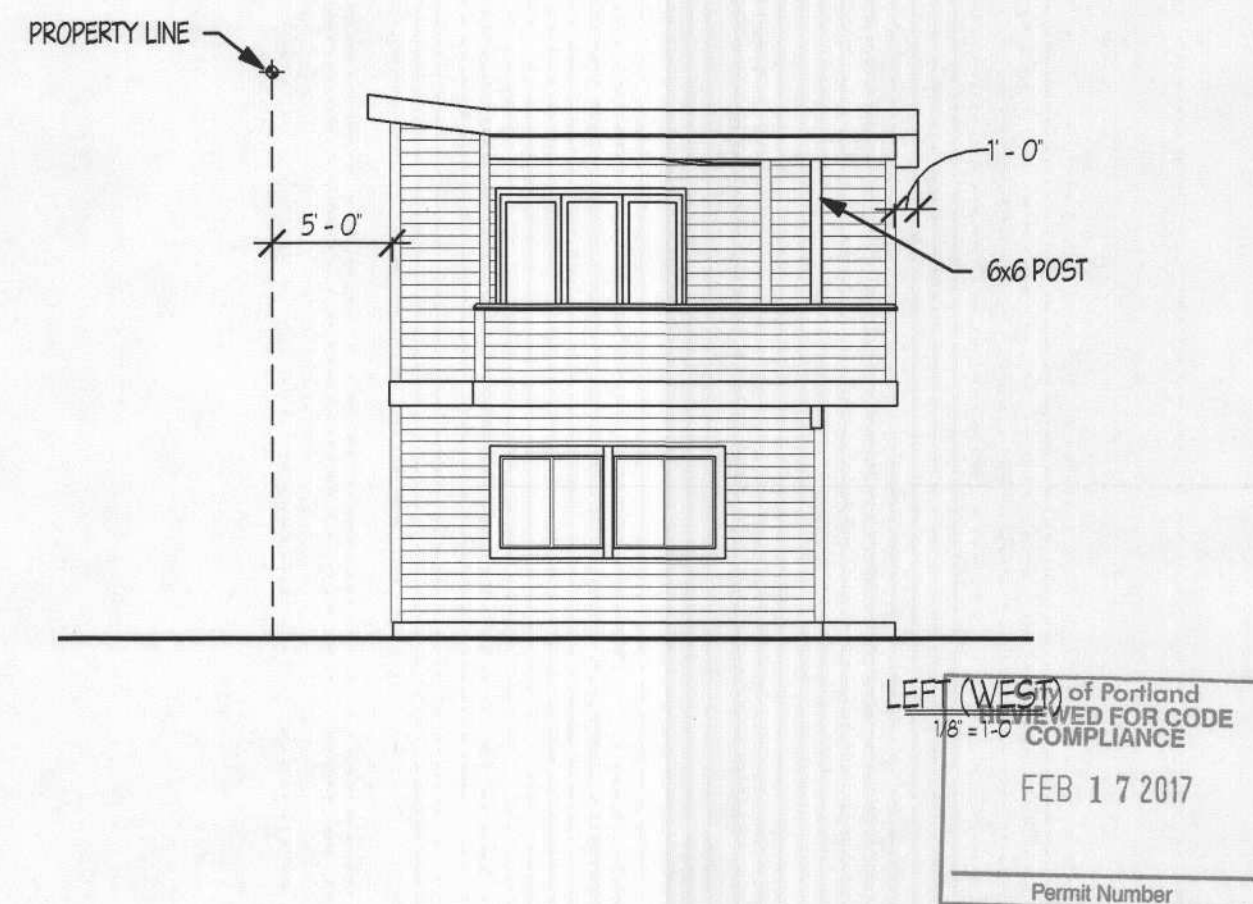
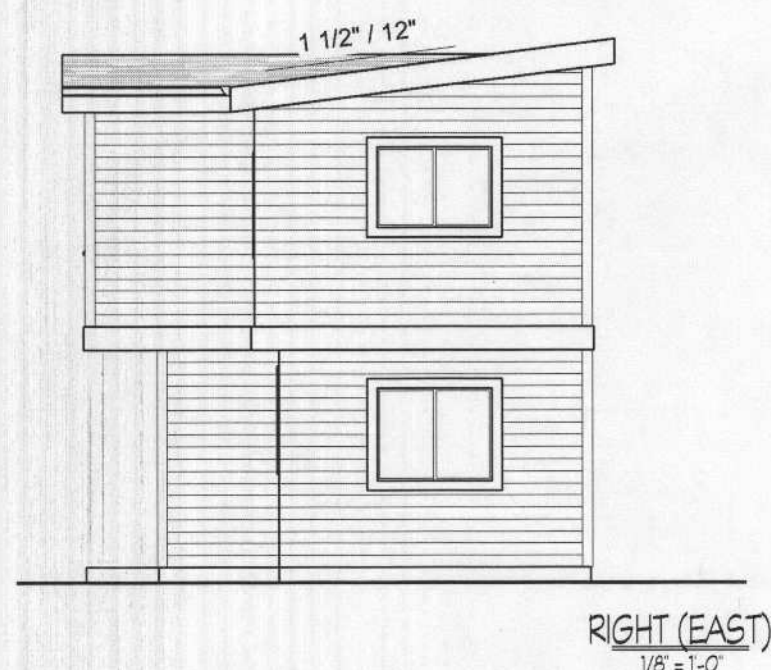
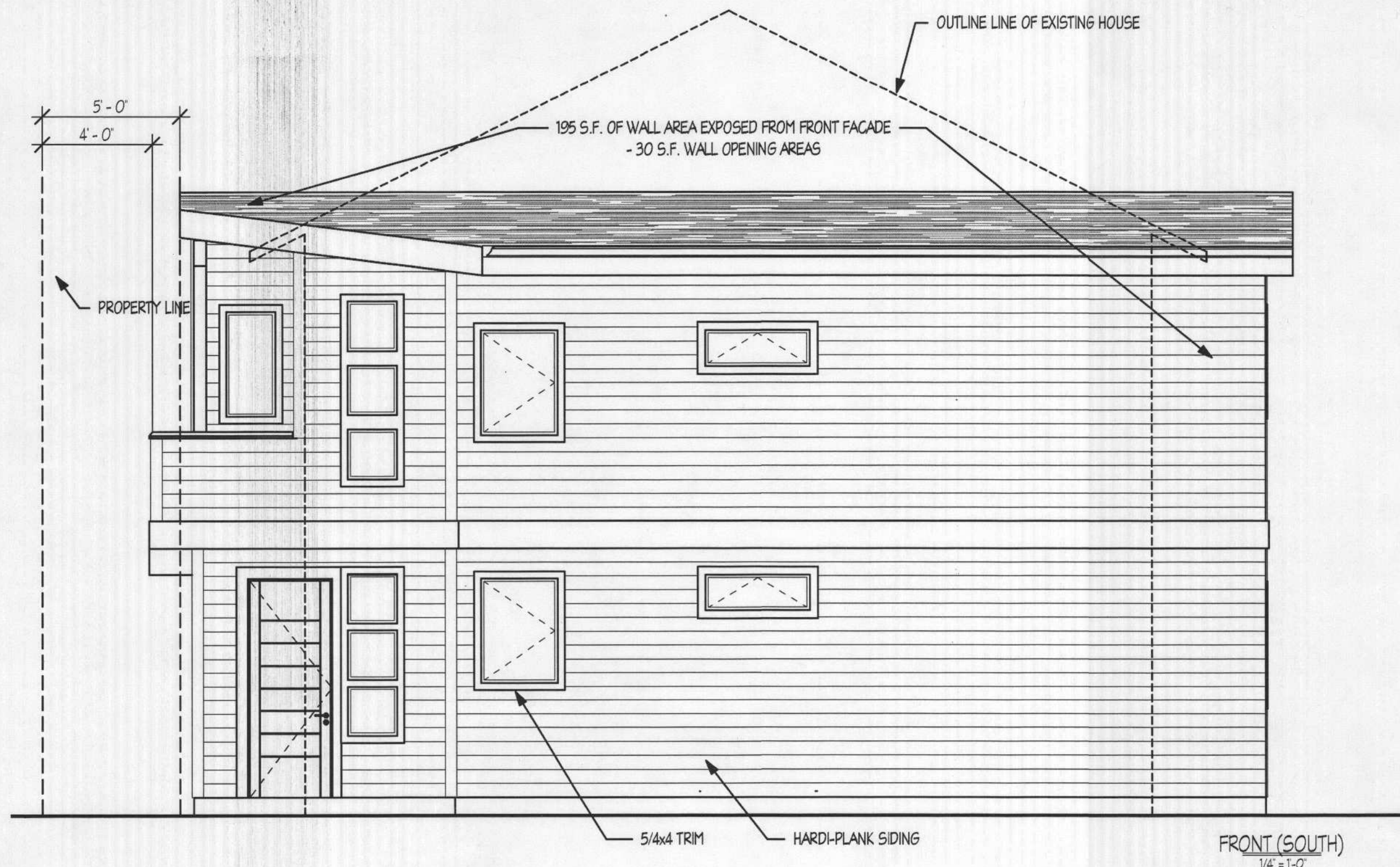
Replace electric resistance heating in at least the primary zone of dwelling with at least one ductless mini-split heat pump having a minimum HSPF of 8.5. Unit shall not have integrated backup resistance heat, and the unit (or units, if more than one is installed in the dwelling) shall be sized to have capacity to meet the entire dwelling design heat loss rate at outdoor design temperature condition. Conventional electric resistance heating may be provided for any secondary zones in the dwelling. A packaged terminal heat pump (PTHP) with comparable efficiency ratings may be used when no supplemental zonal heaters are installed in the building and integrated backup resistance heat is allowed in a PTHP

FOOTNOTES:

- Documentation of Performance Tested Ductwork shall be submitted to the building official upon completion of work. This work shall be performed by a technician certified by the Performance Tested Comfort Systems (PTCS) program administered by the Bonneville Power Administration (BPA), documentation shall be provided that work demonstrates conformance to PTCS duct performance standards
- Building tightness test shall be conducted with a blower door depressurizing the dwelling 50 Pascals from ambient conditions. Documentation of blower door test shall be submitted to the building official upon completion of work.

PRESCRIPTIVE ENVELOPE REQUIREMENTS

ABOVE GRADE WALL	R-21
BELOW GRADE WALL	R-15
FLAT CEILINGS	R-38
VAULTED CEILINGS	R-38
UNDERFLOORS	R-30
SLAB-EDGE PERIMETER	R-15
HEATED SLAB INTERIOR	R-10
WINDOWS	U-0.35
SKYLIGHTS	U-0.60
EXTERIOR DOORS	U-0.20
EXTERIOR DOORS W/ 2.5 ft GLAZING	U-0.40
FORCED AIR DUCT INSULATION	R-8



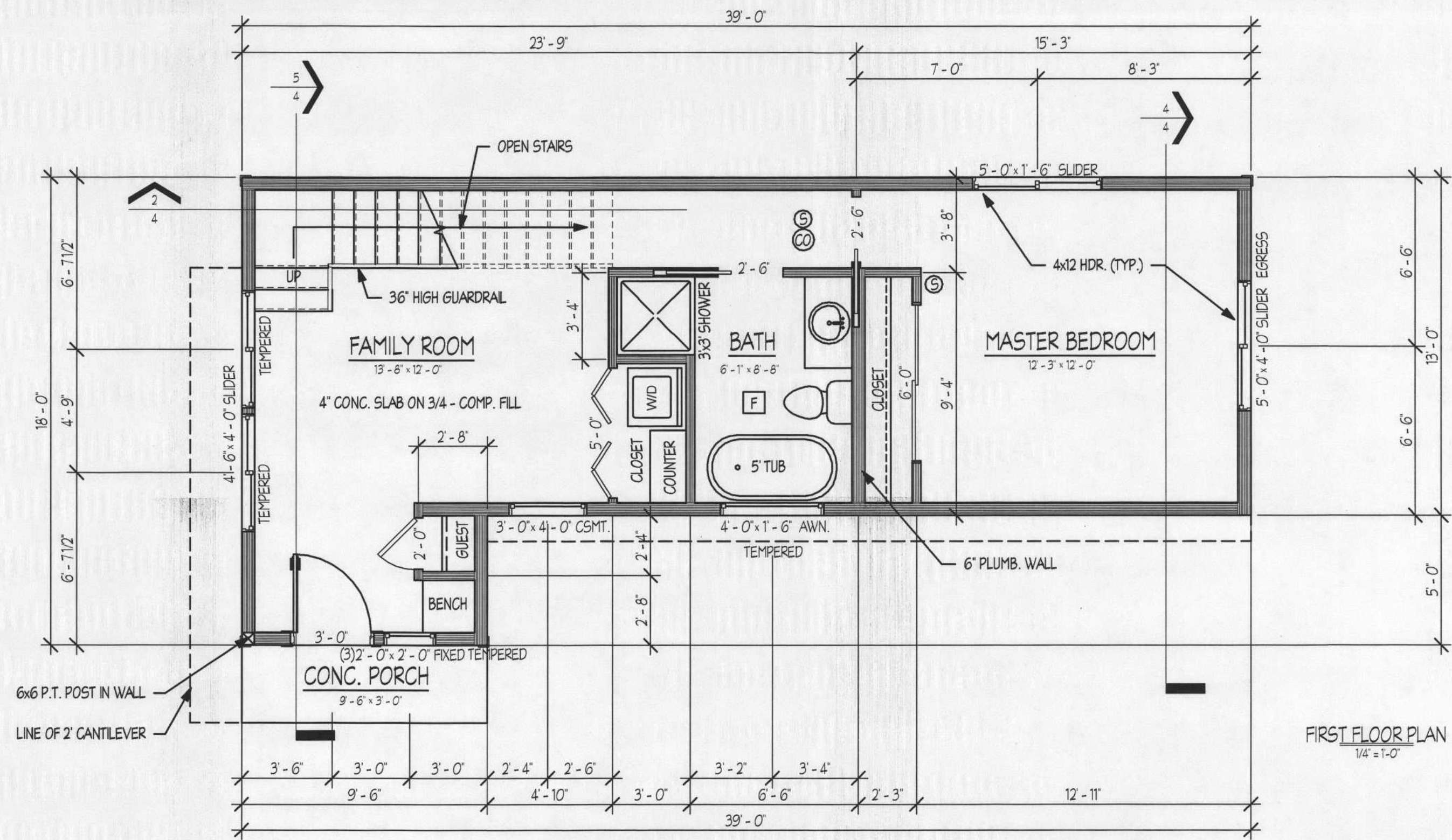
BUILDERS DESIGN INC.
COMMERCIAL - RESIDENTIAL - REMODELING
11125 NE WEIDLER ST., PORTLAND, OR 97220
PHONE: (503) 253-3434 FAX: (503) 253-3434
EMAIL: BUILDERSDESIGN@GMAIL.COM

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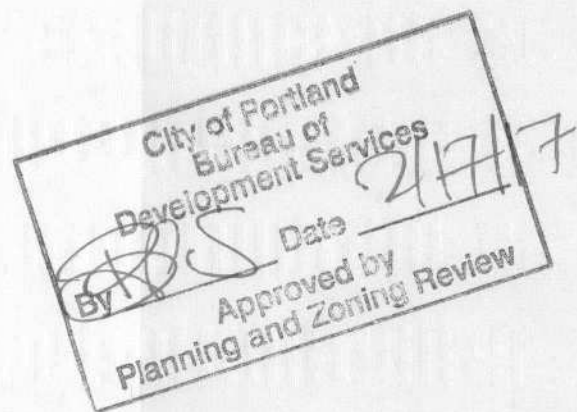
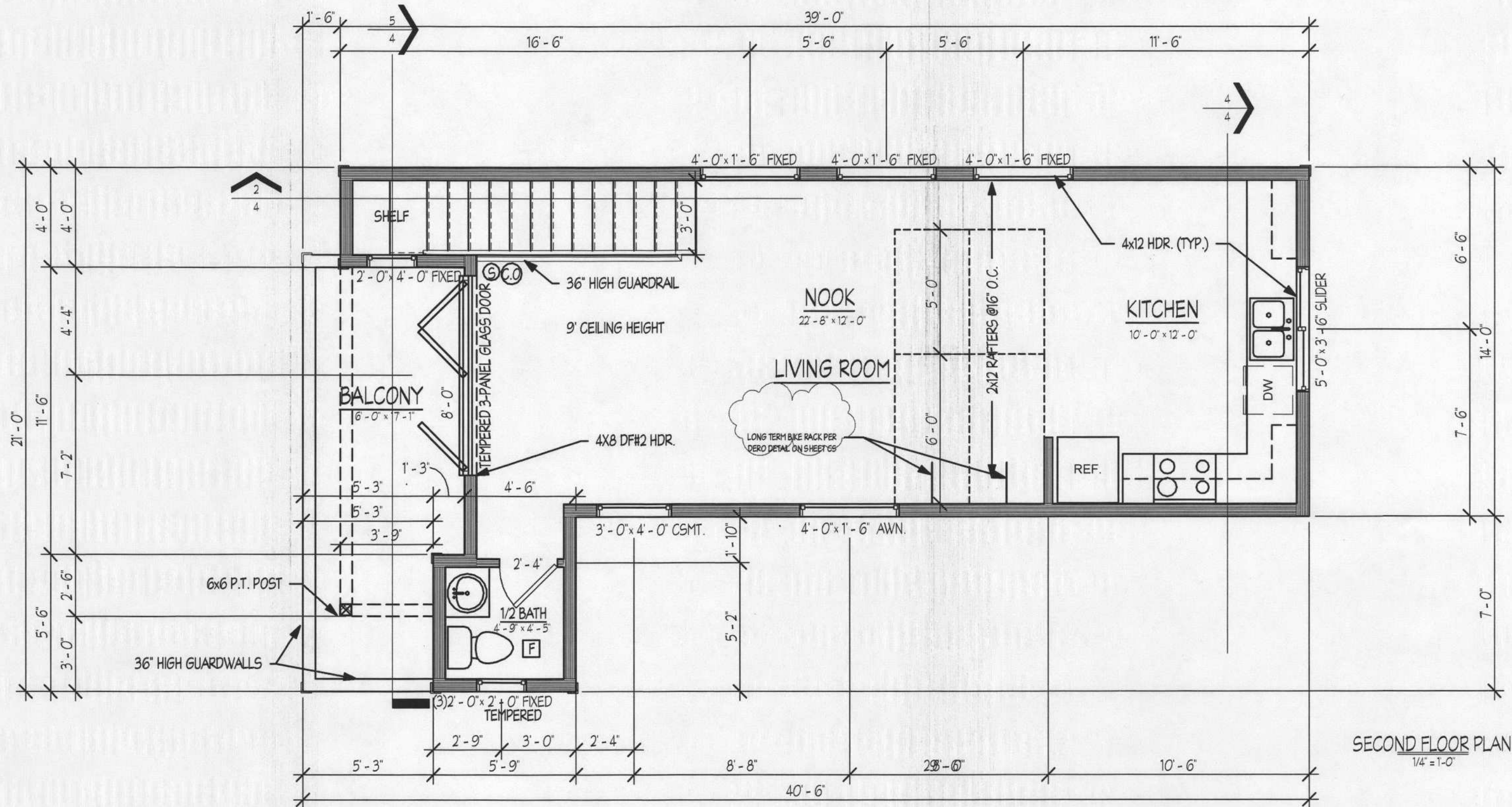
1727 SE MADISON ST.
ELEVATIONS AND ROOF
PLAN

Project number: 10393
Date: 2/13/2017 2:14:10 PM
Drawn by: BSY
Area:
Scale: As indicated

1



	SLIDING GLASS
	POCKET DOOR
	SWINGING DOOR
	NEW WALL
	CARBON MONOXIDE DETECTOR
	FAN
	SMOKE DETECTOR



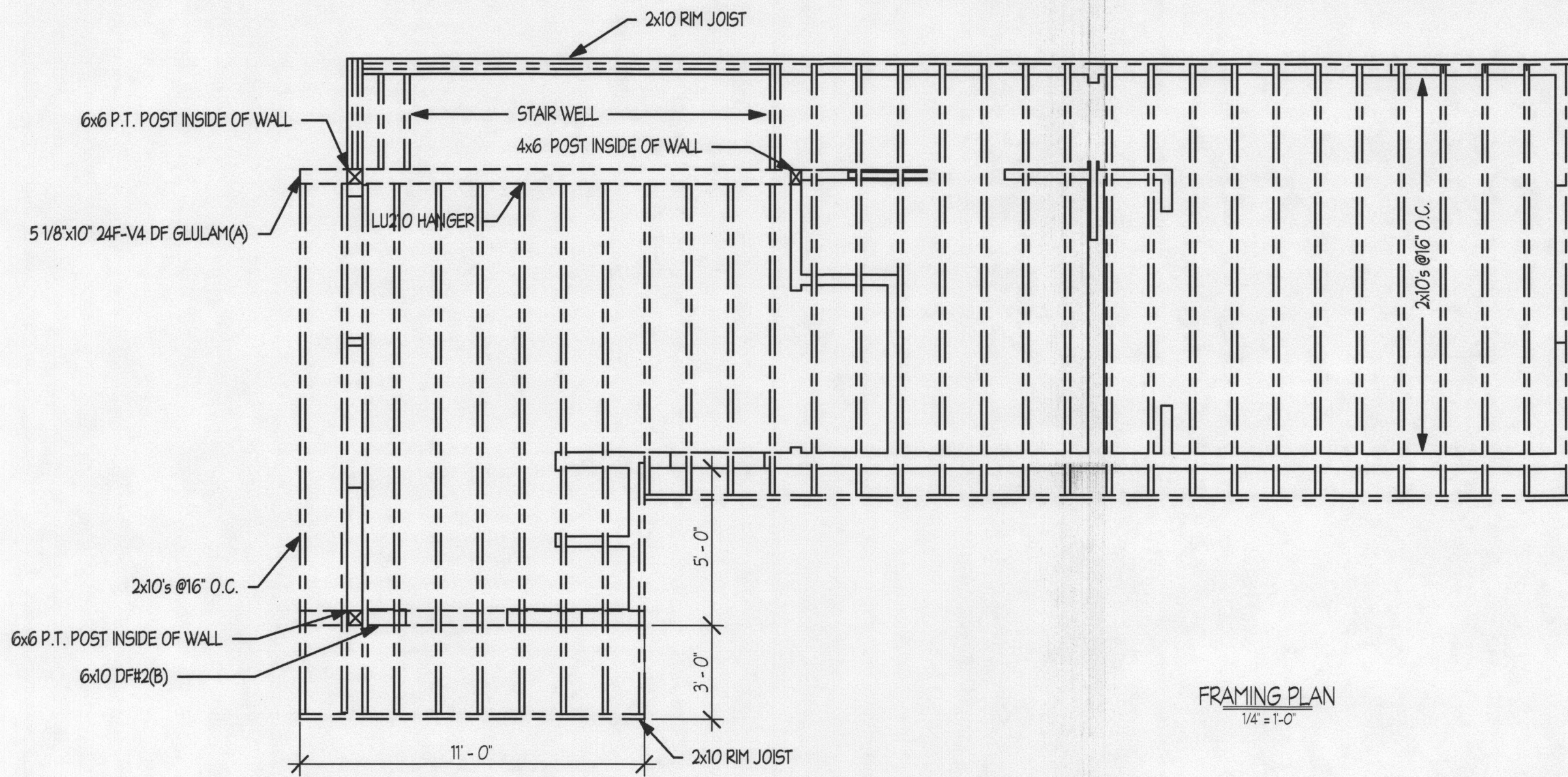
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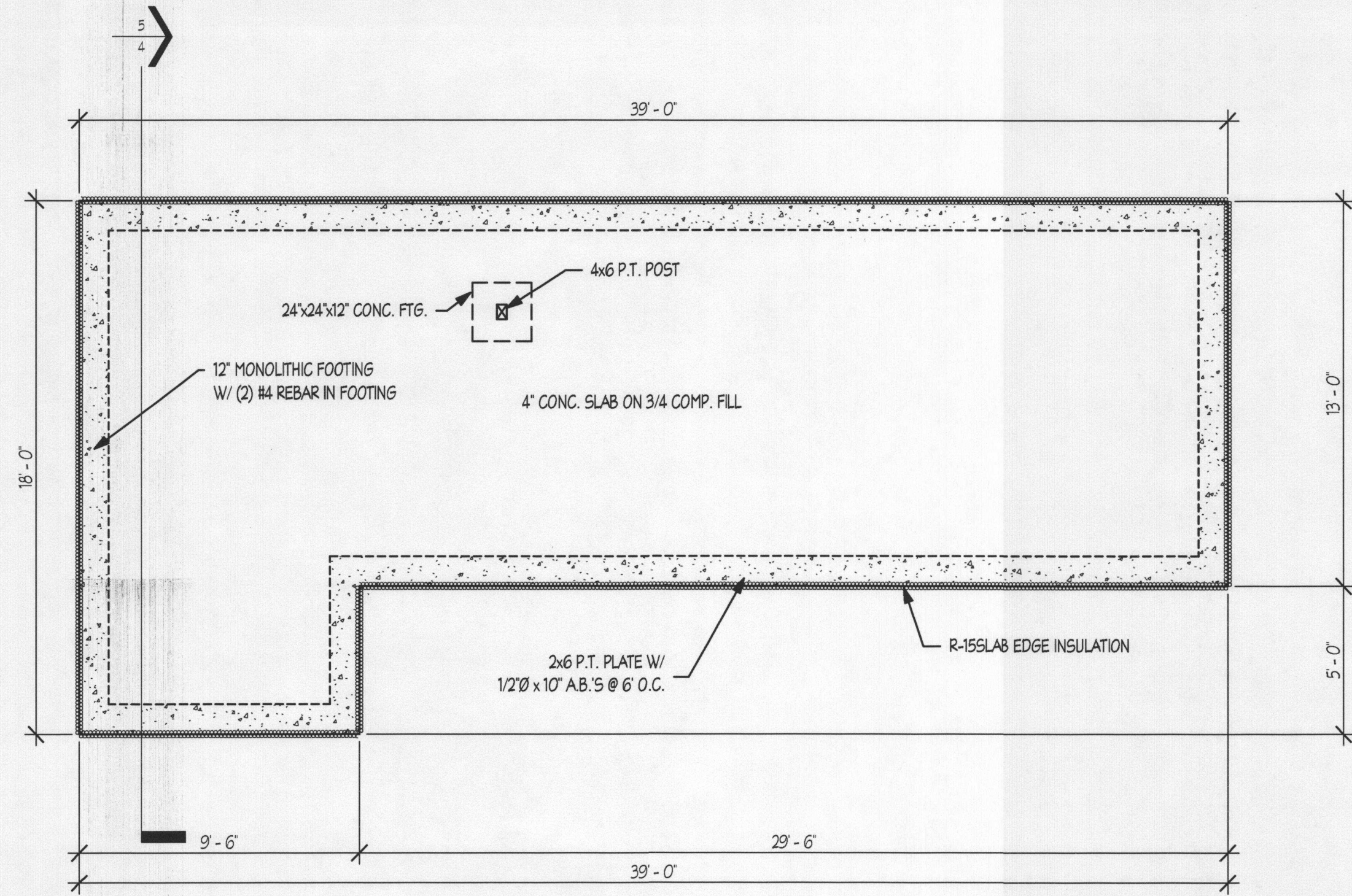
1727 SE MADISON ST.
1st FLOOR PLAN

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Date: 2/13/2017 2:14:11 PM
Drawn by: BSY
Area: 1,059.35
Scale: 1/4" = 1'-0"

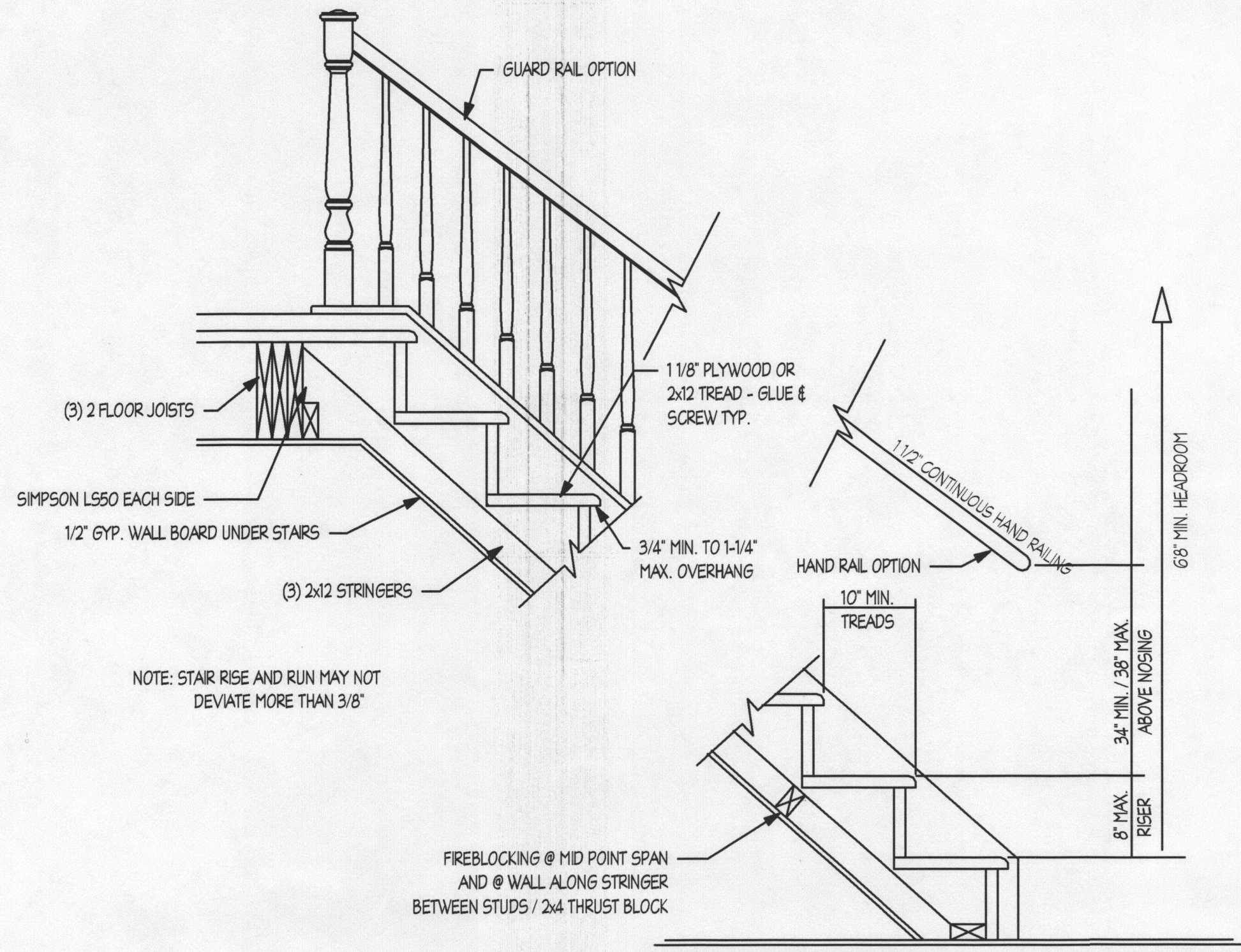
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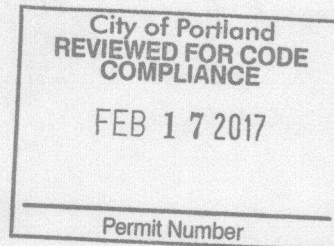
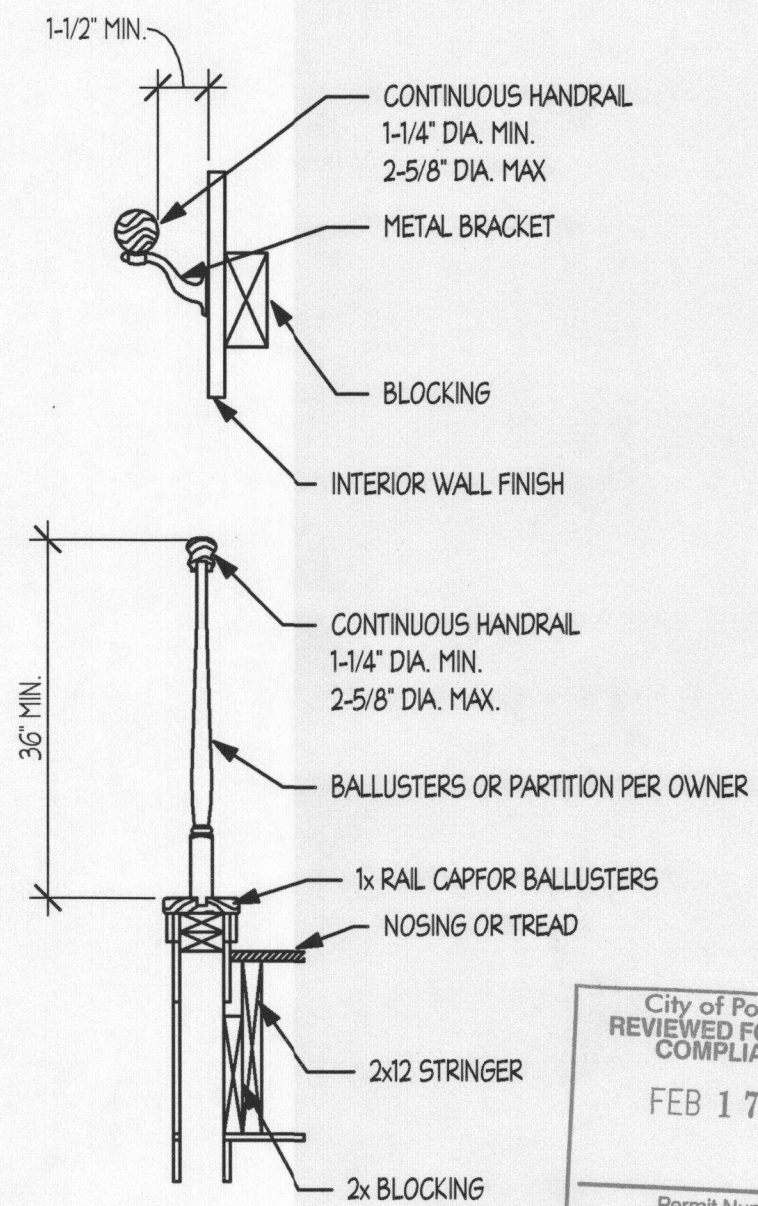
FRAMING PLAN
1/4" = 1'-0"



FOUNDATION PLAN
1/4" = 1'-0"



NOTE: STAIR RISE AND RUN MAY NOT
DEVIATE MORE THAN 3/8"



STAIR DETAIL
1/4" = 1'-0"

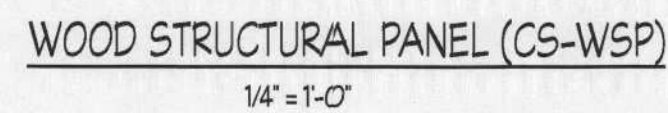
**BUILDERS
DESIGN INC.**
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11125 NE WEIDLER ST. - PORTLAND, OR 97220
PHONE: (503) 252-3453 - FAX: (503) 252-3454
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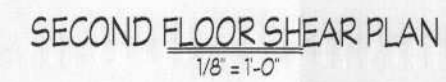
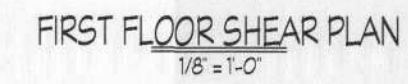
1727 SE MADISON ST.
FOUNDATION &
FRAMING PLAN

Project number: 10393
Date: 2/13/2017 2:14:12 PM
Drawn by: BSY
Area: 568
Scale: 1/4" = 1'-0"

3



Refer to Table 3 (page 2) in conjunction with Table B (page 5) for straps required due to pony walls constructed on headers.



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1727 SE MADISON ST.
SHEAR BRACING
DETAILS

Project number:	10393
Date:	2/13/2017 2:14:12 PM
Drawn by:	Author
Area:	Checker
Scale	As indicated

5

City of Portland
REVIEWED FOR CODE
COMPLIANCE
FEB 17 2017
Permit Number