

# MULTNOMAH COUNTY HEALTH DEPARTMENT HEADQUARTERS





# TABLE OF CONTENTS

## Architectural Drawings

C.1	Project Data
C.2	Project Description
C.3	Plans
C.10	Ground Floor
C.15	Elevations
C.24	Building Sections
C.27	Street Sections
C.42	Wall Sections
C.56	Details
C.68	Civil
C.74	Landscape
C.78	Materials [See Separate Package]

## Appendix

A.2	Renderings
A.6	Context Diagrams
A.8	DAR Comparison
A.16	Vicinity Plan
A.15	Site Photos
A.16	Floor Area Calculations
A.19	Modifications

# PROJECT DATA

**Applicant:** Jimmy Gantz, ZGF Architects LLP, (503) 863-2496

**Other Contacts:** Brett Taute, Multnomah County Facilities and Planning, (503) 988-3284

**Site Location:** NW 6th Ave between NW Hoyt St and NW Irving St

**Site Area:** 17,500 Square Feet

**Site Tax Account Numbers:** R141465, R141465, R626272, R627121, R627253

**Adjacent Property:** Bud Clark Commons // Property ID: R643100

**Zoning:** CXd

**Neighborhood:** Old Town // Chinatown

**Pre-Application Conference:** December 17, 2015 // EA 15-263941

**Development Staff Review:** Puja Bhutani, BDS Land Use Services, (503) 823-7226

# APPLICATION REQUEST SUMMARY

Design Review for a new 9-story, headquarters building for Multnomah County Public Health Department. The proposed building will house clinical functions, associated workplaces, and admistrative offices for the Health Department.

The Applicant requests Design Commission consideration of the proposed building form, massing, design coherency, materials, response to context, loading and the following potential modifications:

**Modification 1: Ground Floor Active Use, 33.510.225**

**Modification 2: Transit Street Main Entrance, 33.130.242**

**Modification 3: Ground Floor Windows, 33.130.230**

# PROJECT DESCRIPTION

The proposed building is a new headquarters facility for the Multnomah County Health Department. It is an approximately 157,000 gross square foot, nine-story structure located on Block U in the Old Town/Chinatown neighborhood.

The site is bounded to the north by NW Irving Street, to the east by NW 6th Avenue, to the south by NW Hoyt Street, and to the west by a property line in common with the Bud Clark Commons. The Portland bus station is to the east of the site and Union Station is located immediately northeast of the site. The light rail runs south to north on 6th Avenue. See A.6

The site is 200 feet in the north-south direction and 87'-6" feet in the east-west direction, for a maximum gross floor plate of 17,500 square feet. The proposed building will be built close to the property lines at all boundaries.

The building will have a public entry sequence focused on the intersection NW 6th Avenue and NW Hoyt Street. Major program areas at the ground floor include a public lobby, a pharmacy and waiting area, a potential lease space, loading and support spaces and workspaces that provide a critical public health function to Multnomah County's citizens. See A.7

The upper floors will include public clinics and associated support spaces as well as workplaces for the Health Department's administrative and public health functions. Vertical circulation, restrooms, break rooms, mechanical rooms, and other support spaces are concentrated on the west side of the floor plate to maximize the amount of active program spaces oriented to the south, east and north sides of the building.

The mission of the Health Department is "Healthy people in healthy communities." This project represents a significant opportunity for the County to represent this mission in the context of the central city. To that end, building is designed as a simple but flexible and durable structure which engages the traditions of civic architecture in Portland and the unique architectural heritage of the district. The building massing is straightforward and compact: a rectangular masonry volume which fills out the zoning envelope on 6th, Hoyt and Irving. This volume is then given scale and order by vertically proportioned punched window openings. The upper level windows are scaled to help maximize interior daylighting, with deeply recessed windows associated with the workplace and individual functions and larger openings framing the more public spaces such as the waiting areas and conference rooms.

The exterior is designed to communicate the optimism and values associated with public health: the palette emphasizes transparency, with lightly toned, welcoming and familiar materials that root the building in the district. The principal building material will be a light brick masonry with precast trim elements detailed to respond to the different solar and view exposures on each elevation. At the ground floor the fenestration and enclosure elements are scaled to the public realm. Along NW 6th Avenue, tall precast masonry window frames allow passers-by to see into a long gallery space facing the street, at the south-east corner these frames 'lift up' and create a portico off the main entry. A canopy off the south side of the building helps to further emphasize this entry and provides weather protection from the principal vehicular drop-off area along NW Hoyt.

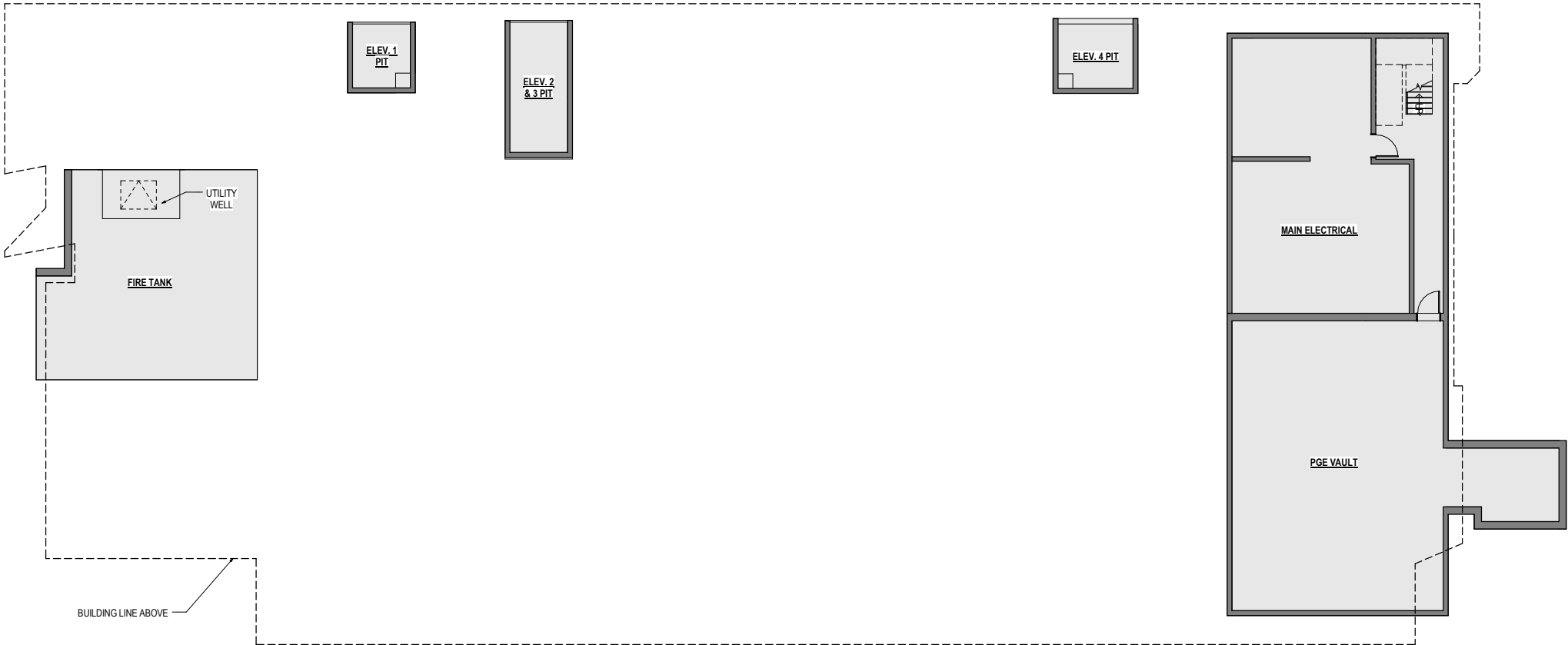
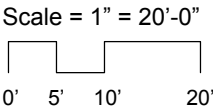
One of Multnomah County's primary goals for the project is to build an '80-year building', which is to say that the building will be flexible, adaptable and durable and also designed to possess a certain degree of timelessness, and respect for its future urban context. To that end, the building is structured similar to many of the historic and enduring masonry warehouse buildings in the district: it is organized by a simple square 32'-wide column grid for flexibility, floor-to-floor heights that allow systems to be changed out with time, and durable exterior materials and regular patterned window openings that anticipate and support reconfigurations of the interior spaces.

# C.3 PLANS

Scale = 1" = 20'-0"



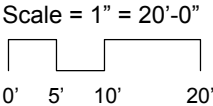
BELOW GRADE PLAN



BELOW GRADE	
Typ. Floor Area	3,734 SF
<div></div> Service	3,734 SF

SITE PLAN

MAXIMUM ELEVATION CHANGE OF SITE IS LESS THAN 10'0". BASE POINT 1 IS 3'-5" FROM SE CORNER



LEVEL 1	
Typ. Floor Area	16,187 SF
Lobby / Circulation	4,110 SF
Potential Lease Area	1,095 SF
Pharmacy	1,459 SF
Work Space	1,937 SF
Bike Room	665 SF
Service	6,458 SF





**BASE POINT 1  
ELEVATION: 35'-5"**

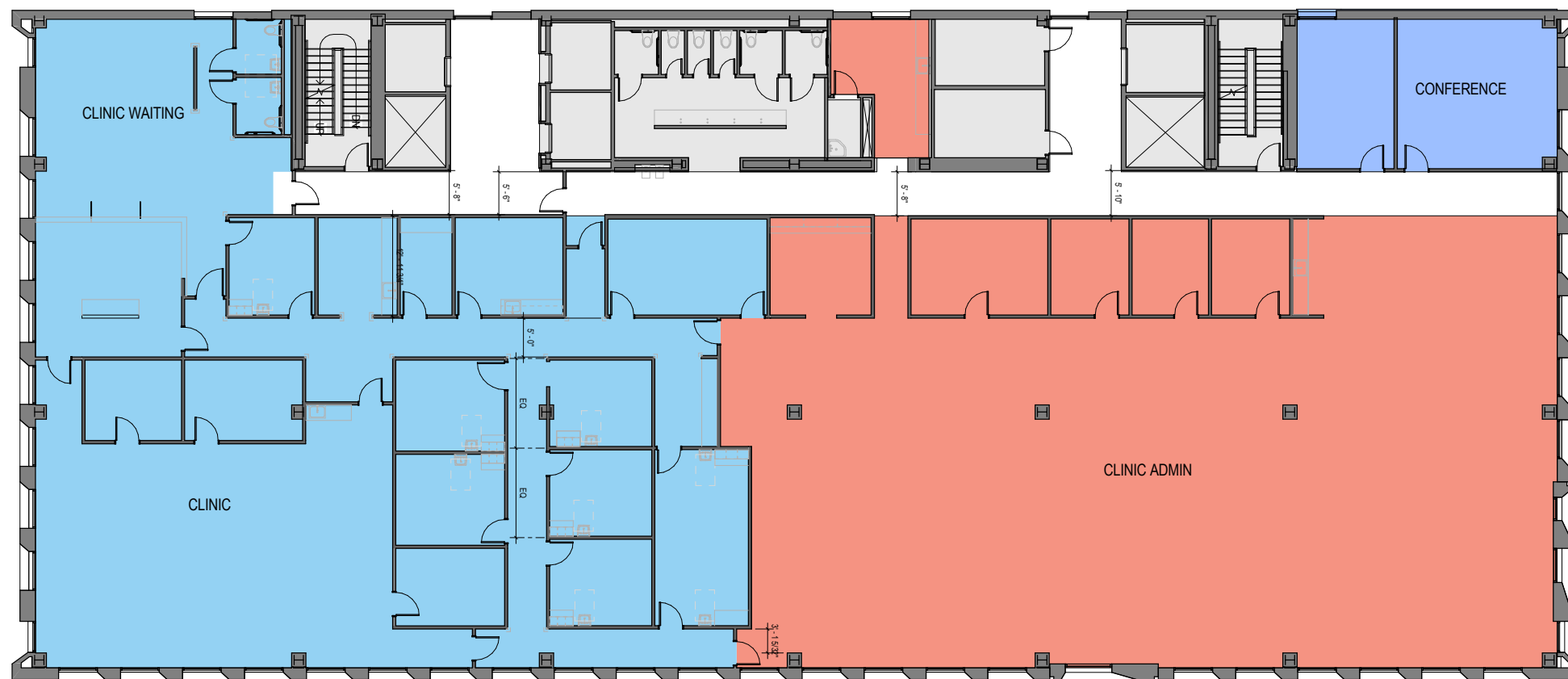
UNION STATION



### Typical Upper Clinical Floor

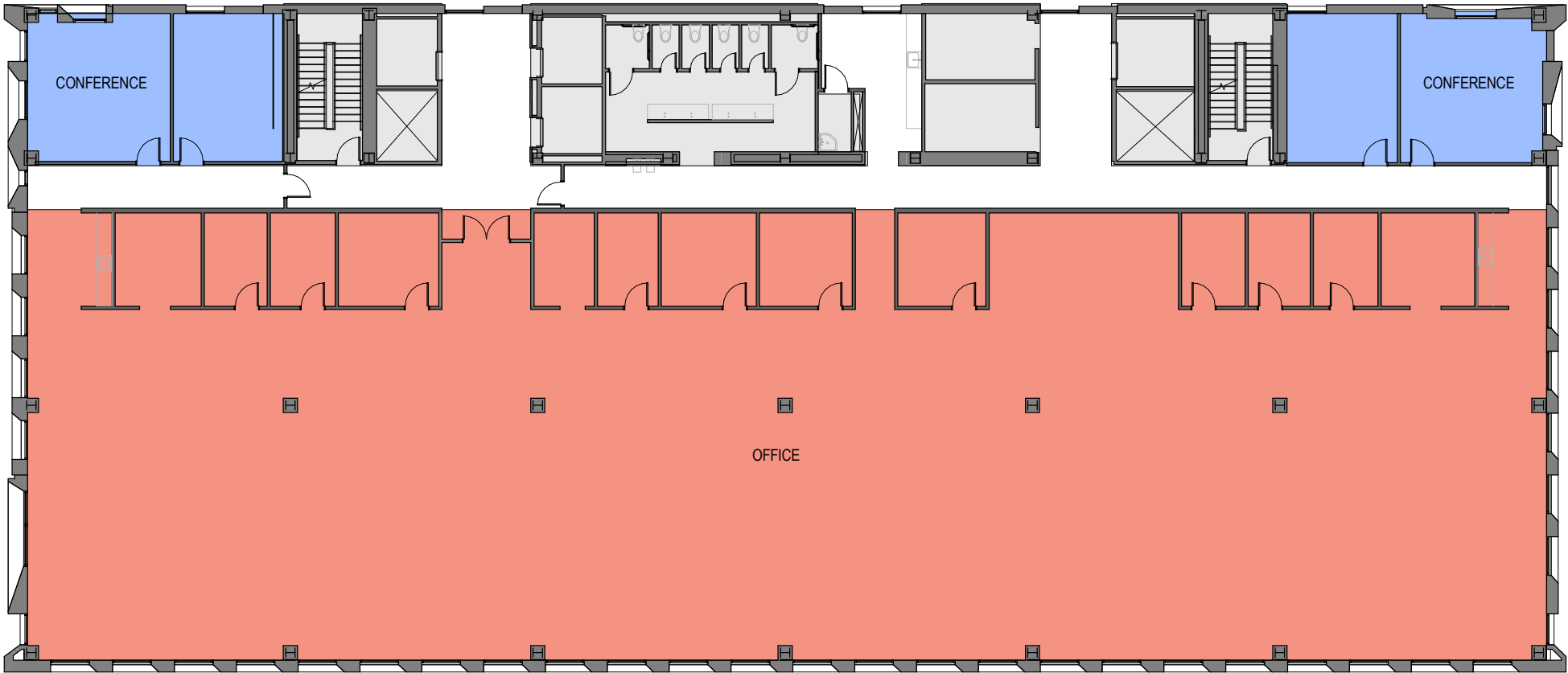
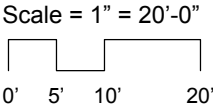


LEVEL 2-4		
	Typ. Floor Area	17,320 SF
	Clinic / Clinic Waiting	6,180 SF
	Clinic Admin.	6,112 SF
	Conference	707 SF
	Service	1,939 SF



LU 16-207483 DZM // EXHIBIT C.6

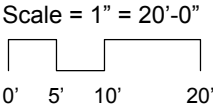
LEVEL 5-8 PLAN  
Typical Upper Office Floor



LEVEL 5-8	
Typ. Floor Area	17,320 SF
<div></div> Open Office	11,473 SF
<div></div> Conference	1,332 SF
<div></div> Service	1,939 SF

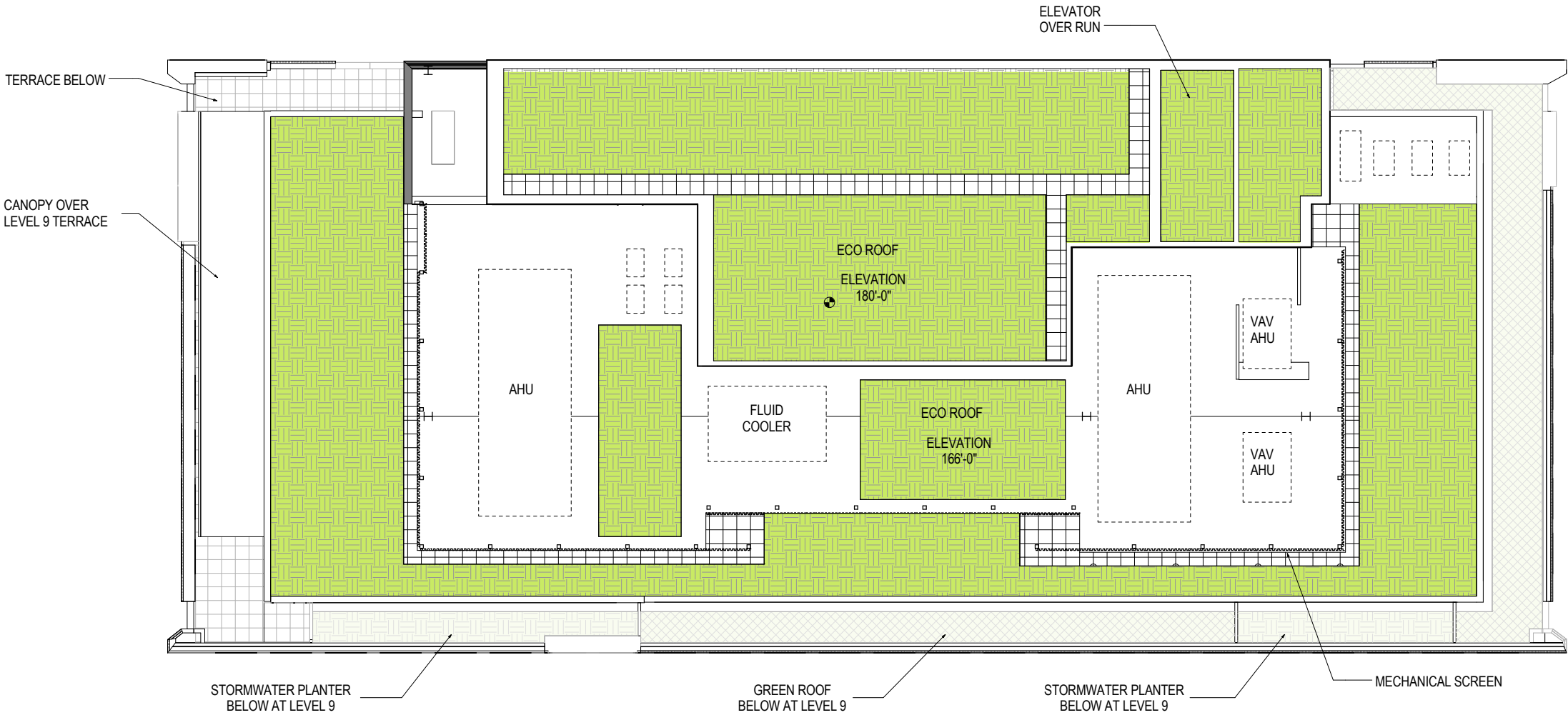
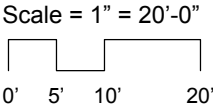


LEVEL 9 PLAN



LEVEL 9		
Typ. Floor Area		13,653 SF
<div></div> Open Office		5,334 SF
<div></div> Multi-Purpose Room		1,019 SF
<div></div> Break Room		1,557 SF
<div></div> Locker Rooms		912 SF
<div></div> Conference		965 SF
<div></div> Service		1,939 SF
LEVEL 9 E EXTERIOR		
Floor Area		2,839 SF
<div></div> Terrace		996 SF
<div></div> Storm Water Planter		319 SF
<div></div> Vegetated Eco-Roof		1,117 SF
<div></div> Pavers		407 SF

ROOF PLAN



PENTHOUSE + ROOF EXTERIOR	
Floor Area	12,728 SF
Vegetated Eco-Roof	7,413 SF
Pavers	1,032 SF
Membrane Roofing	4,283 SF



# C.10 GROUND FLOOR

Scale = 1" = 20'-0"

GROUND FLOOR ACTIVE SPACE AND CONVERTIBILITY

The exterior wall along NW 6th Avenue is glazed from sill to ceiling to allow views into the pharmacy workspace and the gallery. The gallery is less than half the length of the 200’ block and will act as circulation and a container for the artist installation by Francesco Simeti. The art installation will primarily be located above the nine foot datum line that delineates the interior gallery. See conceptual sketch of artwork. The gallery wall below the datum is comprised of clear butt glazing. The glazing allows for light to penetrate into the interior workspaces and creates a sense of transparency from interior to exterior. The gallery becomes a visual filter between the street and interior of the building.

Currently the length of the gallery/workspace contributes to the 50% active ground floor standard, along with the lobby and potential retail space at the south west corner of the building (see exhibit C.13). Since NW 6th avenue has a strong pedestrian presence it needs to be acknowledged through the art and architecture. Part of this acknowledgement is visual and accommodating street scale flexibility in the future. The exterior wall is designed for future convertibility (see exhibit C.12 and C.13). The precast sills and glazing are detailed to be removable for installation of exterior doors if the work spaces beyond transform into different uses in the future. The gallery interior glass maybe removed below the 9’ datum. The sill of the exterior walls at specific locations may be removed to accommodate a future entry.

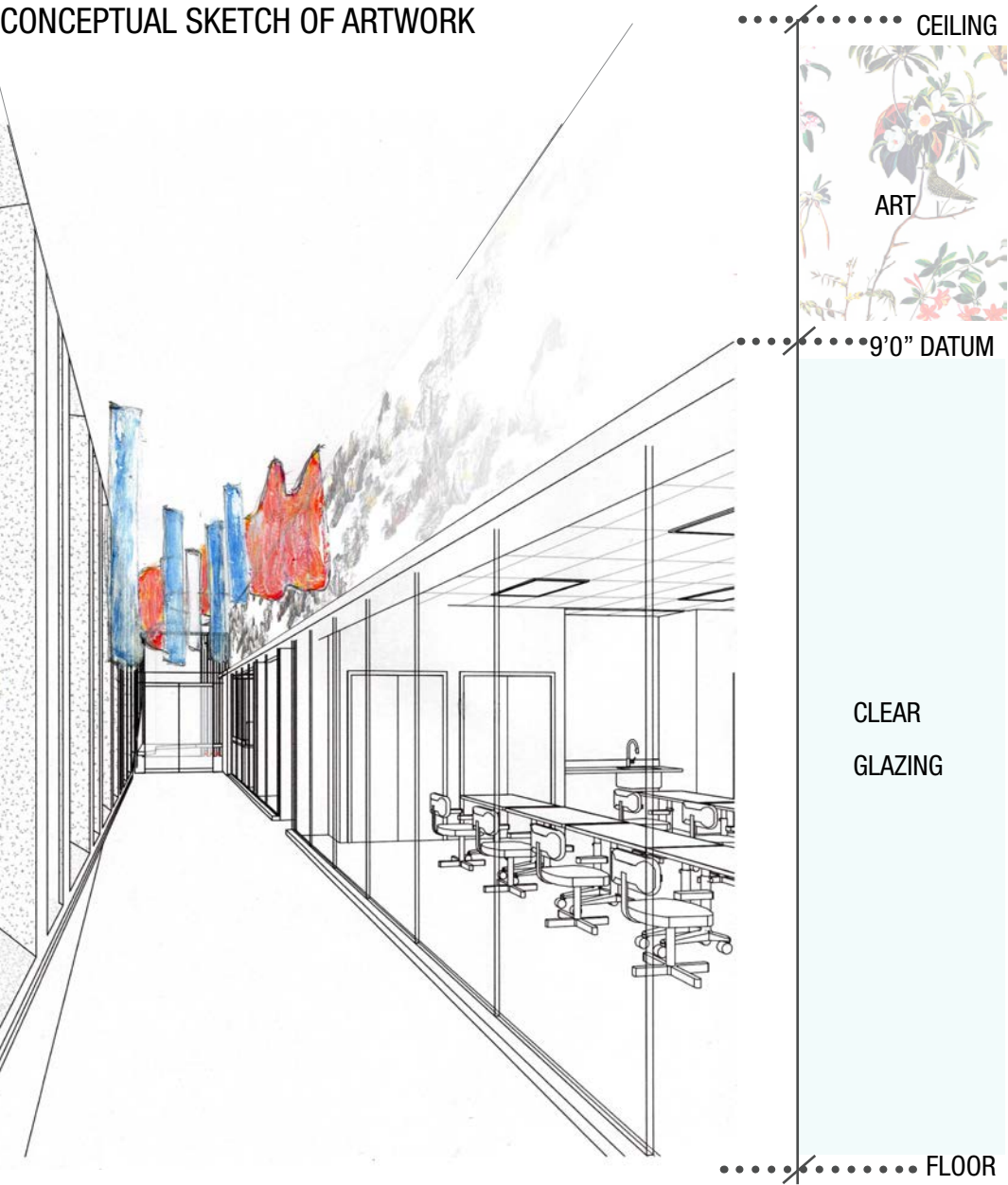
FRANCESCO SIMETI’S PRECEDENT ARTWORK



ACTIVE GROUND FLOOR USE AND CONVERTIBILITY

East Elevation - Ground convertibility

CONCEPTUAL SKETCH OF ARTWORK



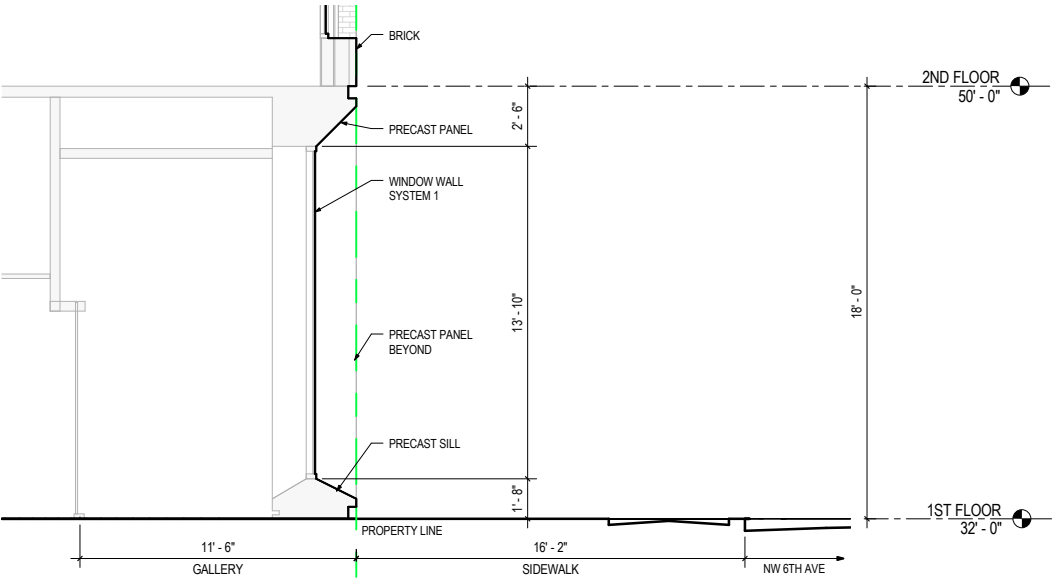


ACTIVE GROUND FLOOR USE AND CONVERTIBILITY  
East Elevation - Ground convertibility

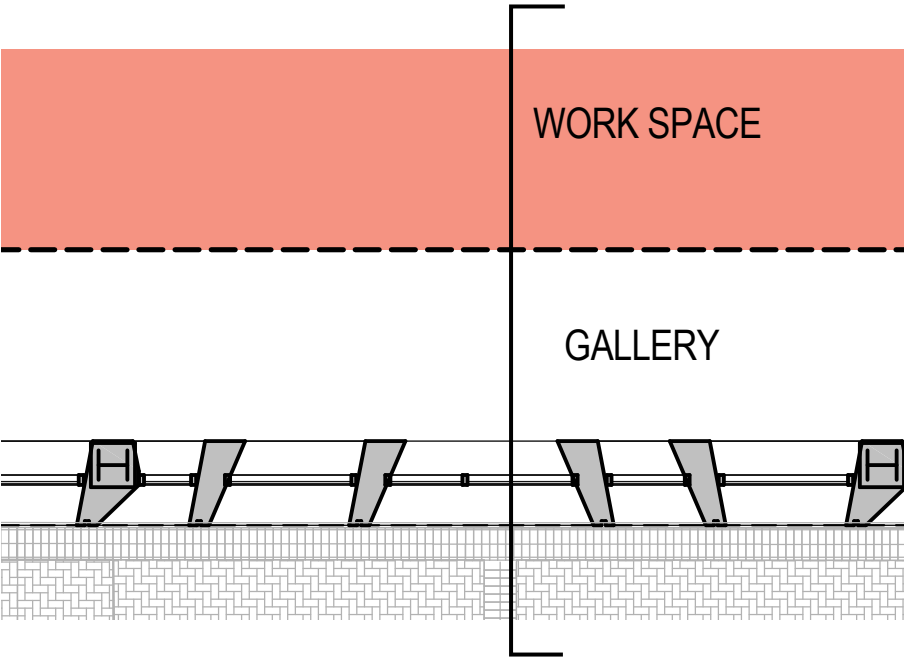
PROPOSED GALLERY WALL CONDITION  
SEE C.13 FOR ENTIRE GROUND FLOOR ELEVATION  
ELEVATION



SECTION



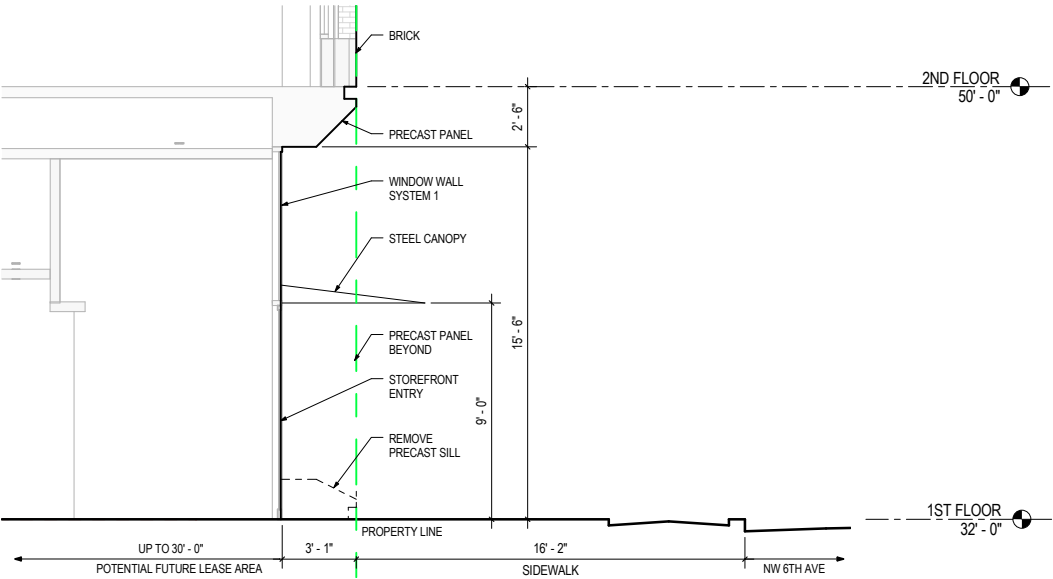
PLAN



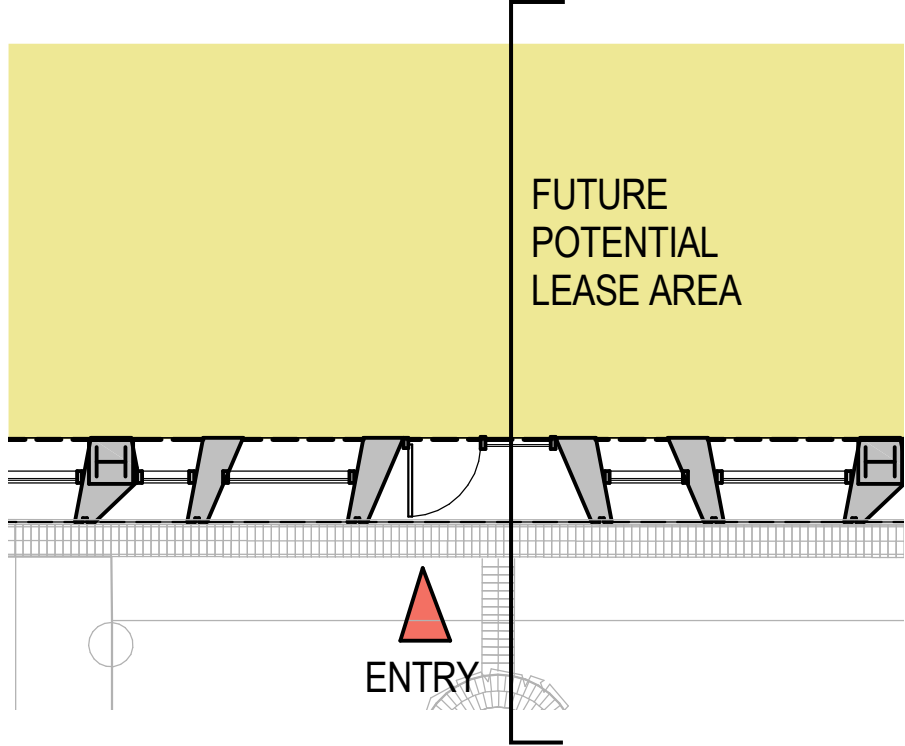
POTENTIAL FUTURE LEASE ENTRY AT REMOVABLE SILL  
SEE C.13 FOR ENTIRE GROUND FLOOR ELEVATION  
ELEVATION



SECTION



PLAN

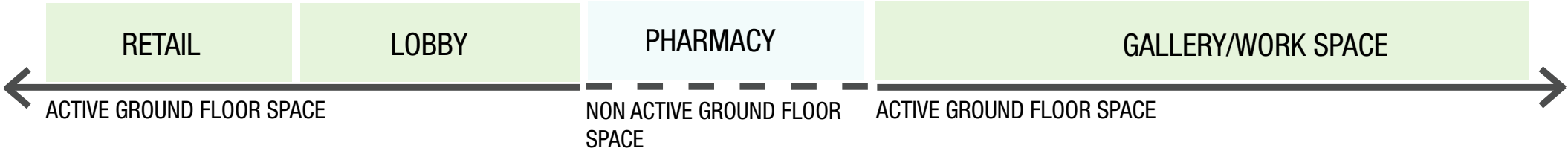


ACTIVE GROUND FLOOR USE AND CONVERTIBILITY  
East Elevation - Ground convertibility



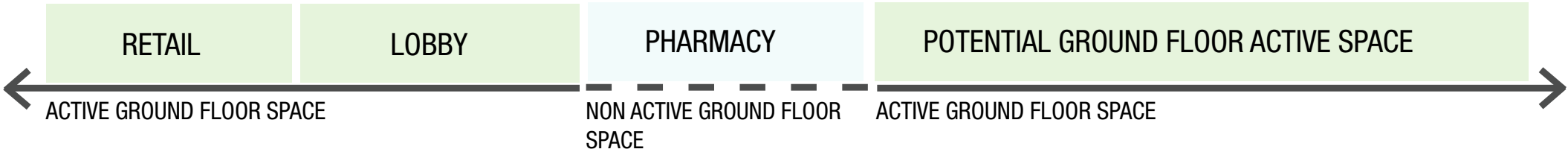
EAST ELEVATION - PROPOSED

GROUND FLOOR SPACE THAT CAN BE CONVERTED IN THE FUTURE



EAST ELEVATION - FUTURE CONVERSION

GROUND FLOOR ENTRANCES AND CANOPIES





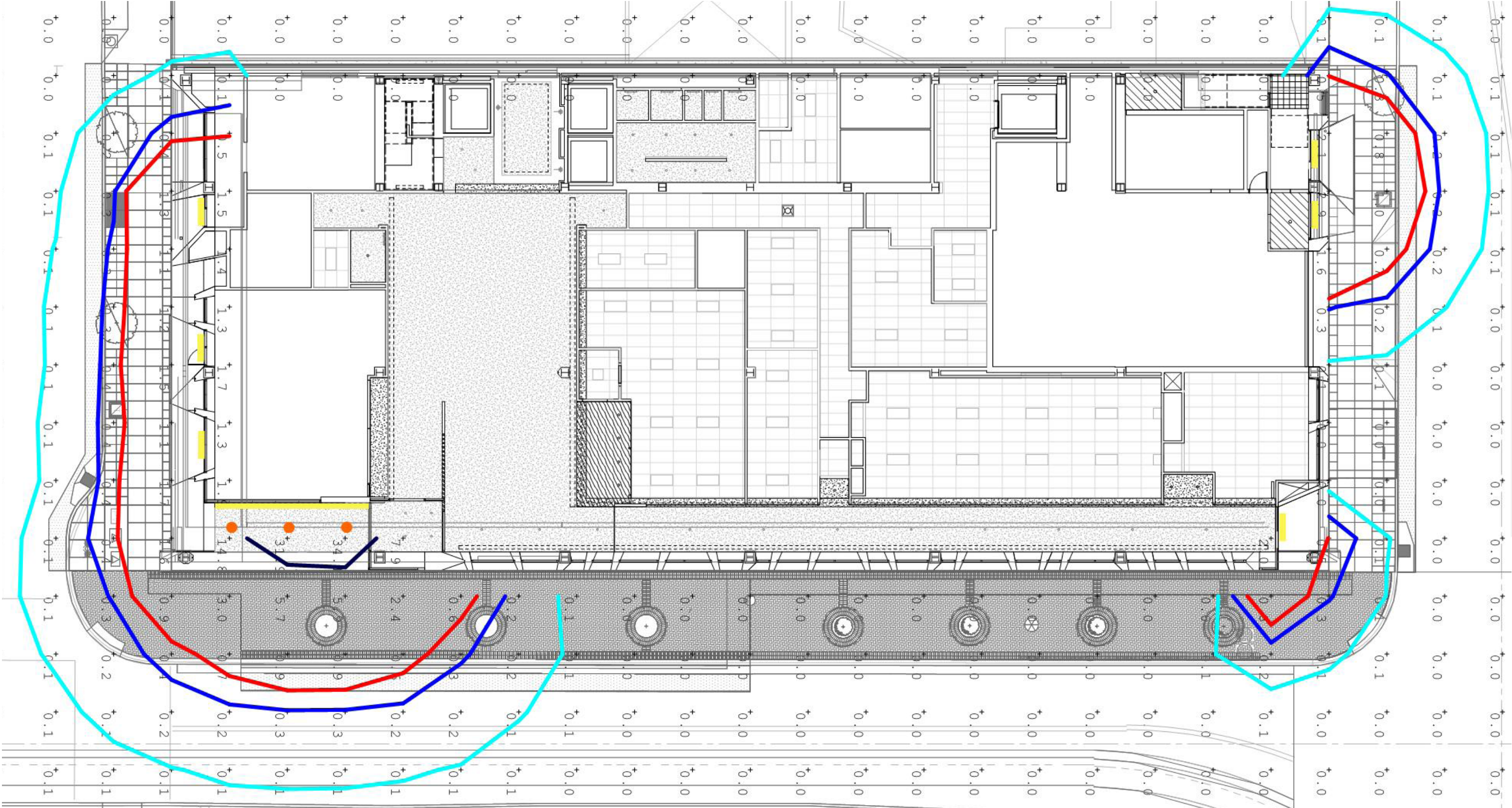
REFLECTED CEILING PLAN AND EXTERIOR LIGHTING

Dispersal Plan

RECESSED LINEAR LED LIGHTING

RECESSED LED CAN FIXTURES

SEE MANUFACTURERS CUTSHEET PACKET FOR ALL LIGHTING FIXTURES



\*\*NOTE: NUMBERS DENOTE FOOTCANDLES

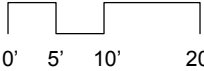
# C.15 ELEVATIONS

Scale = 1" = 20'-0"

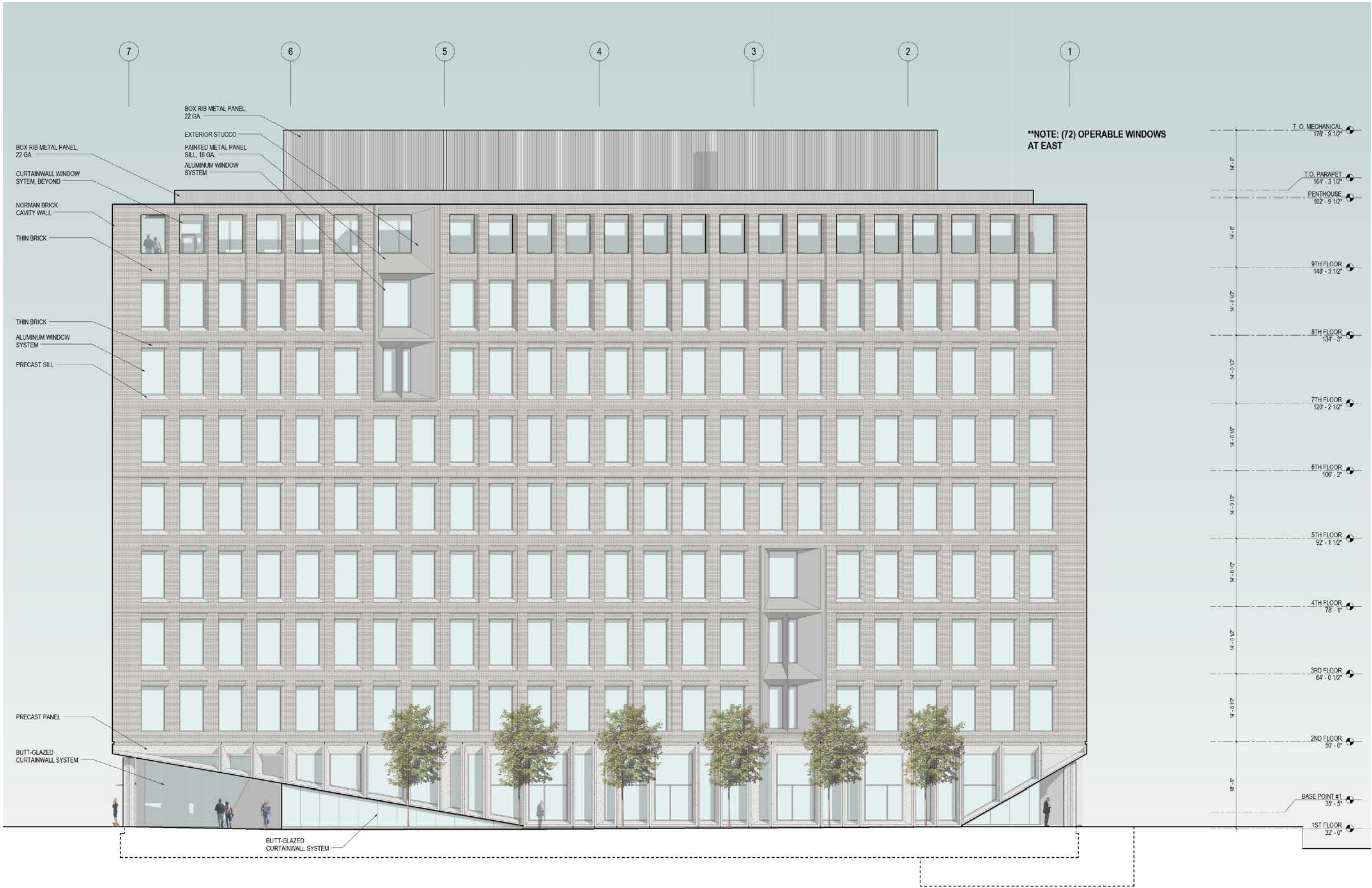


EAST ELEVATION

Scale = 1" = 20'-0"



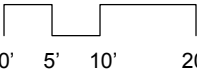
- Brick 49%  
Norman Brick, Pewter Blend with Slurry
- Thin Brick 5%  
Norman Brick, Pewter Blend with Slurry
- Exterior Stucco 10%  
Cement Board, Acrylic Stucco; Champagne Gold
- Painted Metal Panel 1%  
Champagne Gold
- Box Rib Metal Panel 2%  
22 Gauge, Champagne Gold
- Glazing 29%  
Solarban 70, Clear
- Precast Concrete 4%  
Pewter Grey
- Curtain Wall & Aluminum Window System  
Champagne Gold Color





EAST ELEVATION

Scale = 1" = 20'-0"



Brick 49%  
Norman Brick, Pewter Blend with Slurry

Thin Brick 5%  
Norman Brick, Pewter Blend with Slurry

Exterior Stucco 10%  
Cement Board, Acrylic Stucco; Champagne Gold

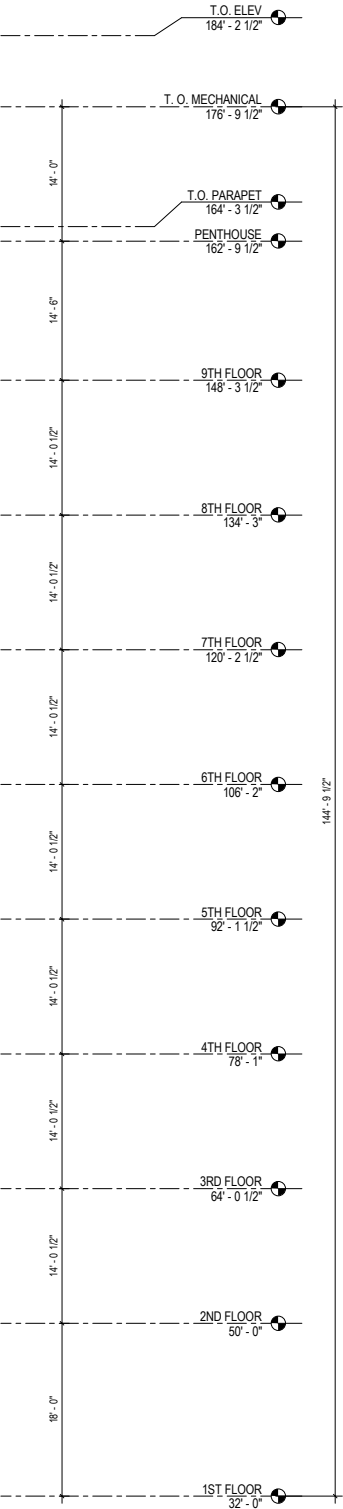
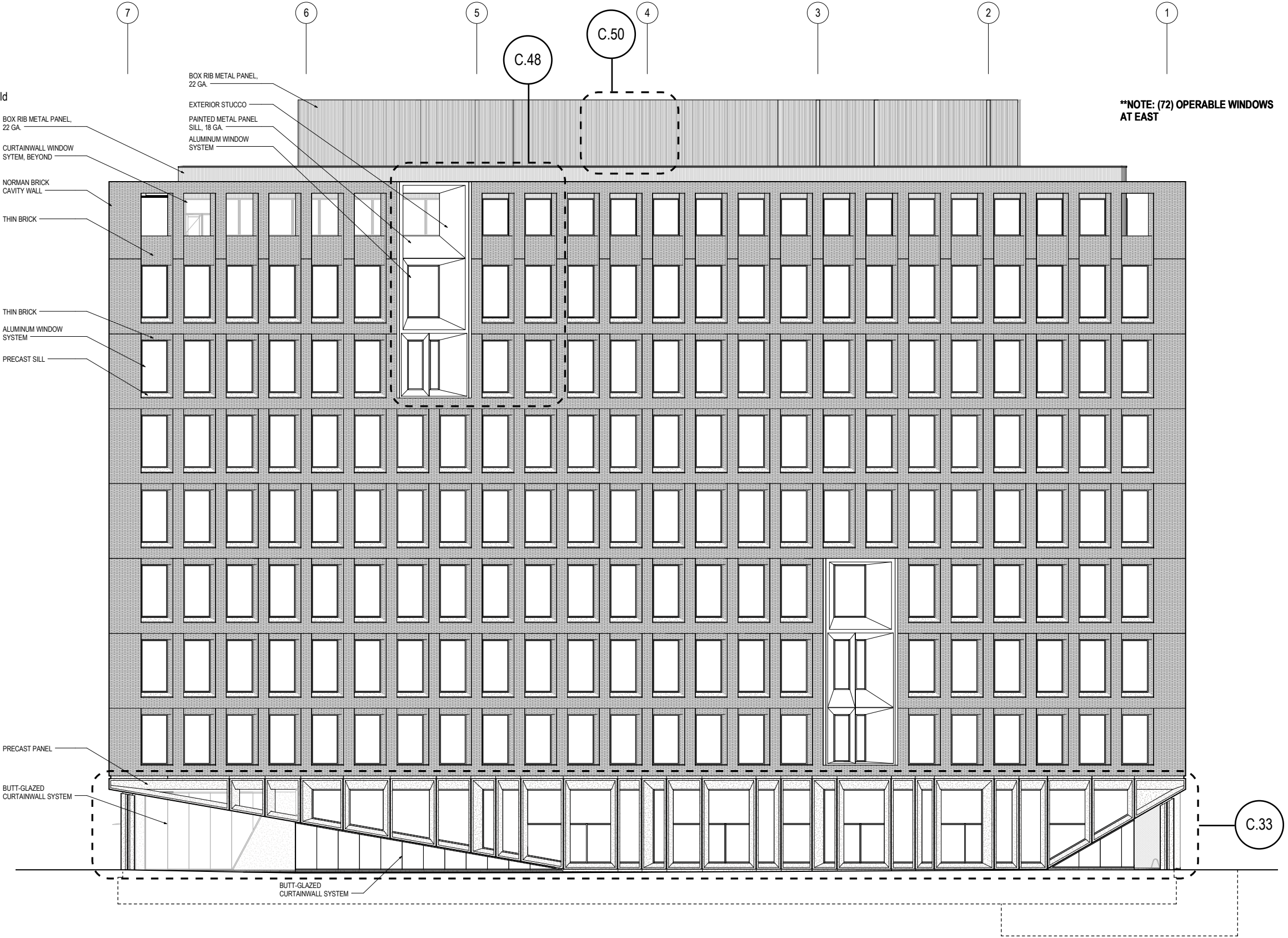
Painted Metal Panel 1%  
Champagne Gold

Box Rib Metal Panel 2%  
22 Gauge, Champagne Gold

Glazing 29%  
Solarban 70, Clear

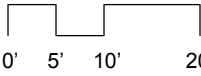
Precast Concrete 4%  
Pewter Grey

Curtain Wall & Aluminum Window System  
Champagne Gold Color

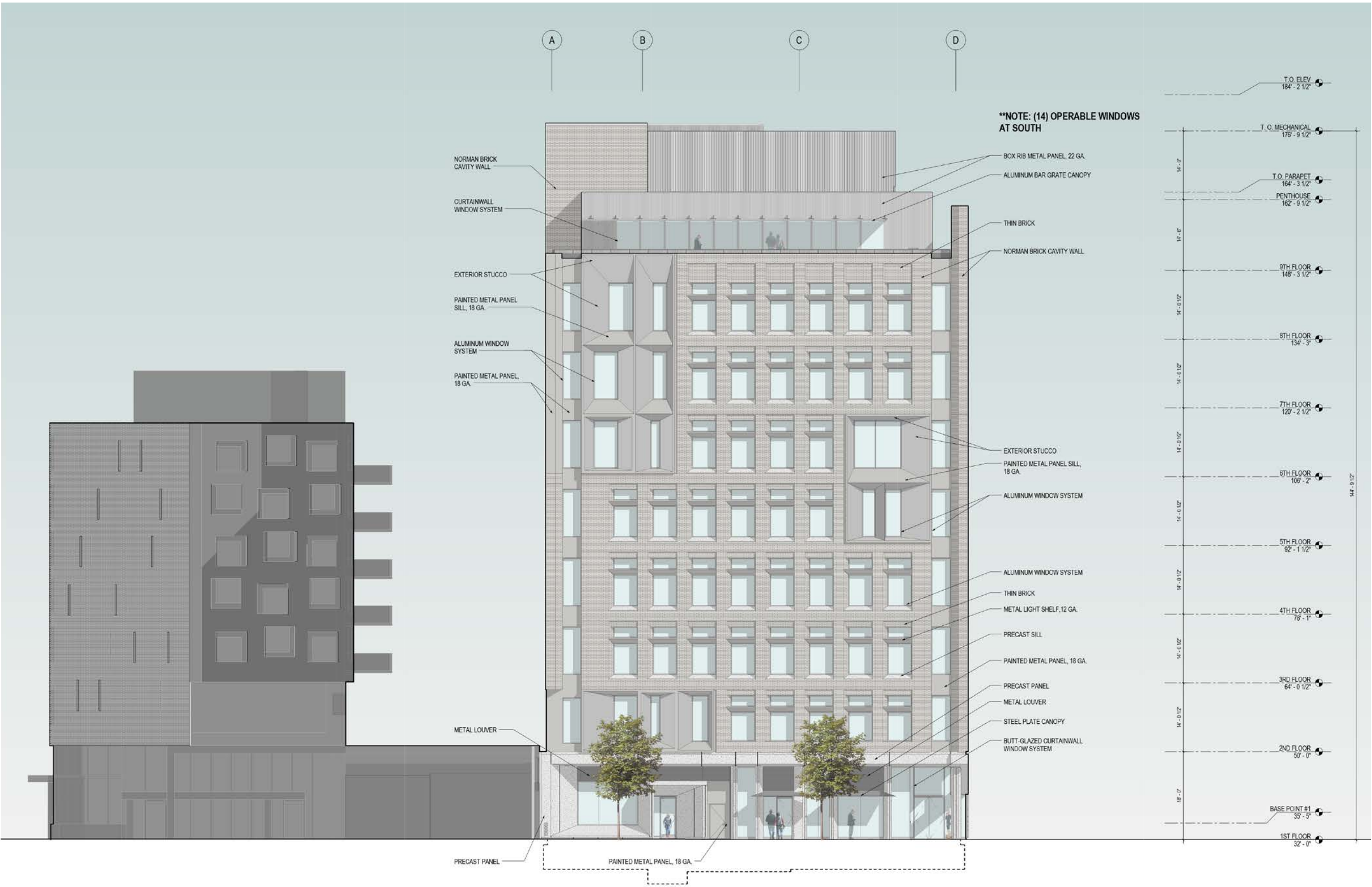


SOUTH ELEVATION

Scale = 1" = 20'-0"



- Brick 30%  
Norman Brick, Pewter Blend with Slurry
- Thin Brick 2%  
Norman Brick, Pewter Blend with Slurry
- Exterior Stucco 25%  
Cement Board, Acrylic Stucco; Champagne Gold
- Painted Metal Panel 4%  
18 Gauge, Champagne Gold
- Box Rib Metal Panel 8%  
22 Gauge, Champagne Gold
- Light Shelf 6%  
12 Gauge Metal Panel, Champagne Gold
- Glazing 23%  
Solarban 70, Clear
- Precast Concrete 2%  
Pewter Grey
- Curtain Wall & Aluminum Window System  
Champagne Gold Color
- Metal Louver  
Finish to Match Window System



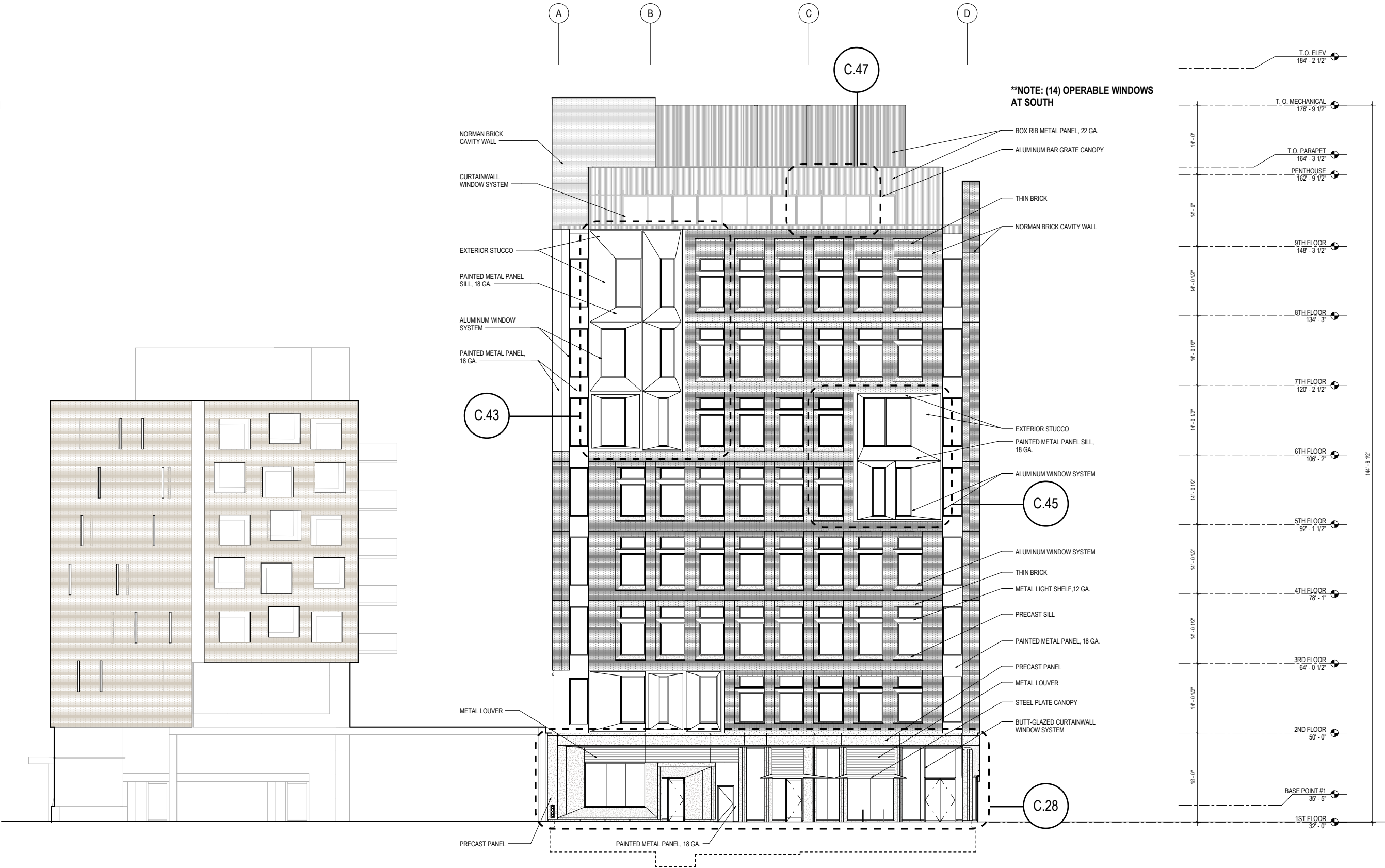


SOUTH ELEVATION

Scale = 1" = 20'-0"



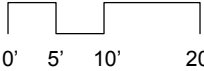
- Brick 30%  
Norman Brick, Pewter Blend with Slurry
- Thin Brick 2%  
Norman Brick, Pewter Blend with Slurry
- Exterior Stucco 25%  
Cement Board, Acrylic Stucco; Champagne Gold
- Painted Metal Panel 4%  
18 Gauge, Champagne Gold
- Box Rib Metal Panel 8%  
22 Gauge, Champagne Gold
- Light Shelf 6%  
12 Gauge Metal Panel, Champagne Gold
- Glazing 23%  
Solarban 70, Clear
- Precast Concrete 2%  
Pewter Grey
- Curtain Wall & Aluminum Window System  
Champagne Gold Color
- Metal Louver  
Finish to Match Window System





NORTH ELEVATION

Scale = 1" = 20'-0"



- Brick

33%
- Norman Brick, Pewter Blend with Slurry
- Thin Brick

3%
- Norman Brick, Pewter Blend with Slurry
- Exterior Stucco

19%
- Cement Board, Acrylic Stucco; Champagne Gold
- Painted Metal Panel

3%
- 18 Gauge, Champagne Gold
- Box Rib Metal Panel

7%
- 22 Gauge, Champagne Gold
- Glazing

28%
- Solarban 70, Clear
- Precast Concrete

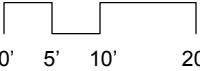
3%
- Pewter Grey
- Curtain Wall & Aluminum Window System
- Champagne Gold Color
- Overhead Coiling Door

3%
- Finish to Match Window System
- Metal Louver
- Finish to Match Window System



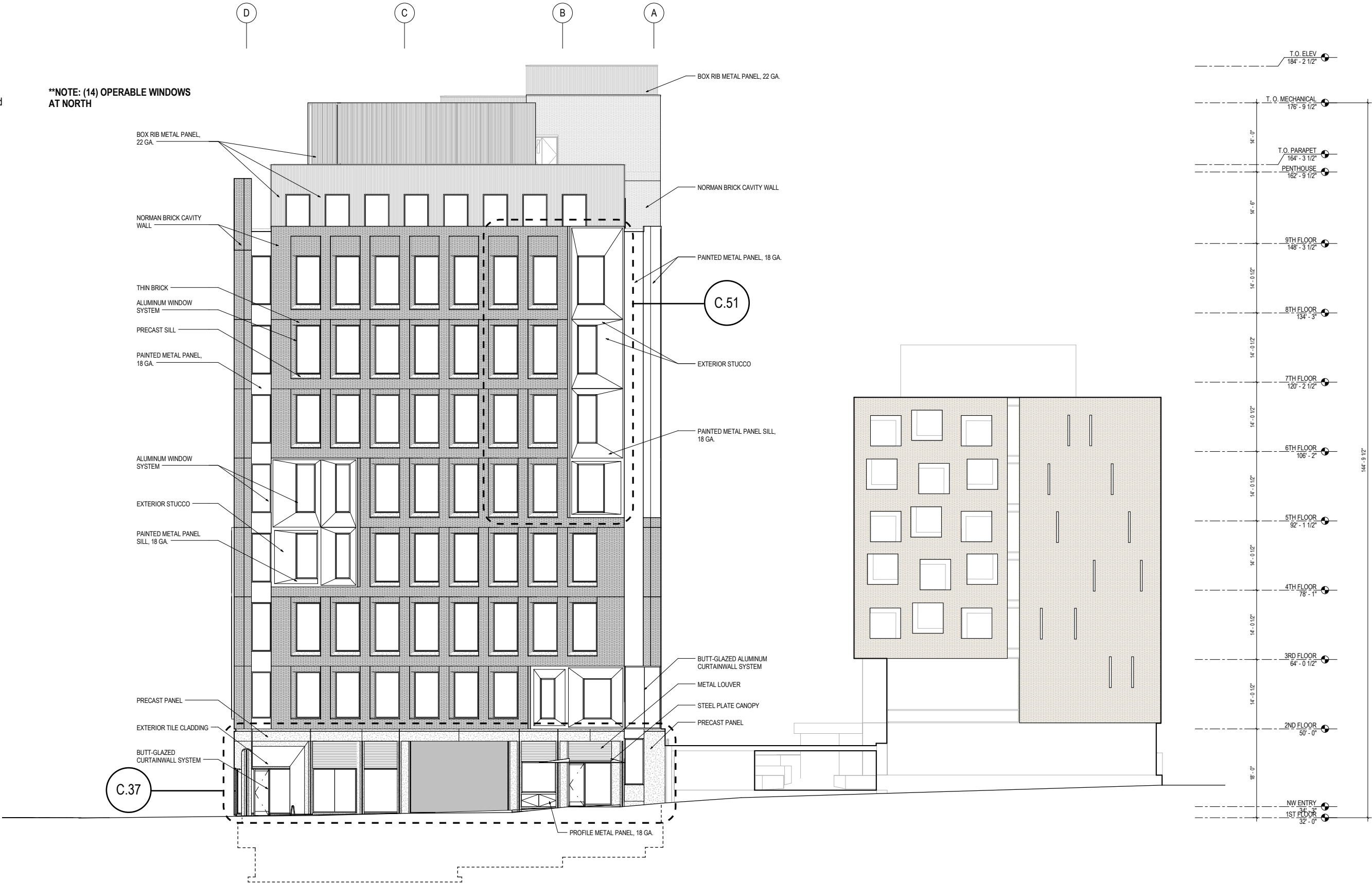
NORTH ELEVATION

Scale = 1" = 20'-0"



- Brick 33%  
Norman Brick, Pewter Blend with Slurry
- Thin Brick 3%  
Norman Brick, Pewter Blend with Slurry
- Exterior Stucco 19%  
Cement Board, Acrylic Stucco; Champagne Gold
- Painted Metal Panel 3%  
18 Gauge, Champagne Gold
- Box Rib Metal Panel 7%  
22 Gauge, Champagne Gold
- Glazing 28%  
Solarban 70, Clear
- Precast Concrete 3%  
Pewter Grey
- Curtain Wall & Aluminum Window System  
Champagne Gold Color
- Overhead Coiling Door 3%  
Finish to Match Window System
- Metal Louver  
Finish to Match Window System

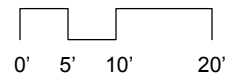
**\*\*NOTE: (14) OPERABLE WINDOWS  
AT NORTH**











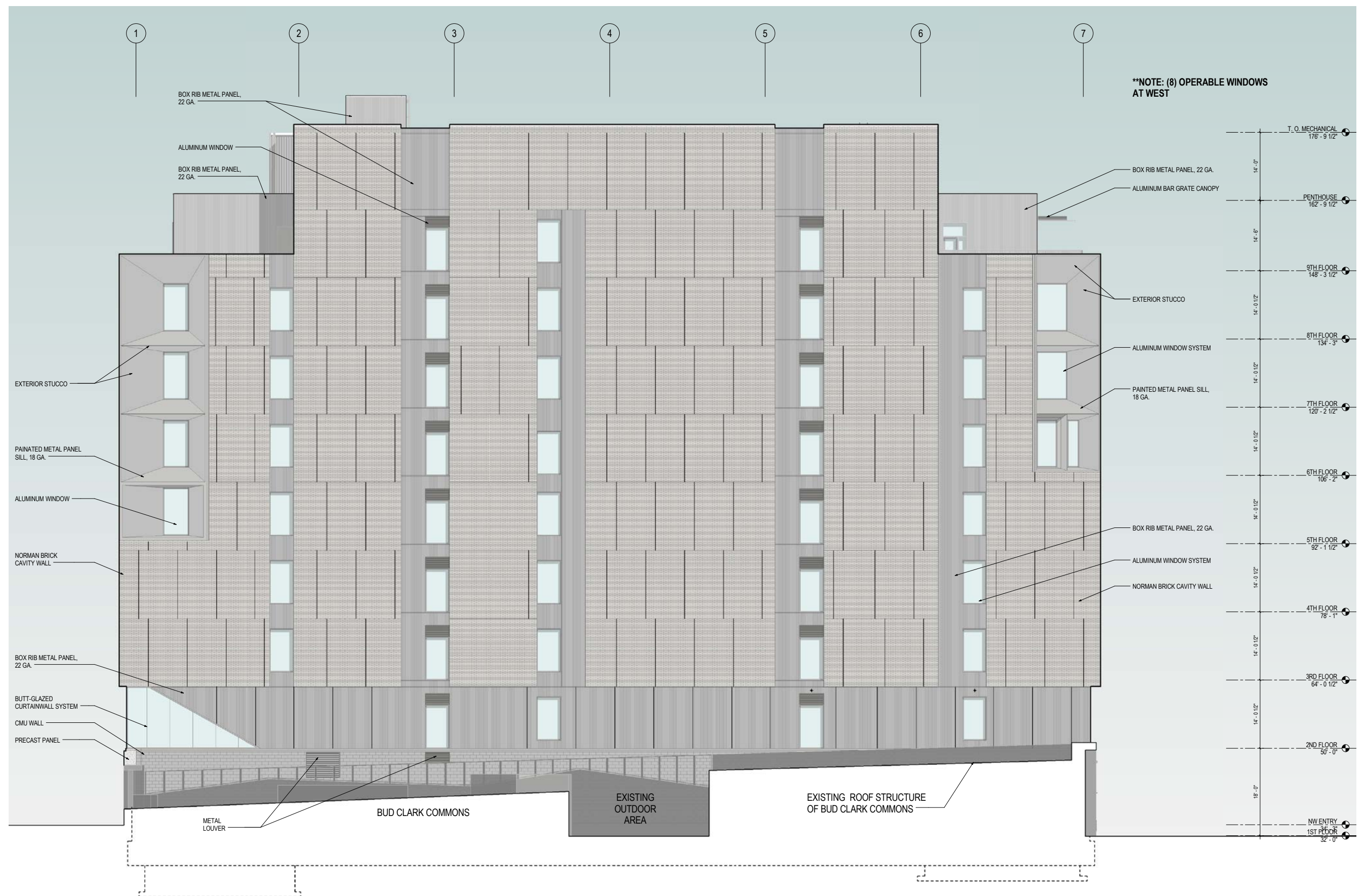


WEST ELEVATION

Scale = 1" = 20'-0"

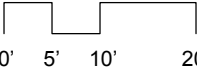


	Brick	56%
Norman Brick, Pewter Blend with Slurry		
	Exterior Stucco	5%
Cement Board, Acrylic Stucco; Champagne Gold		
	Painted Metal Panel	2%
18 Gauge, Champagne Gold		
	Box Rib Metal Panel	18%
22 Gauge, Champagne Gold		
	Glazing	7%
Solarban 70, Clear		
	Curtain Wall & Aluminum Window System	
Champagne Gold Color		
	Metal Louver	
Finish to Match Window System		
	Concrete Masonry Unit	12%



WEST ELEVATION

Scale = 1" = 20'-0"



- Brick 56%  
Norman Brick, Pewter Blend with Slurry
- Exterior Stucco 5%  
Cement Board, Acrylic Stucco; Champagne Gold
- Painted Metal Panel 2%  
18 Gauge, Champagne Gold
- Box Rib Metal Panel 18%  
22 Gauge, Champagne Gold
- Glazing 7%  
Solarban 70, Clear
- Curtain Wall & Aluminum Window System  
Champagne Gold Color
- Metal Louver  
Finish to Match Window System
- Concrete Masonry Unit 12%



# C.24 BUILDING SECTIONS

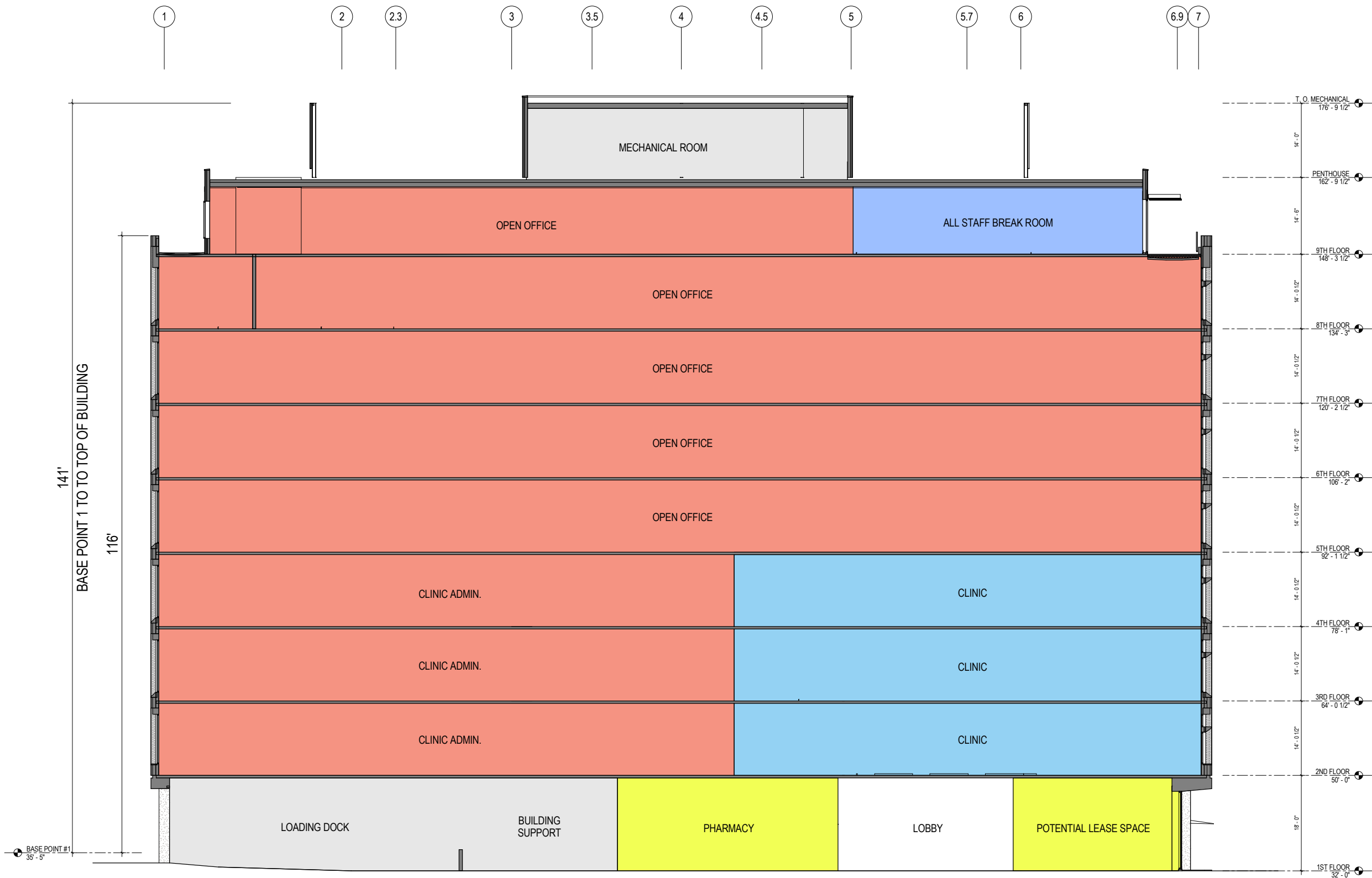
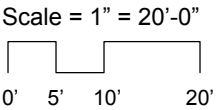
Scale = 1" = 20'-0"



## East-West



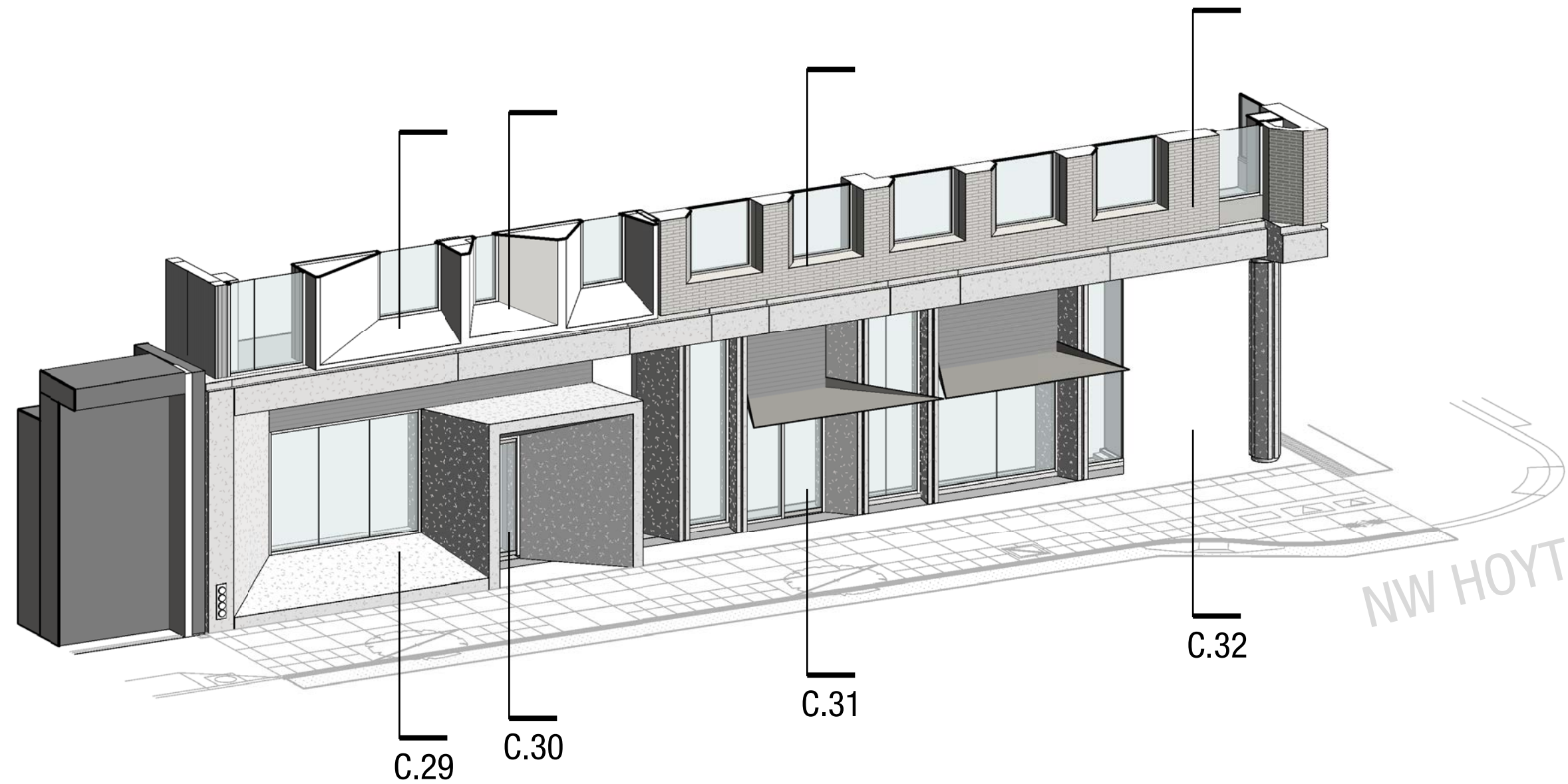
BUILDING SECTION  
North-South



# C.27 STREET SECTIONS

Scale = 1" = 4'-0"

GROUND FLOOR AXON  
South



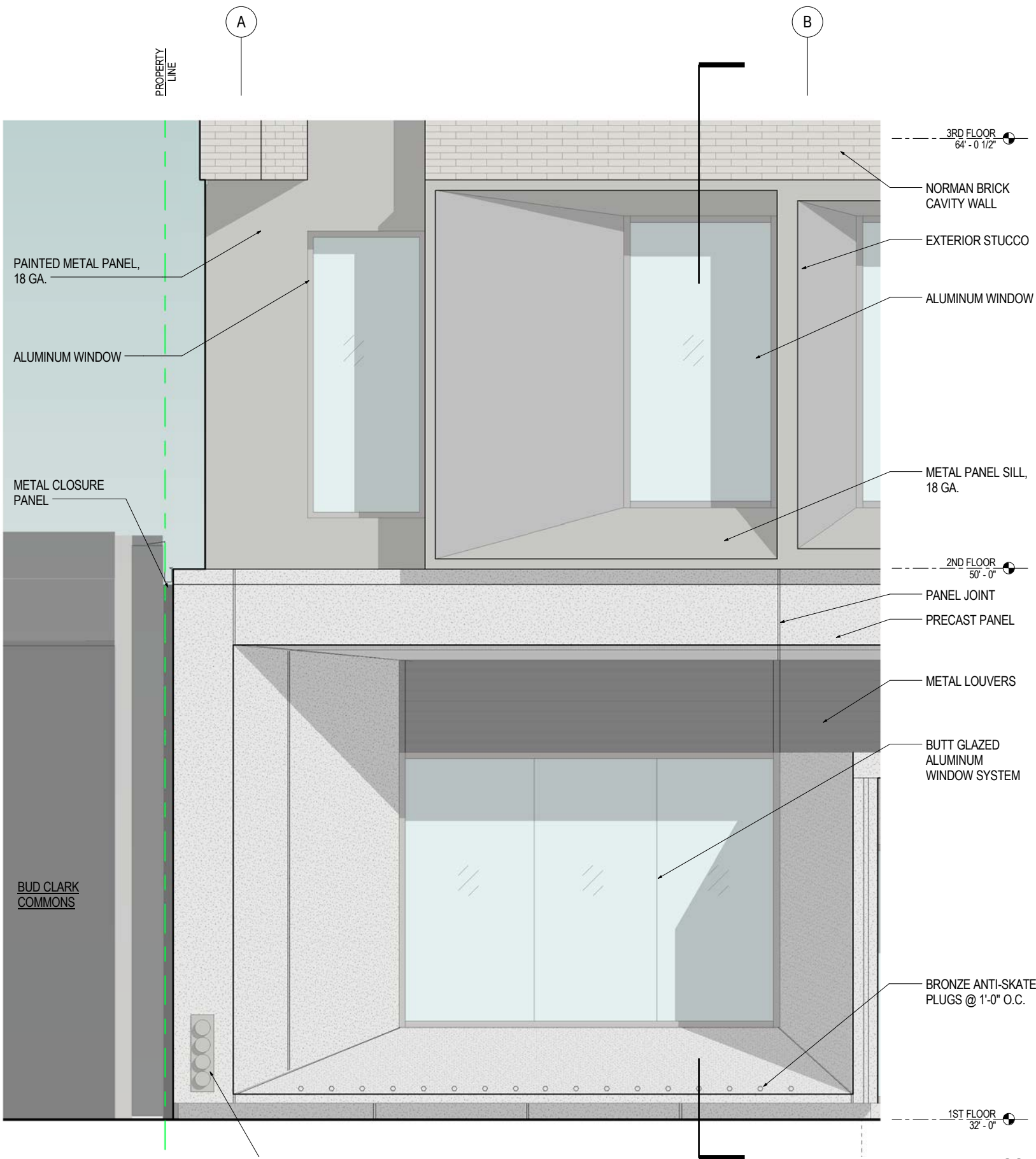
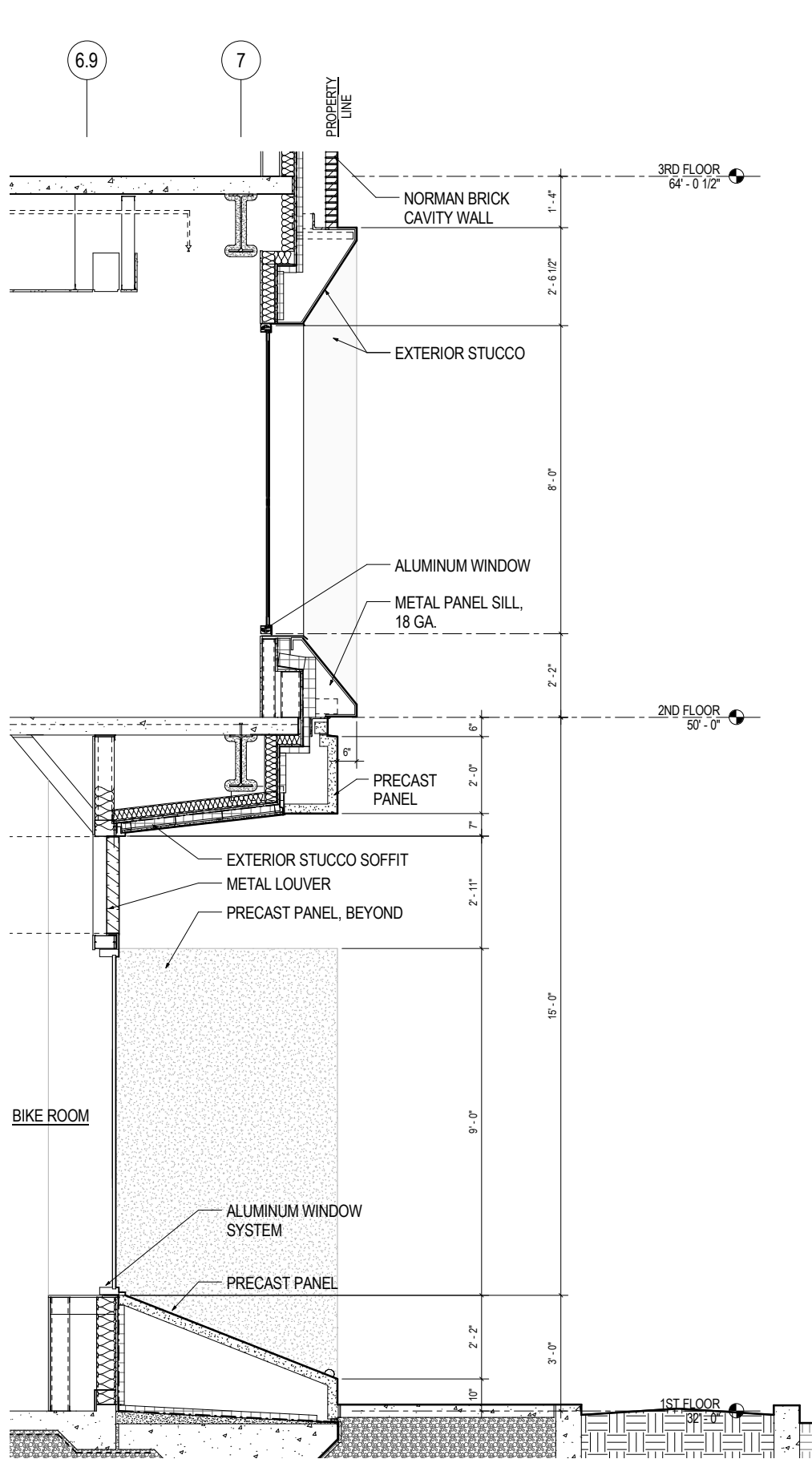
SOUTH FACADE GROUND FLOOR

Glazing Area Ratio:	40% (MIN. 25%)
Glazing Length Ratio:	53% (MIN. 50%)



STREET SECTION  
Bike Storage, South

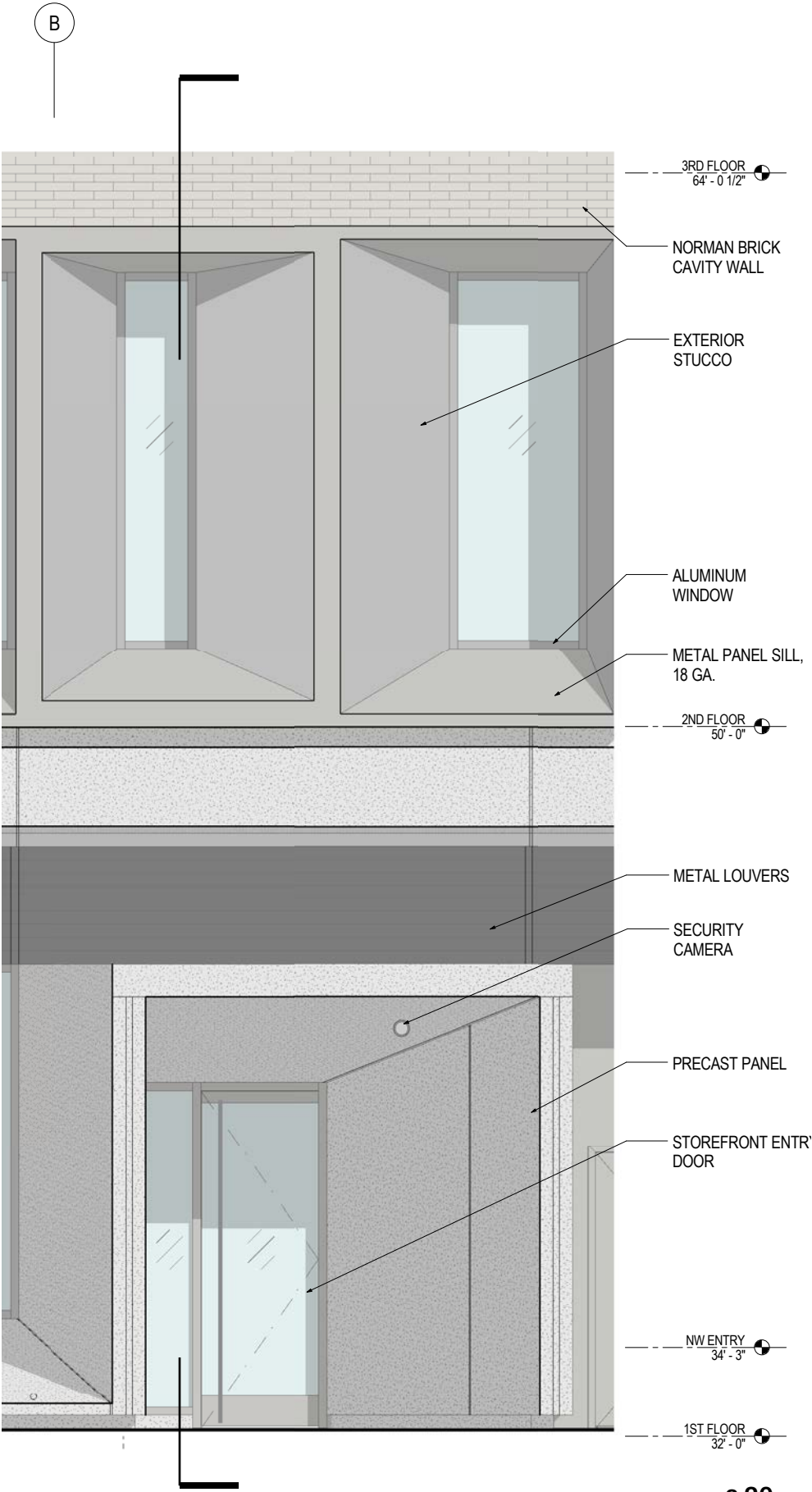
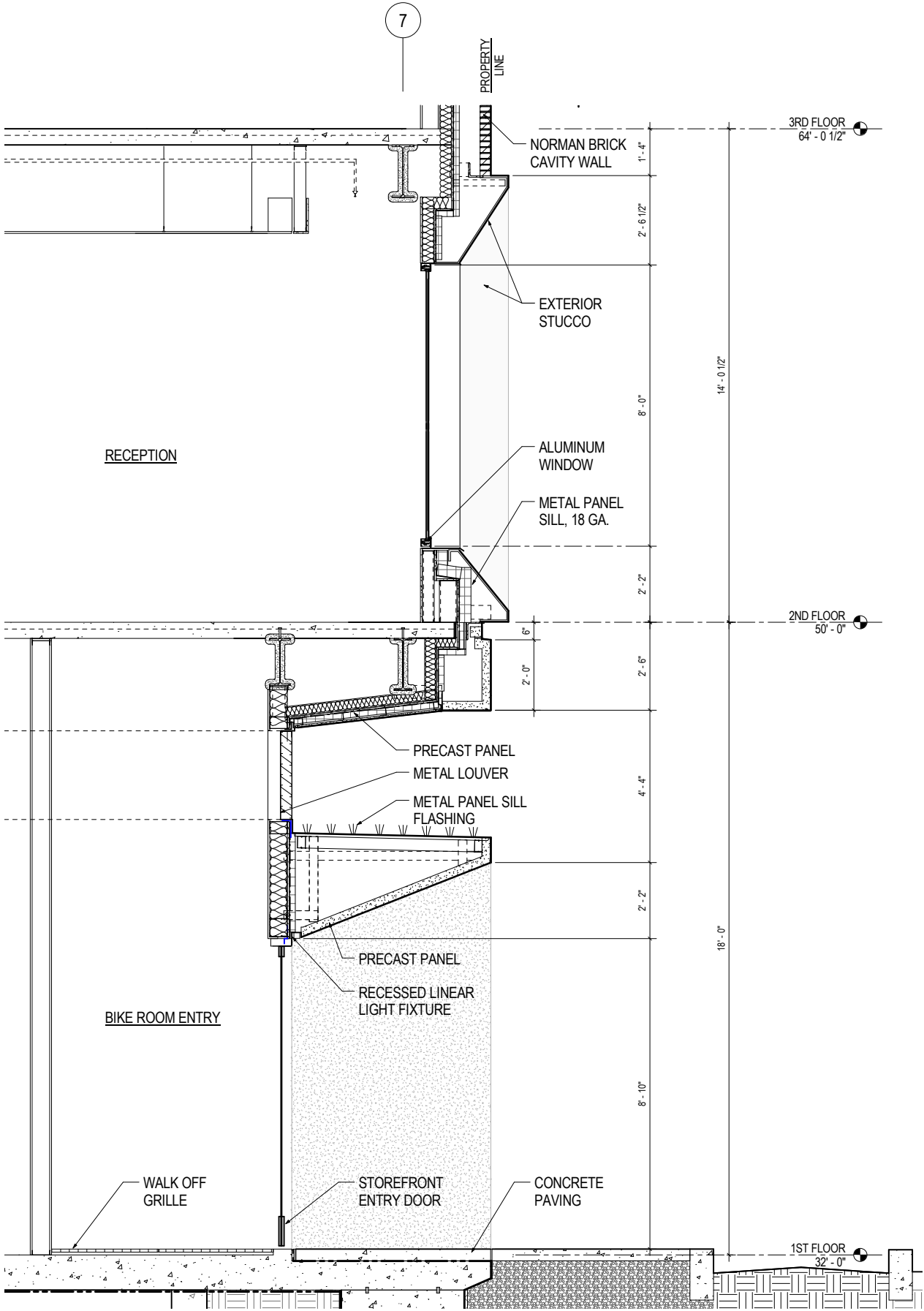
Scale = 1/4" = 1'-0"



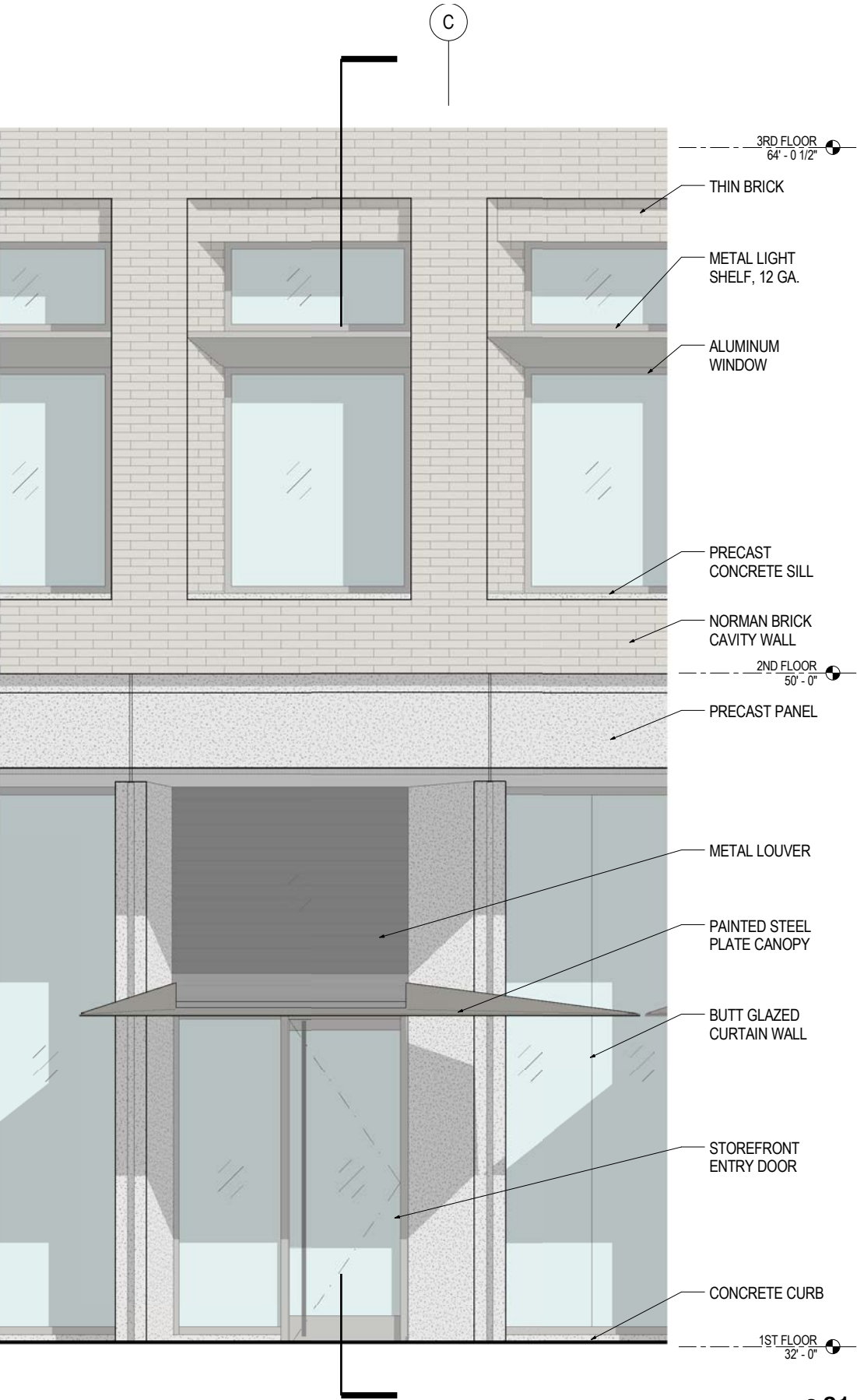
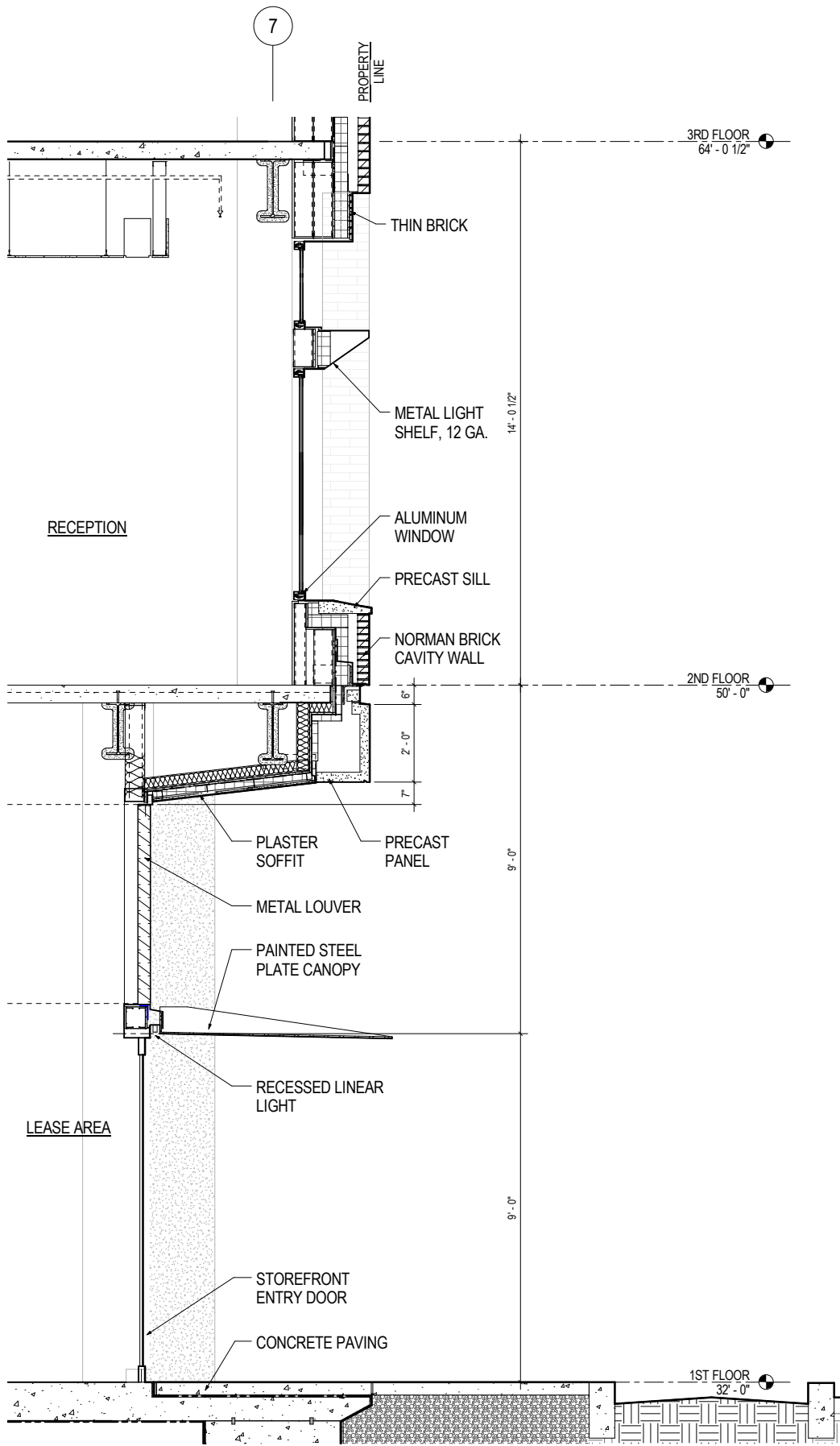
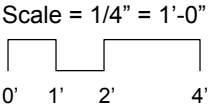
STREET SECTION  
Bike Storage Entry, South

Scale = 1/4" = 1'-0"

0' 1' 2' 4'



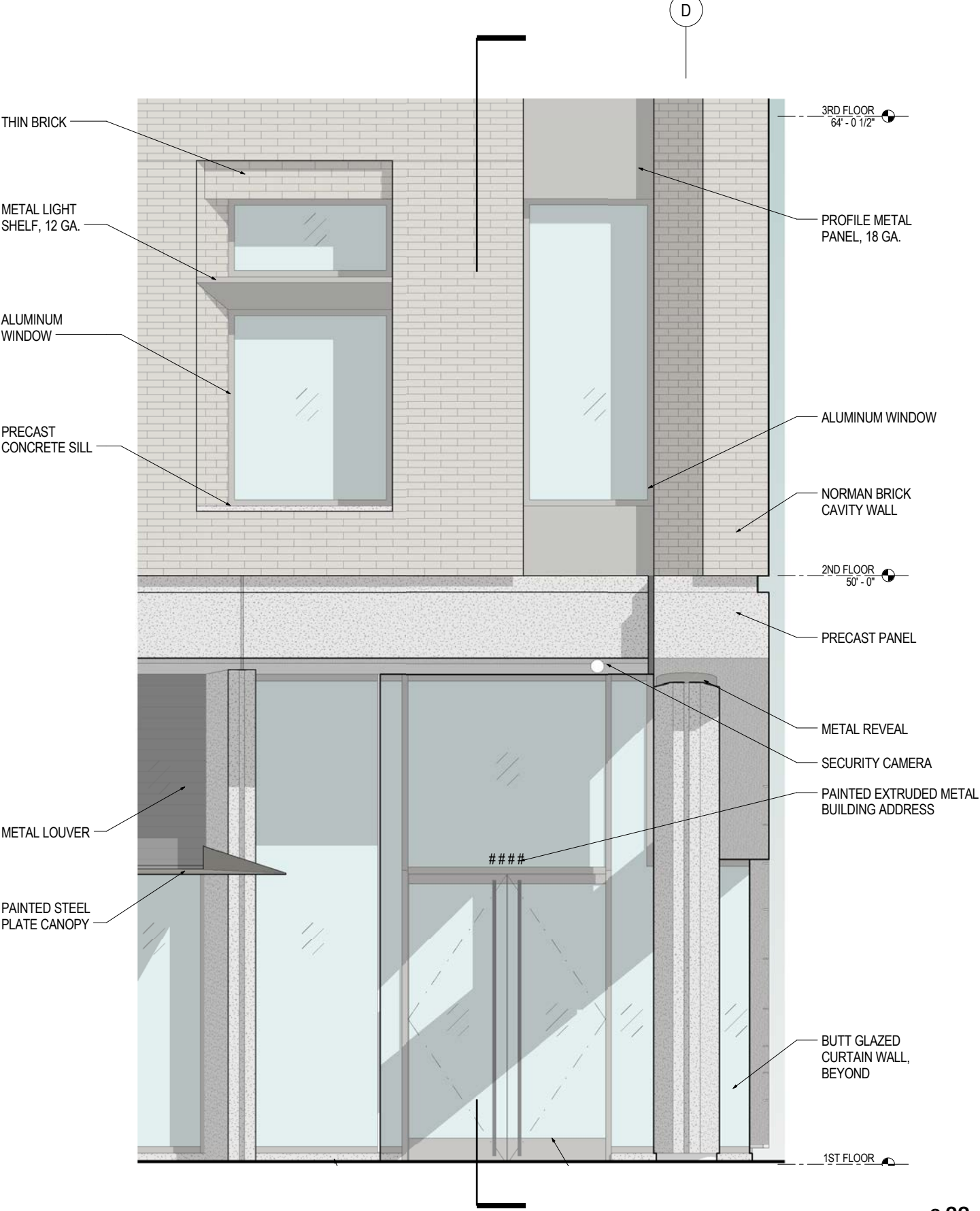
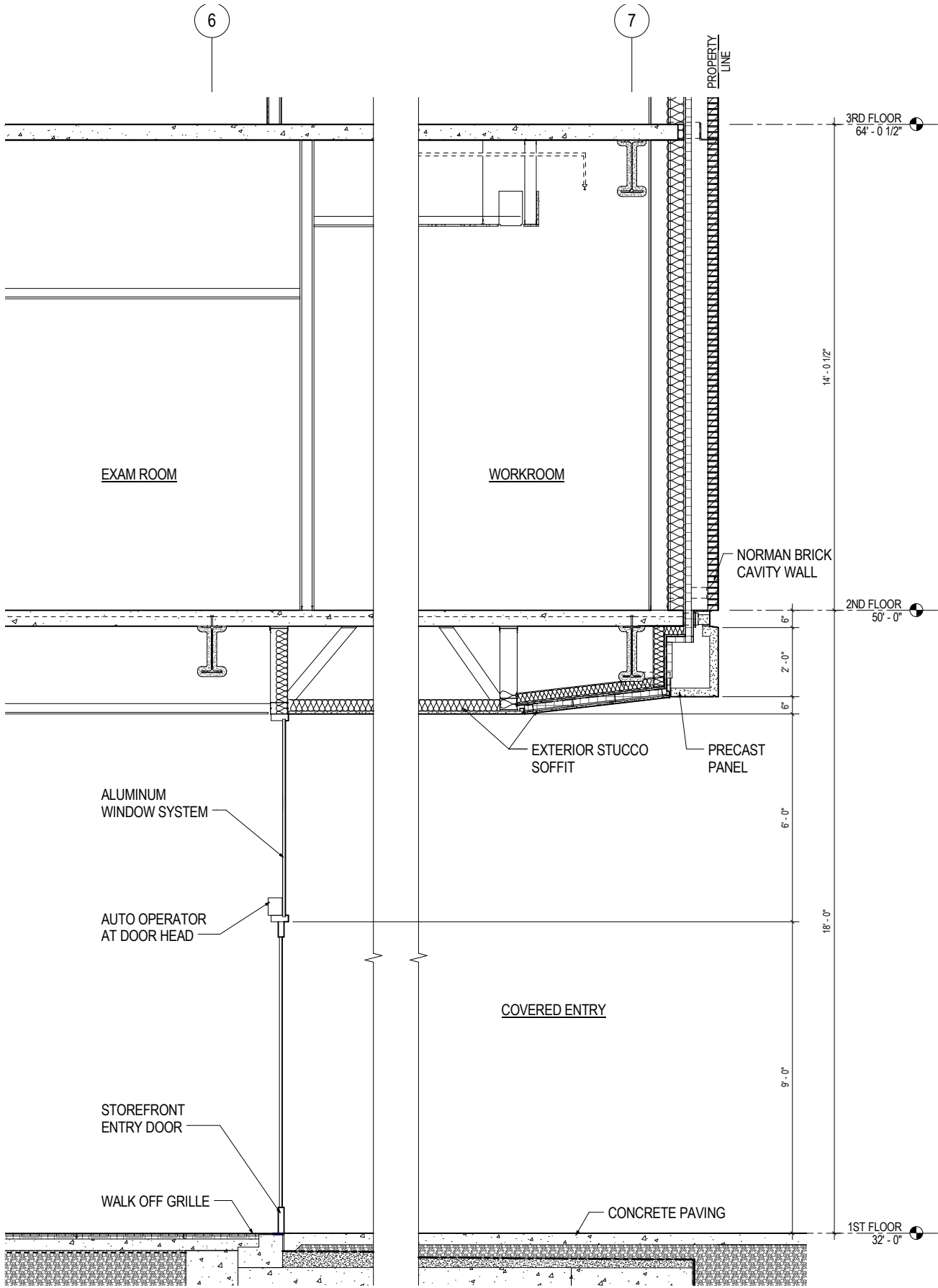
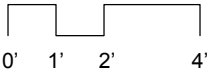
STREET SECTION  
Potential Lease Area Entry, South



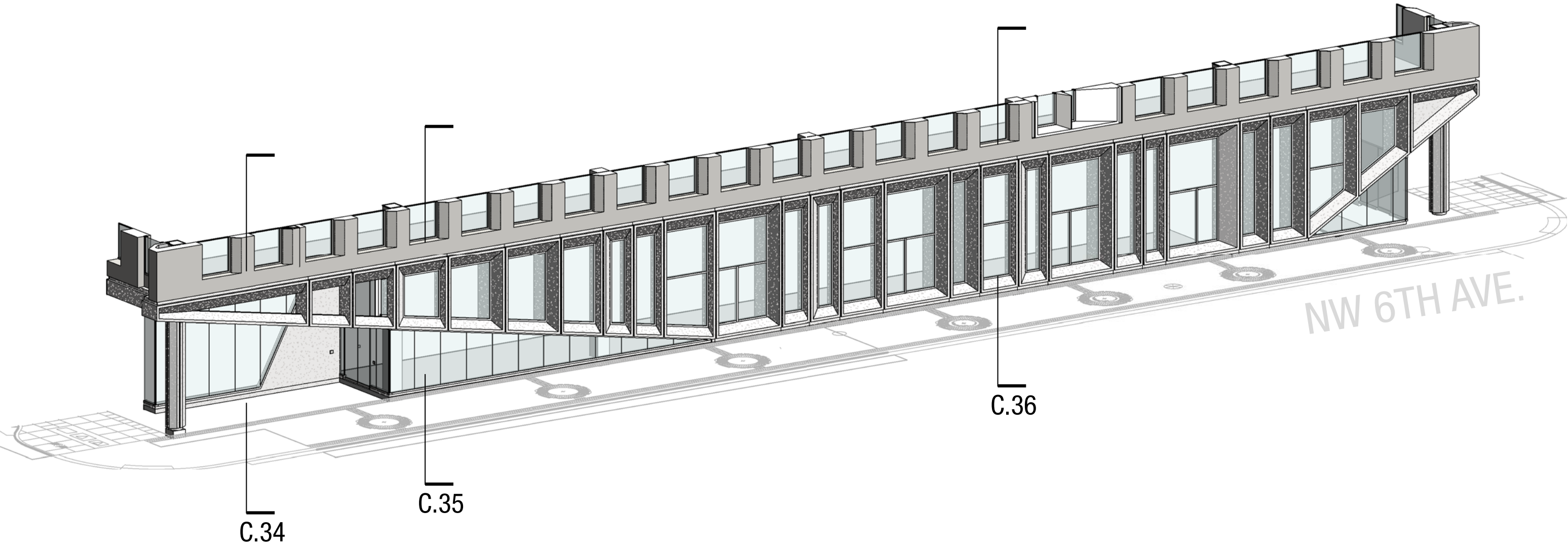


STREET SECTION  
Main Entry Porch, South

Scale = 1/4" = 1'-0"



GROUND FLOOR AXON  
East

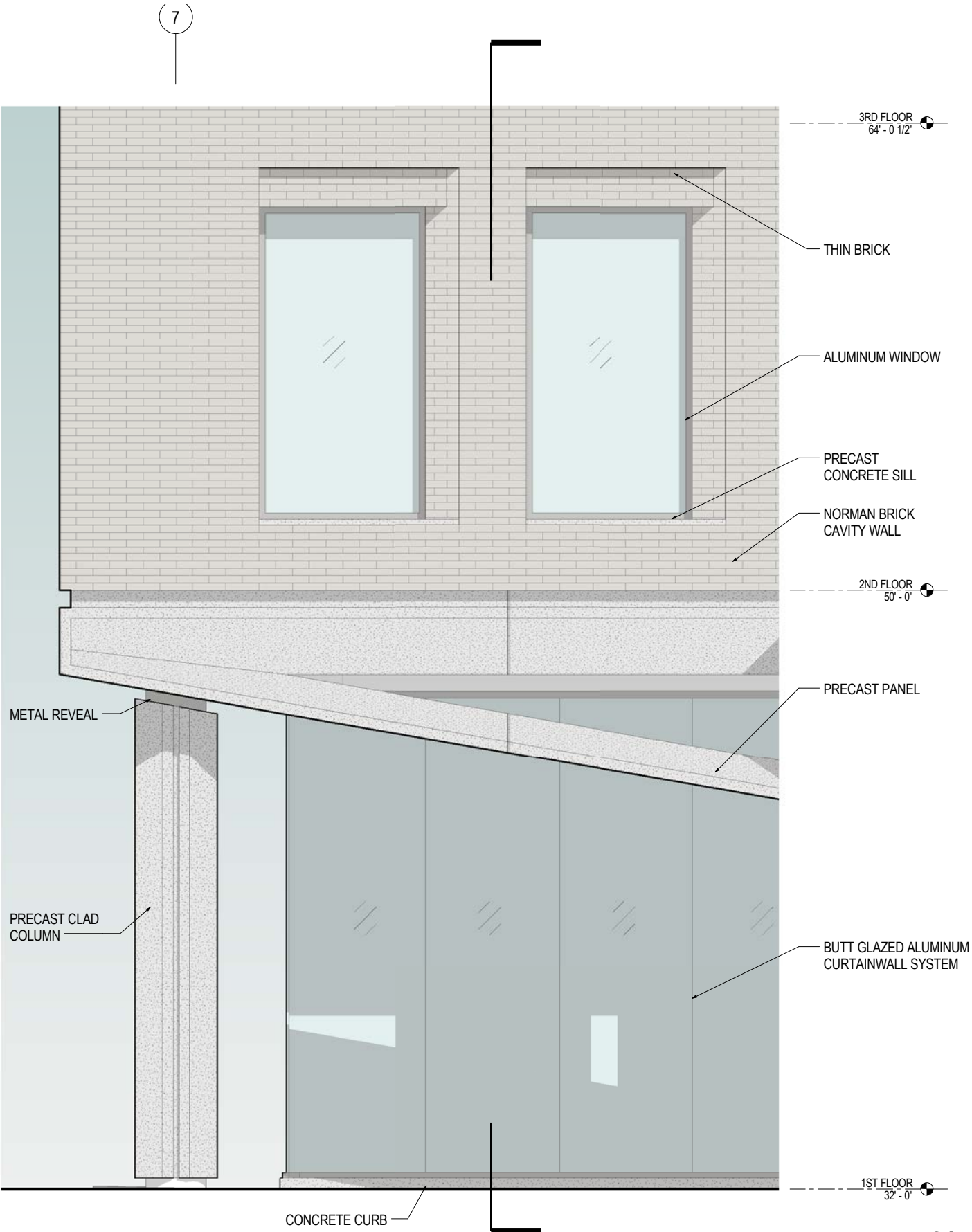
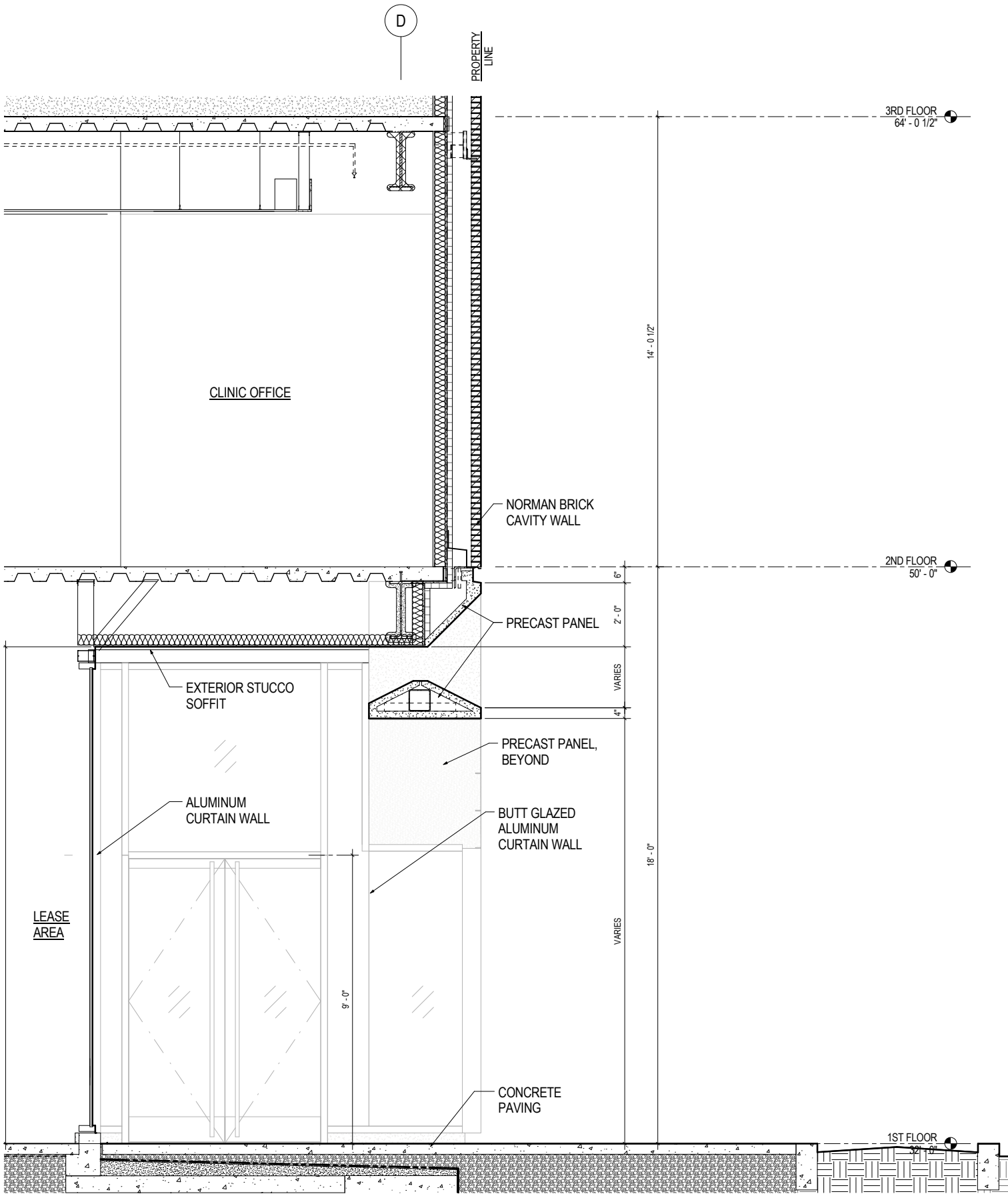
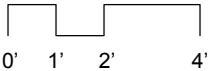


EAST FACADE GROUND FLOOR

Glazing Area Ratio:	52% (MIN. 25%)
Glazing Length Ratio:	66% (MIN. 50%)

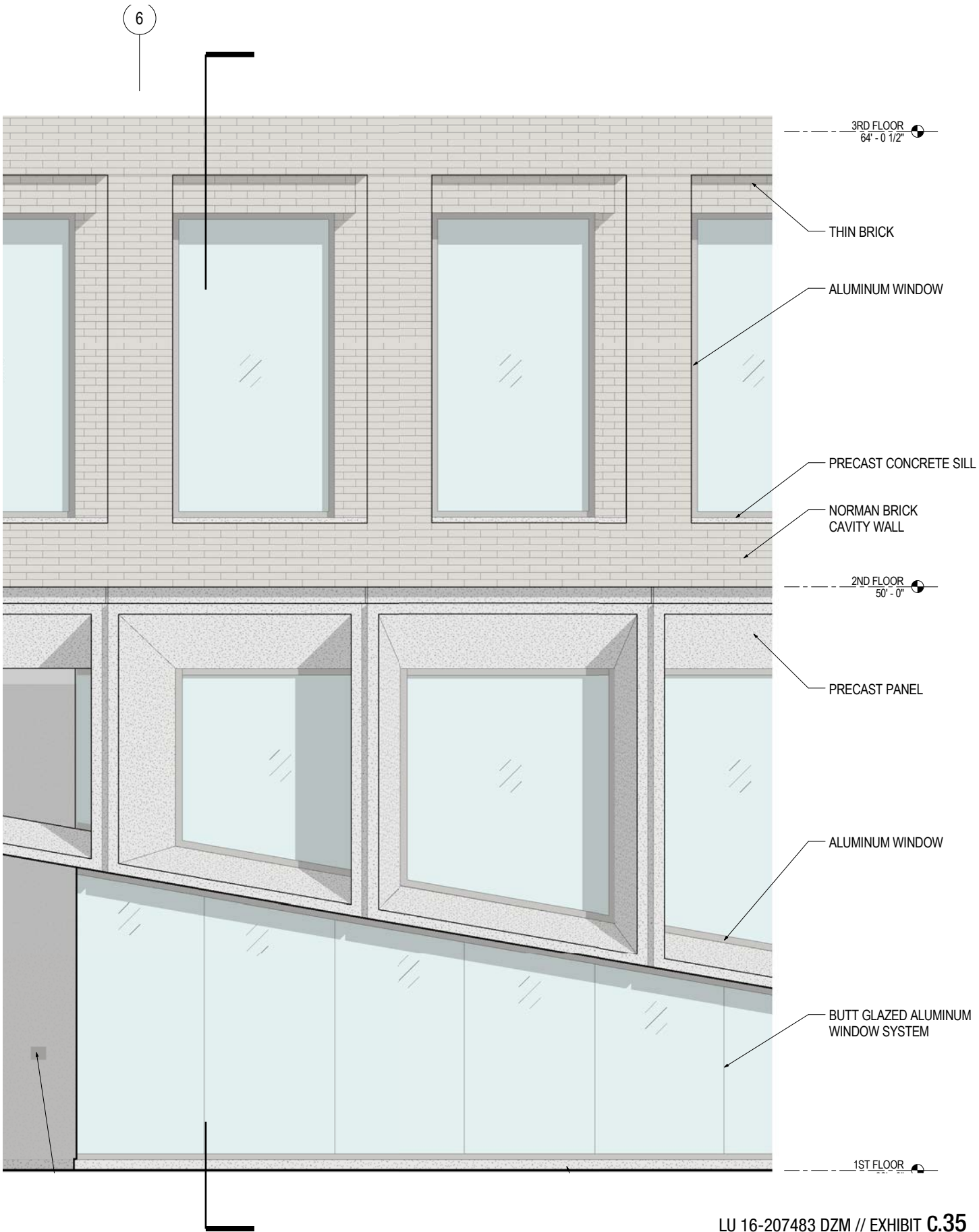
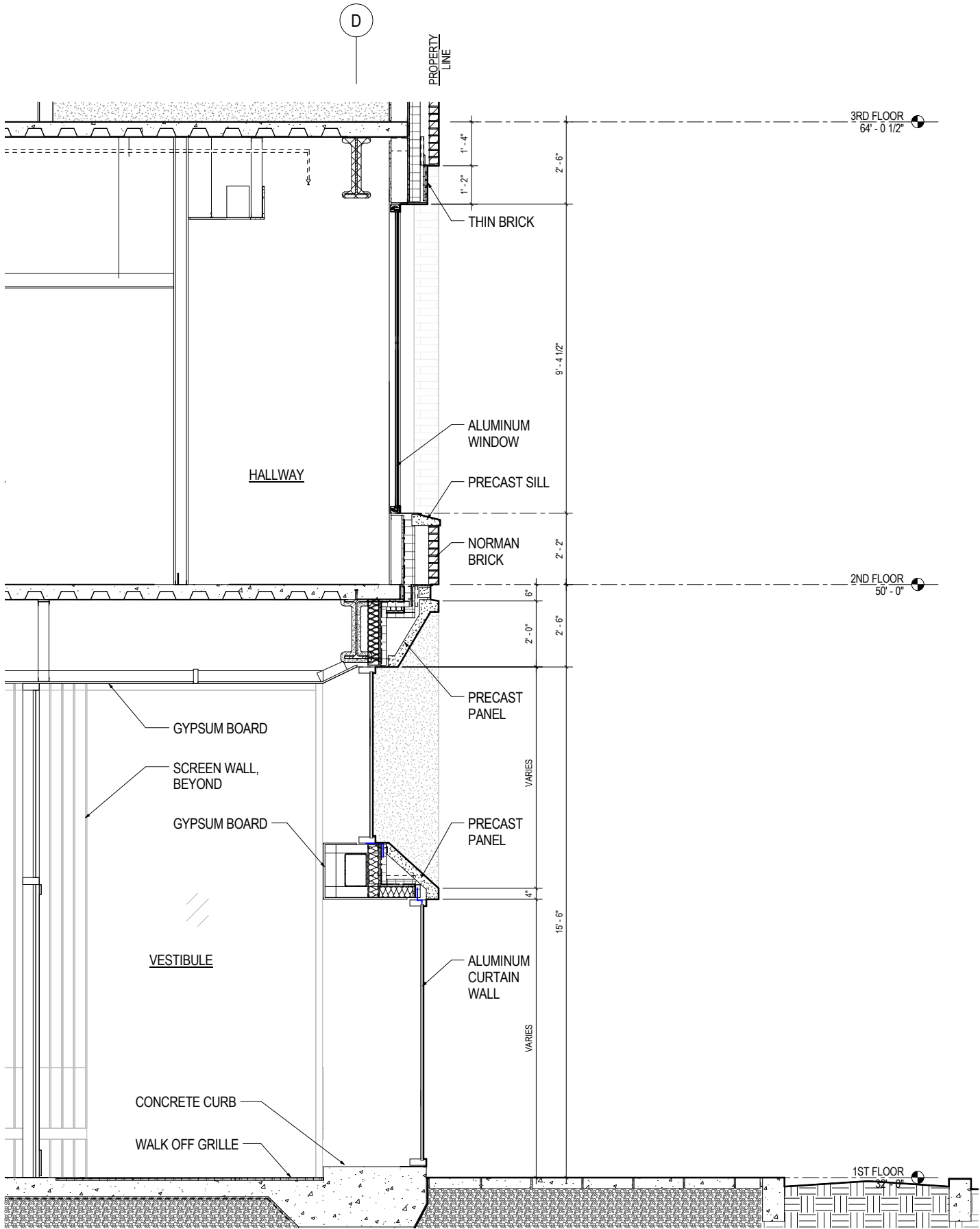
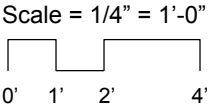
STREET SECTION  
Main Entry Porch, East

Scale = 1/4" = 1'-0"



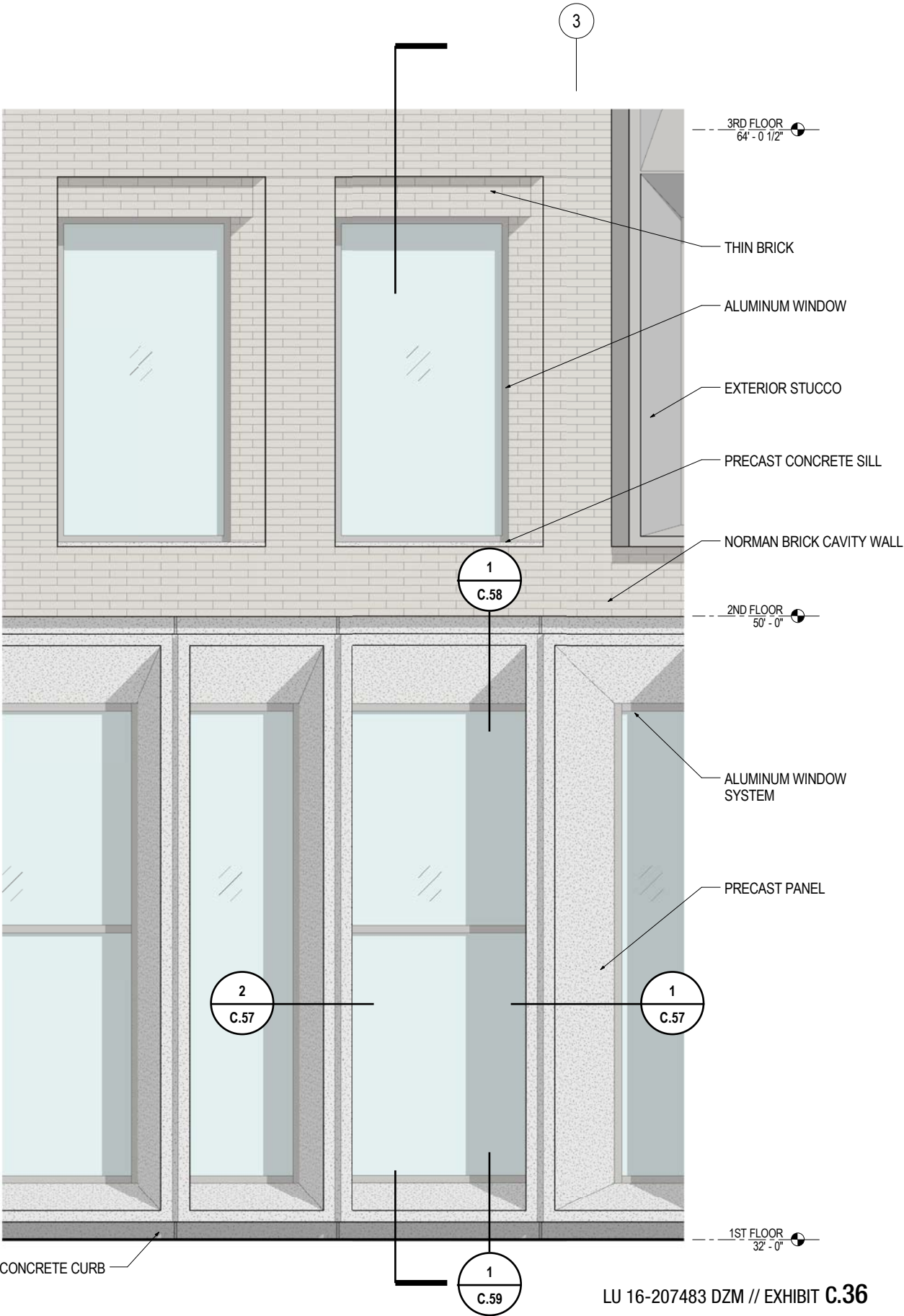
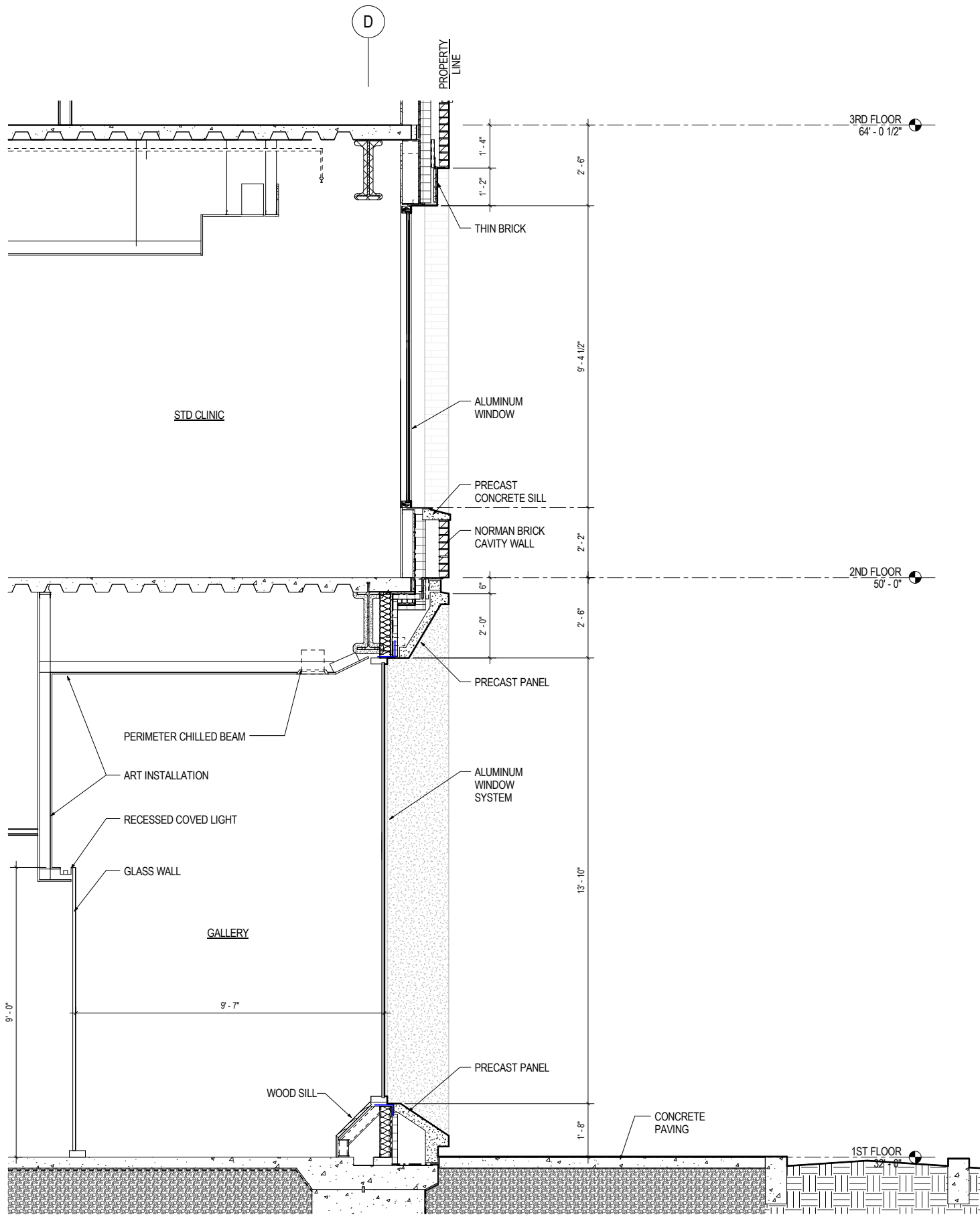
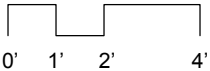


STREET SECTION  
Main Entry Vestibule, East



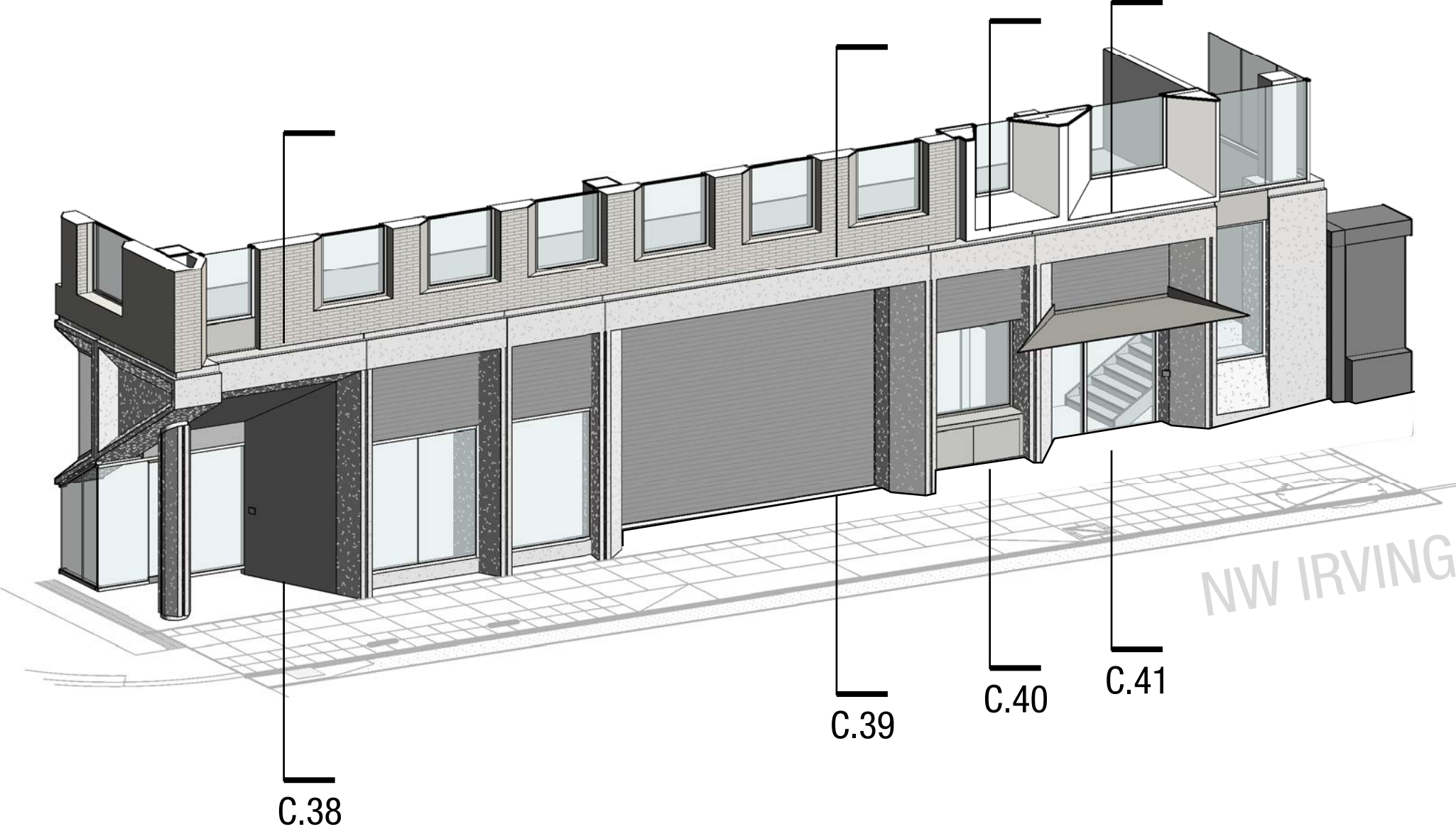
STREET SECTION  
Gallery, East

Scale = 1/4" = 1'-0"



GROUND FLOOR AXON

North

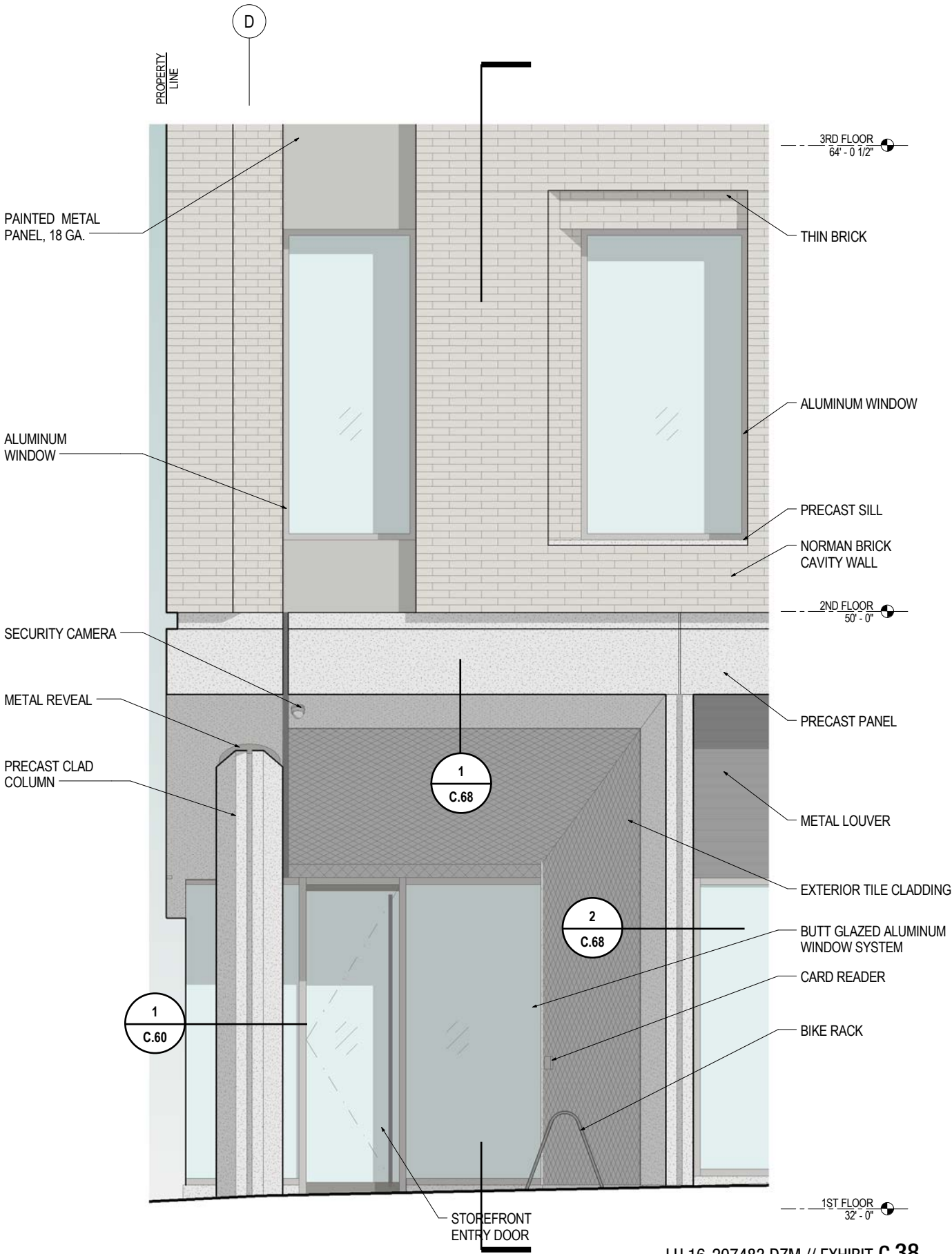
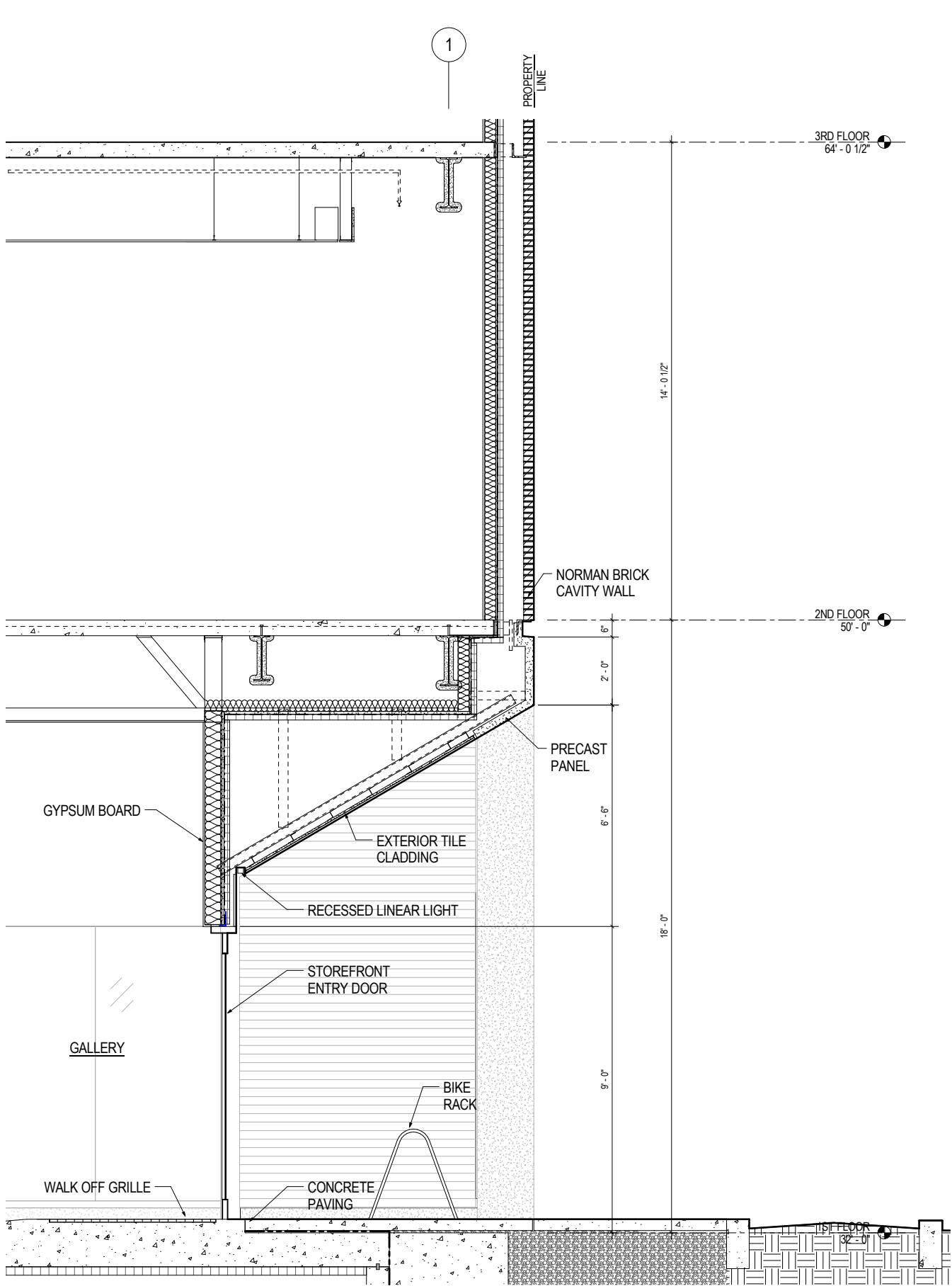
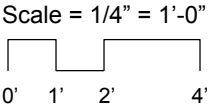


NORTH FACADE GROUND FLOOR

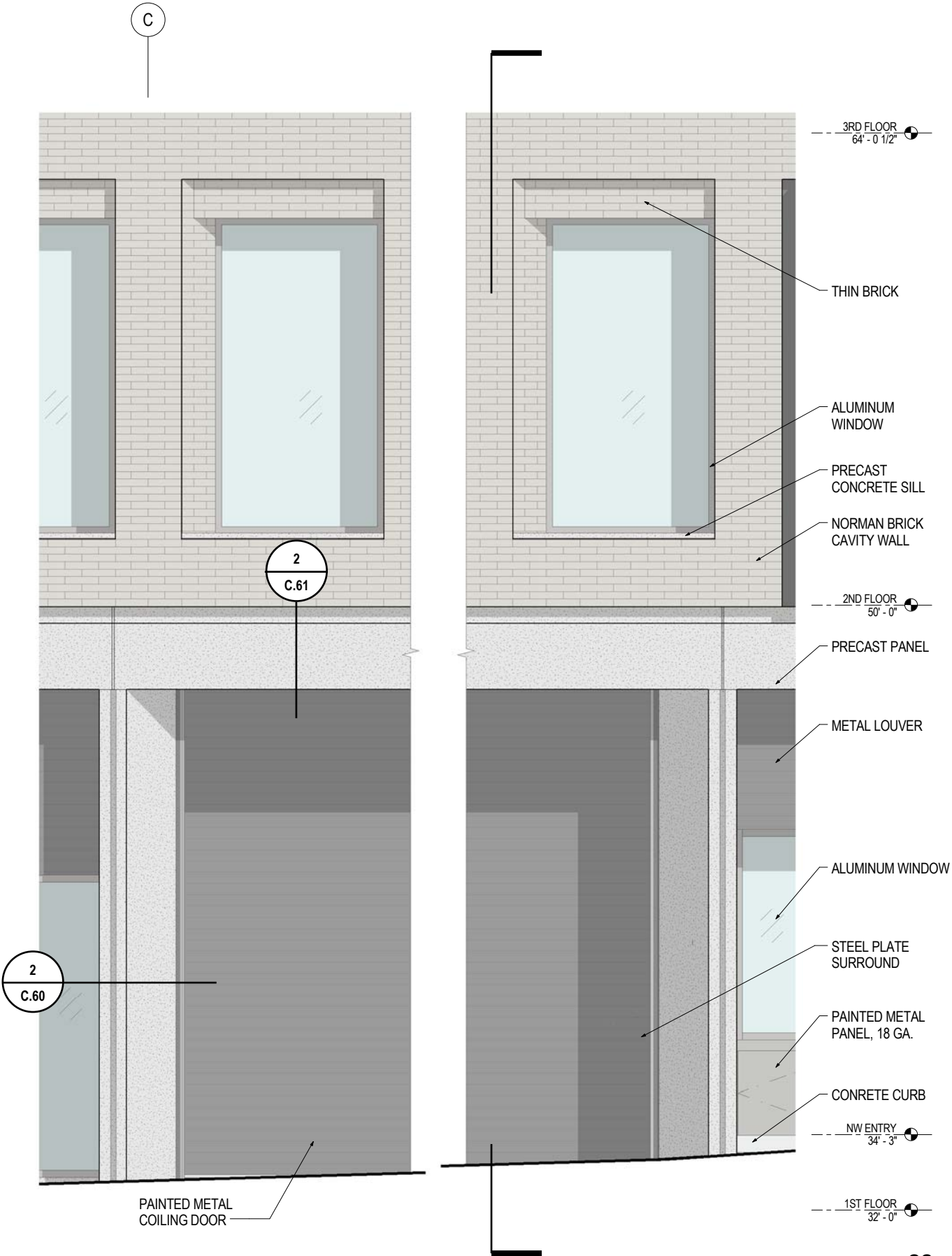
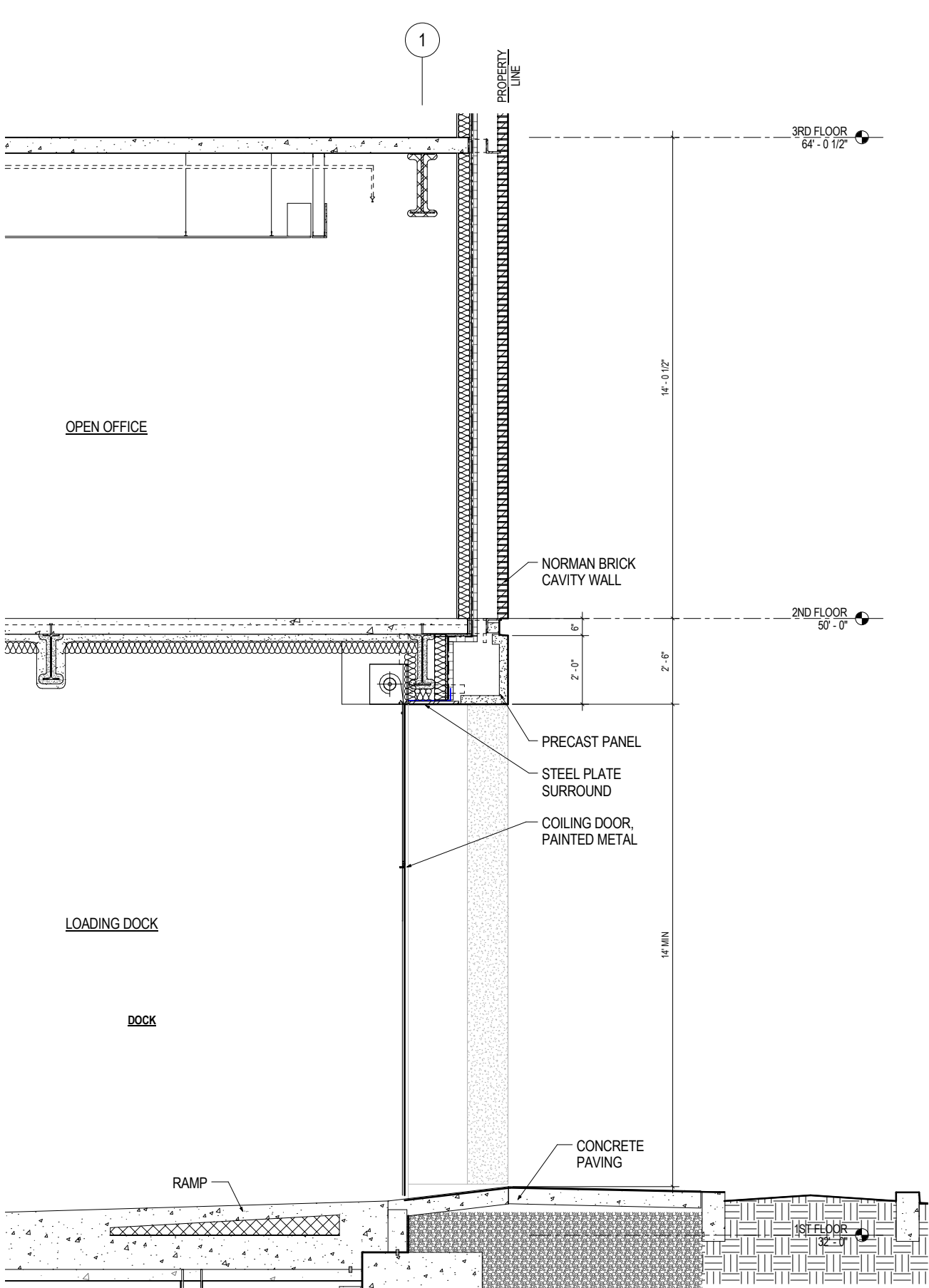
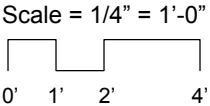
Glazing Area Ratio:	47% (MIN. 25%)
Glazing Length Ratio:	52.5% (MIN. 50%)



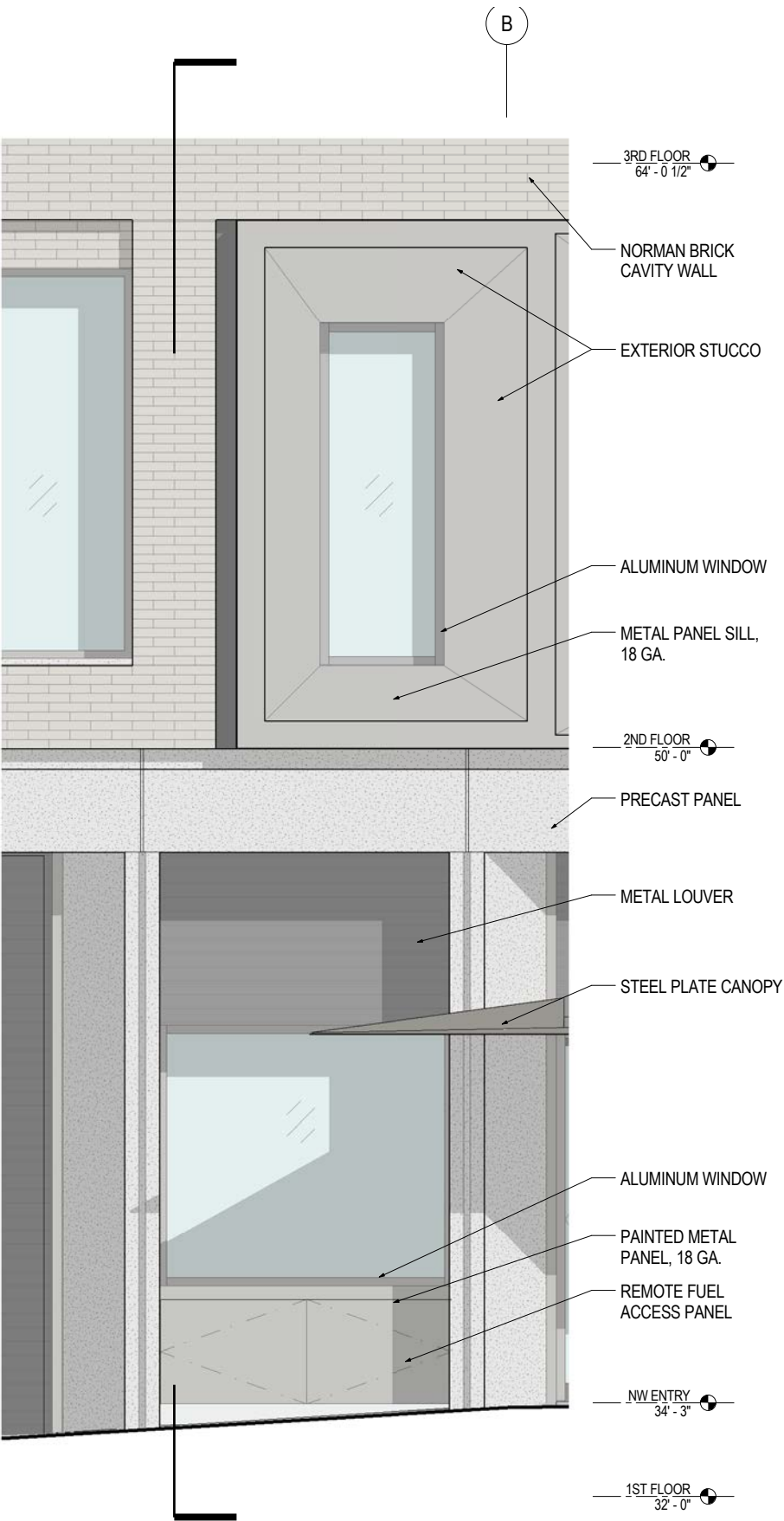
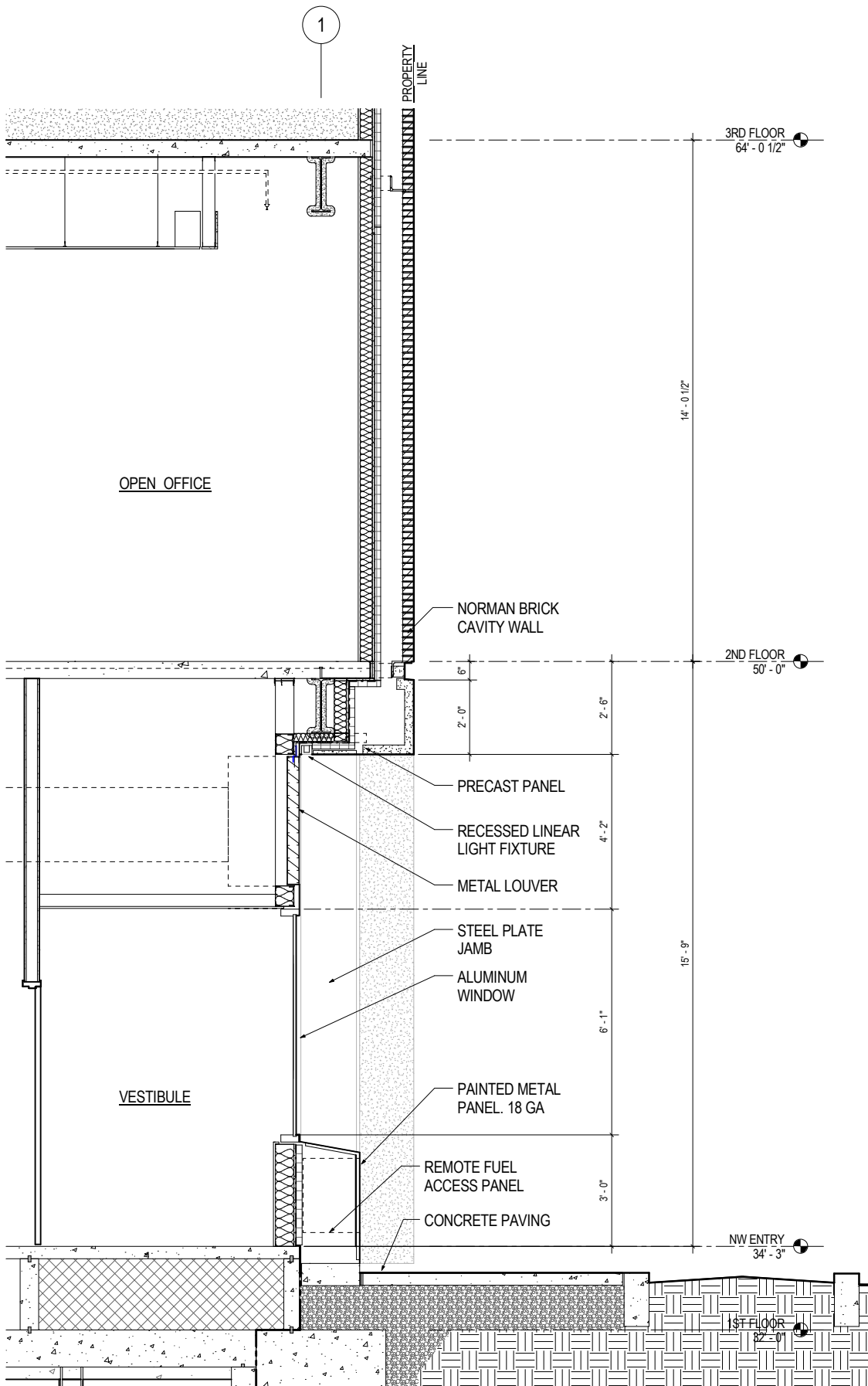
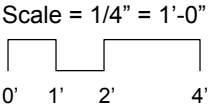
STREET SECTION  
Gallery Entry, North



STREET SECTION  
Loading Dock, North

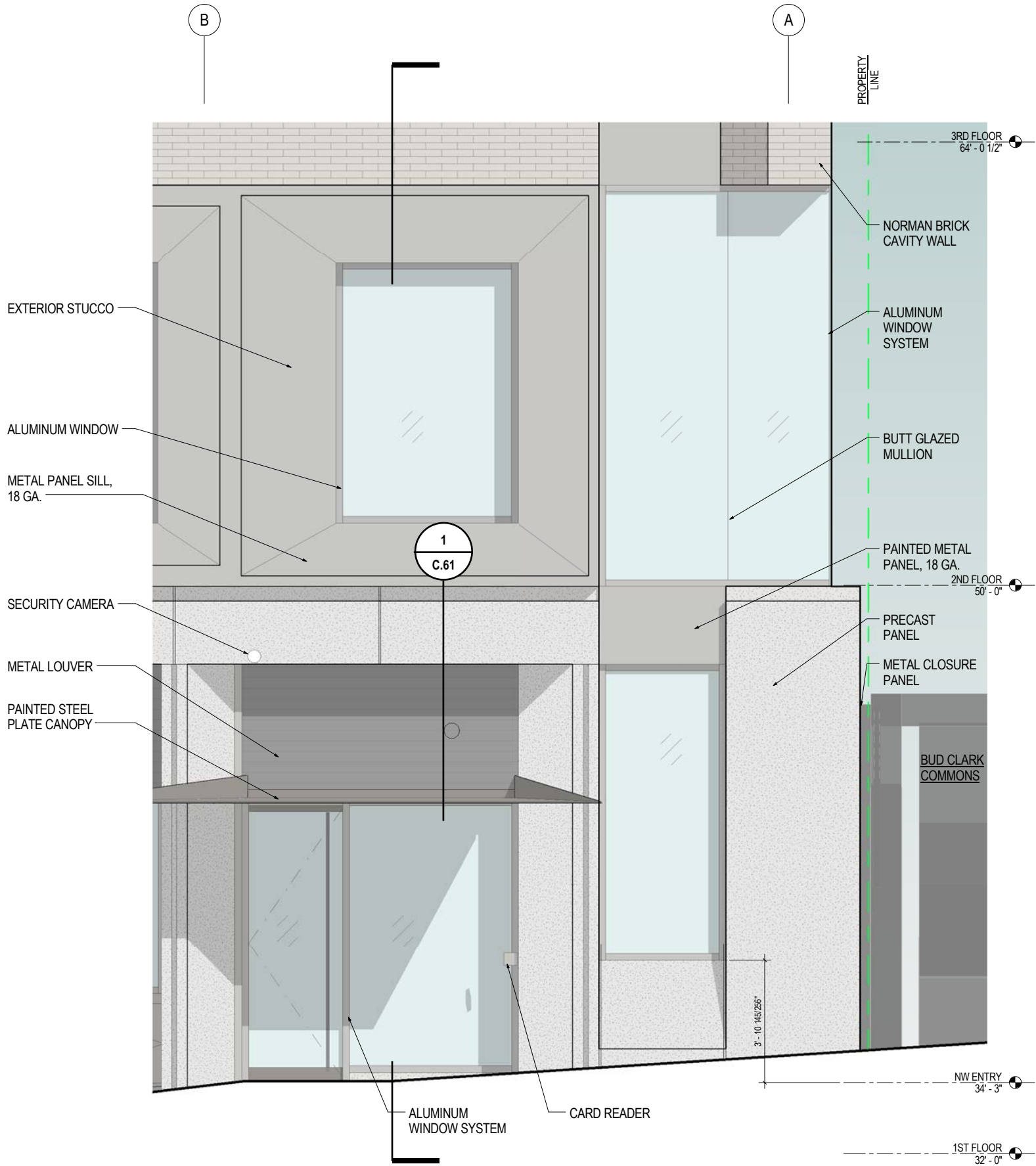
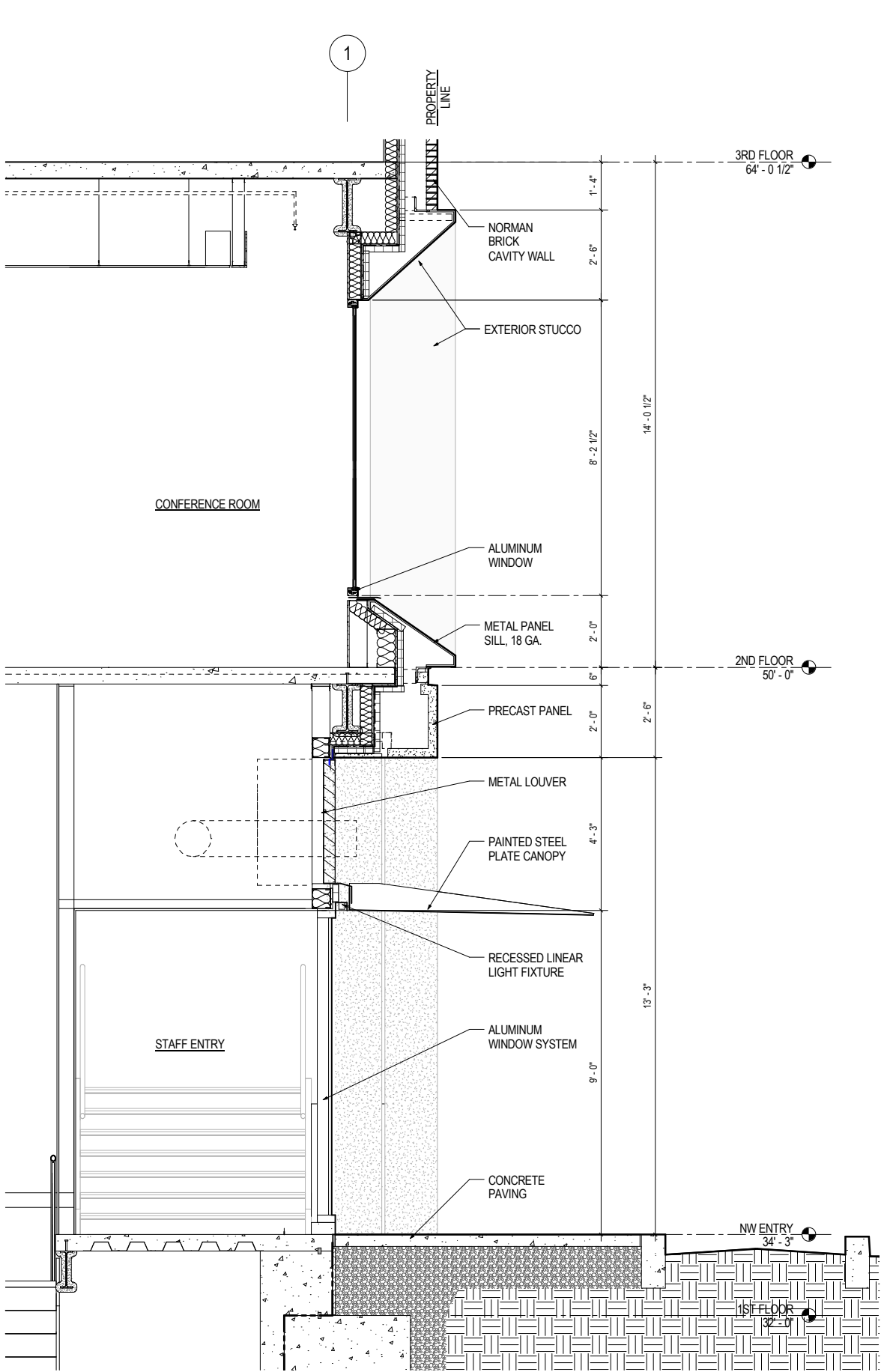
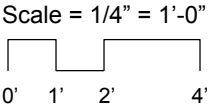


STREET SECTION  
Loading Dock, North





STREET SECTION  
Staff Entry Vestibule, North



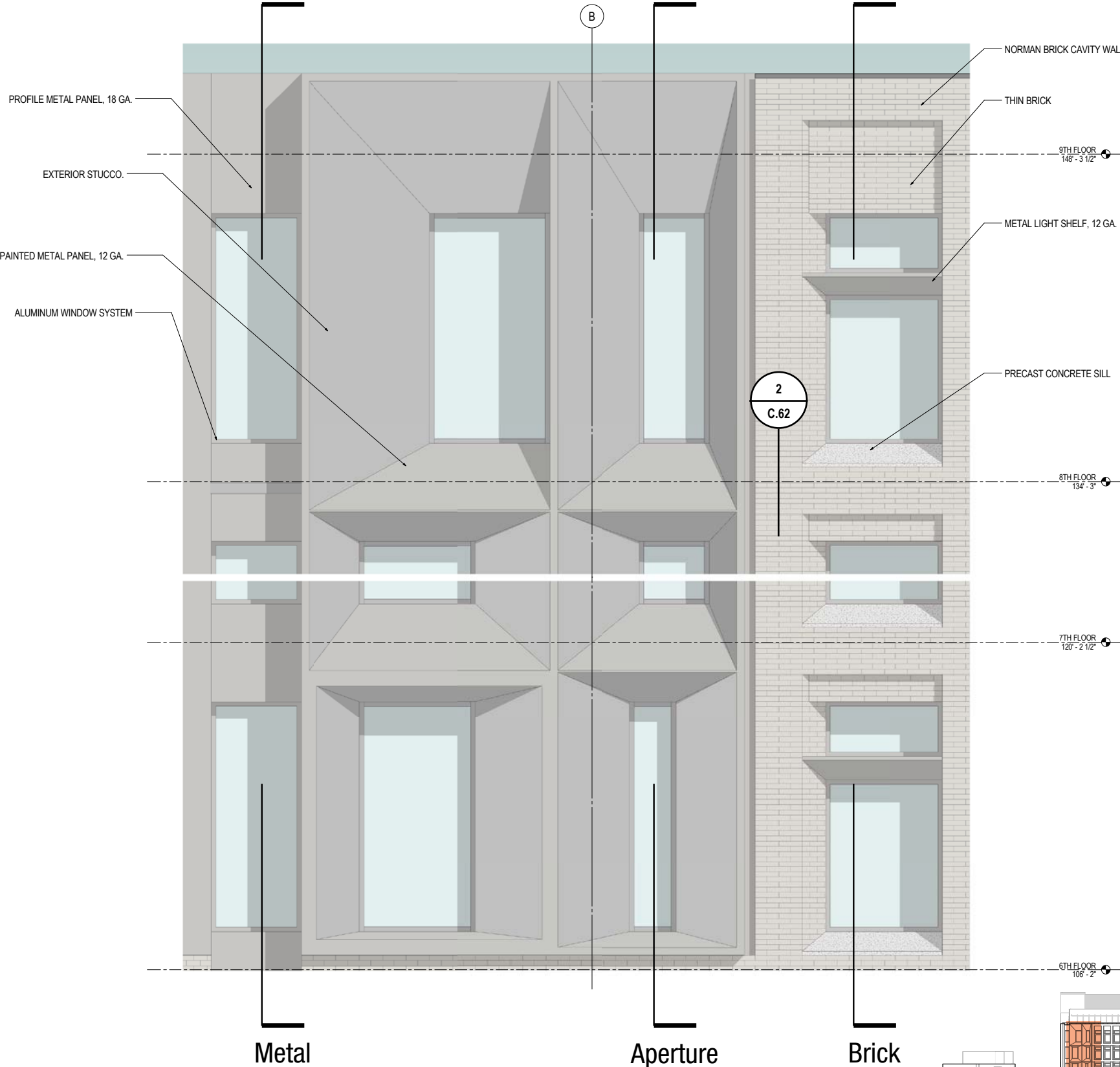
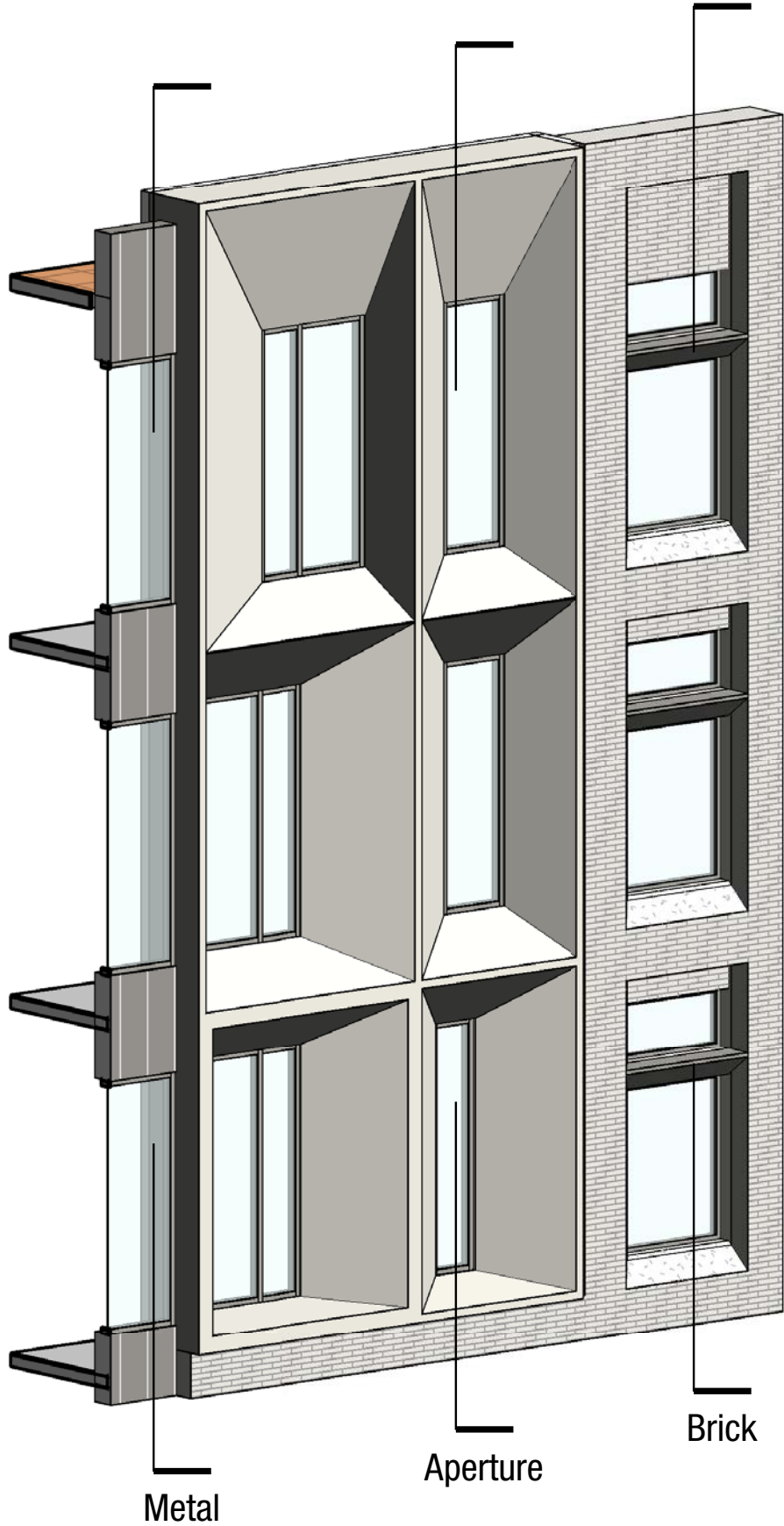
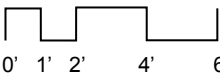
# C.42 WALL SECTIONS

Scale = 3/16" = 1'-0"

ENLARGED AXON + ELEVATION

South, Upper Aperture [See C.19 for Full Elevation]

Scale = 3/16" = 1'-0"

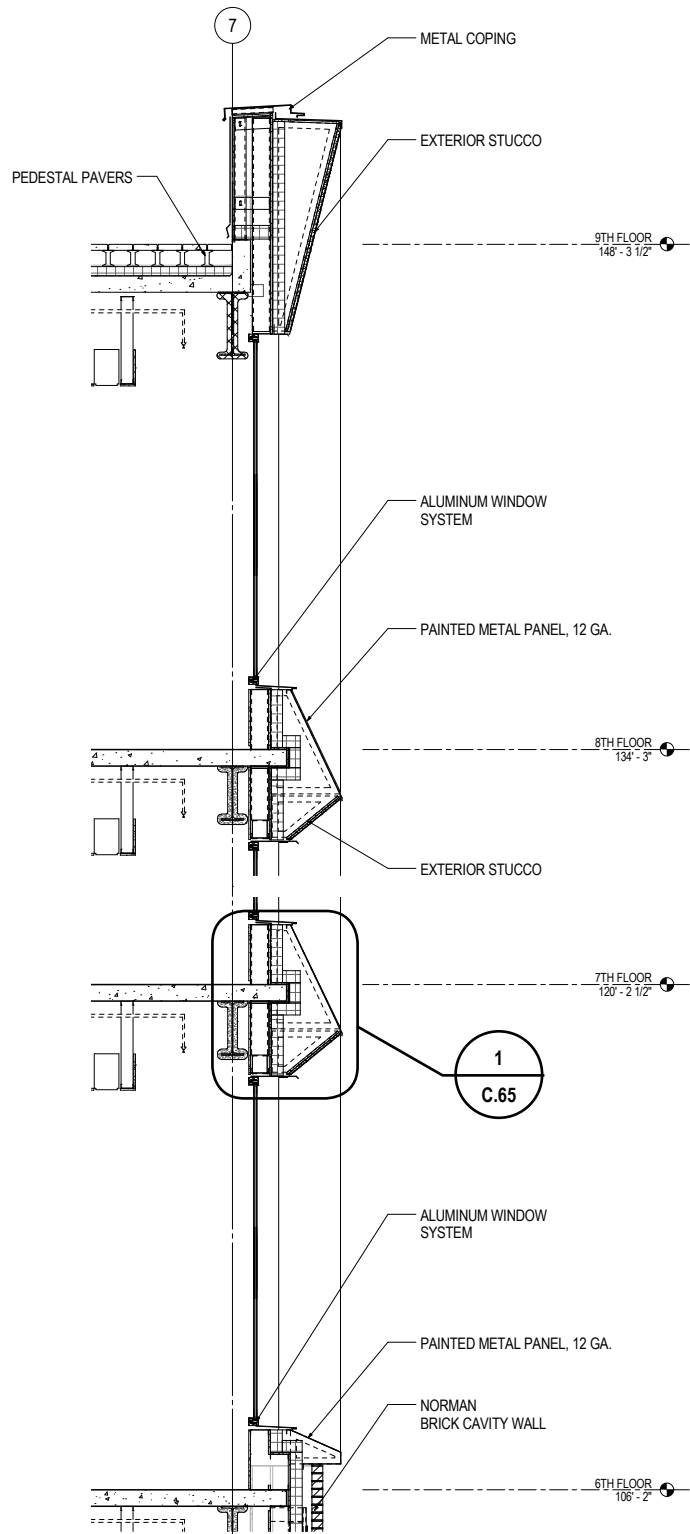




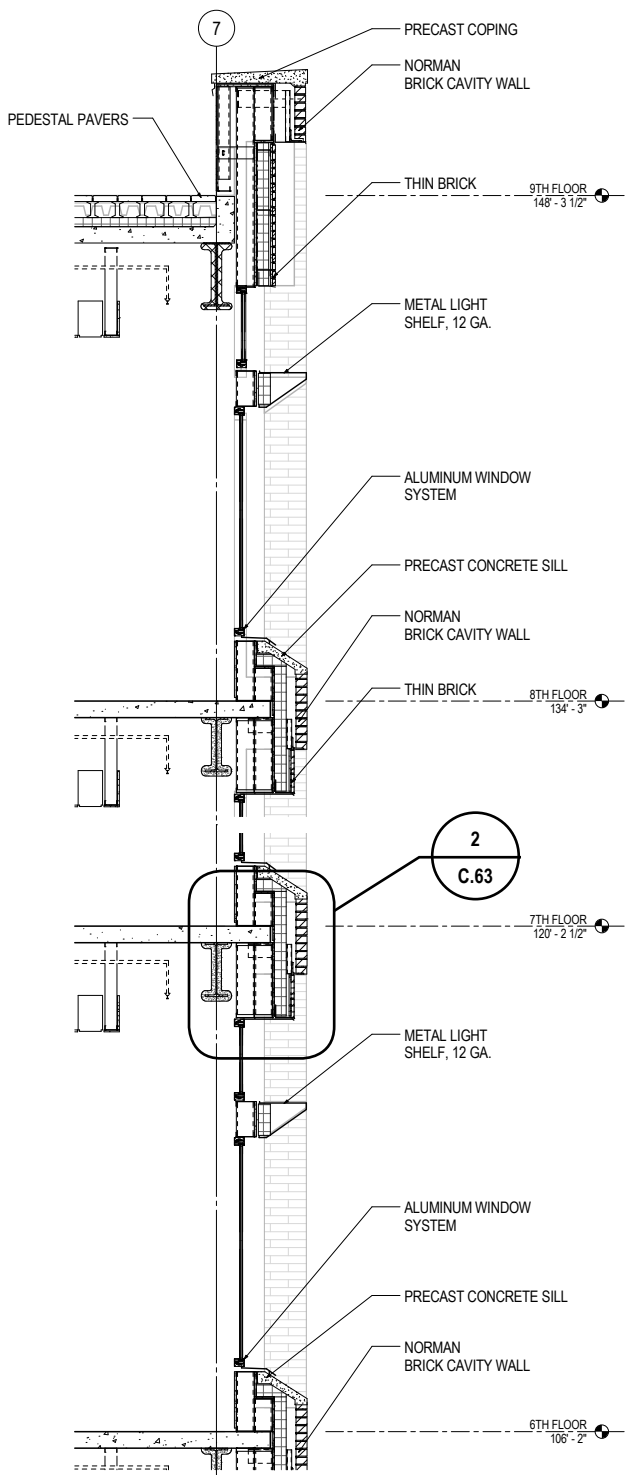
WALL SECTIONS  
South, Upper Aperture

Scale = 3/16" = 1'-0"

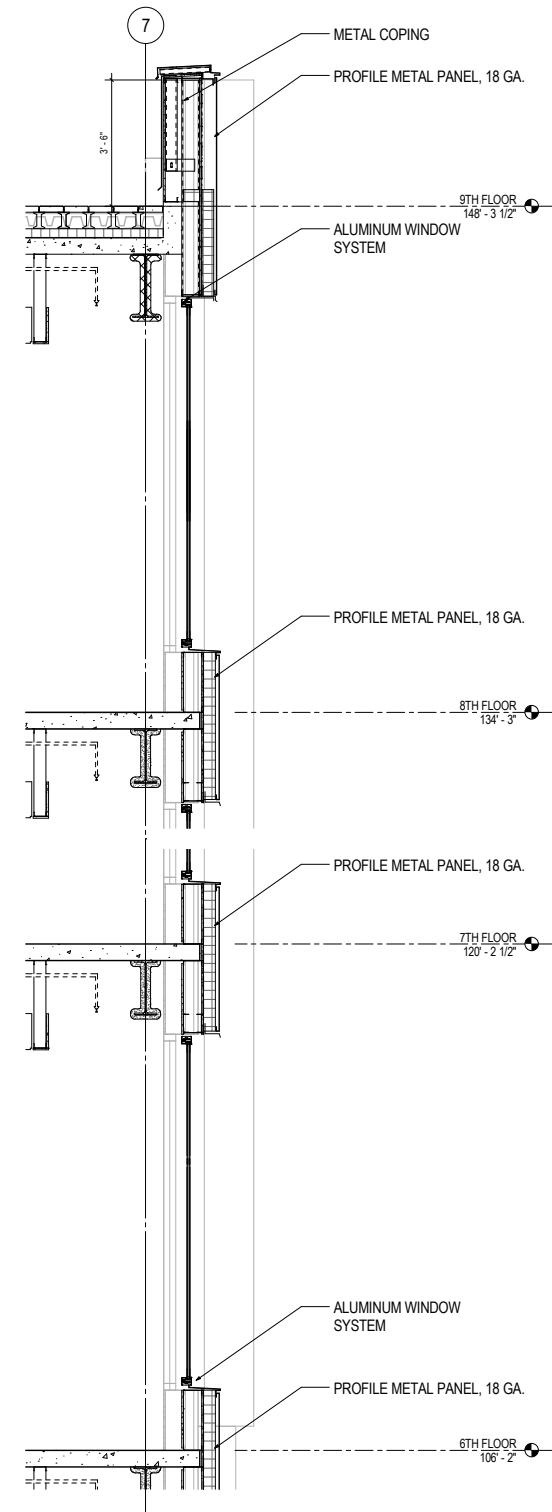
Aperture Wall Section



Brick Wall Section



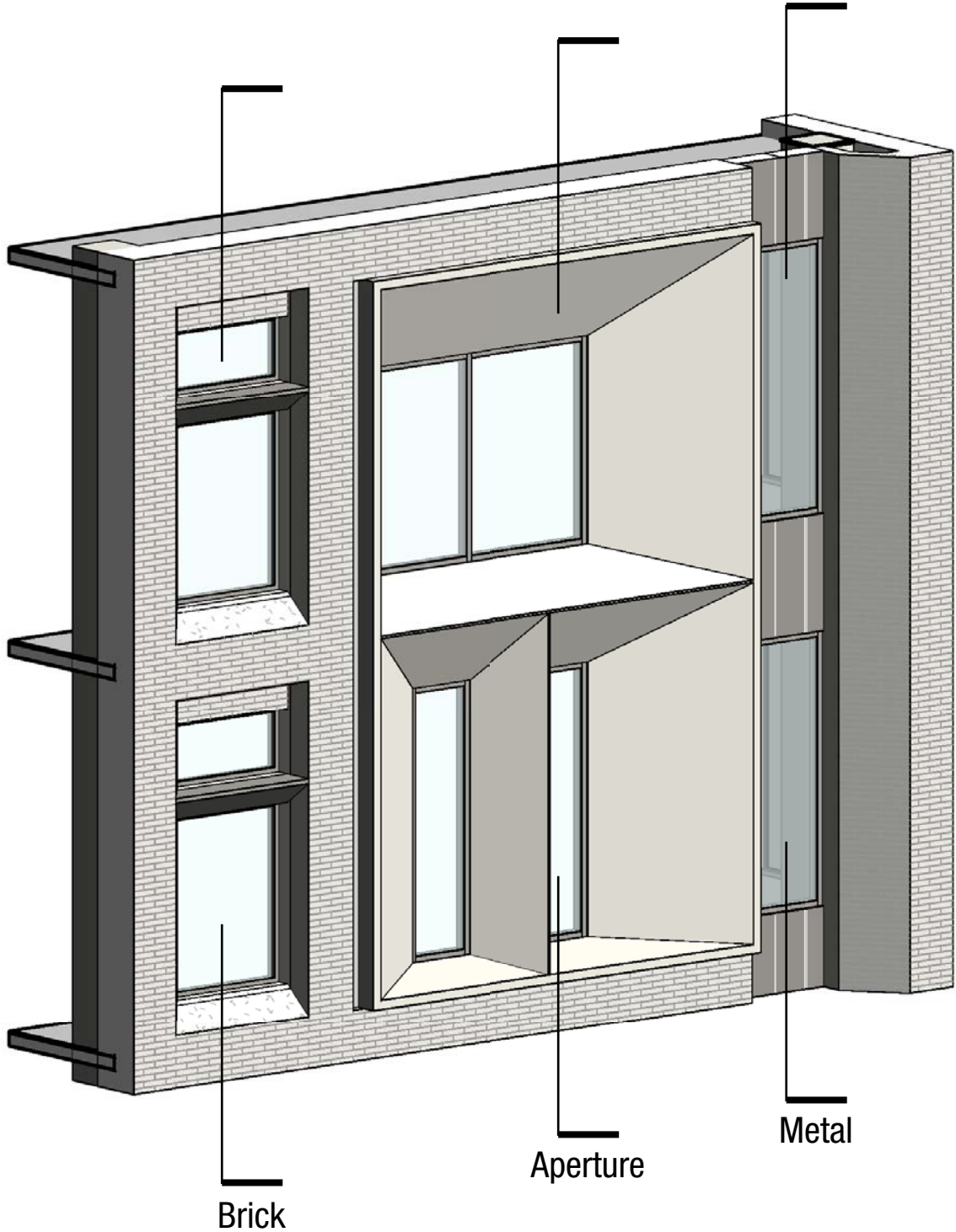
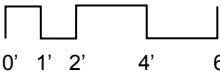
Metal Wall Section



ENLARGED AXON + ELEVATION

South, Middle Aperture [See C.19 for Full Elevation]

Scale = 3/16" = 1'-0"



NORMAN BRICK CAVITY WALL

THIN BRICK

METAL LIGHT SHELF

ALUMINUM WINDOW SYSTEM

PRECAST CONCRETE SILL

1  
C.66

Brick

Aperture

Metal

D

7TH FLOOR

120' - 2 1/2"

EXTERIOR STUCCO

PAINTED METAL PANEL, 12 GA

ALUMINUM WINDOW SYSTEM

6TH FLOOR

106' - 2"

PROFILE METAL PANEL, 18 GA

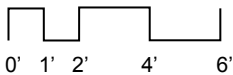
5TH FLOOR

92' - 1 1/2"

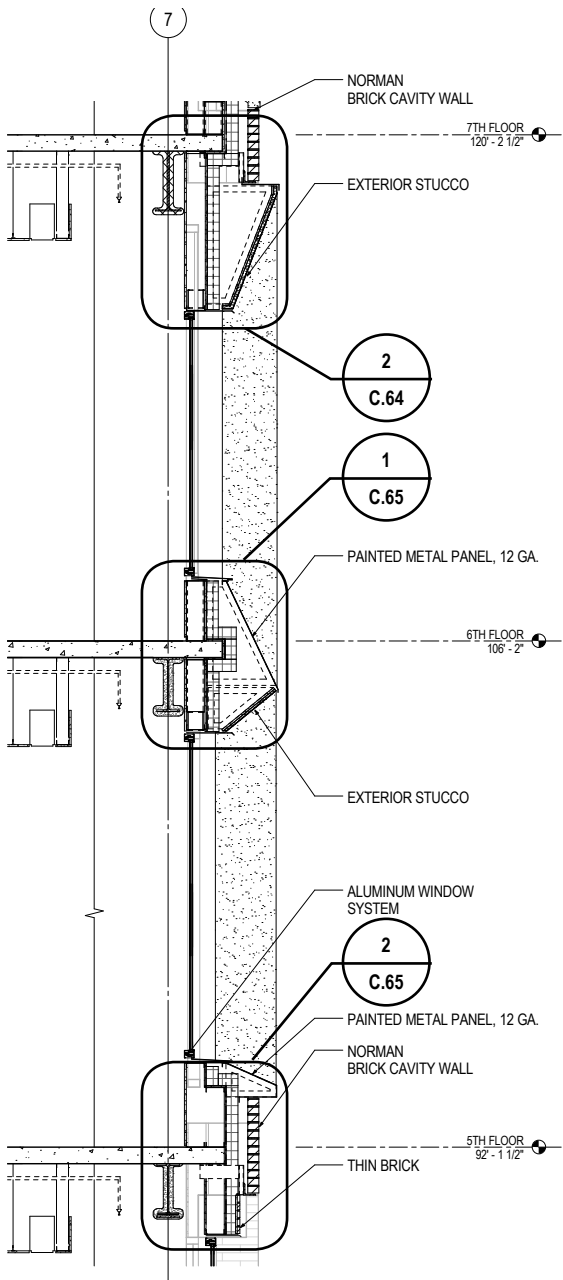


WALL SECTIONS  
South, Middle Aperture

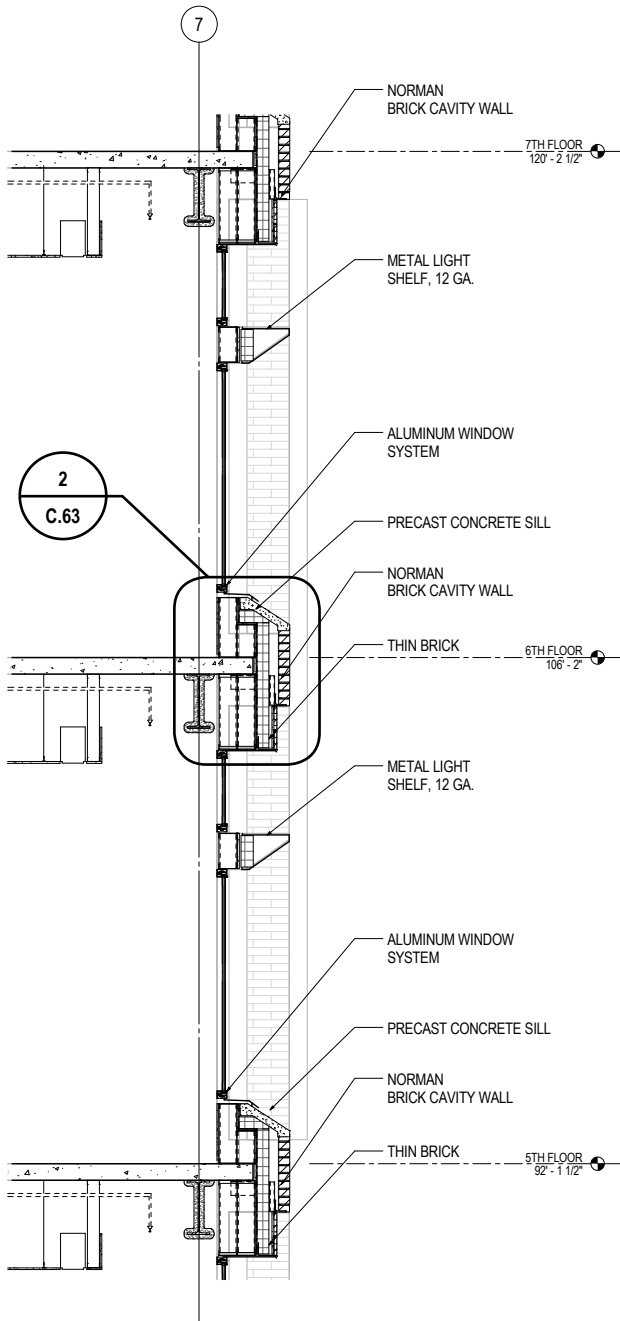
Scale = 3/16" = 1'-0"



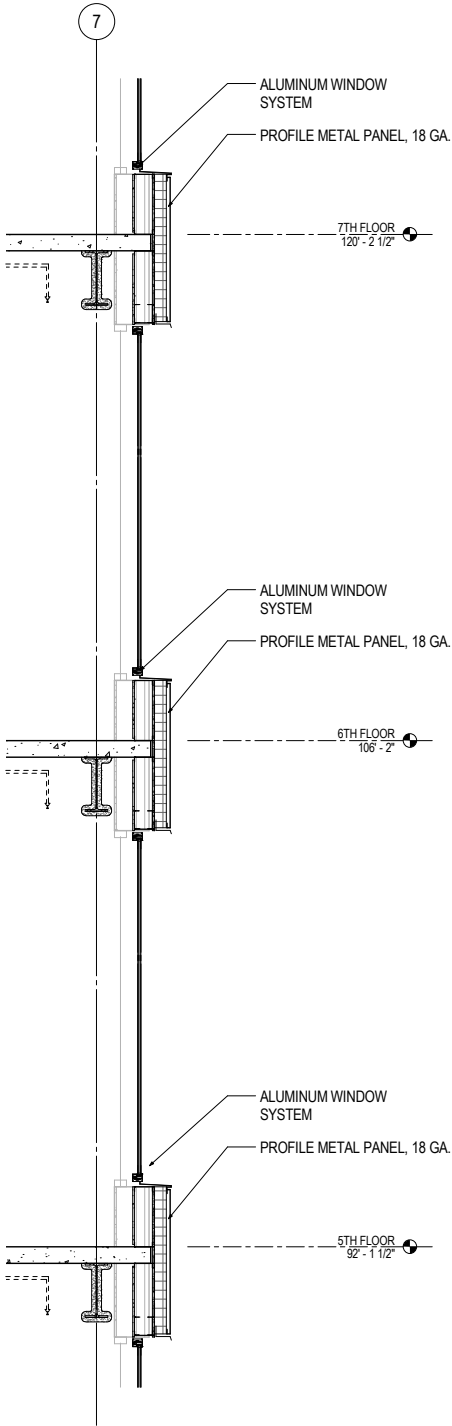
Aperture Wall Section



Brick Wall Section



Brick Wall Section

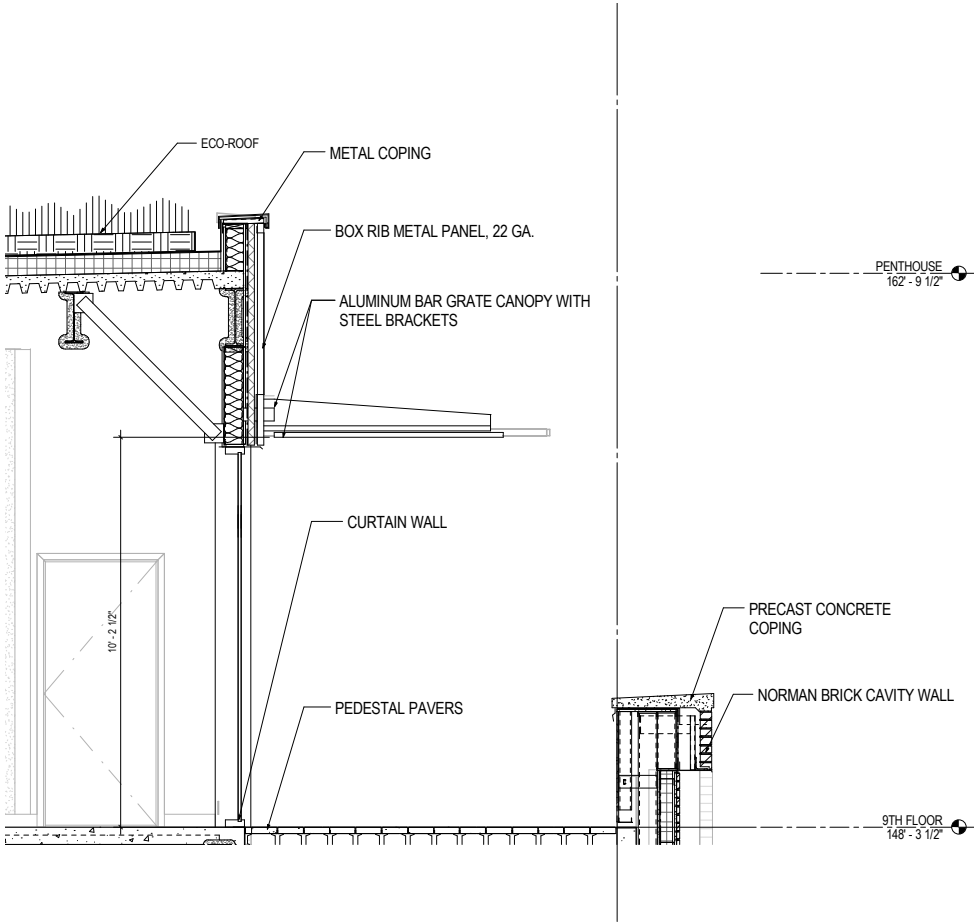
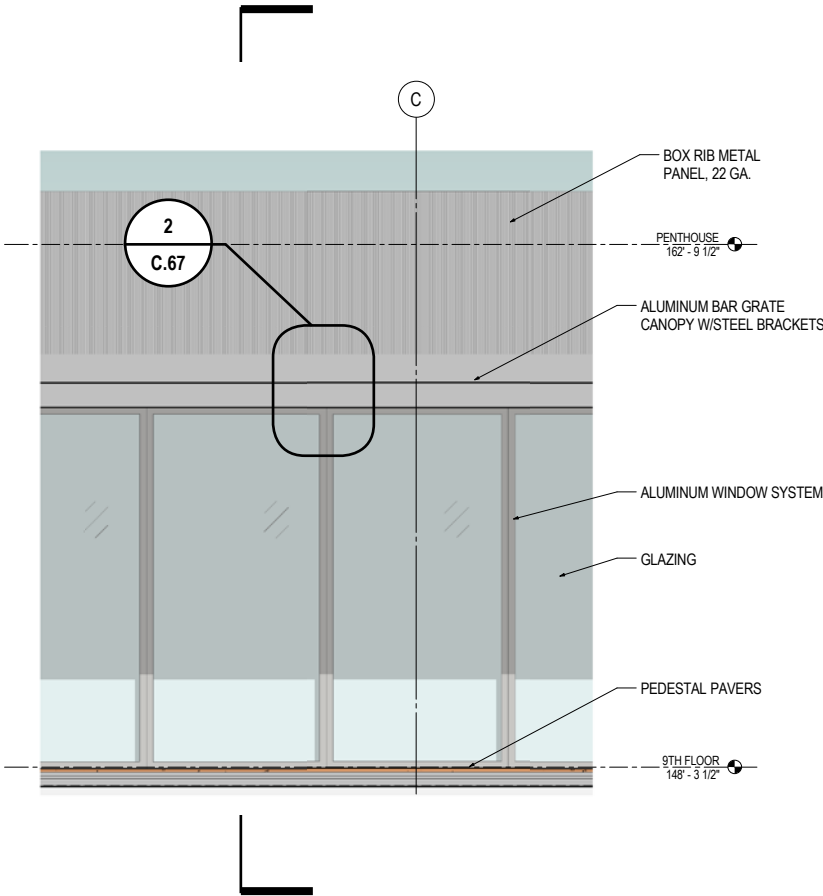
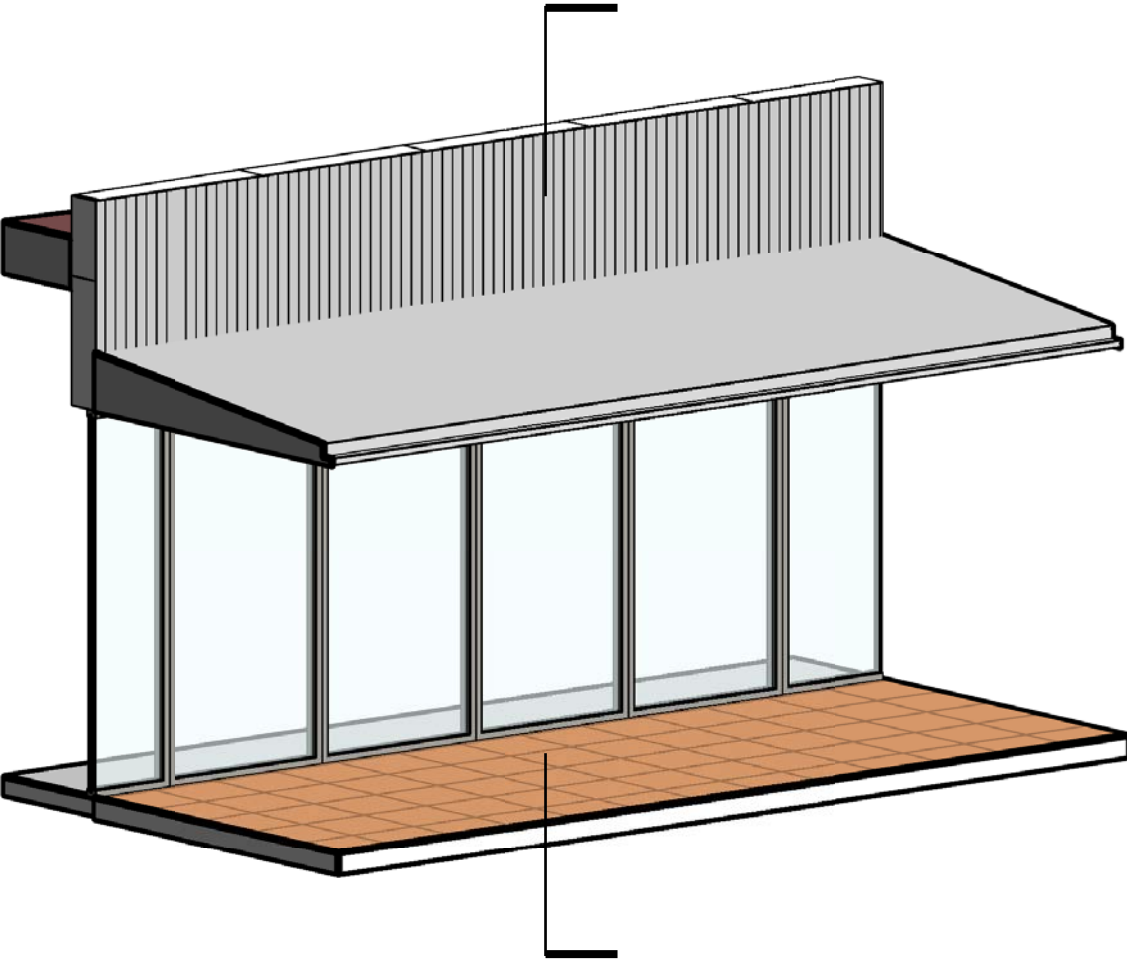
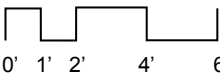




ENLARGED AXON, ELEVATION + SECTION

South, Level 9 Terrace [See C.17 for Full Elevation]

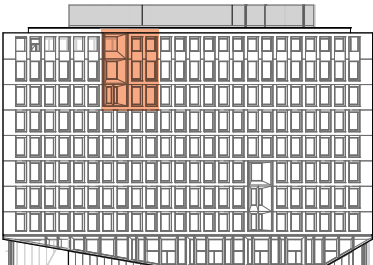
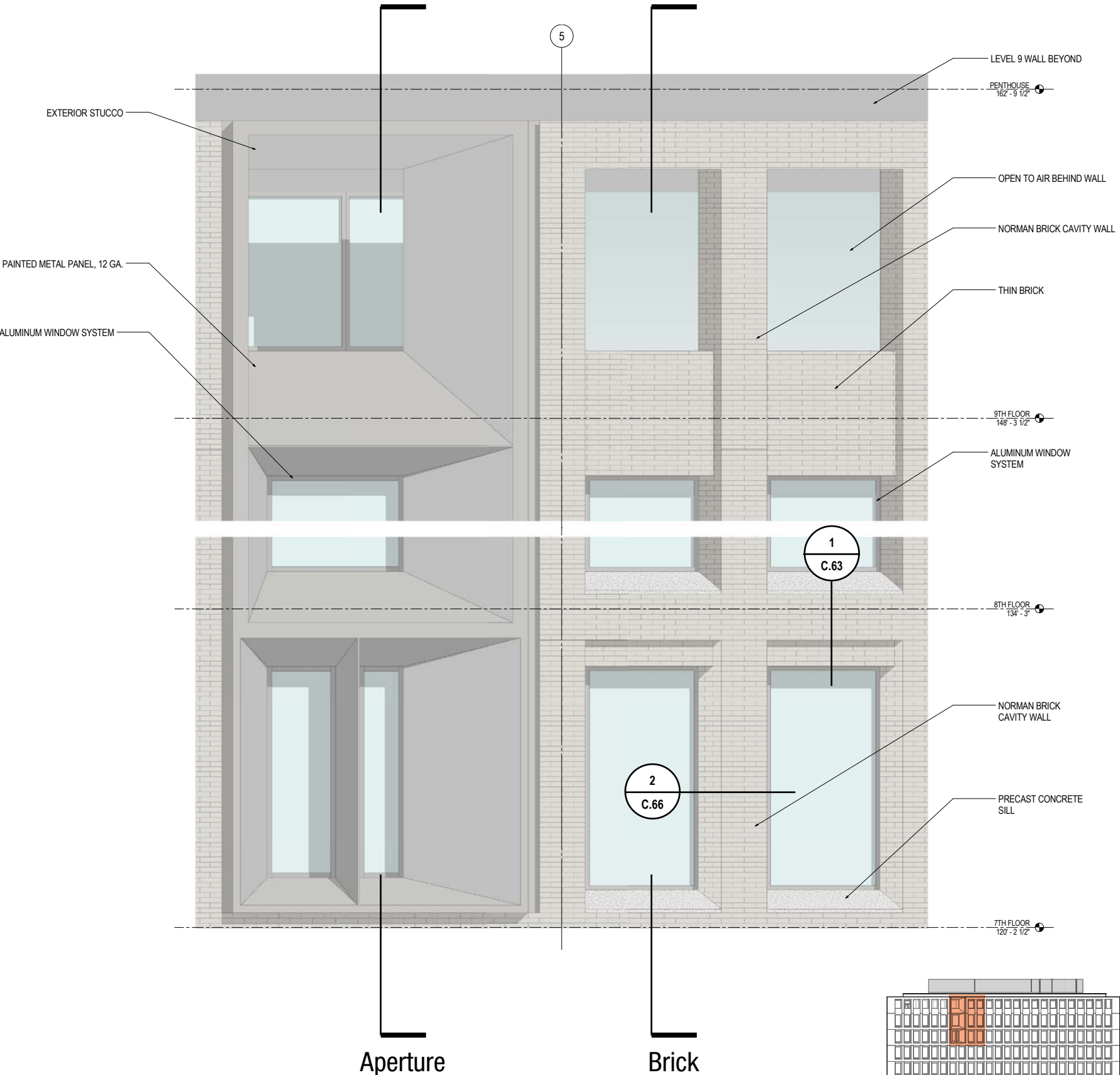
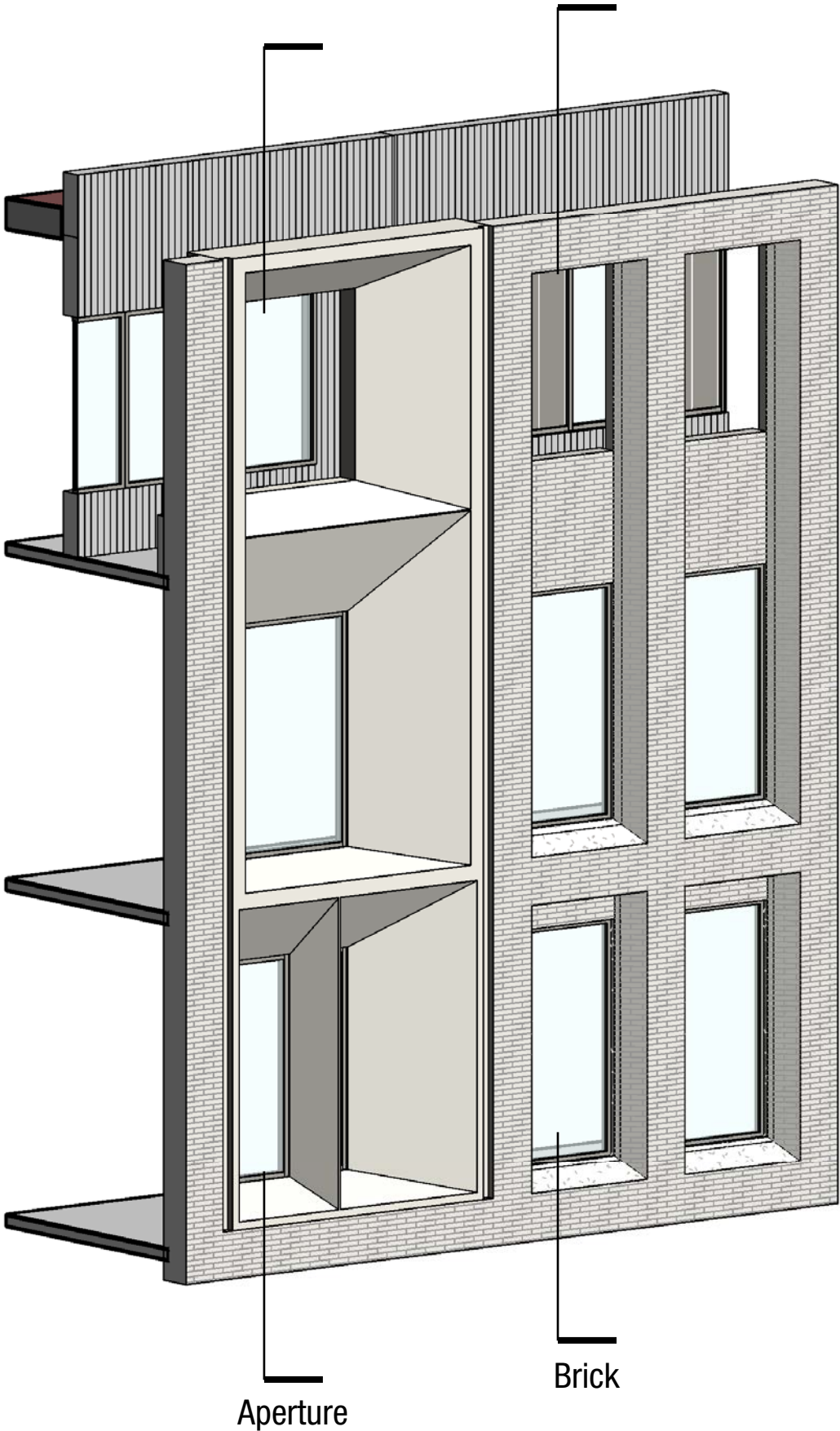
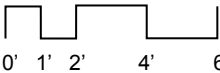
Scale = 3/16" = 1'-0"



ENLARGED AXON + ELEVATION

East, Upper Aperture [See C.17 for Full Elevation]

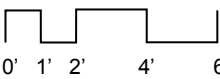
Scale = 3/16" = 1'-0"



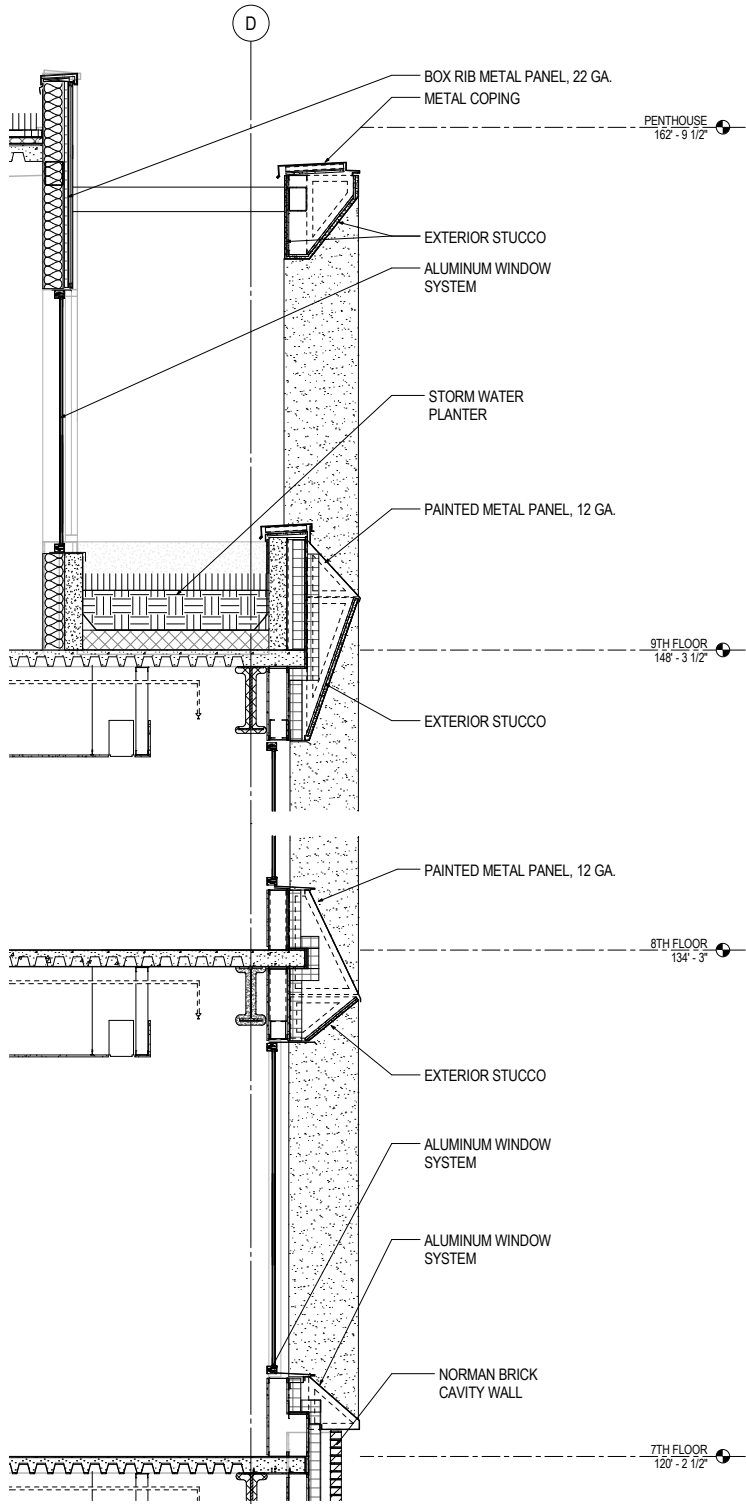
WALL SECTIONS

East, Upper Aperture

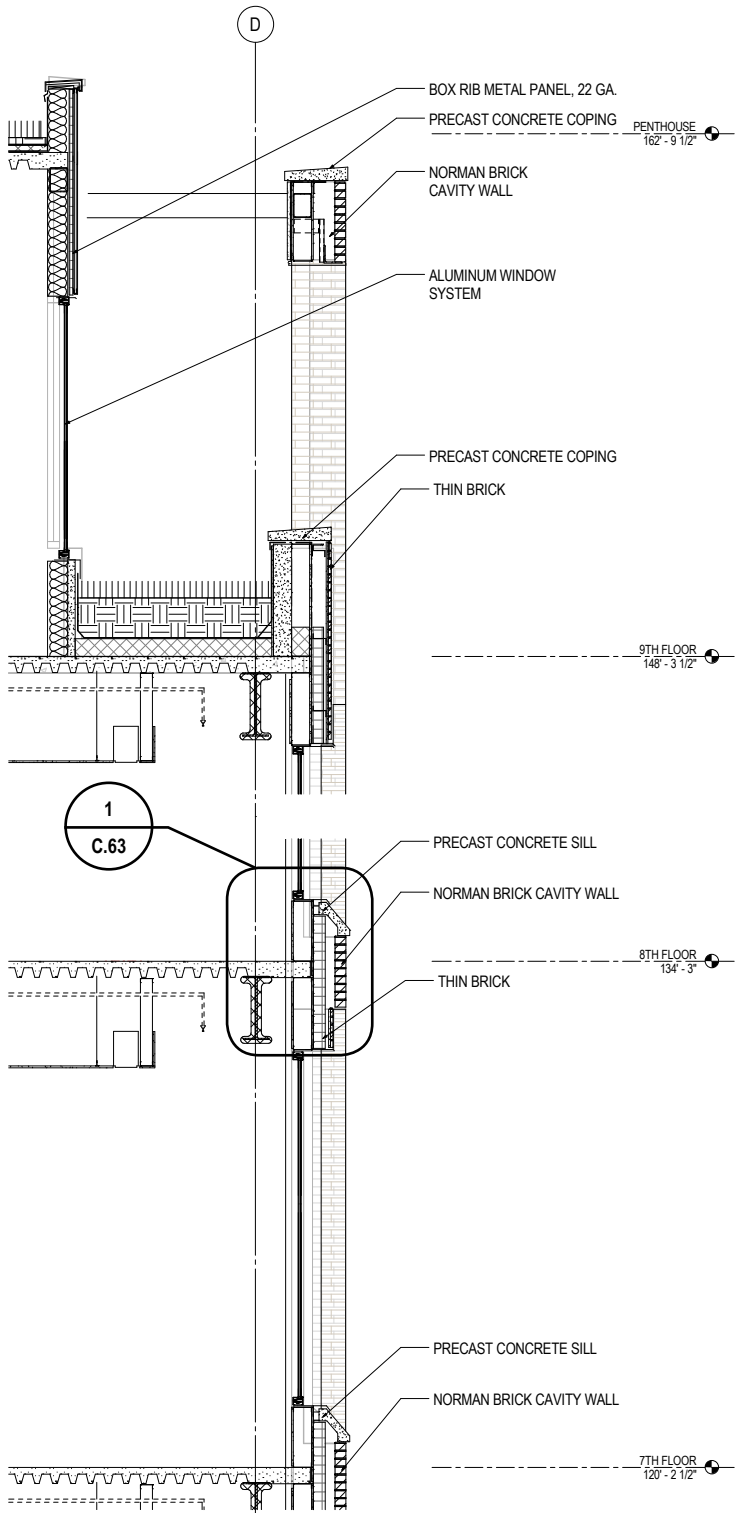
Scale = 3/16" = 1'-0"



Aperture Wall Section



Brick Wall Section

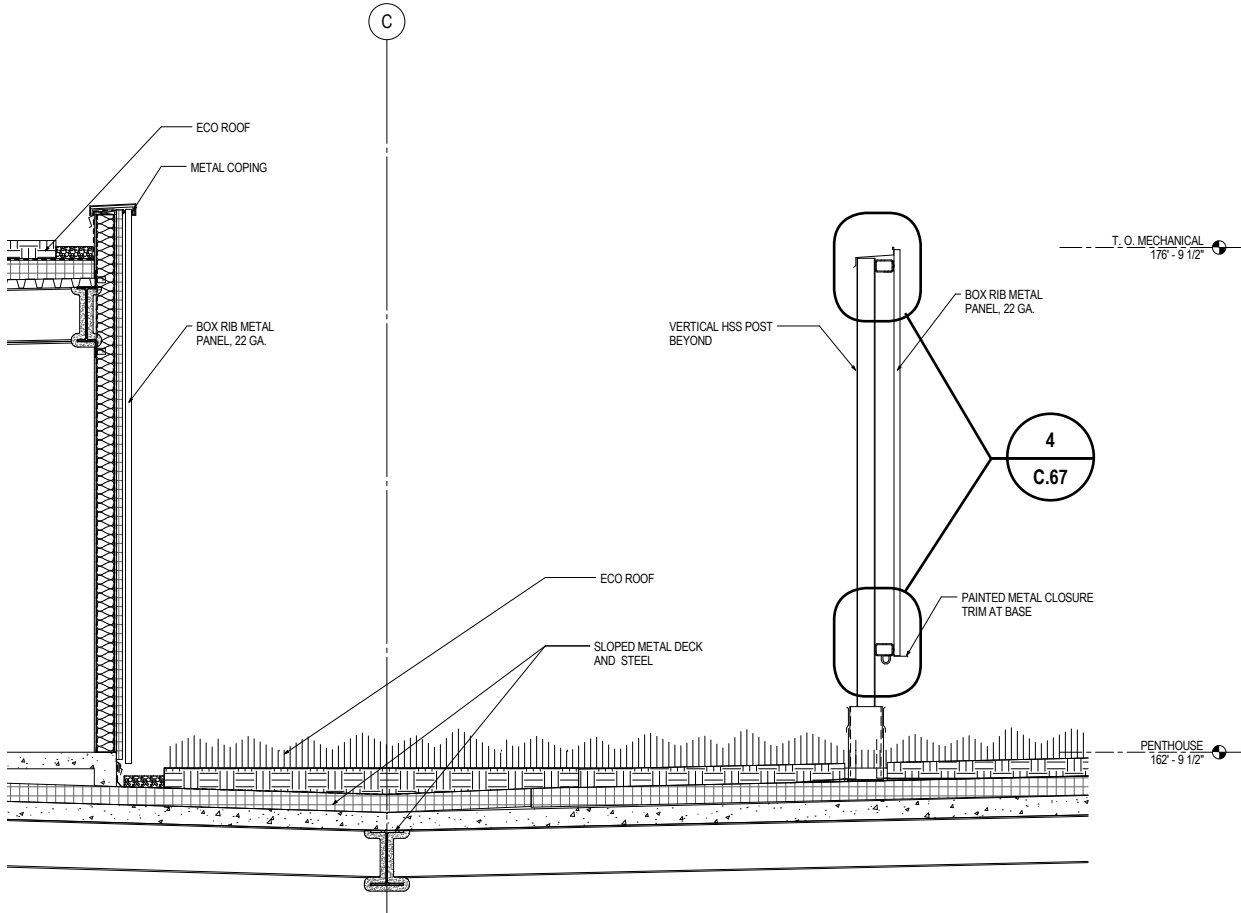
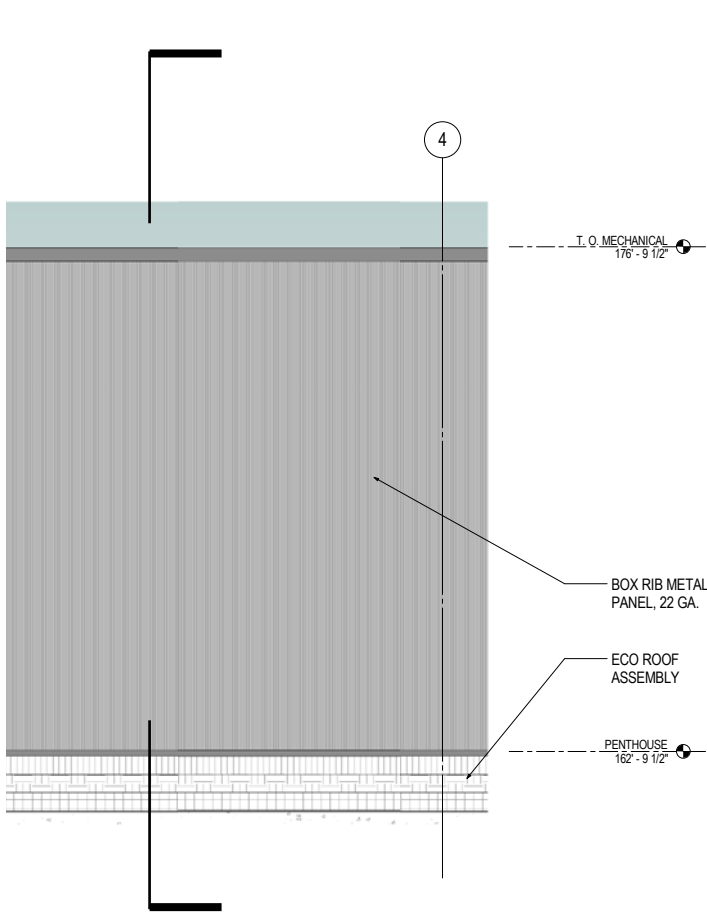
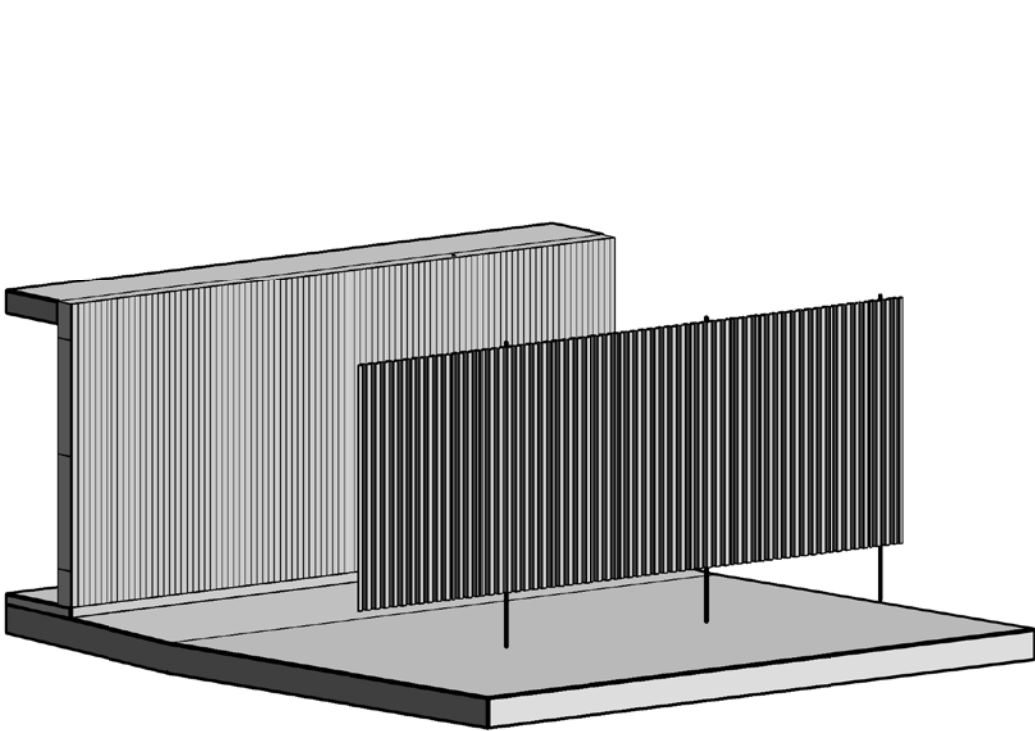
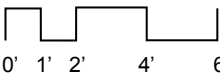




ENLARGED AXON, ELEVATION + SECTION

East, Penthouse + Mechanical Screen [See C.17 for Full Elevation]

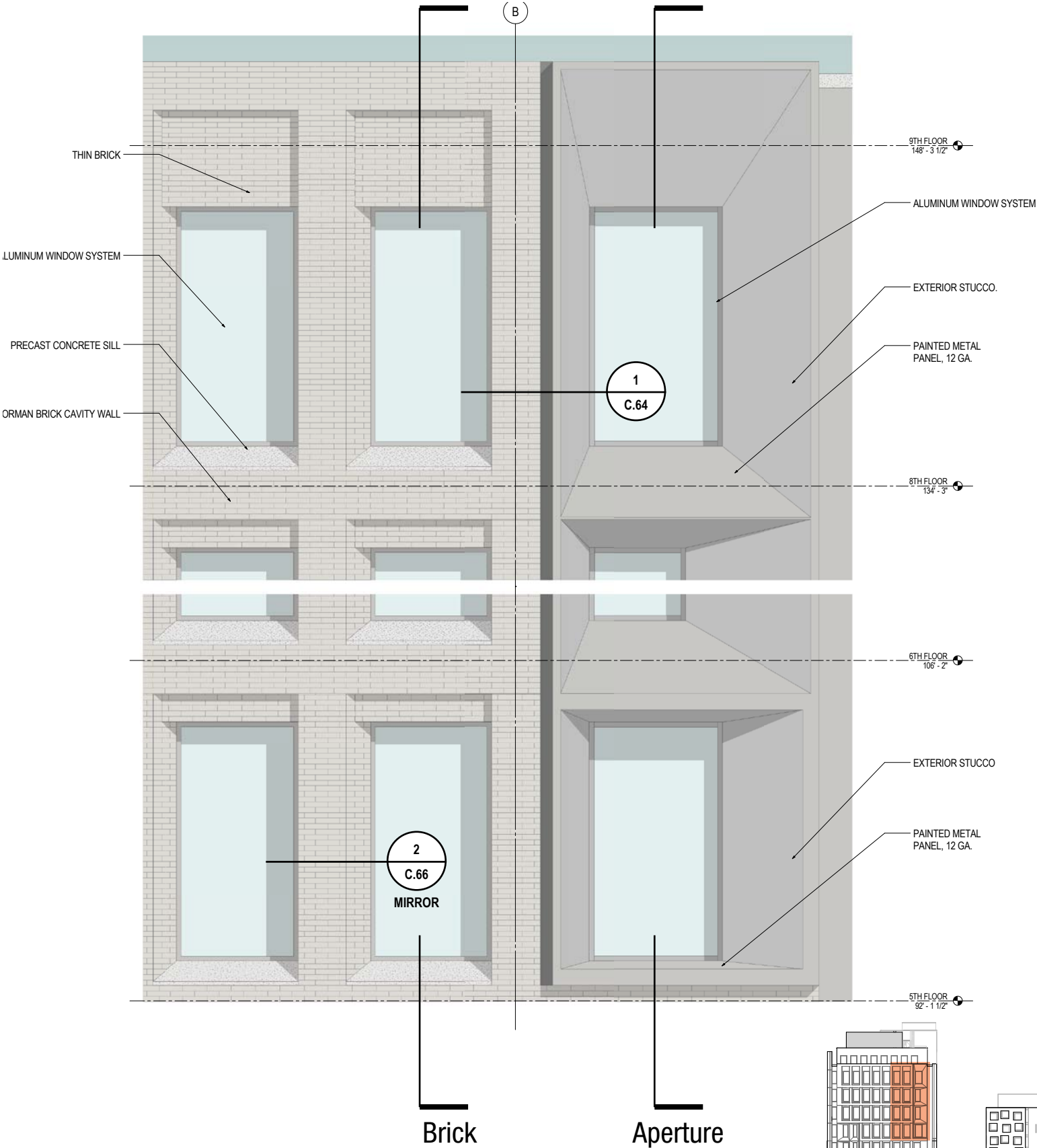
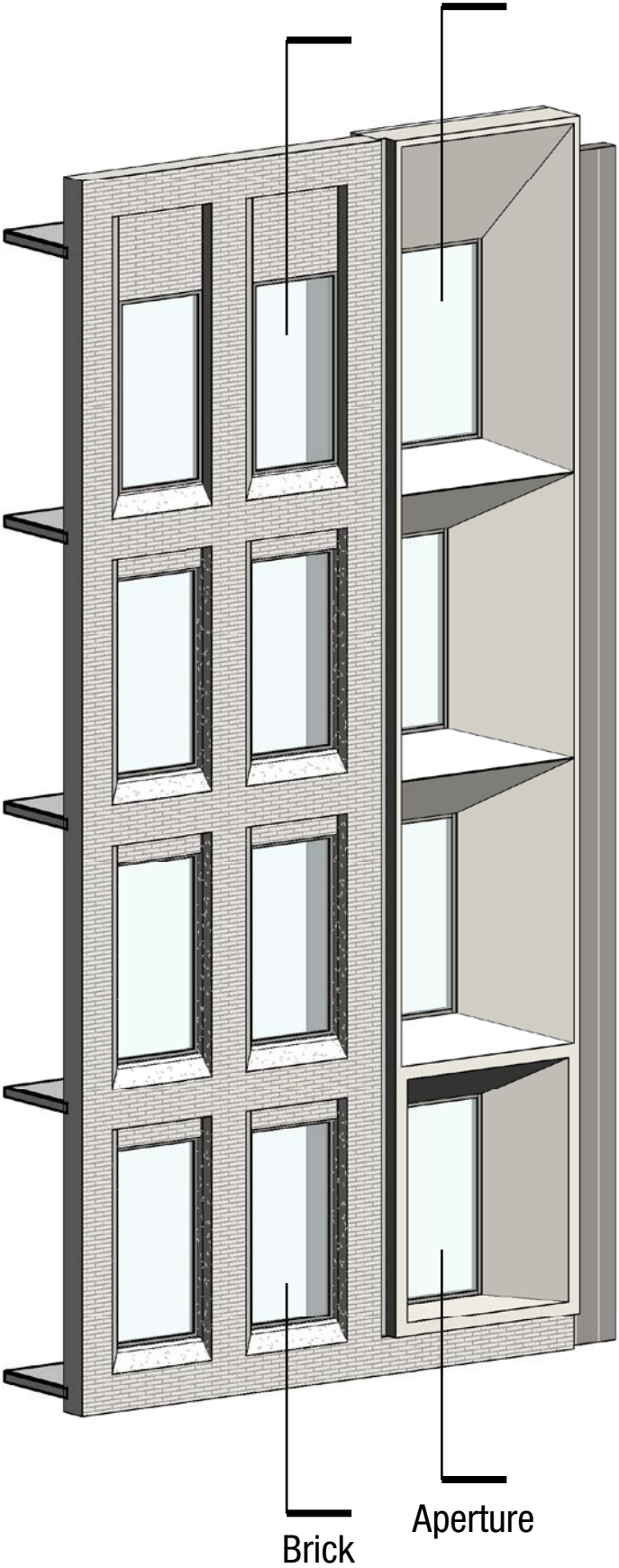
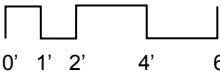
Scale = 3/16" = 1'-0"



ENLARGED AXON + ELEVATION

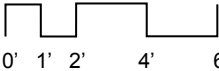
North, Upper Aperture [See C.21 for Full Elevation]

Scale = 3/16" = 1'-0"

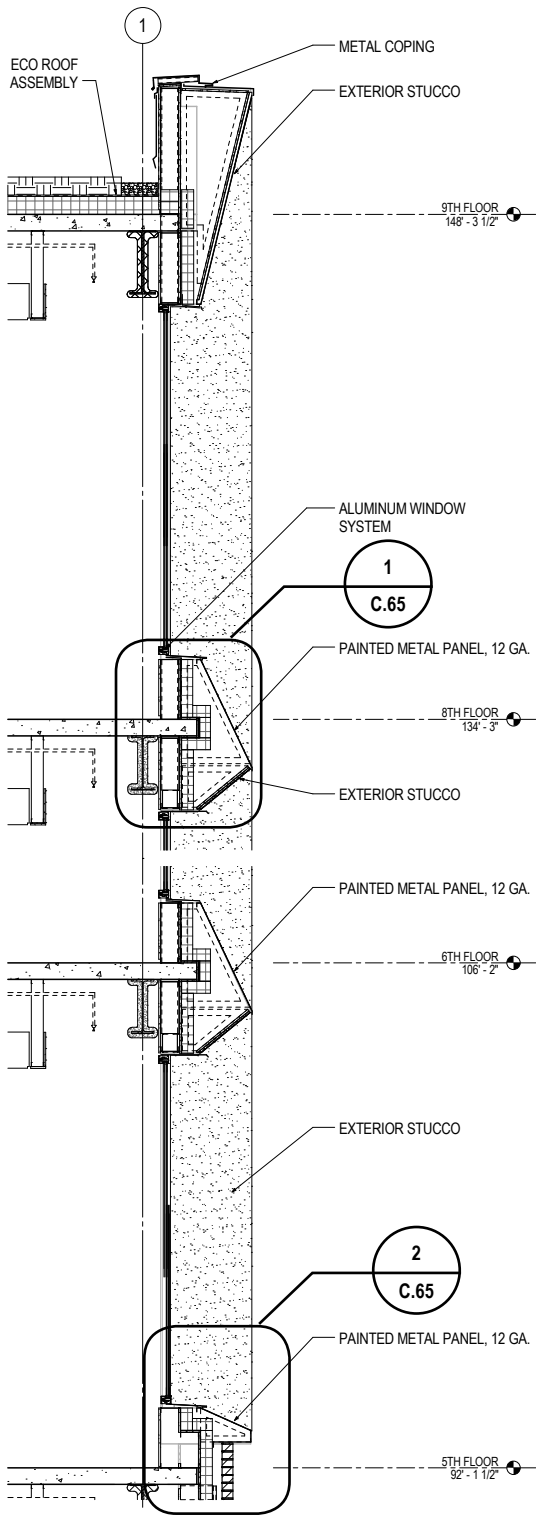


WALL SECTIONS  
North, Upper Aperture

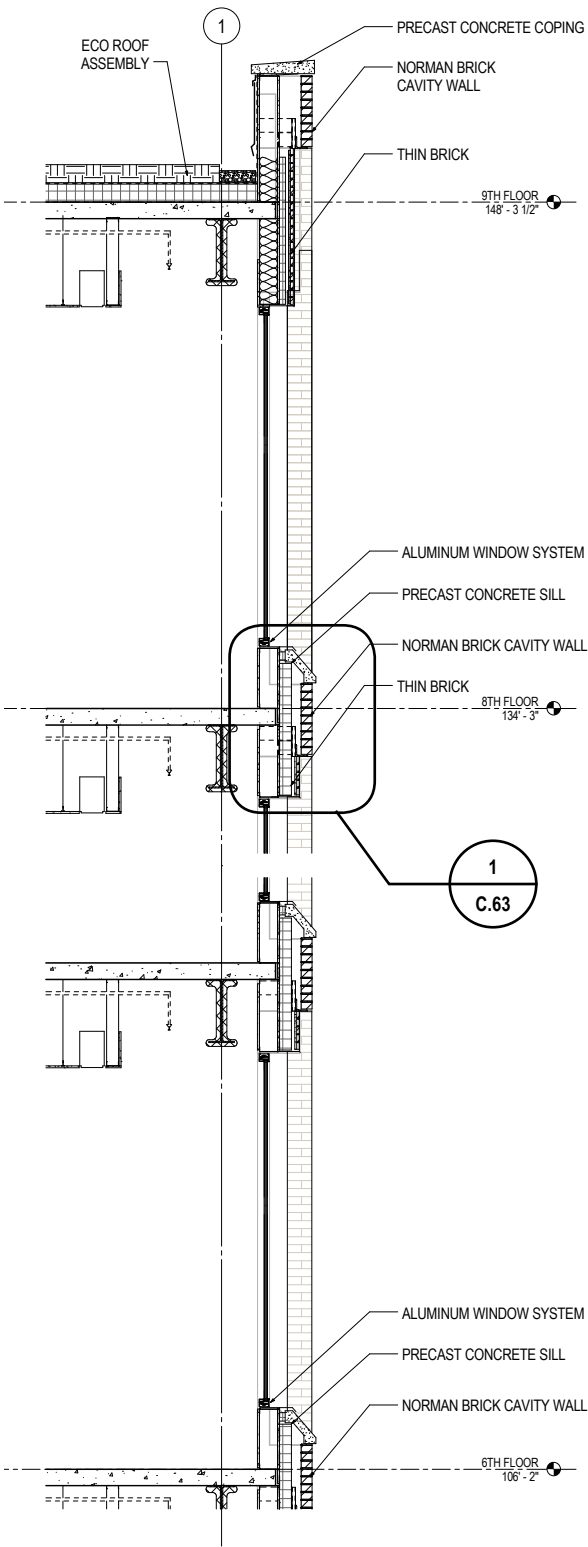
Scale = 3/16" = 1'-0"



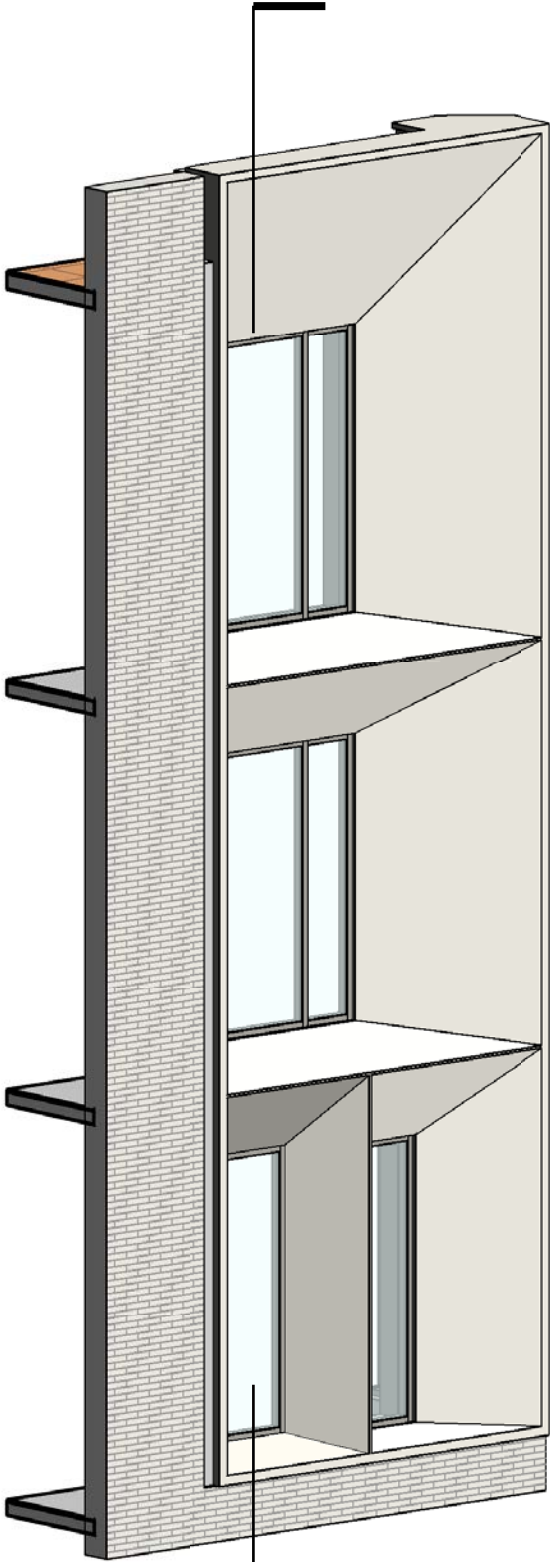
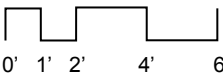
Aperture Wall Section



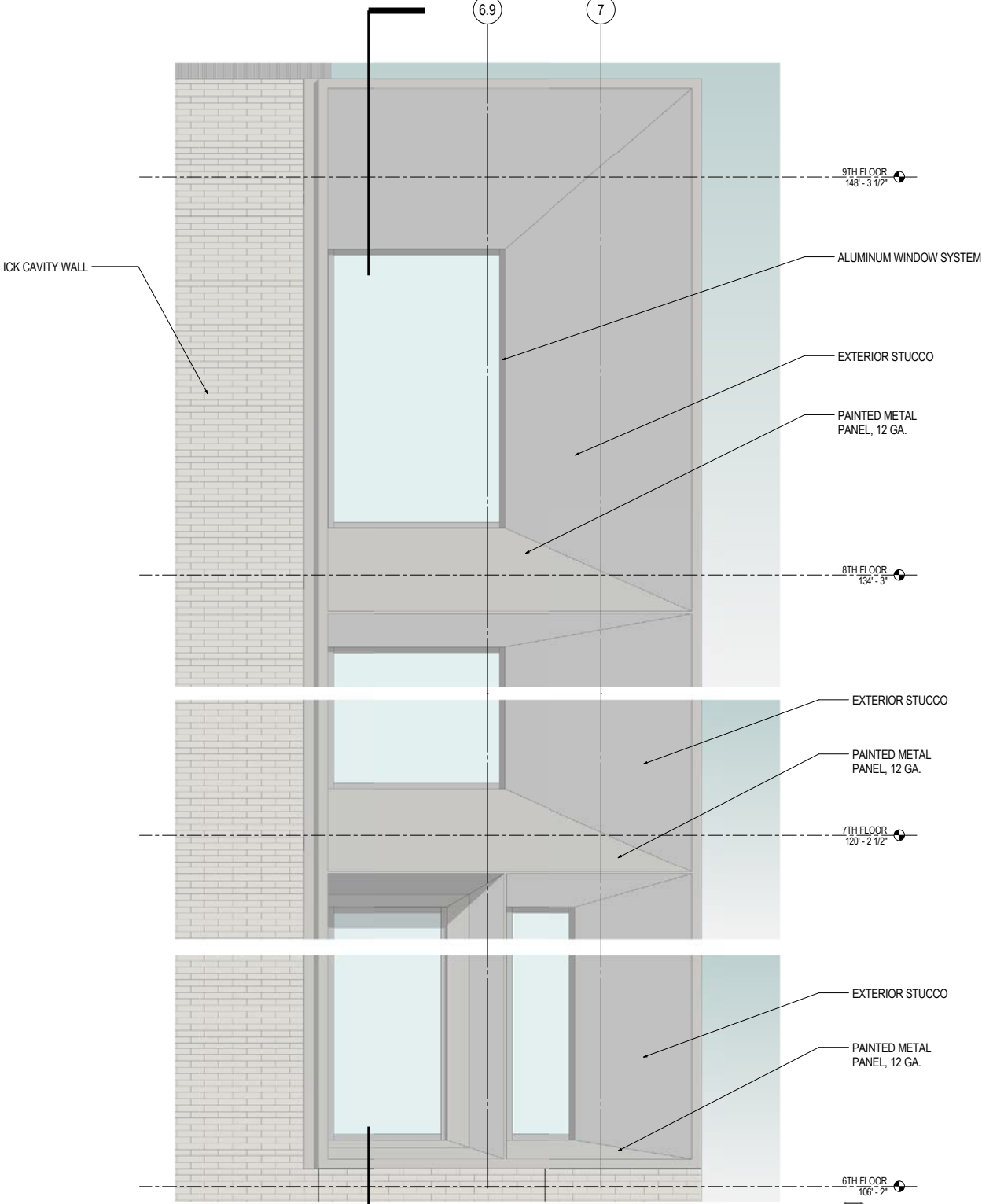
Brick Wall Section







Aperture

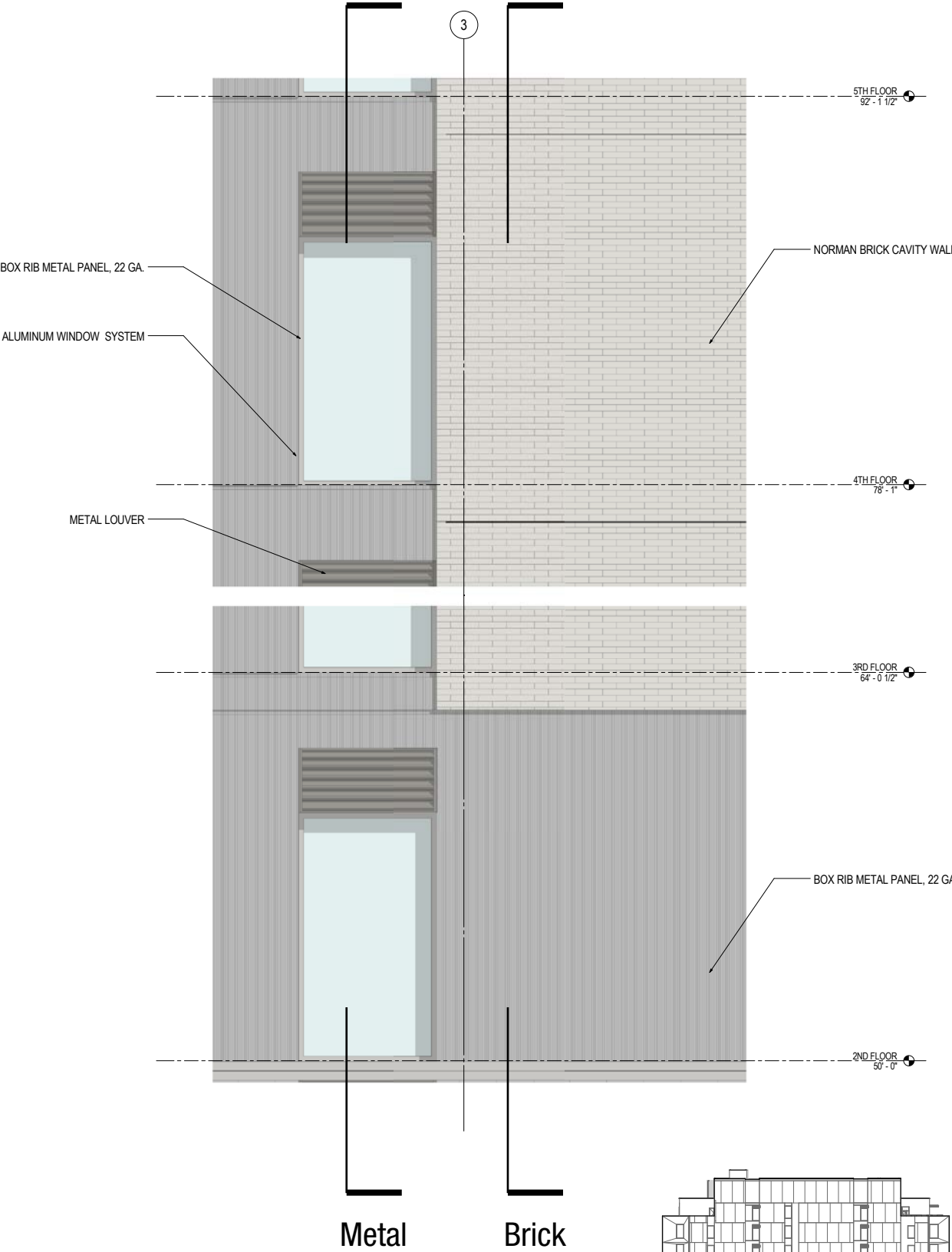
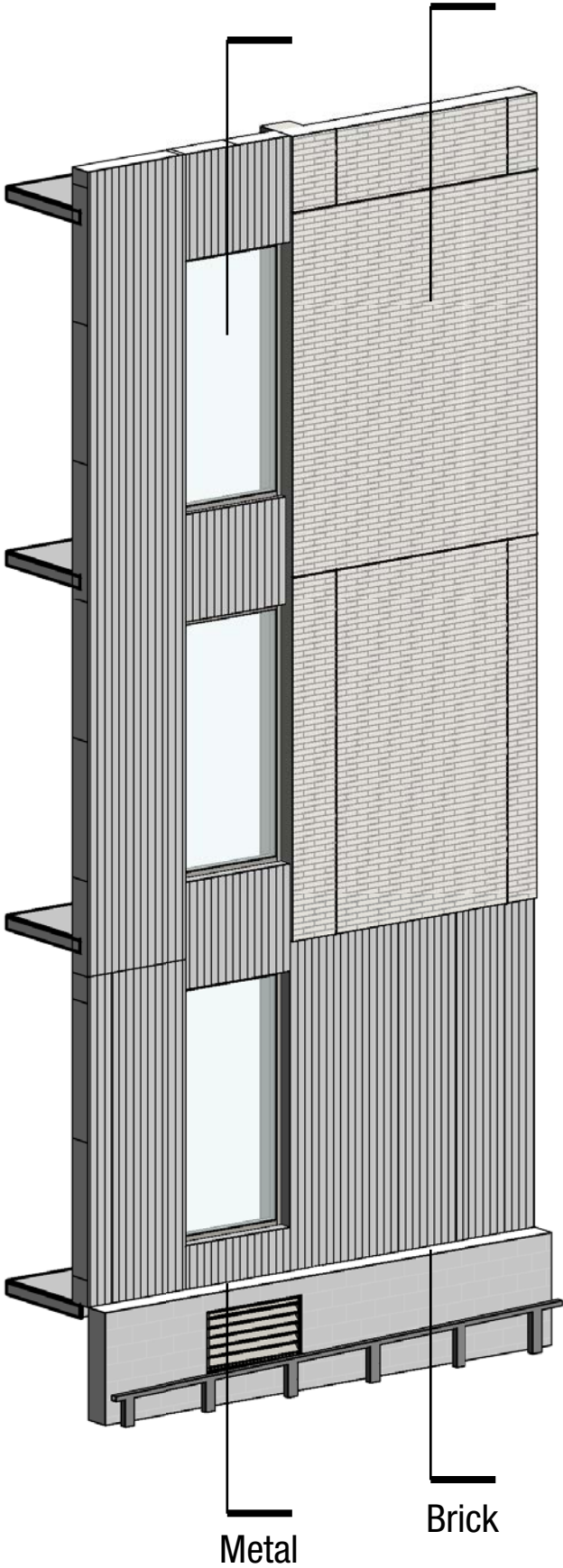


Aperture



ENLARGED AXON + ELEVATION Scale = 3/16" = 1'-0"

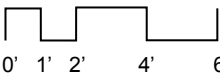
West, Typical Brick + Metal [See C.21 for Full Elevation]



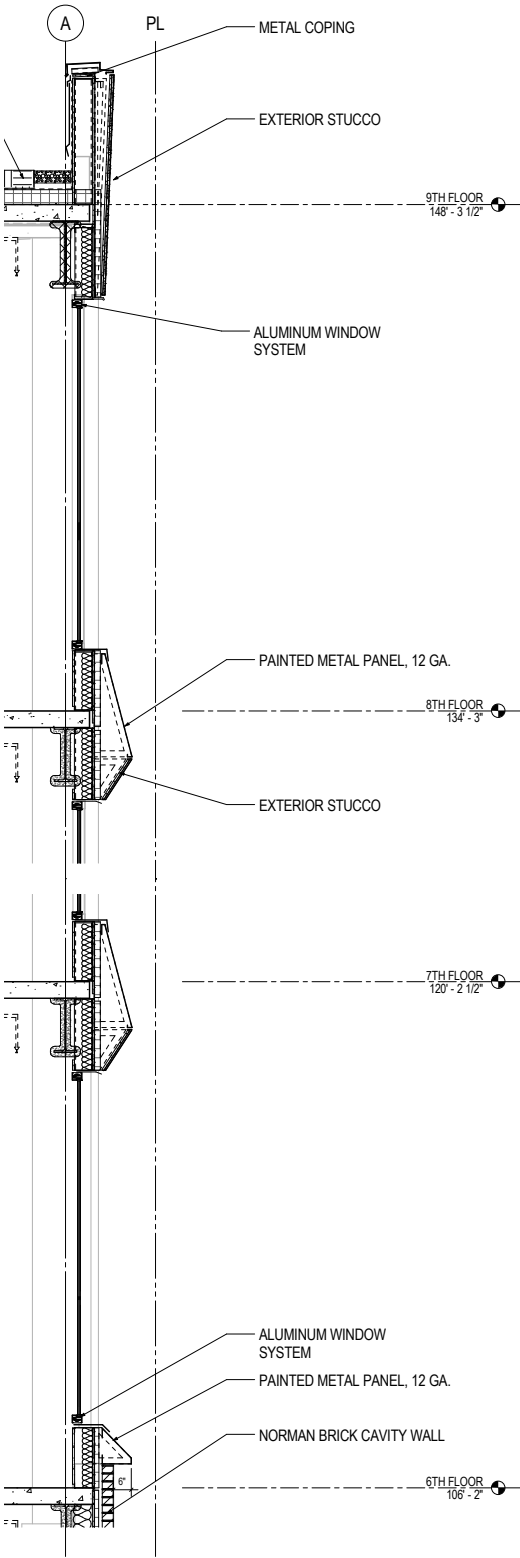
WALL SECTIONS

West, Upper Aperture + Typ. Brick and Metal

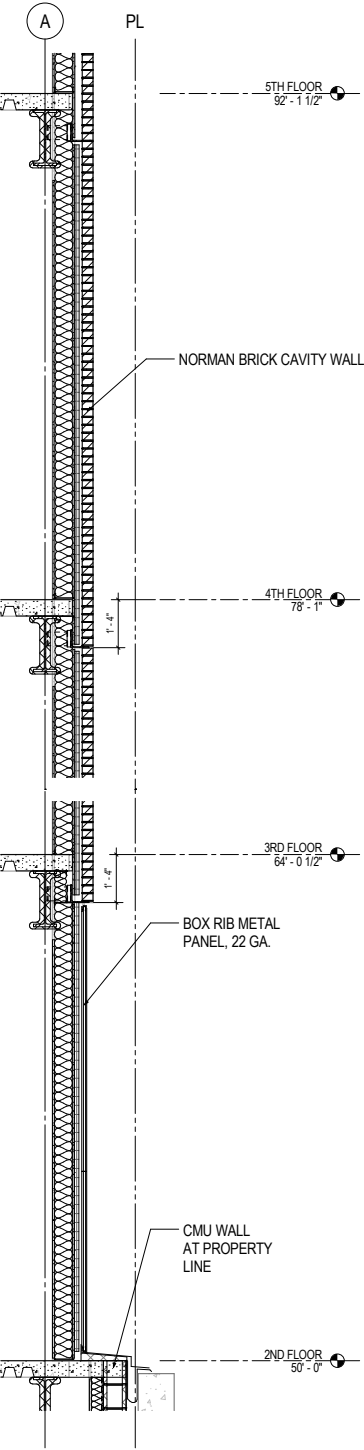
Scale = 3/16" = 1'-0"



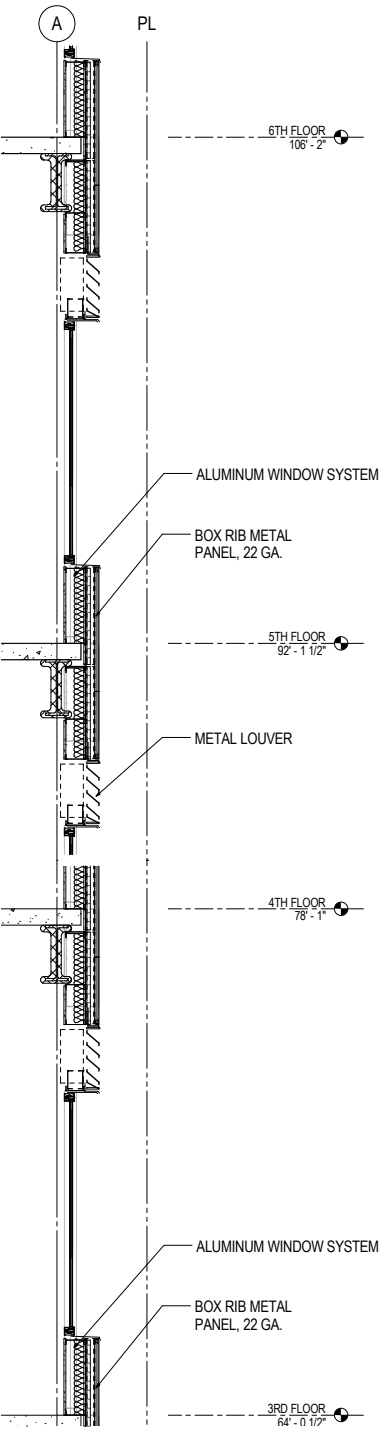
Aperture Wall Section



Brick Wall Section



Metal Wall Section





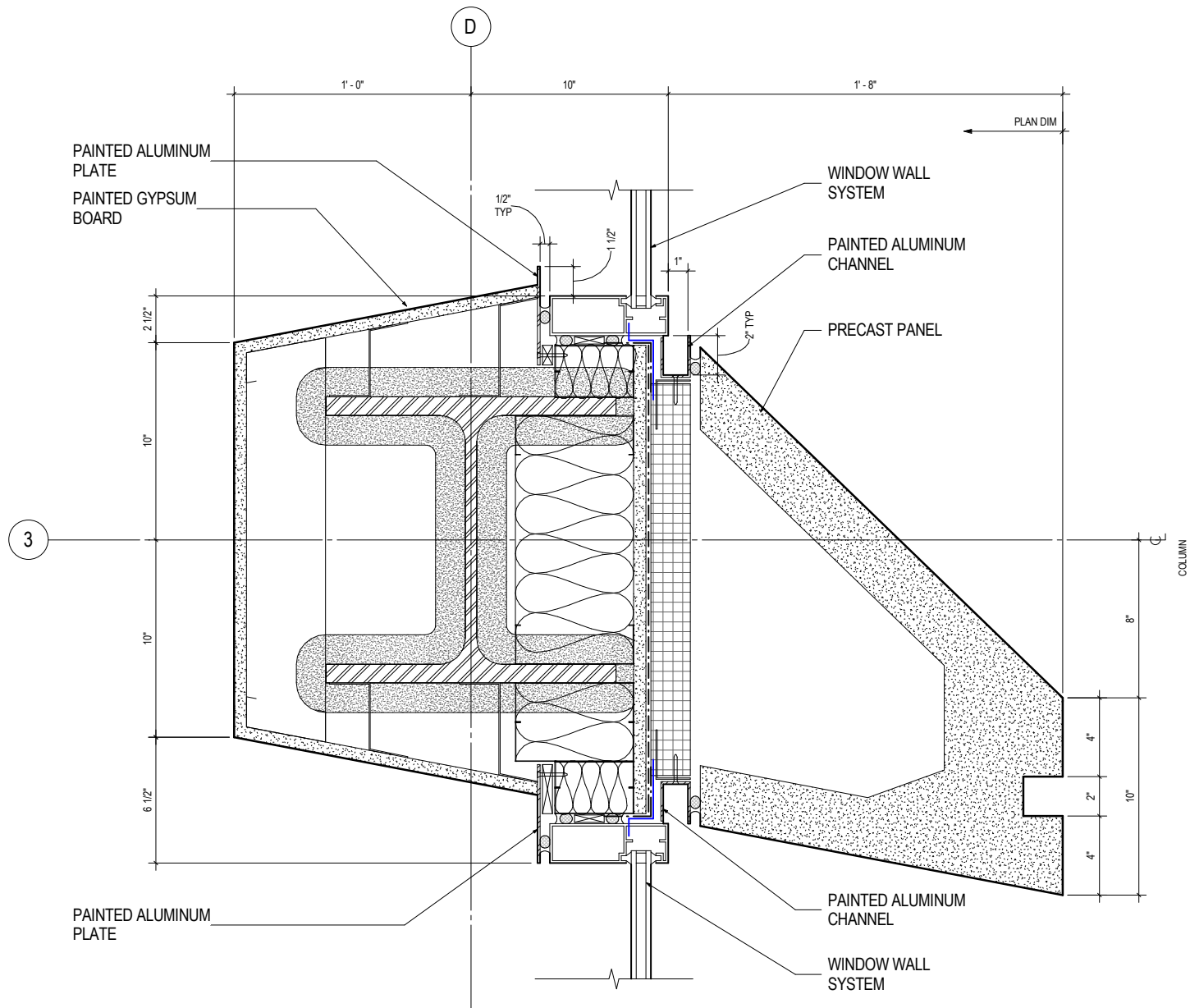
# C.56 DETAILS

Scale = 1.5" = 1'-0"

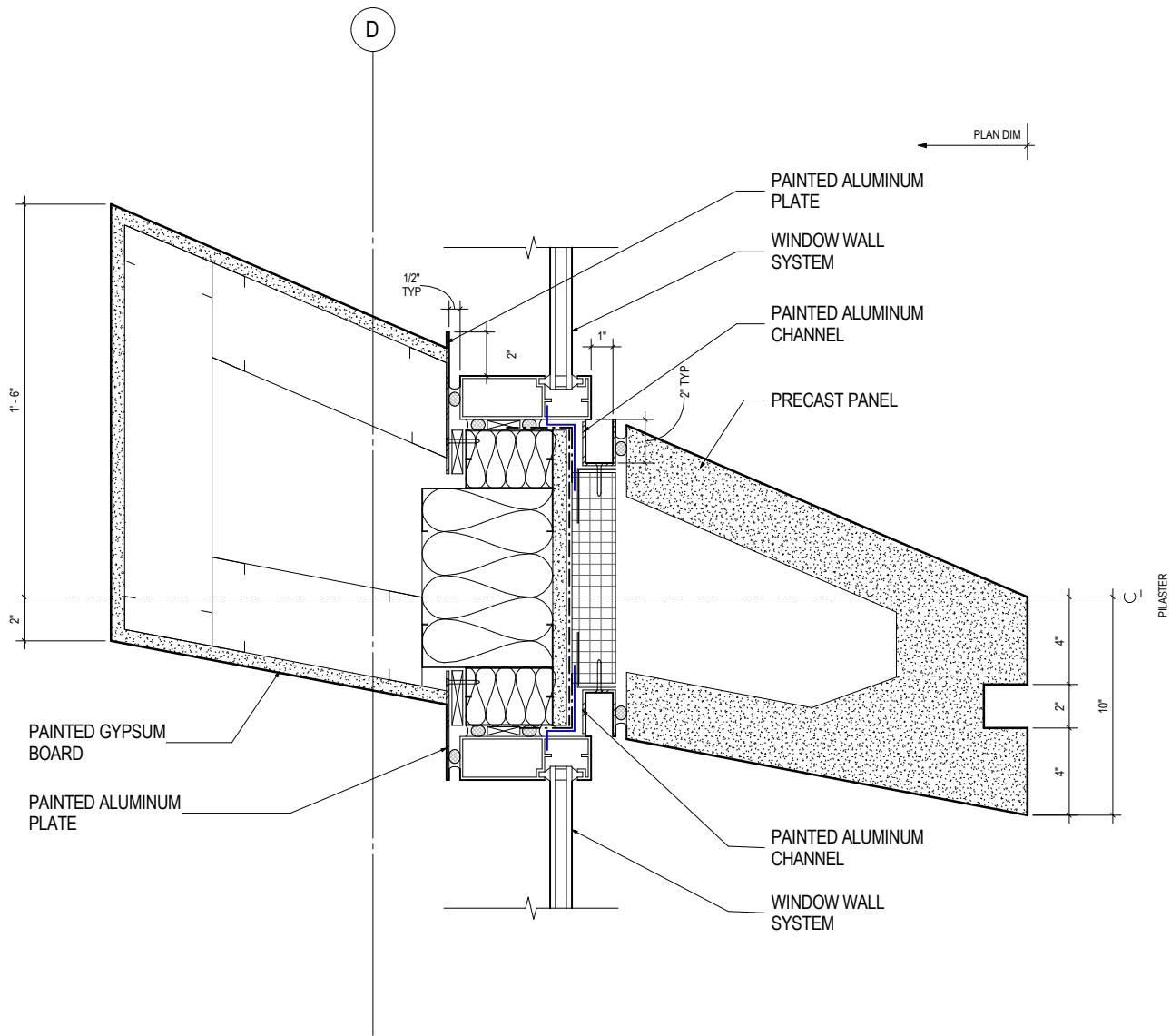
GROUND FLOOR DETAILS  
Curtain Wall Jamb

Scale = 1.5" = 1'-0"

0' 2" 4" 8"



C.57-1 Curtain Wall Jamb , Typical at Columns  
Detail Reference From: C.36 Elevation

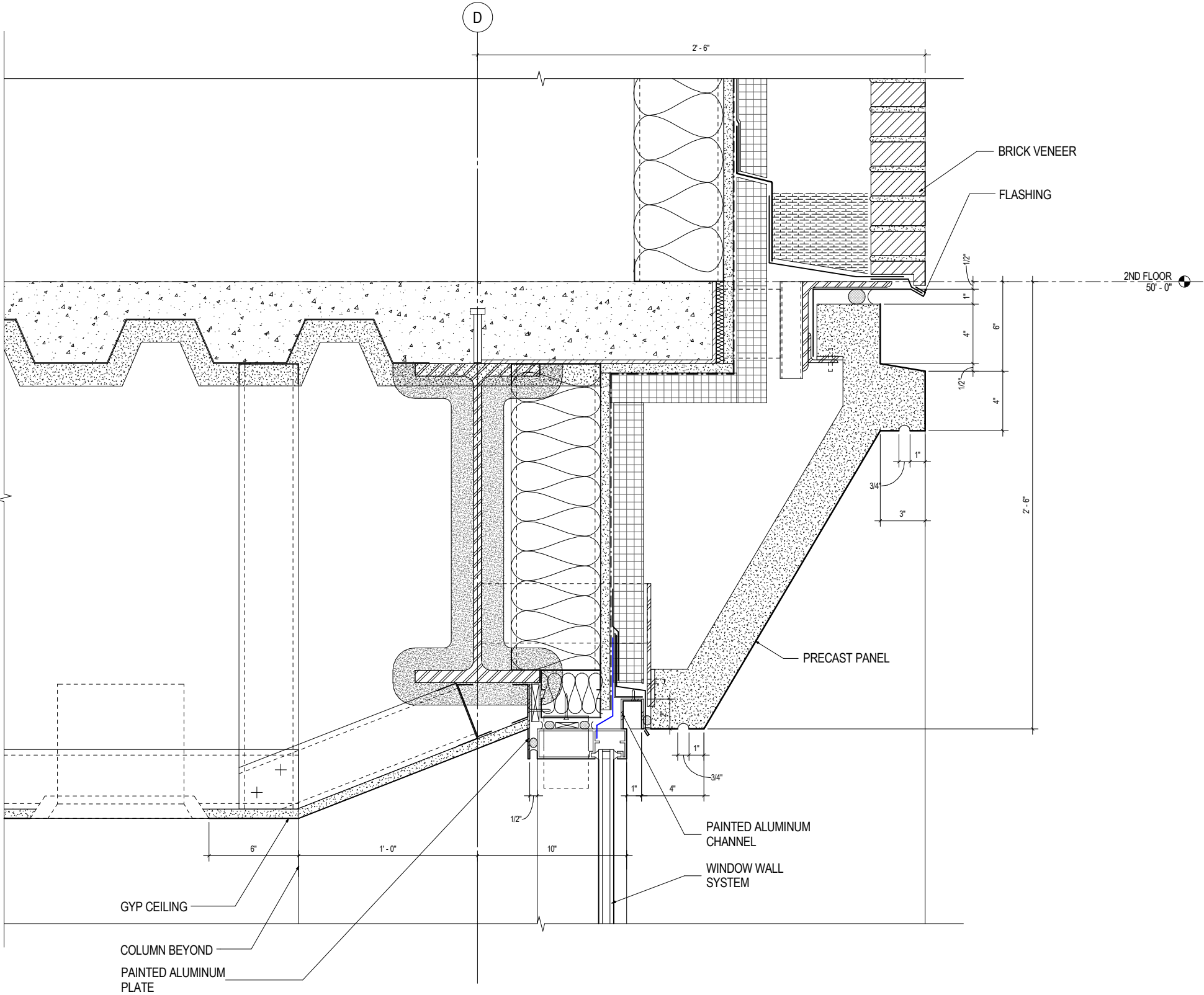


C.57-2 Curtain Wall Jamb at Pre-Cast Concrete Fin, Typical  
Detail Reference From: C.36 Elevation

GROUND FLOOR DETAILS

Curtain Wall Head @ Precast

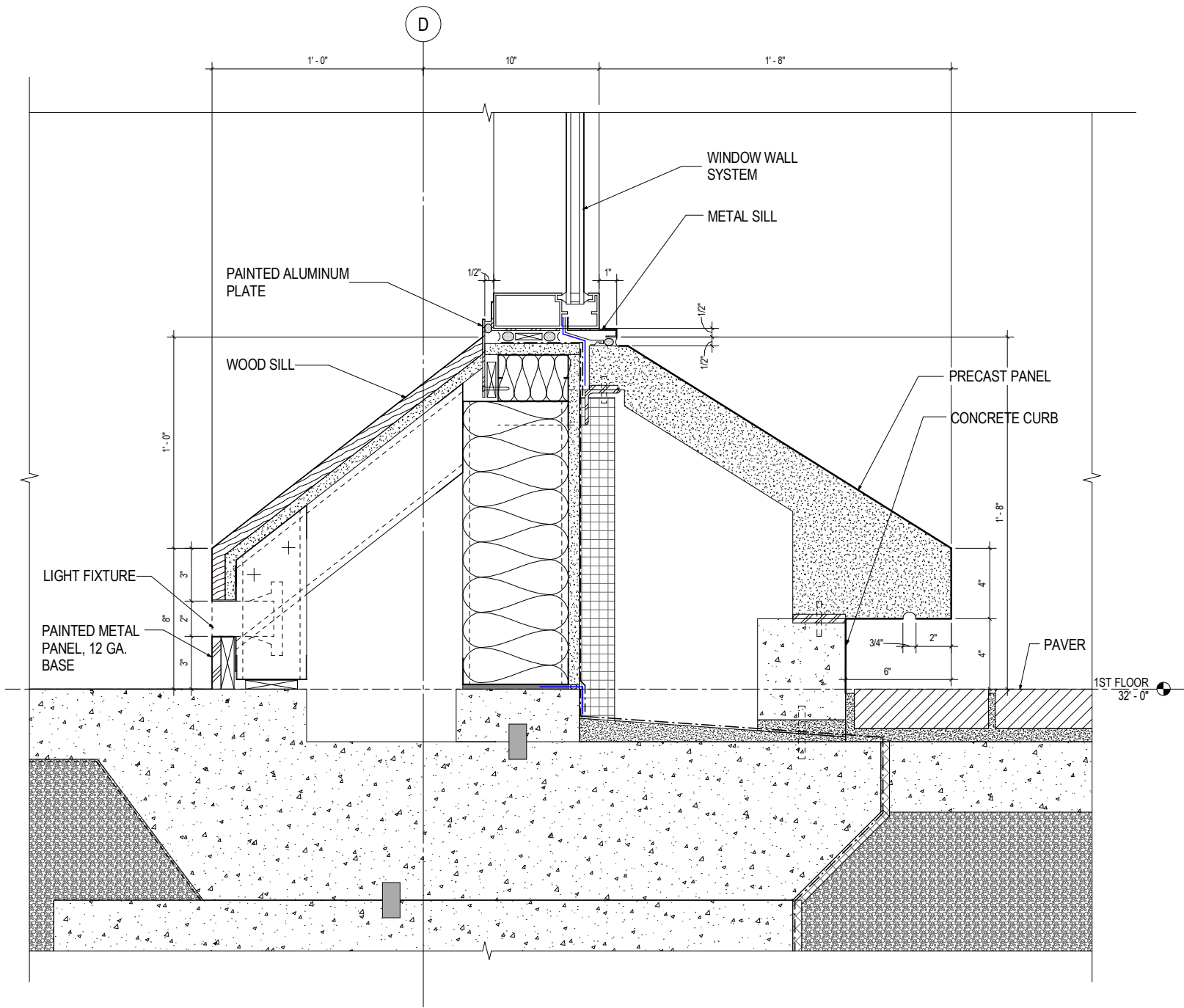
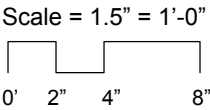
Scale = 1.5" = 1'-0"



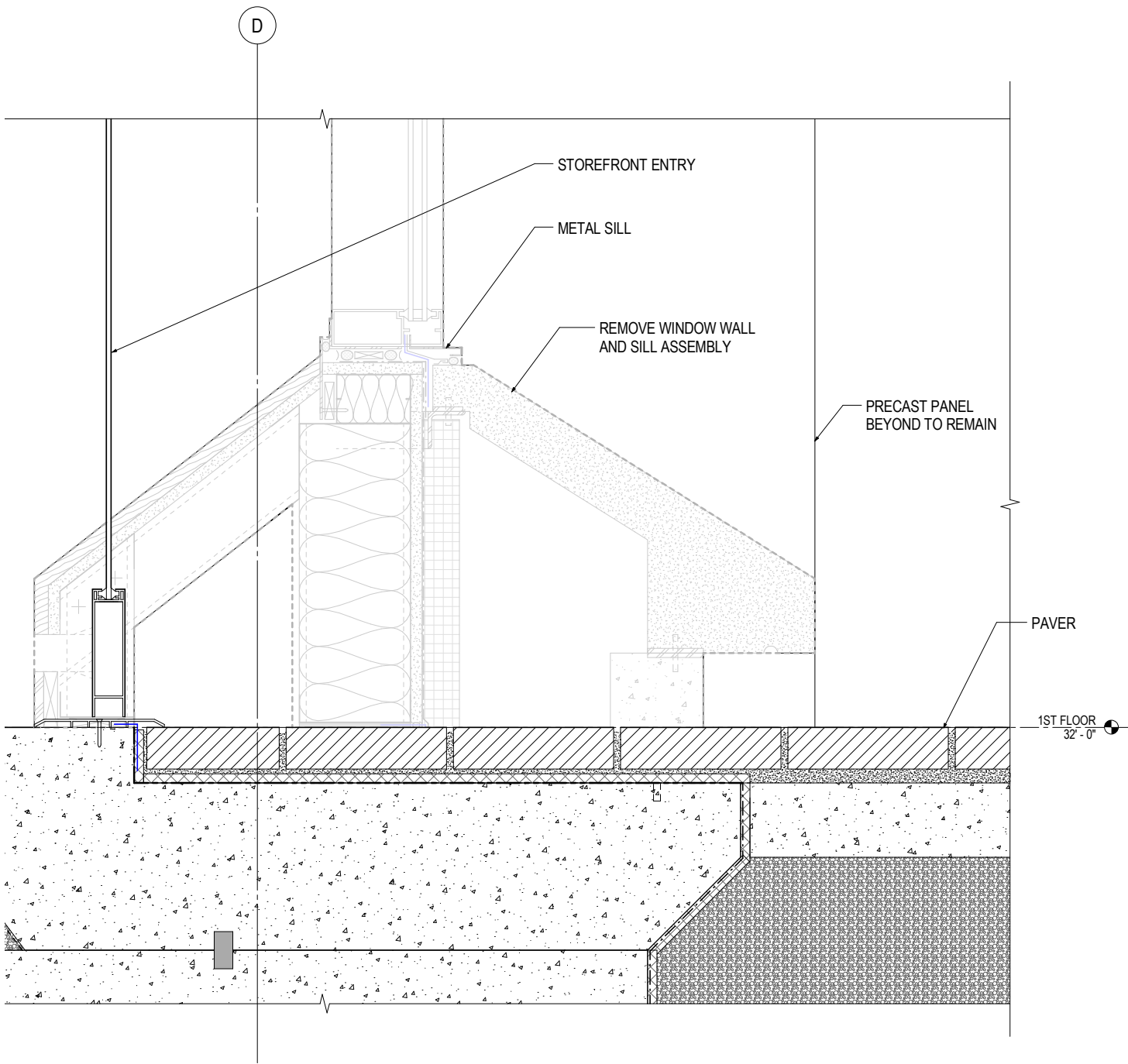
C.58-1 Curtain Wall Jamb at Pre-Cast Concrete, Typical East  
Detail Reference From: C.36 Elevation



GROUND FLOOR DETAILS  
Curtain Wall Sill @ Precast



C.59-1 Present Condition of Curtain Wall Sill, Typical East  
Detail Reference From: C.36 Elevation

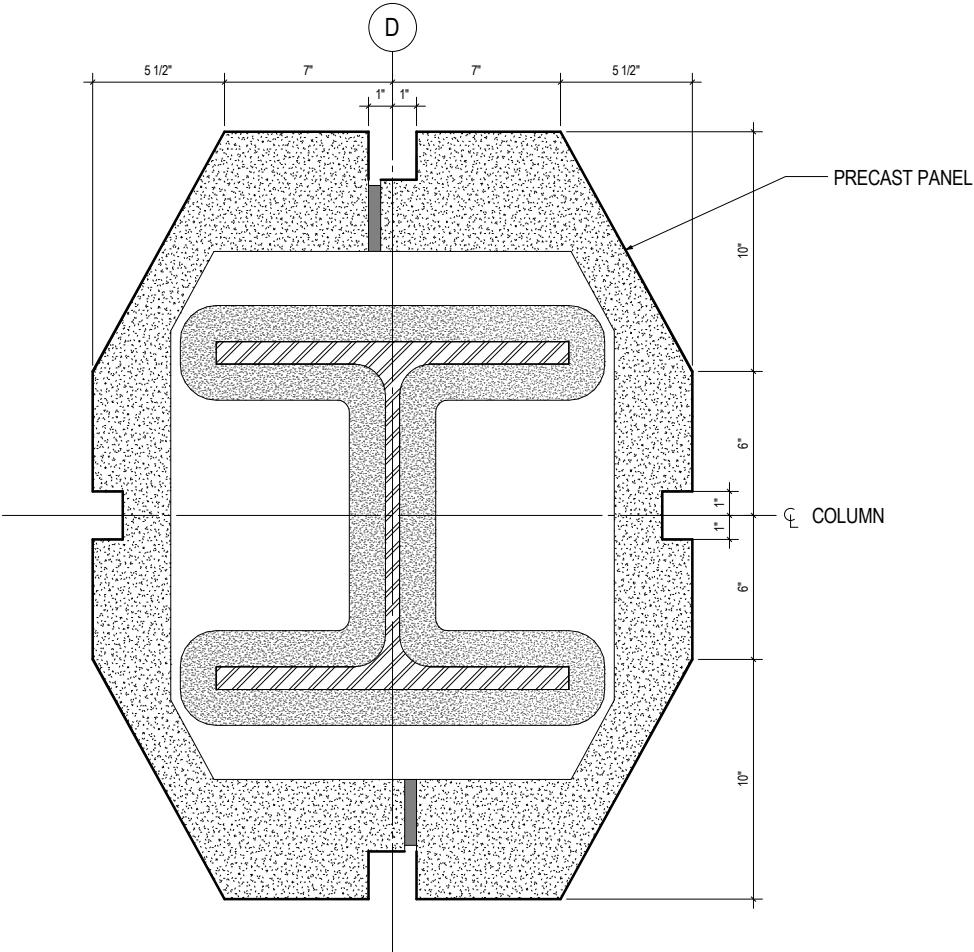


C.59-2 Potential Future Condition at Curtain Wall Sill, East

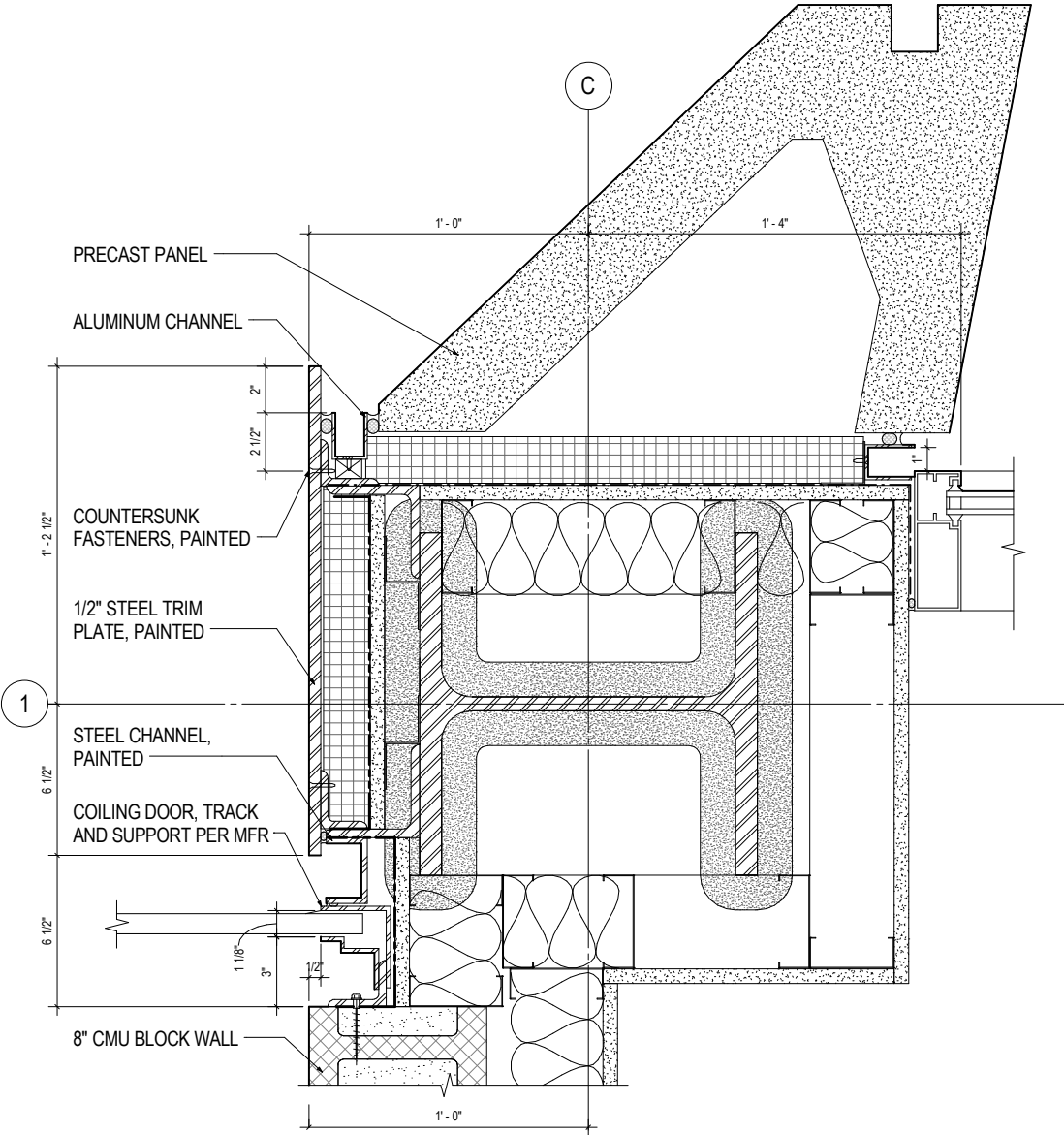
GROUND FLOOR DETAILS

Loading Dock Jamb

Scale = 1.5" = 1'-0"



C.60-1 Column at Entry Corner  
Detail Reference From: C.38 Elevation

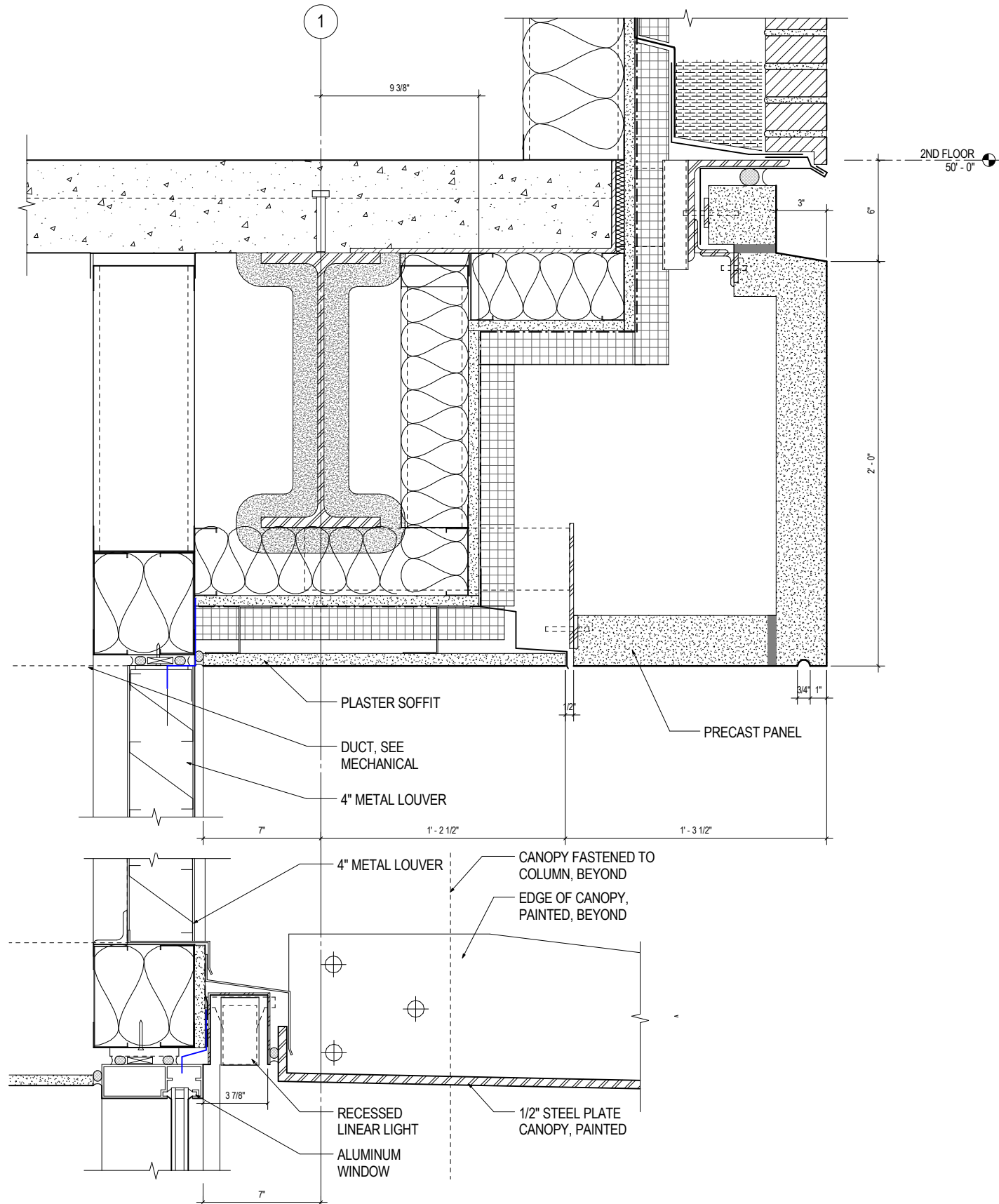


C.60-2 Loading Dock Jamb  
Detail Reference From: C.39 Elevation

# GROUND FLOOR DETAILS

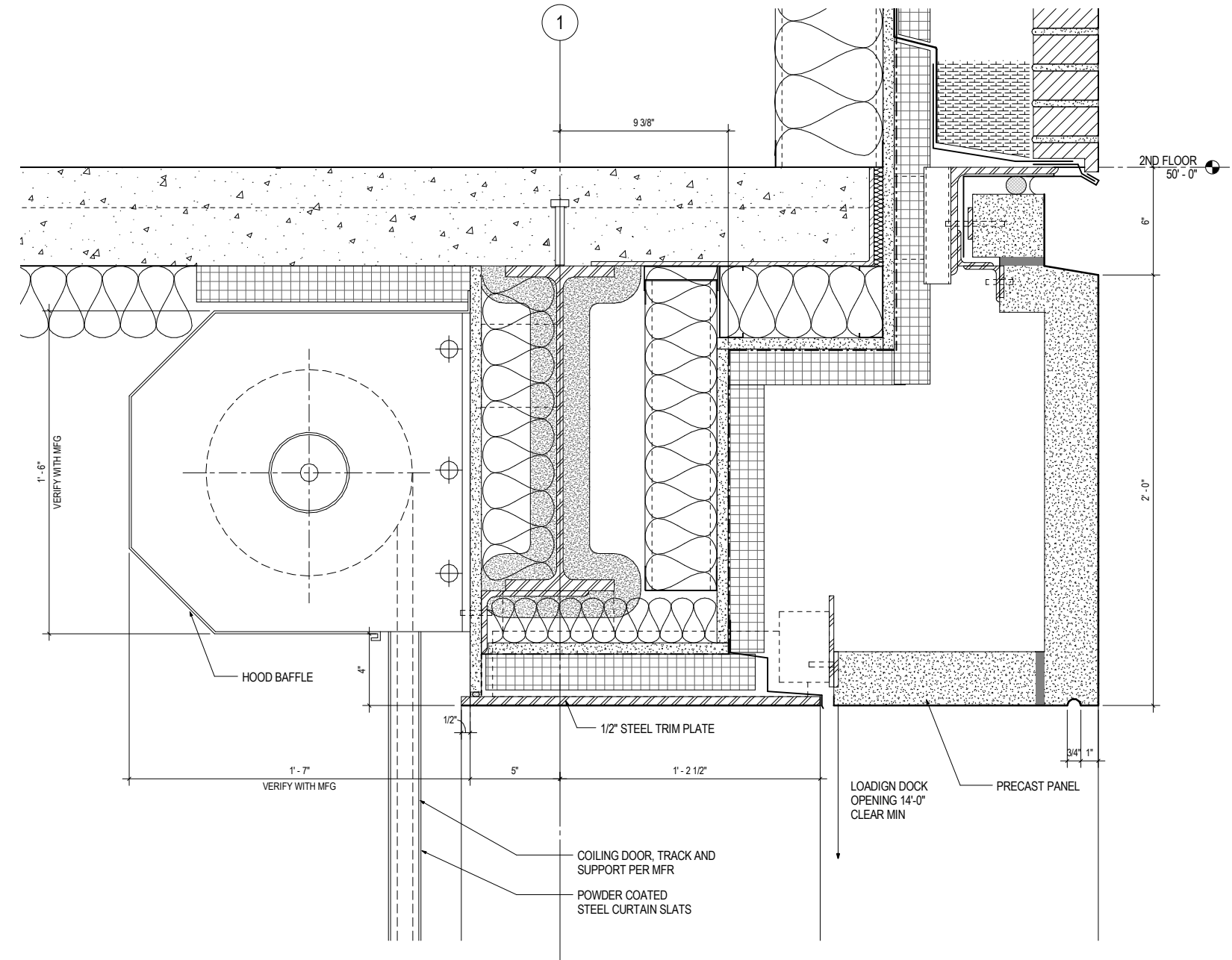
Loading Dock Jams

Scale = 1.5" = 1'-0"



C.61-1 Louver Head and Canopy Connection

Detail Reference From: C.41 Elevation



C.61-2 Loading Dock Head

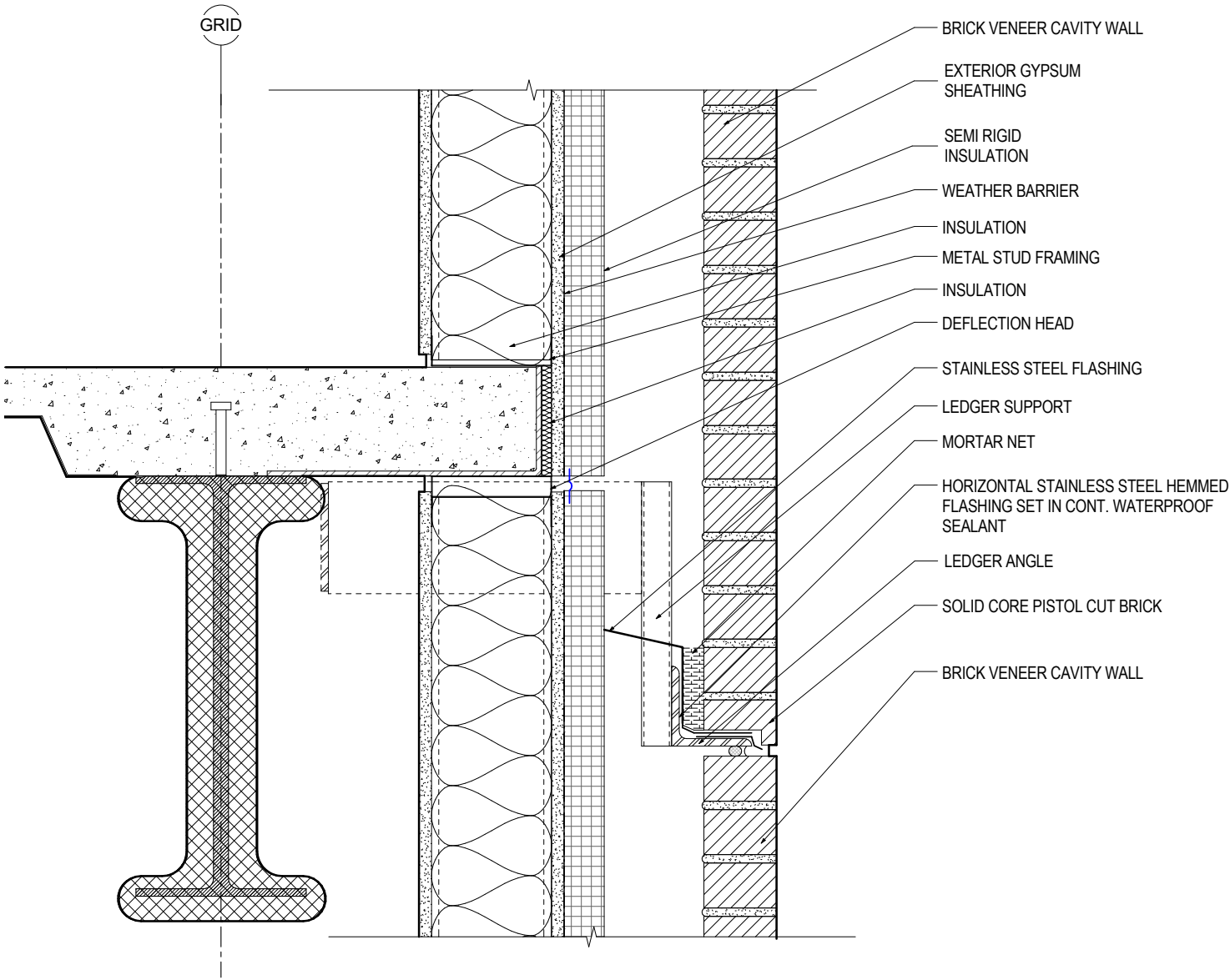
Detail Reference From: C.39 Elevation



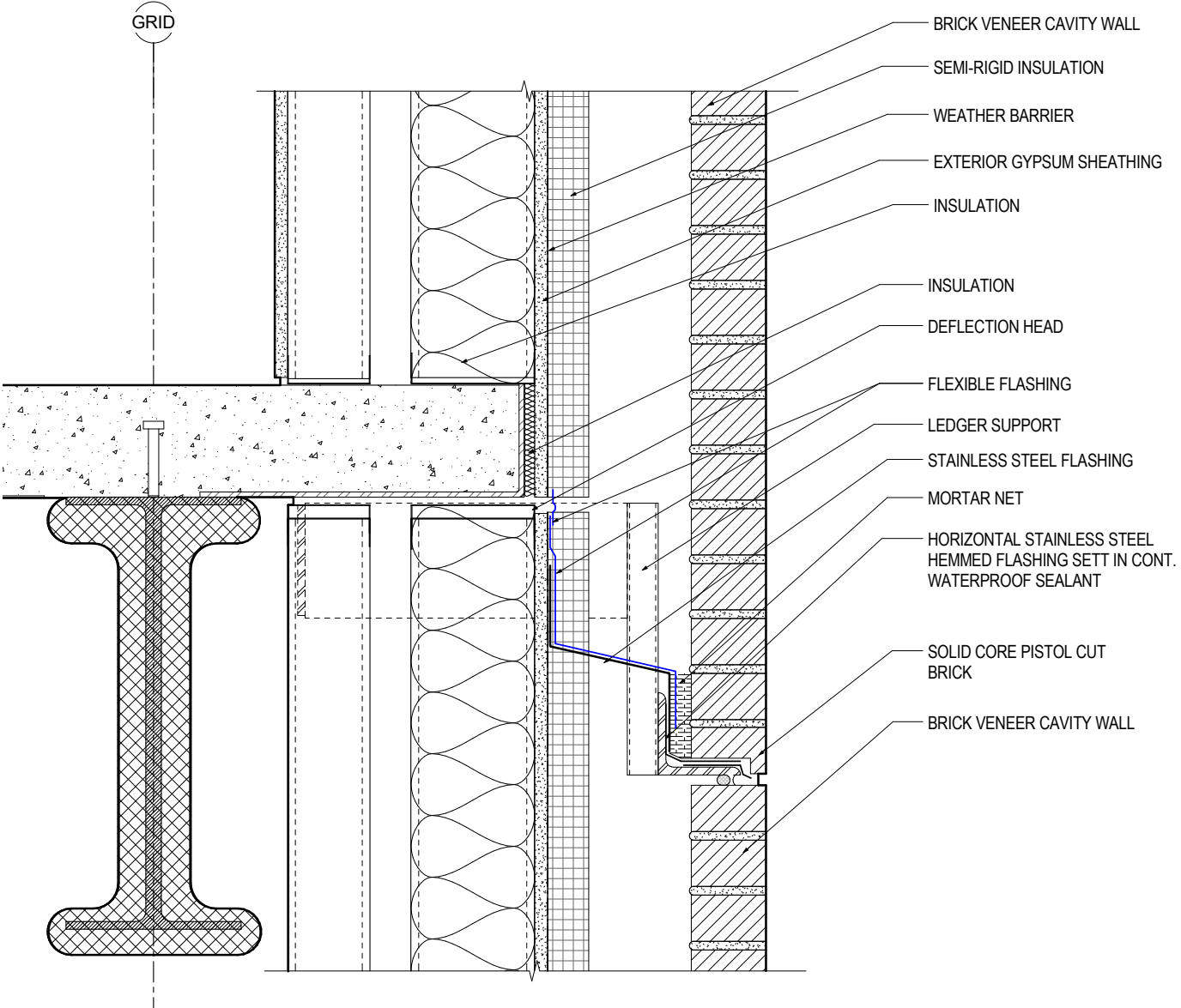
UPPER FLOOR DETAILS  
Typical Brick Cavity Wall

Scale = 1.5" = 1'-0"

0' 2" 4" 8"



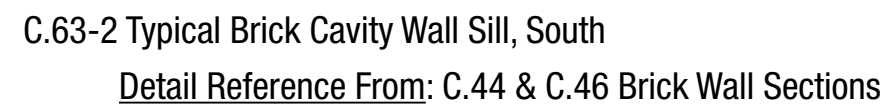
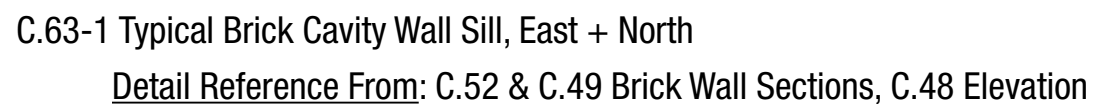
C.62-1 East Wall, 18"



C.62-2 South Wall, 24"

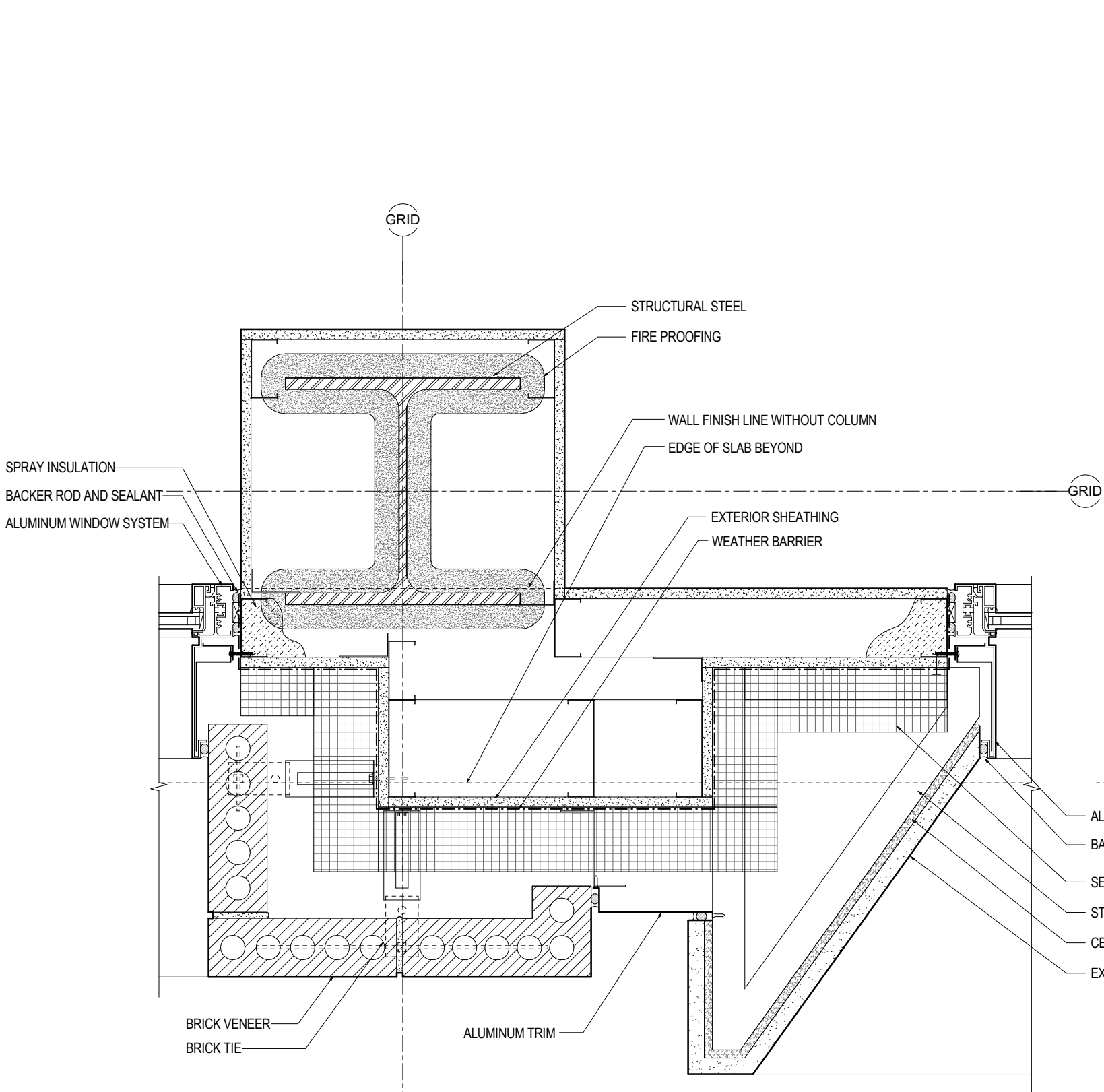
Detail Reference From: C.43 Elevation

### Typical Brick Cavity Wall Sill

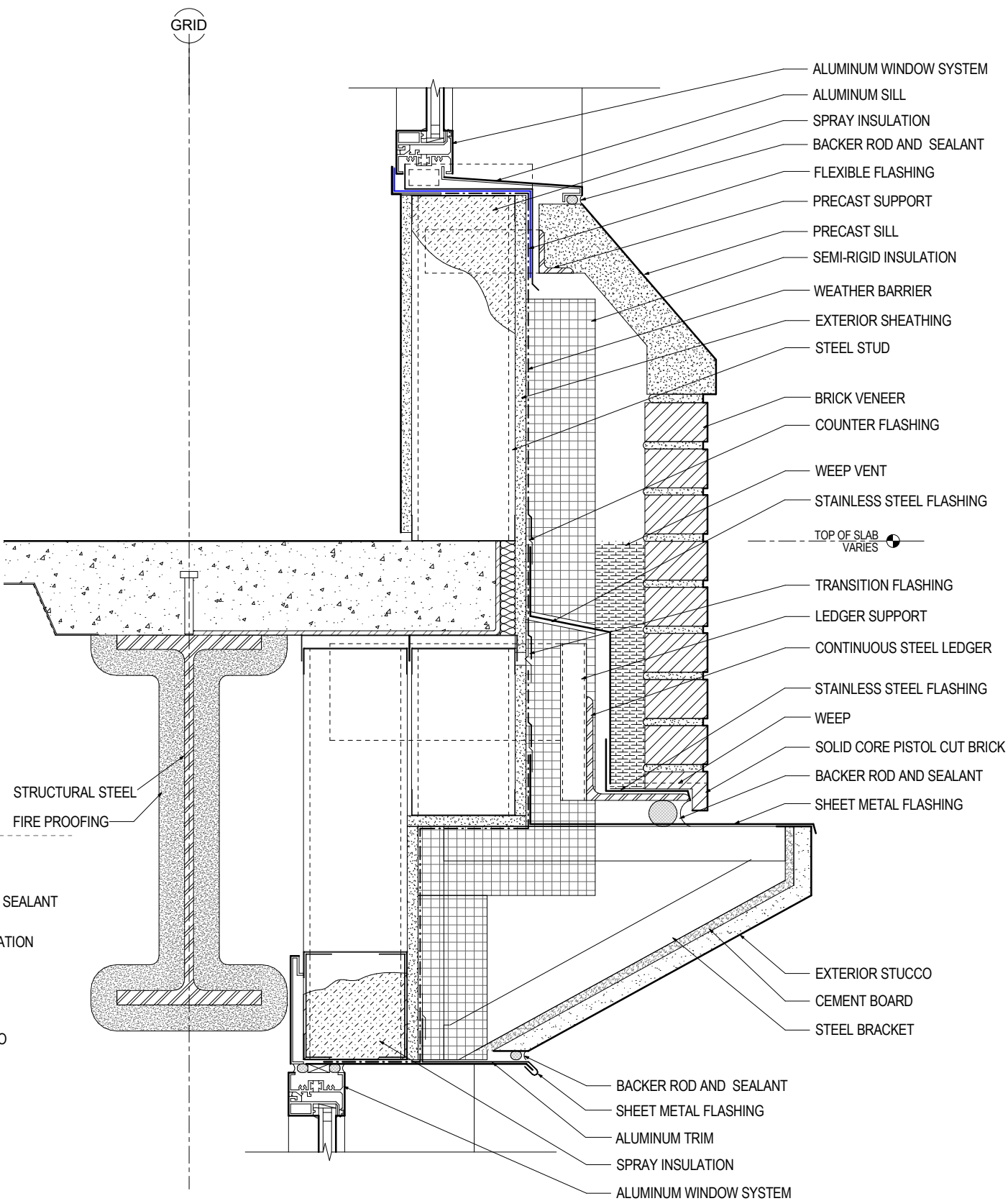


UPPER FLOOR DETAILS  
Typical Brick Cavity Wall, Aperture Head

Scale = 1.5" = 1'-0"



C.64-1 Typical Brick + Aperture Jamb  
Detail Reference From: C.51 Elevation



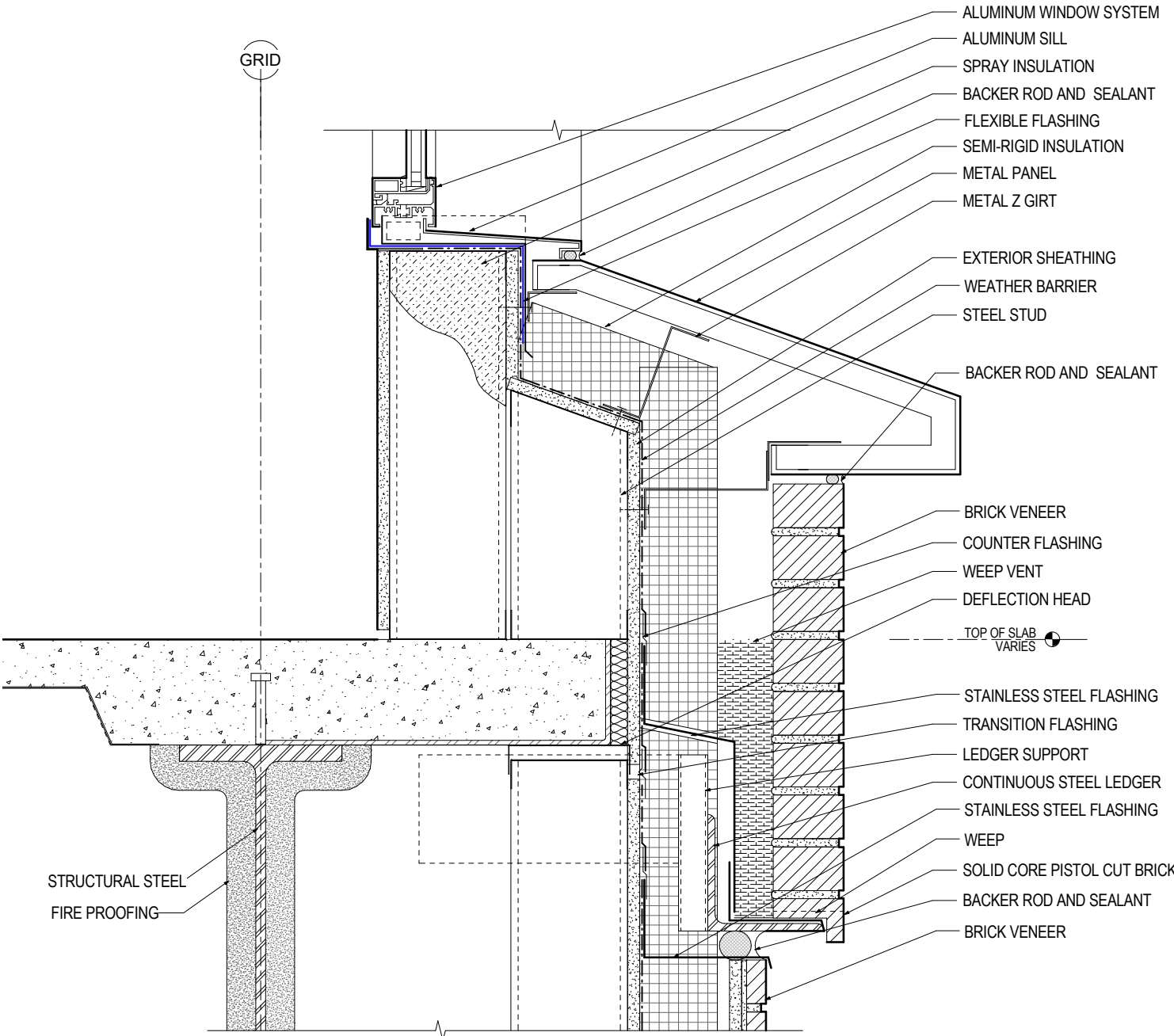
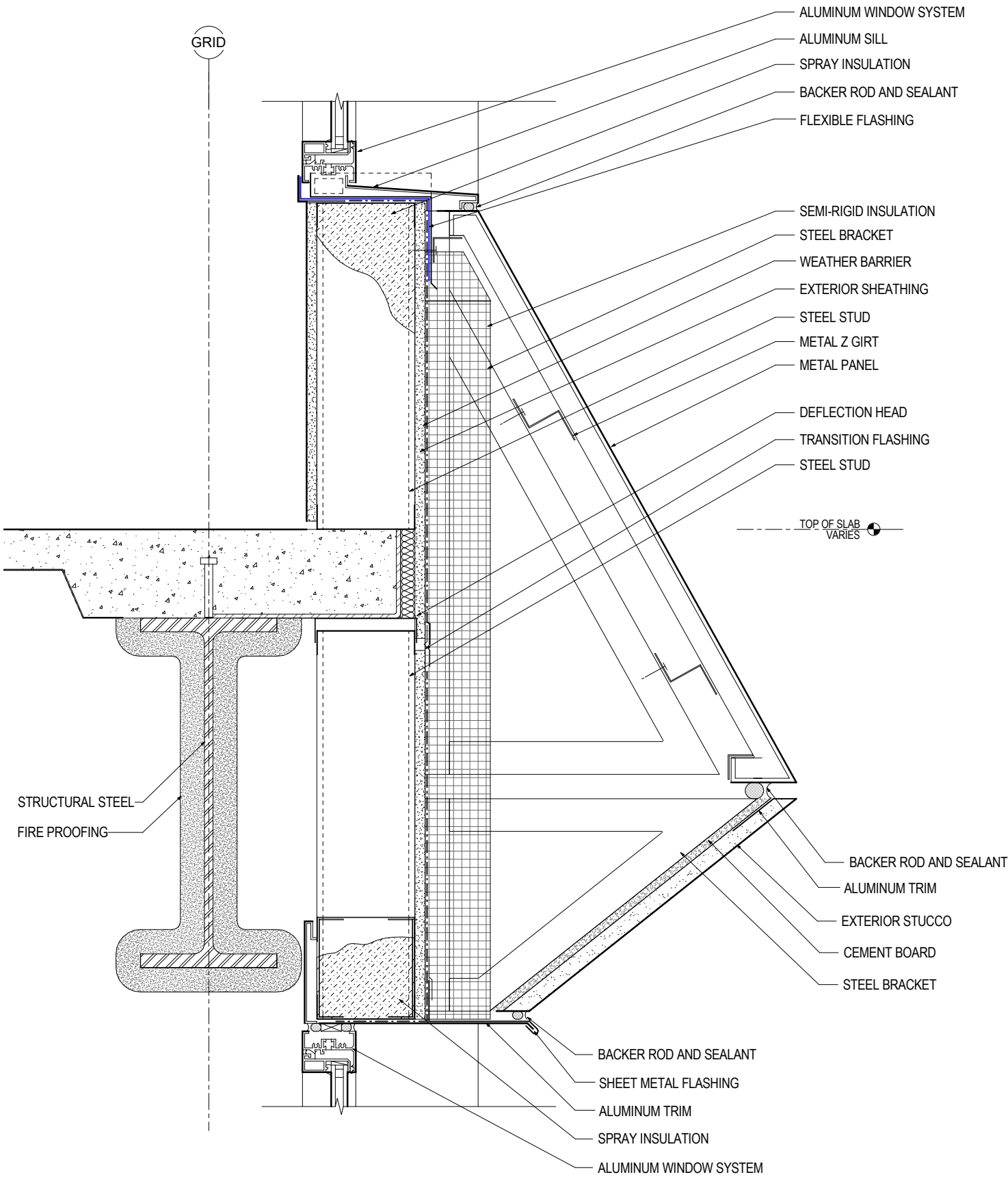
C.64-2 Typical Brick Cavity Wall Aperture Head  
Detail Reference From: C.46 Aperture Wall Section



UPPER FLOOR DETAILS

Typical Brick Cavity Wall, Aperture Mullion + Sill

Scale = 1.5" = 1'-0"

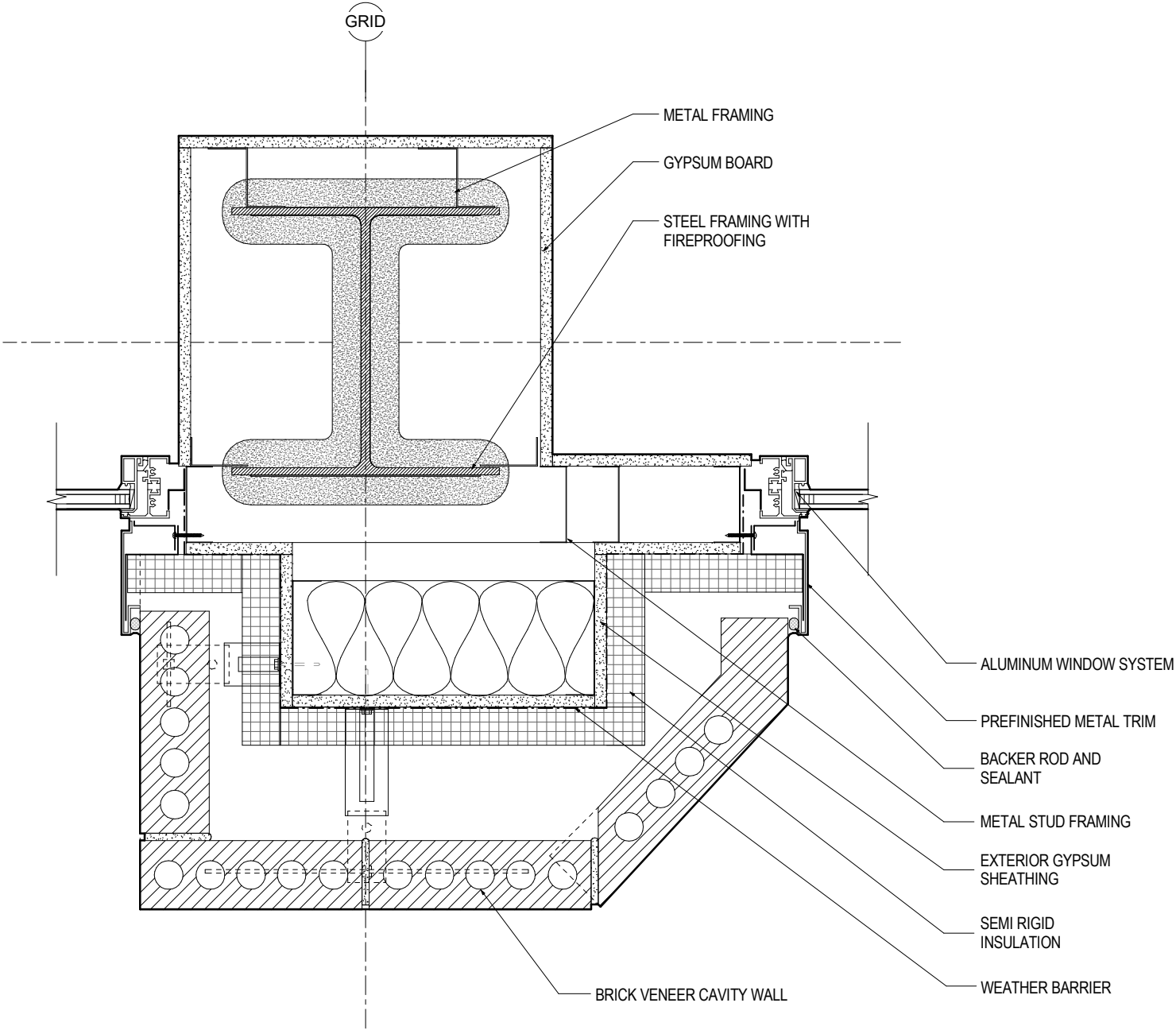



C.65-1 Typical Brick Cavity Wall Aperture Mullion  
Detail Reference From: C.44, C.46 & C.52 Apertures

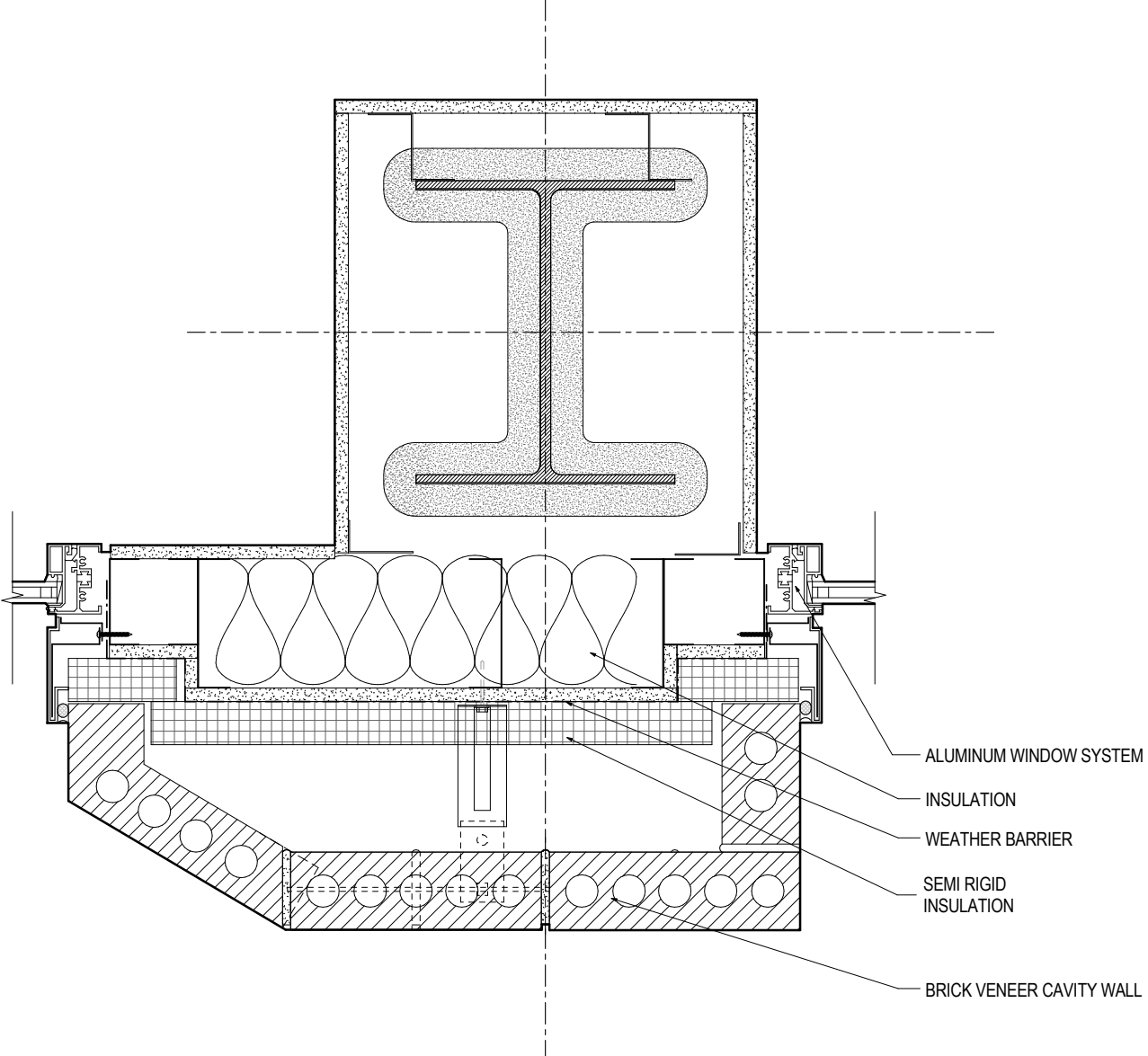
C.65-2 Typical Brick Cavity Wall Aperture Sill  
Detail Reference From: C.46 & C.52 Apertures

UPPER FLOOR DETAILS  
Typical Brick Cavity Wall Jamb

Scale = 1.5" = 1'-0"



C.66-1 Typical Brick Cavity Wall Jamb, South  
Detail Reference From: C.45 Elevations

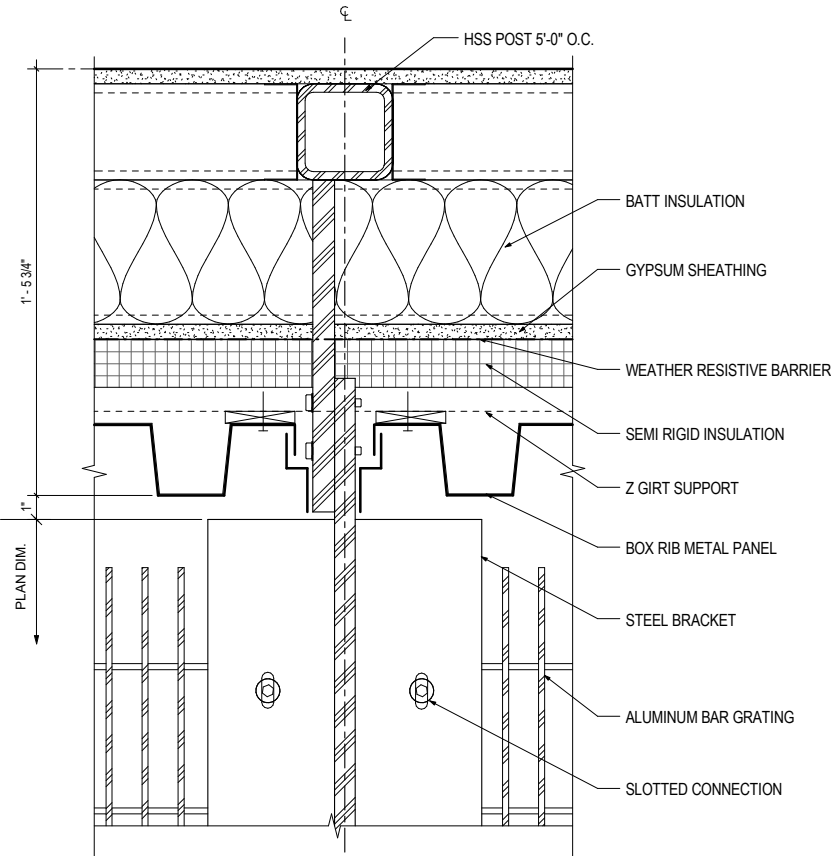


C.66-2 Typical Chamfered Brick Cavity Wall Jamb, East + North  
Detail Reference From: C.48 & C.51 Elevations

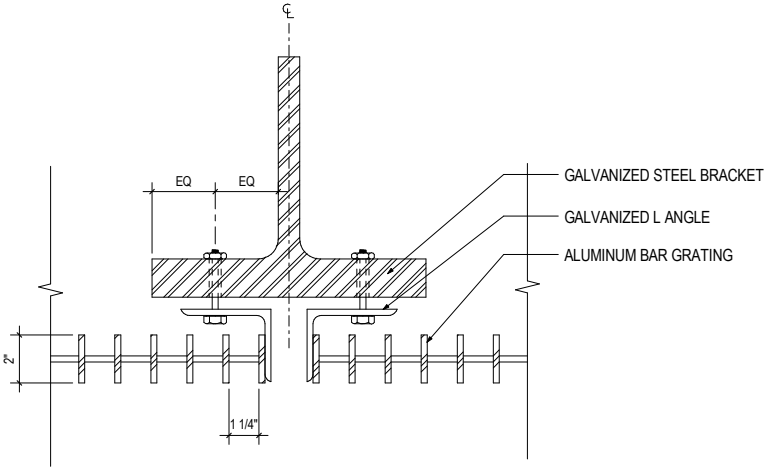
ROOF DETAILS

Terrace Canopy + Mechanical Screen

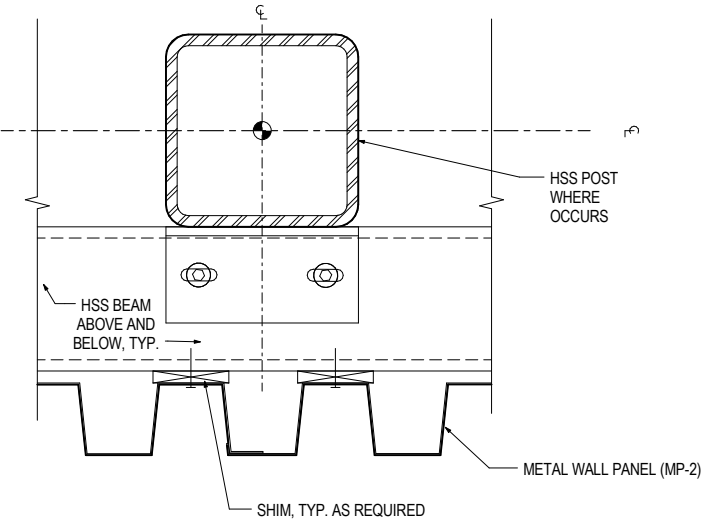
Scale = 1.5" = 1'-0"



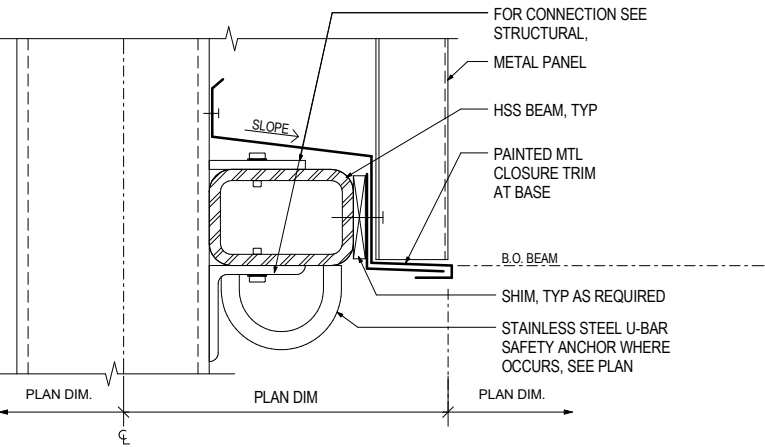
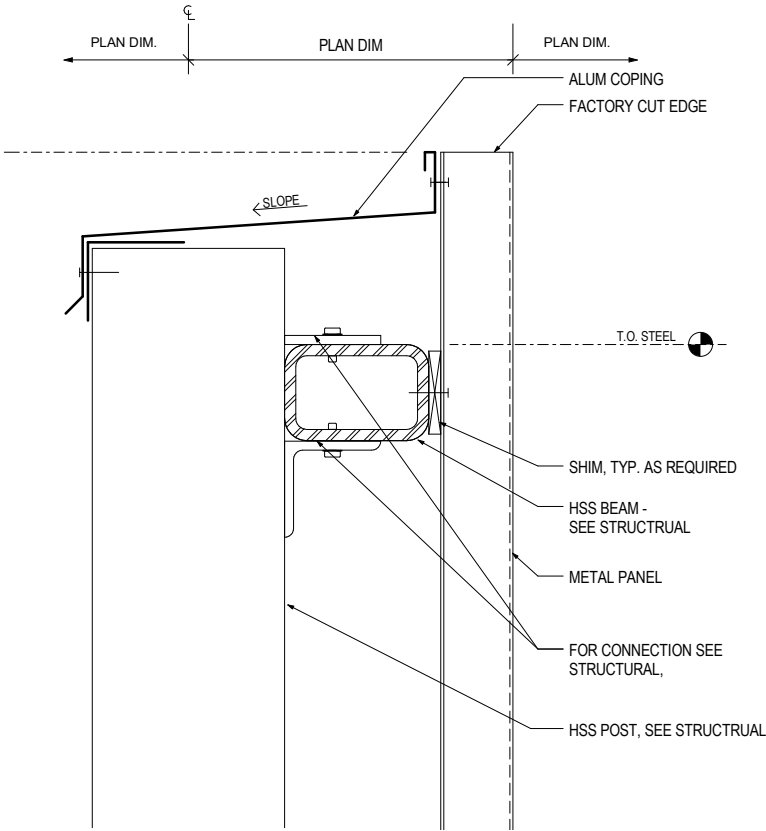
C.67-1 Level 9 Terrace Canopy Jamb



C.67-2 Level 9 Terrace Canopy Bracket  
Detail Reference From: C.47 Elevation



C.67-3 Mechanical Screen Jamb

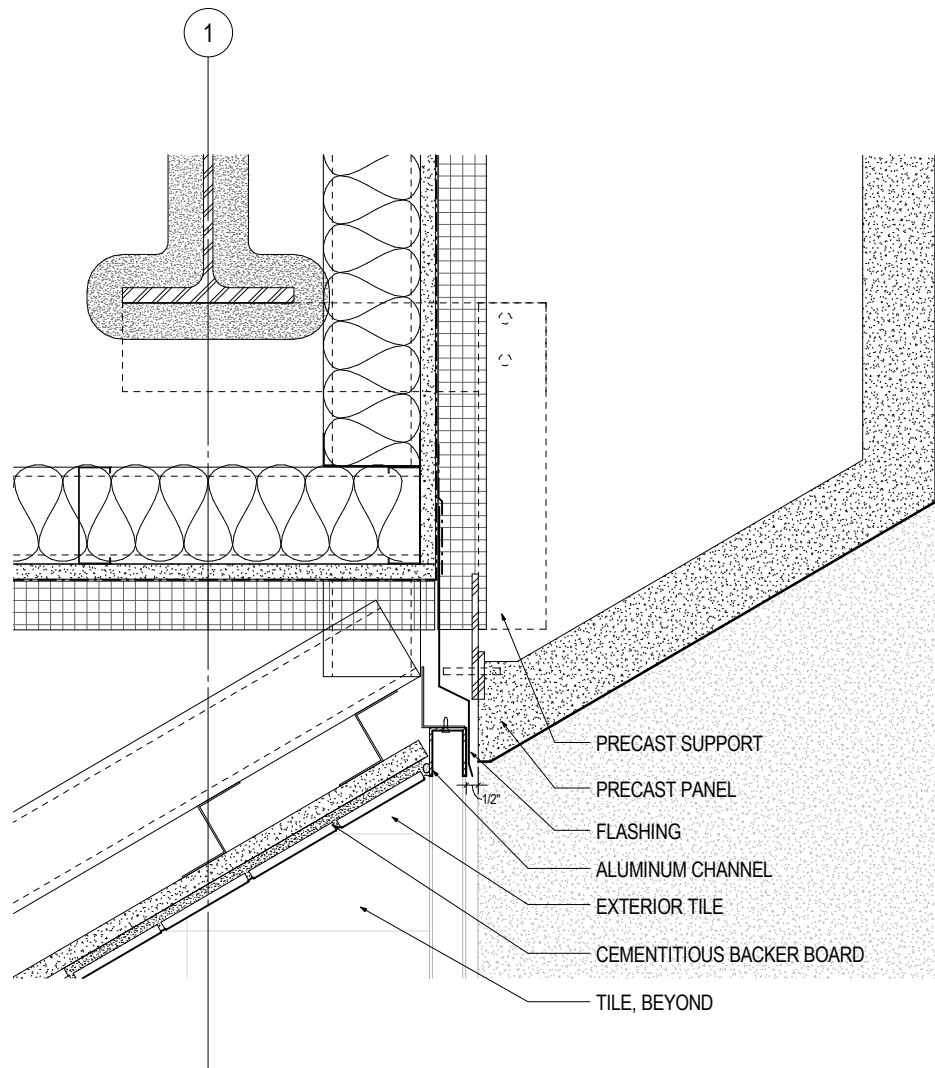



C.67-4 Top + Bottom of Mechanical Screen  
Detail Reference From: C.50 Wall Section

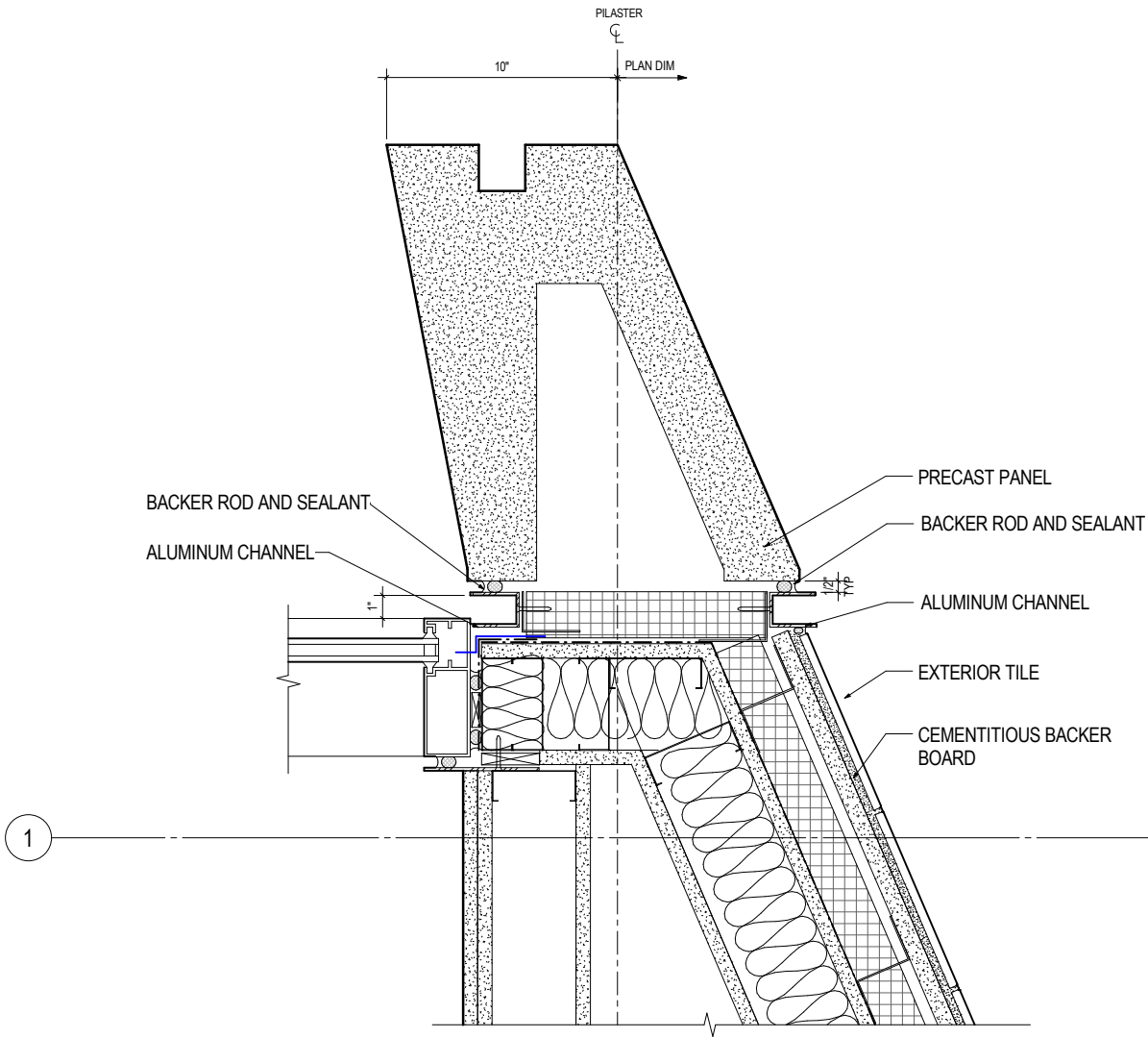


GROUND FLOOR DETAILS  
Exterior Tile at North Entry

Scale = 1.5" = 1'-0"



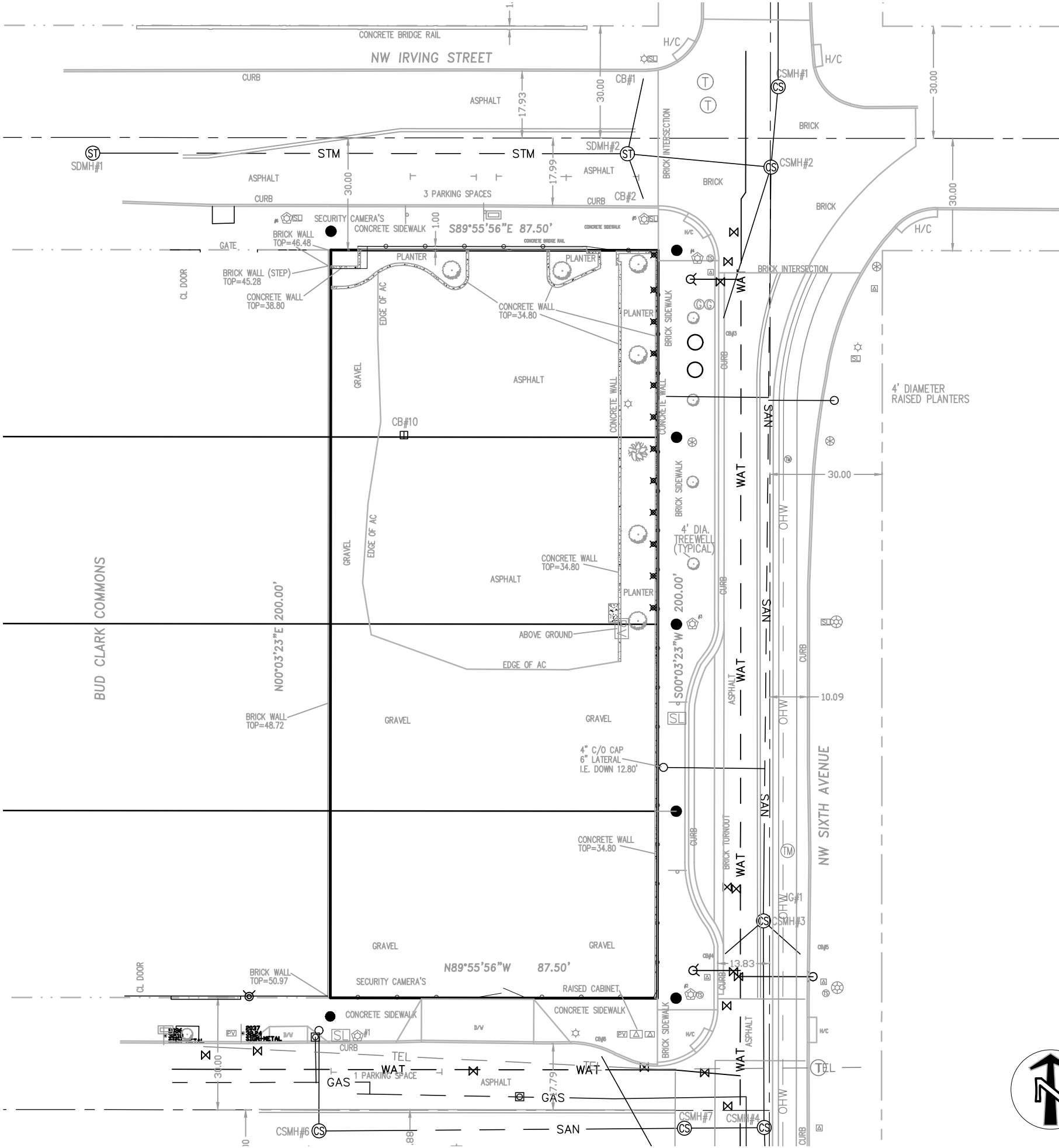
C.68-1 Exterior Tile at Precast Head, North Entry  
Detail Reference From: C.38 Elevation



C.68-2 Exterior Tile Jamb at Precast Fin, North Entry  
Detail Reference From: C.38 Elevation

# C.68 CIVIL

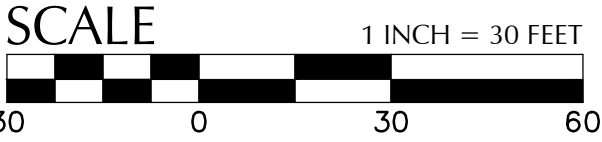
Scale = 1" = 30'-0"



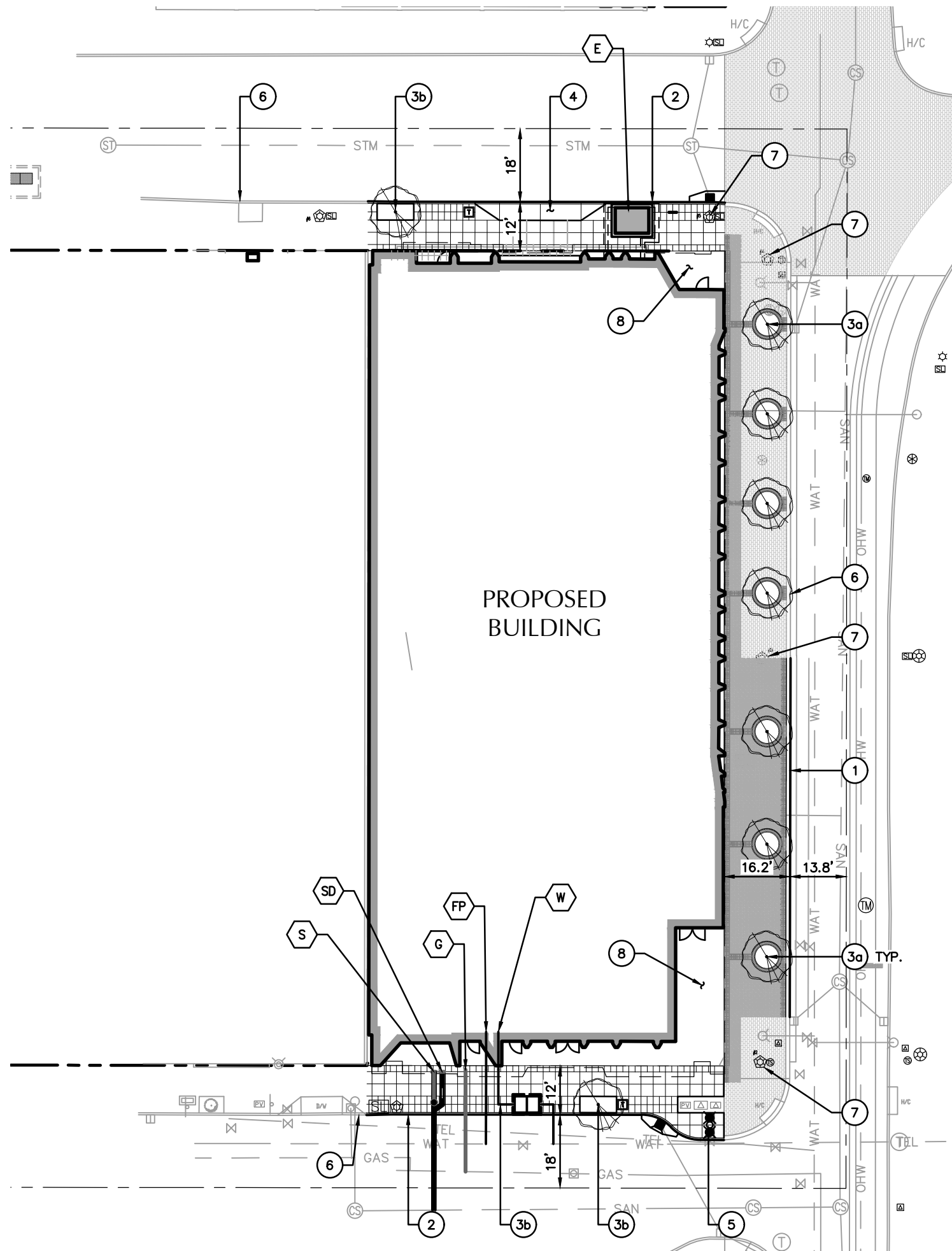
SITE SURVEY

- |                            |   |   |   |
|----------------------------|---|---|---|
| BRASS SCREW (5' OFFSET)    | ● | TRAFFIC SIGNAL POLE   | ⊙ |
| FIRE HYDRANT               | ⊗ | TRAFFIC SIGNAL CONTROL - FLUSH                                  | ⊠ |
| FIRE DEPARTMENT CONNECTION | ⊗ | TRIMET UTILITY VAULT  | ⊕ |
| WATER VALVE                | ⊗ | TRIMET GUY POLE   | ⊗ |
| SANITARY CLEAN OUT         | ⊗ | TRIMET POWER/LIGHT POLE   | ⊗ |
| COMBINED SEWER MANHOLE     | ⊗ | COBRA LIGHT POLE  | ⊗ |
| SIGN                       | ⊗ | TWIN ORNAMENTAL LIGHT POLE W/ SIGN (SEE LIGHT POLE SIGN LEGEND) | ⊗ |
| DRIVEWAY                   | ⊗ | PARKING METER   | ⊗ |
| HANDICAP RAMP              | ⊗ | POWER VAULT   | ⊗ |
| GARBAGE CAN                | ⊗ | STREET LIGHT CONTROL BOX  | ⊗ |
| TELEPHONE MANHOLE          | ⊗ | DECIDUOUS TREE  | ⊗ |
| STORM CATCH BASIN          | ⊗ | CONIFER TREE  | ⊗ |
| STORM MANHOLE              | ⊗ | SPOT ELEVATION  | ⊗ |
| GAS VALVE                  | ⊗ | TOP FACE CURB ELEVATION   | ⊗ |
| SPRINKLER HEAD             | ⊗ |   |   |

RIGHT-OF-WAY	
PROPERTY LINE	
CENTERLINE	
CURB LINE	
EDGE OF AC	
CHAINLINK FENCE	
EDGE OF CONCRETE	
EASEMENT	
OVERHEAD WIRE	
GAS LINE	
STORM SEWER LINE	
COMBINED SEWER LINE	
WATER LINE	







## SITE PLAN

### (X) KEY NOTES

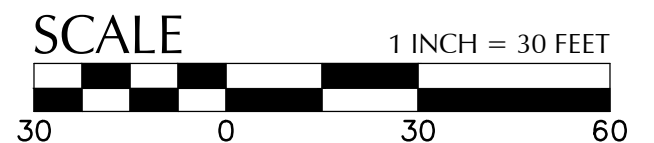
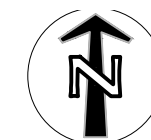
- 1 PROPOSED 12" WIDE CURB WITH 6" EXPOSURE.
- 2 PROPOSED 6" WIDE CURB WITH 6" EXPOSURE.
- 3a PROPOSED STREET TREE IN BUS MALL STANDARDS 4' DIA TREE WELL.
- 3b PROPOSED STREET TREE PER RIVER DISTRICT STANDARDS.
- 4 CONSTRUCT COMMERCIAL DRIVEWAY PER CITY OF PORTLAND TRANSPORTATION BUREAU STANDARDS.
- 5 INSTALL NEW TWIN ORNAMENTAL LIGHT. SEE SEPARATE PBOT PERMIT PLANS FOR DESIGN AND DETAILS.
- 6 EXISTING CURB LINE.
- 7 CLEAN AND TOUCH UP PAINT ON EXISTING ORNAMENTAL STREET LIGHT, UPGRADE EXISTING LUMINAIRES TO L.E.D.
- 8 ON SITE PAVING. SEE LANDSCAPE PLANS.

### UTILITY LEGEND

- |       |                                     |
|-------|-------------------------------------|
| (E)   | POWER CONN. TO BUILDING             |
| (FP)  | FIRE DEPARTMENT POINT OF CONNECTION |
| (FTP) | STORMWATER FLOW-THROUGH PLANTER     |
| (S)   | SANITARY SEWER POINT OF CONNECTION  |
| (SD)  | ROOF DRAIN CONNECTION               |
| (W)   | WATER POINT OF CONNECTION           |
| (G)   | GAS POINT OF CONNECTION             |

### SHEET LEGEND

- |  |  |
|--|--|
|  | PROPERTY LINE                                  |
|  | PROPOSED BUS MALL STD BRICK REPLACEMENT        |
|  | PROPOSED CONC SIDEWALK PER RIVER DISTRICT STDS |



UTILITY PLAN

SHEET NOTES

- 1. PIPE BEDDING AND BACKFILL FOR ALL UTILITIES SHALL BE DONE PER DETAIL X/CS.X.
- 2. STRUCTURES LOCATIONS ARE BASED ON CENTER OF STRUCTURE.
- 3. A DOUBLE CHECK DETECTOR ASSEMBLY (DCDA) IS TO BE INSTALLED ON THE FIRE SPRINKLER WATER SERVICE. THE DCDA IS TO BE INSTALLED AT THE POINT WHERE THE FIRE SERVICE FIRST ENTERS THE BUILDING AND BE INSTALLED BETWEEN ONE AND FIVE FEET ABOVE THE FINISHED FLOOR ELEVATION. INSTALLATION MUST COMPLY WITH TITLE 21 OF THE CITY CODE.
- 4. A NEW REDUCED PRESSURE BACKFLOW ASSEMBLY (RPBA) IS TO BE INSTALLED ON THE DOMESTIC WATER SUPPLY TO THIS PROPERTY. THE DCVA IS TO BE INSTALLED AT THE POINT WHERE THE WATER SERVICE FIRST ENTERS THE BUILDING AND INSTALLED BETWEEN ONE AND FIVE FEET ABOVE THE FINISHED FLOOR ELEVATION. INSTALLATION MUST COMPLY WITH THE TITLE 21 OF THE CITY CODE.

KEY NOTES

- 1 CONTRACTOR TO COORDINATE AND SCHEDULE INSTALLATION OF 3" DOMESTIC SERVICE. BY WATER BUREAU UNDER SEPARATE PERMIT.
- 2 CONTRACTOR TO COORDINATE AND SCHEDULE INSTALLATION OF 6" FIRE SERVICE, BY WATER BUREAU UNDER SEPARATE PERMIT.
- 3 SANITARY CLEAN OUT PER STD PLAN XXX.
- 4 CONNECT TO PUBLIC 10" COMBINATION SEWER MAIN
- 5 TWIN ORNAMENTAL LIGHT POLE. SEE SEPARATE PBOT PERMIT.
- 6 REMOVE EX. COBRA LIGHT POLE. SEE SEPARATE PBOT PERMIT.

SHEET LEGEND

- E ELECTRICAL SERVICE VAULT WITH ENCROACHMENT INTO RIGHT-OF-WAY.
- G CONNECT TO GAS METER. CONTRACTOR TO COORDINATE WITH GAS COMPANY. SEE PLUMBING FOR CONTINUATION.
- FP CONNECT TO FIRE PROTECTION SYSTEM. SIZE AS NOTED. SEE PLUMBING PLANS FOR CONTINUATION.
- FTP STORMWATER FLOW-THROUGH PLANTER. ID AS SHOWN.
- S CONNECT TO WASTE LINE. SEE PLUMBING PLANS FOR CONTINUATION. SIZE AS NOTED.
- SD CONNECT TO STORM DRAIN/ROOF DRAIN. SEE PLUMBING PLANS FOR CONTINUATION. SIZE AND IE AS NOTED.
- W CONNECT TO COLD WATER SYSTEM. SEE PLUMBING PLANS FOR CONTINUATION. SIZE AS NOTED.
- !! UTILITY CROSSING. PROVIDE 12" MIN. CLEARANCE, U.N.O.

- PROPERTY LINE
- CURB
- BUILDING

- GATE VALVE
- WATER METER

- CONVENTIONAL ROOF
- ECO-ROOF
- FLOW-THROUGH PLANTER (FTP)
- PLANTER BOX (PB)
- TERRACE DECK
- MECHANICAL EQUIPMENT

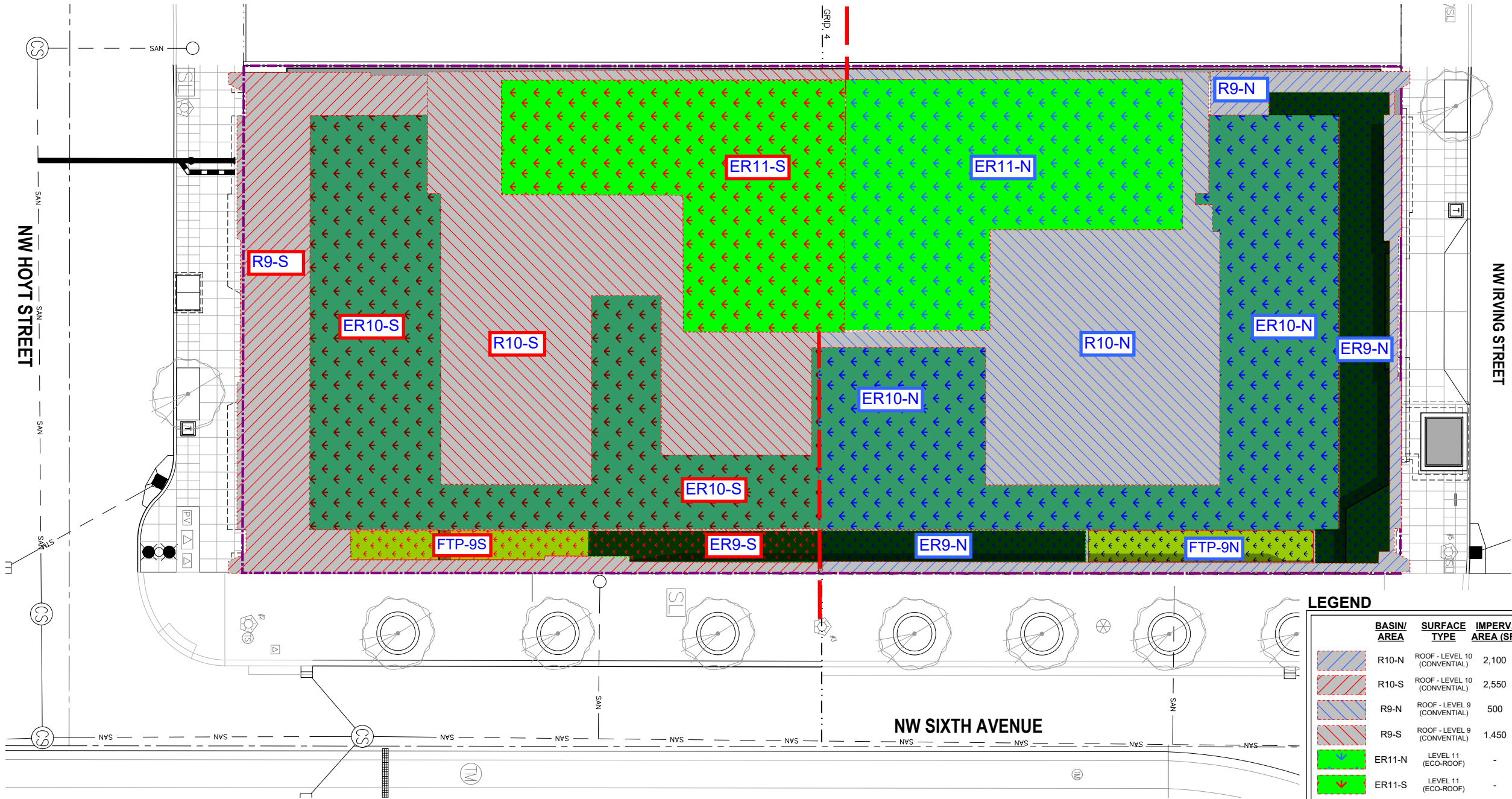
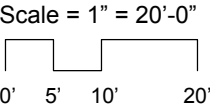


SCALE

1 INCH = 30 FEET



STORMWATER PLAN  
Post-Developed



BASIN/ AREA		SURFACE TYPE	IMPERV. AREA (SF)	PERVIOUS AREA (SF)	DRAINS TO	TOTAL AREA (SF)
	R10-N	ROOF - LEVEL 10 (CONVENTIONAL)	2,100	-	FTP-9N	1,900
	R10-S	ROOF - LEVEL 10 (CONVENTIONAL)	2,550	-	FTP-9S	2,519
	R9-N	ROOF - LEVEL 9 (CONVENTIONAL)	500	-	-	1,350
	R9-S	ROOF - LEVEL 9 (CONVENTIONAL)	1,450	-	-	1,350
	ER11-N	LEVEL 11 (ECO-ROOF)	-	1,950	FTP-9N	2,050
	ER11-S	LEVEL 11 (ECO-ROOF)	-	1,850	FTP-9S	1,920
	ER10-N	LEVEL 10 (ECO-ROOF)	-	2,750	FTP-9N	2,650
	ER10-S	LEVEL 10 (ECO-ROOF)	-	2,650	FTP-9S	2,500
	ER9-N	LEVEL 9 (ECO-ROOF)	-	1,000	-	1,500
	ER9-S	LEVEL 9 (ECO-ROOF)	-	210	-	730
	FTP-N	STORMWATER FLOW-THROUGH PLANTER	-	210	-	210
	FTP-S	STORMWATER FLOW-THROUGH PLANTER	-	200	-	200
						17,530 SF TOTAL AREA

# STORMWATER CALCULATIONS

Onsite Pre + Post-Developed Areas and Catchment

Table 1: Onsite Pre- and Post-Development Areas

	Impervious Surface Area (sf)	Impervious Roof Area (sf)	Total Impervious Area (sf)	Pervious Area (sf)	Total Site Area (sf)
Existing Conditions	15,730	-	15,730	1,800	17,530
Post-Development	-	6,600	6,600	10,930	17,530

Table 2: Onsite Catchment and Facility Table

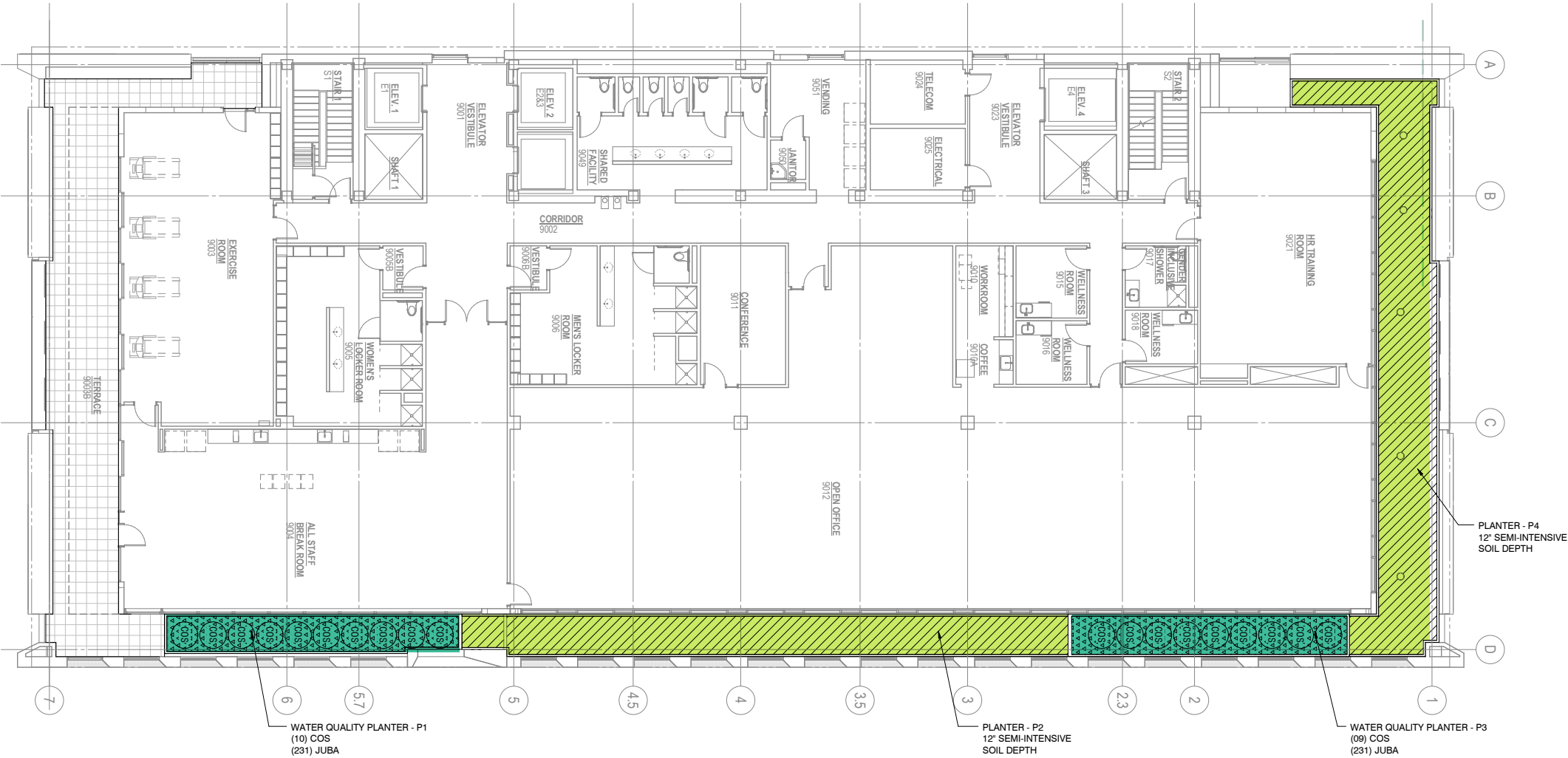
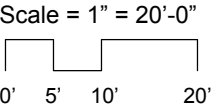
Basin	Source (Roof, Eco-roof or other)	Total Imp. Area (sf)	Total Eco-Roof Area (sf)	Total Basin Area (sf)	Storm Facility	Facility Area (sf)	Actual Sizing Factor (Facility Area/ Total Imp. area)
R10-N	Building Roof	2,100	-		FTP-9N	210	10.0%
ER11-N	Eco-roof	-	1,950				
ER10-N	Eco-roof	-	2,750				
ER9-N	Eco-roof	-	1,000		-	-	-
R9-N	Building Roof	500	-		-	-	-
NORTHERN BASIN TOTALS		2,100	5,700	8,010			
R10-S	Building Roof	2,550	-		FTP-9S	200	7.8%
ER11-S	Eco-roof	-	1,850				
ER10-S	Eco-roof	-	2,650				
ER9-S	Eco-roof	-	210		-	-	-
R9-S	Building Roof	1,450	-		-	-	-
SOUTHERN BASIN TOTALS		2,550	4,500	7,250			
TOTAL AREAS* (SF)		6,600	10,410		410		17,420
PERCENT OF TOTAL SITE AREA		38%	60%		2%		100%



# C.74 LANDSCAPE

Scale = 1" = 20'-0"

LEVEL 9  
Landscape, Plant Schedule



WATER QUALITY PLANTER



Cornus S. 'Midwinter Fire'



Junus Patens

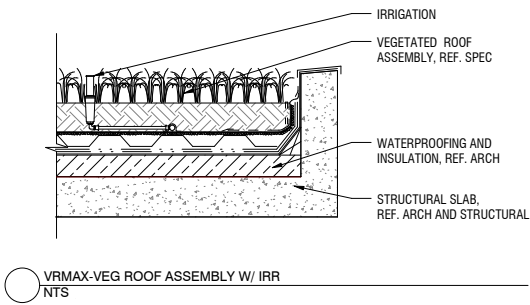
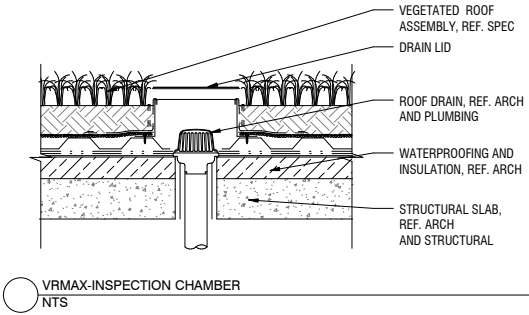
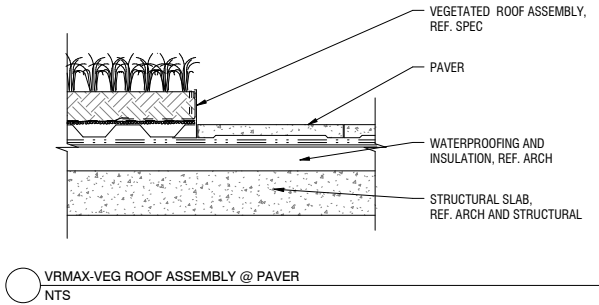
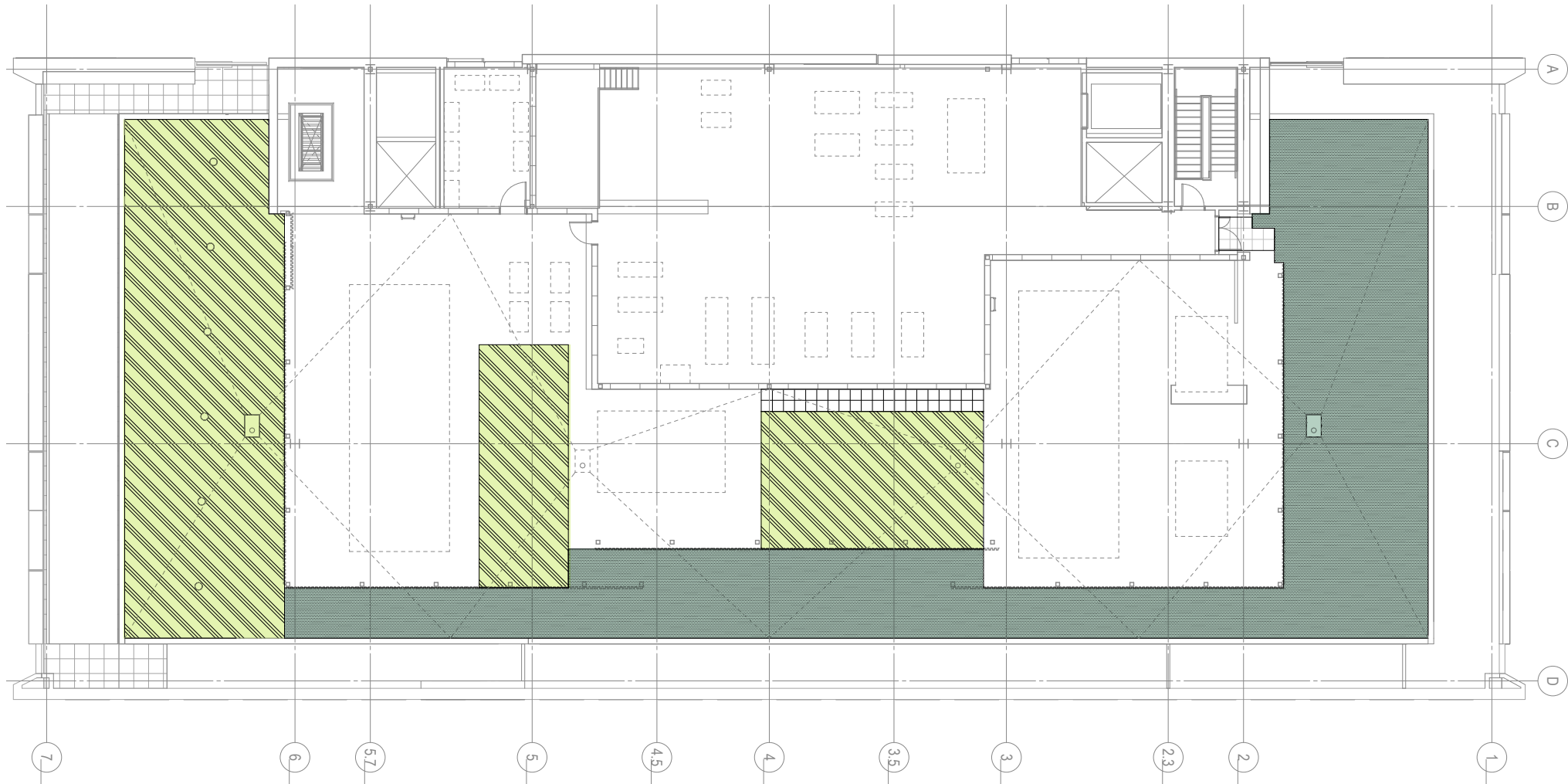
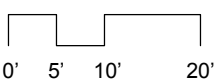
LEVEL 9 PLANT SCHEDULE

SYMB	CODE	BOTANICAL NAME	COMMON NAME	SPACING	SIZE	NOTES
ACCENTS / GROUNDCOVERS						
	POMU	POLYSTICHUM MUNITUM	SWORD FERN	30" O.C.	4" POT	ALTERNATE FERNS
	DRFE	DRYOPTERIS FIELIX-MAS 'ROBUSTA'	ROBUST MALE FERN	30" O.C.	4" POT	
WATER QUALITY PLANTING						
	COS	CORNUS SERICEA 'SANTI'	RED-TWIG DOGWOOD	48" O.C.	1 GAL. CONT.	
	JUBA	JUNCUS BALTICUS	BALTIC RUSH	12" O.C.	1 GAL. CONT.	

PENTHOUSE

Landscape, Plant Schedule + Details

Scale = 1" = 20'-0"



LEVEL 10 PLANT SCHEDULE

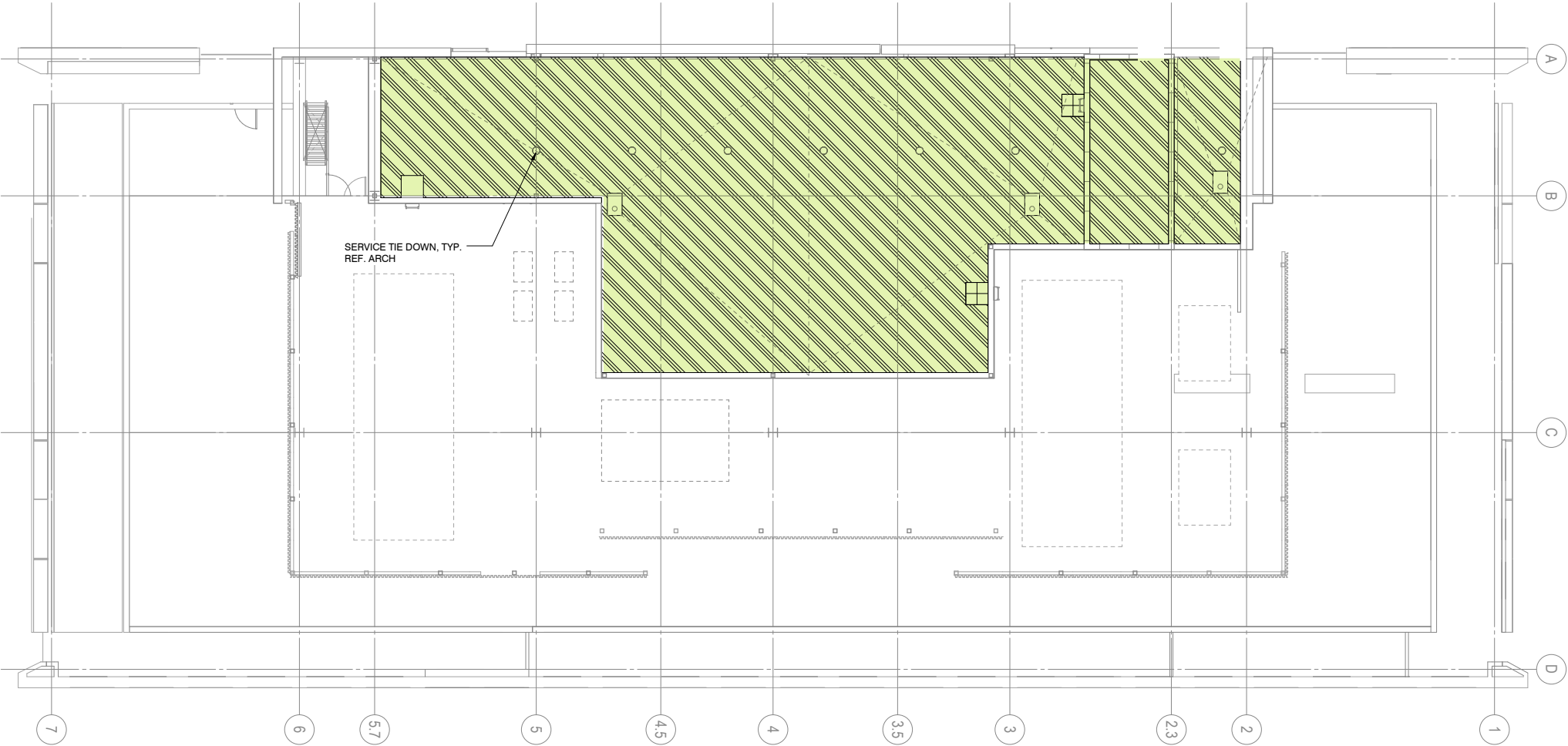
SYMB	CODE	BOTANICAL NAME	APPLICATION
		SHADE: SEDUM ACRE "AUREA" SEDUM H. "IMMERGRUNCHEN" SEDUM PACHYCLADOS SEDUM SEXANTULARE SEDUM SURIUM "ALBUM SUPERBUM" / "FULDAGLUT" / "GREEN MANTLE" / "JOHN CREECH" SEDUM TERNATUM	PLUGS 6" O.C., TYP. DISTRIBUTE EVEN PERCENTAGE
		SUN: SEDUM ALBUM "CORAL CARPET" SEDUM ALBUM "ORANGE ICE" SEDUM ACRE "AUREUM" SEDUM FLORIFERUM "WEIHENSTEPHANER GOLD" SEDUM KAMTSCHATICUM "VARIEGATUM" SEDUM REFLEXUM "BLUE SPRUCE" SEDUM SPURIUM "TRICOLOUR" SEDUM SPURIUM "GREEN MANTLE" SEDUM SPURIUM "JOHN CREECH" SEDUM SPURIUM "RED CARPET" SEDUM SPURIUM "SUMMER GLORY" SEDUM RUPESTRE "ANGELINA"	

- PLANTING NOTES:
- SEMI-INTENSIVE (6" SOIL) ECOROOF
  - REF. CIVIL PLANS FOR SQUARE FOOT AREAS
  - PROVIDE FULLY AUTOMATED IRRIGATION TO ALL PLANTED ROOF AREAS FOR LEVELS 9, 10, 11


ROOF  
Landscape, Plant Schedule

Scale = 1" = 20'-0"

0' 5' 10' 20'



LEVEL 11 PLANT SCHEDULE

SYMB	CODE	BOTANICAL NAME	APPLICATION
		SUN: SEDUM ALBUM "CORAL CARPET" SEDUM ALBUM "ORANGE ICE" SEDUM ACRE "AUREUM" SEDUM FLORIFERUM "WEIHENSTEPHANER GOLD" SEDUM KAMTSCHATICUM "VARIEGATUM" SEDUM REFLEXUM "BLUE SPRUCE" SEDUM SPURIUM "TRICOLOUR" SEDUM SPURIUM "GREEN MANTLE" SEDUM SPURIUM "JOHN CREECH" SEDUM SPURIUM "RED CARPET" SEDUM SPURIUM "SUMMER GLORY" SEDUM RUPESTRE "ANGELINA"	PLUGS 6" O.C., TYP. DISTRIBUTE EVEN PERCENTAGE

- PLANTING NOTES:
- 1. SEM-INTENSIVE (6" SOIL) ECOROOF
  - 2. REF. CIVIL PLANS FOR SQUARE FOOT AREAS
  - 3. PROVIDE FULLY AUTOMATED IRRIGATION TO ALL PLANTED ROOF AREAS FOR LEVELS 9, 10, 11



# C.78 MATERIALS

Please see separate package of manufacturers' cutsheets.

# APPENDIX



# RENDERINGS

NW 6th Avenue Looking North





# RENDERINGS

Broadway Bridge Looking South





## RENDERINGS



NW Hoyt Bike Entry



NW Hoyt Main Entry



## RENDERINGS



Night Rendering along NW 6th Ave.



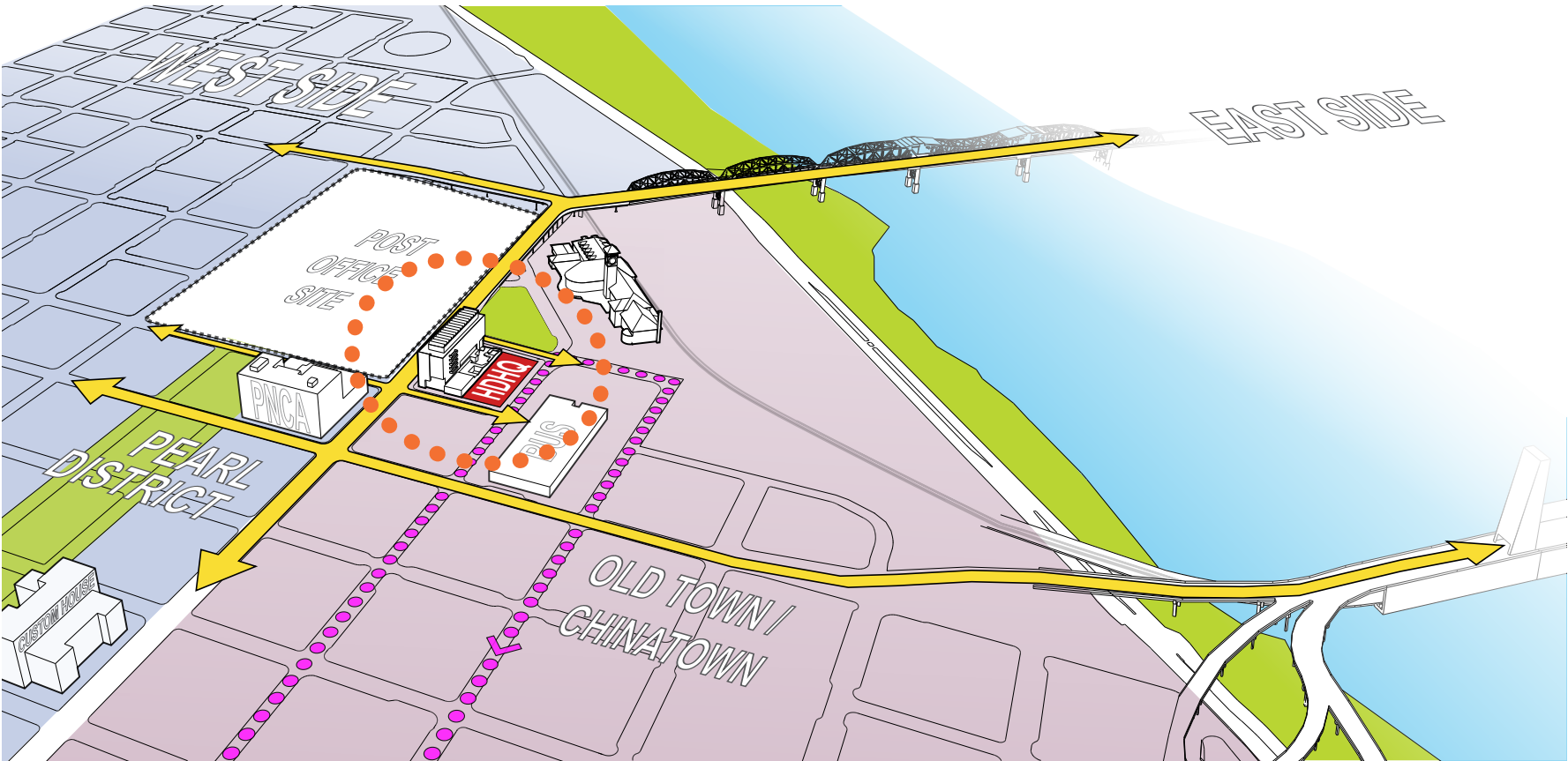
NW Irving Gallery Entry + Loading Dock



NW Irving Staff Entry and Loading + BCC Courtyard

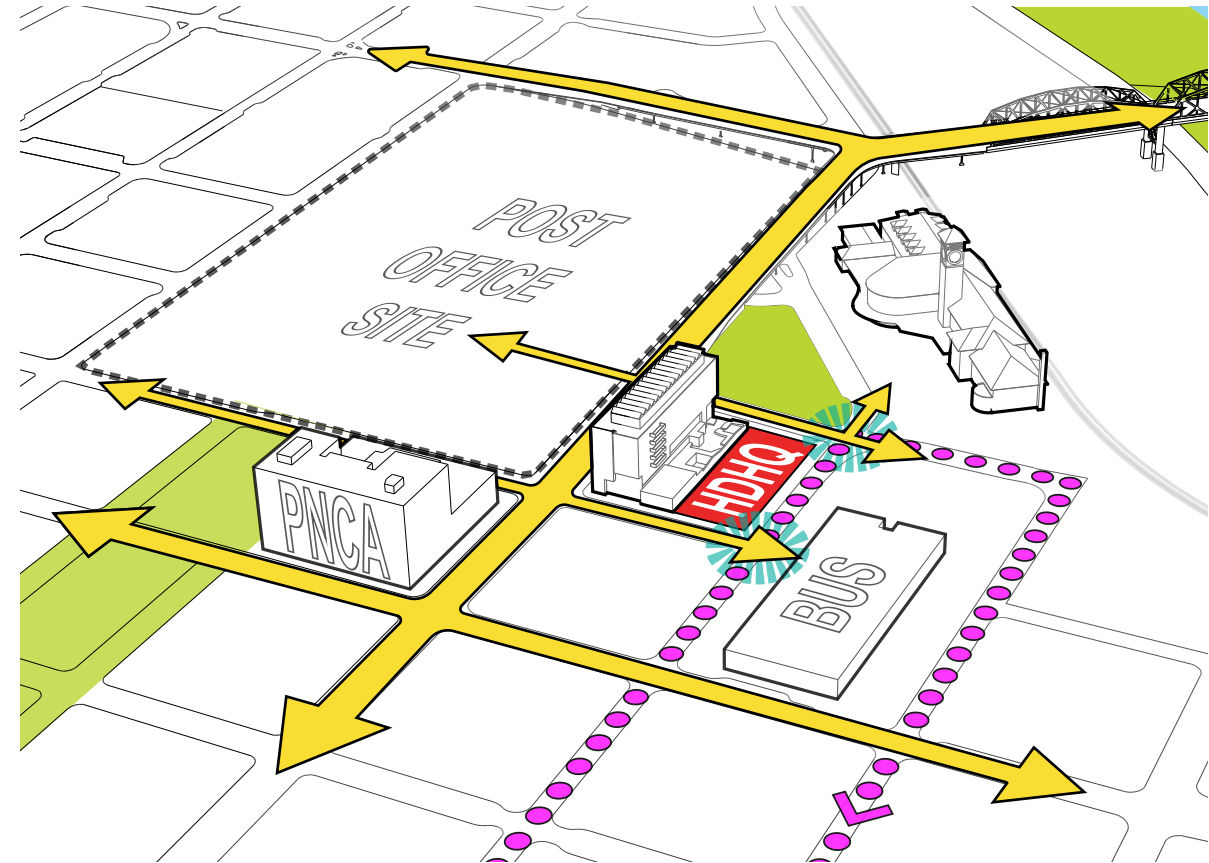
SITE DIAGRAMS

ENHANCE CONNECTIVITY BETWEEN THE EAST SIDE // WEST SIDE...



At a district scale, the new Multnomah County Health Department Headquarters will work in concert with other nearby public institutions and infrastructure nodes to strengthen the gateway between the East and West sides of the river.

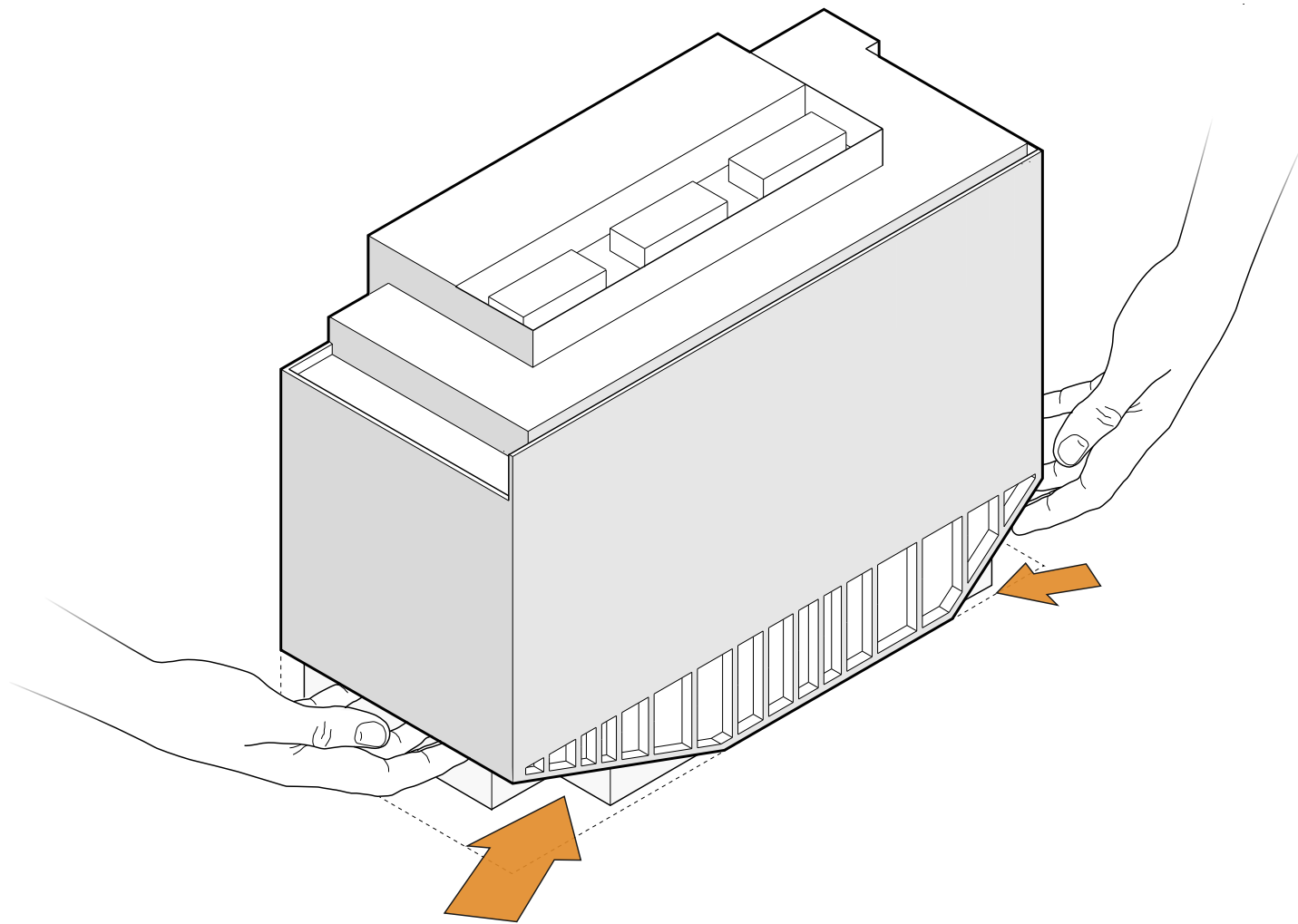
THROUGH PEDESTRIAN CONNECTIONS AND ACTIVE STREET LIFE



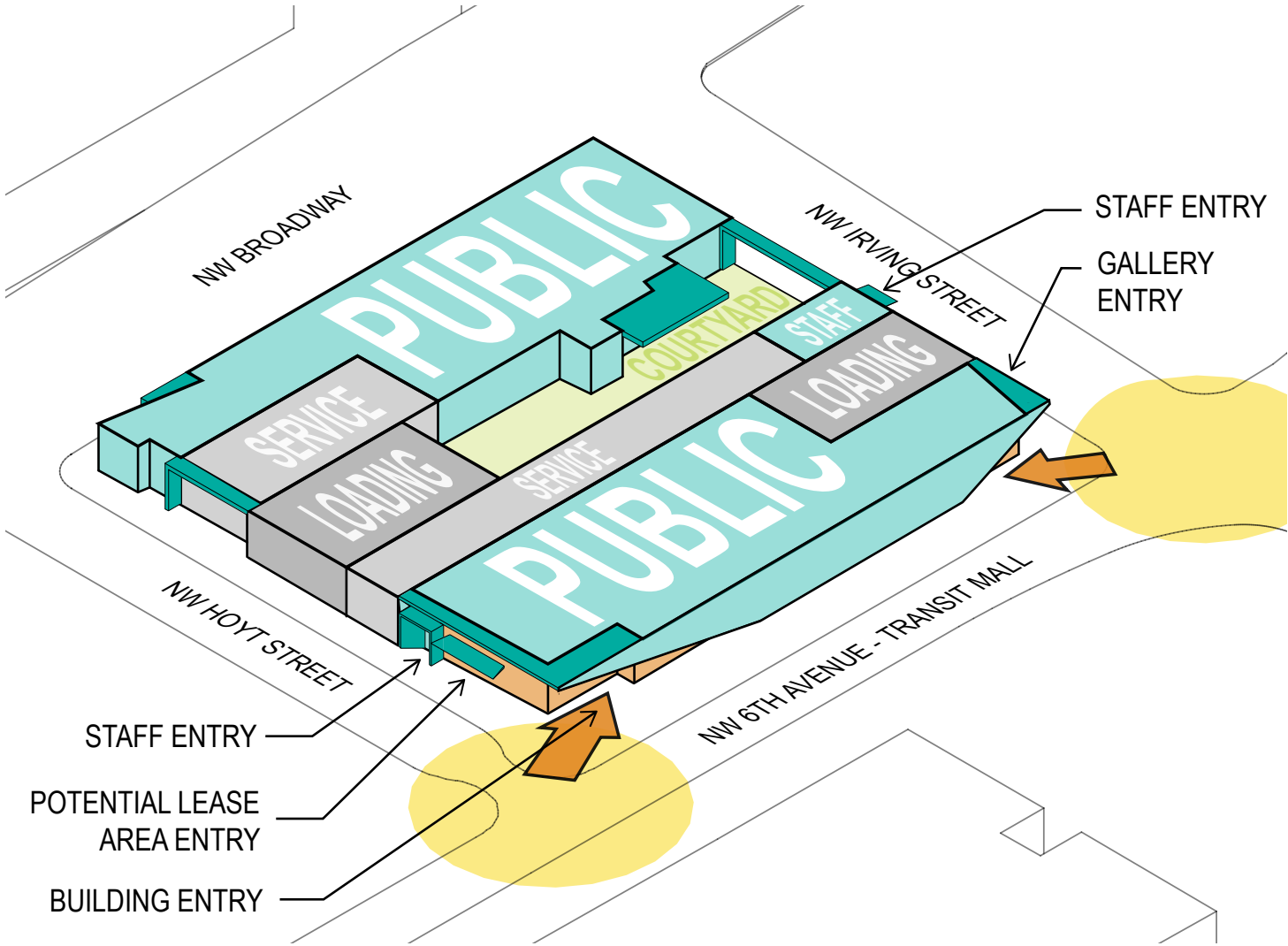
At the pedestrian level, the site is charged with activating the important intersections along the transit mall.



BUILDING ENTRY DIAGRAMS



Lifting the corner edges to emphasize and activate the pedestrian intersections

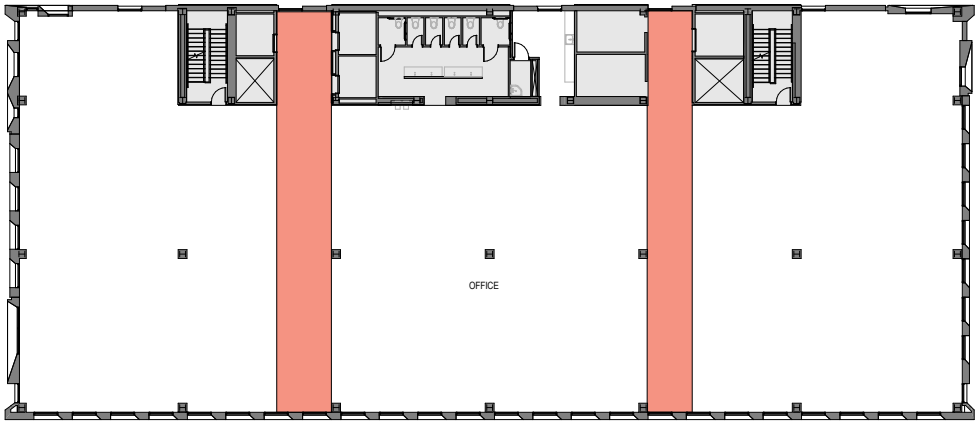


Creating a clear and inviting front door

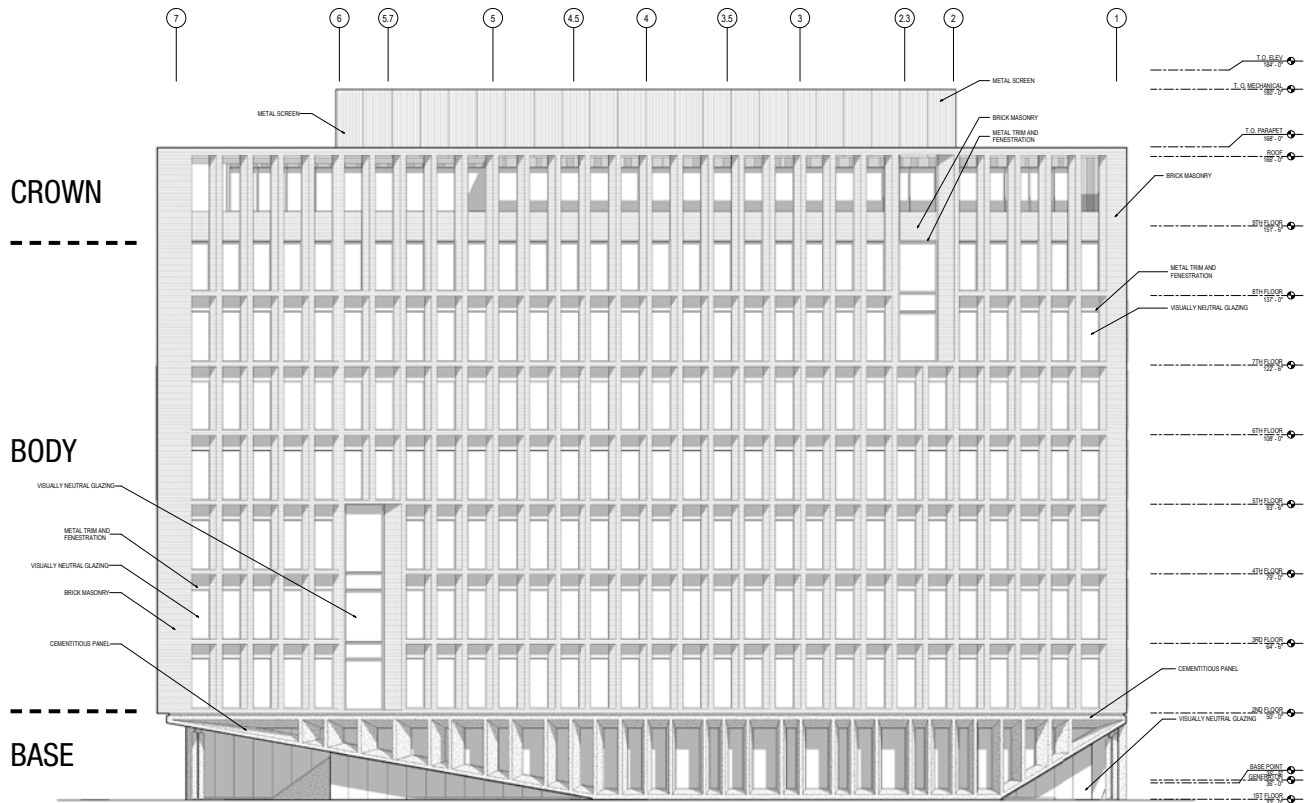
EAST ELEVATION  
DAR vs. DR Comparison

Scale = 1" = 40'-0"

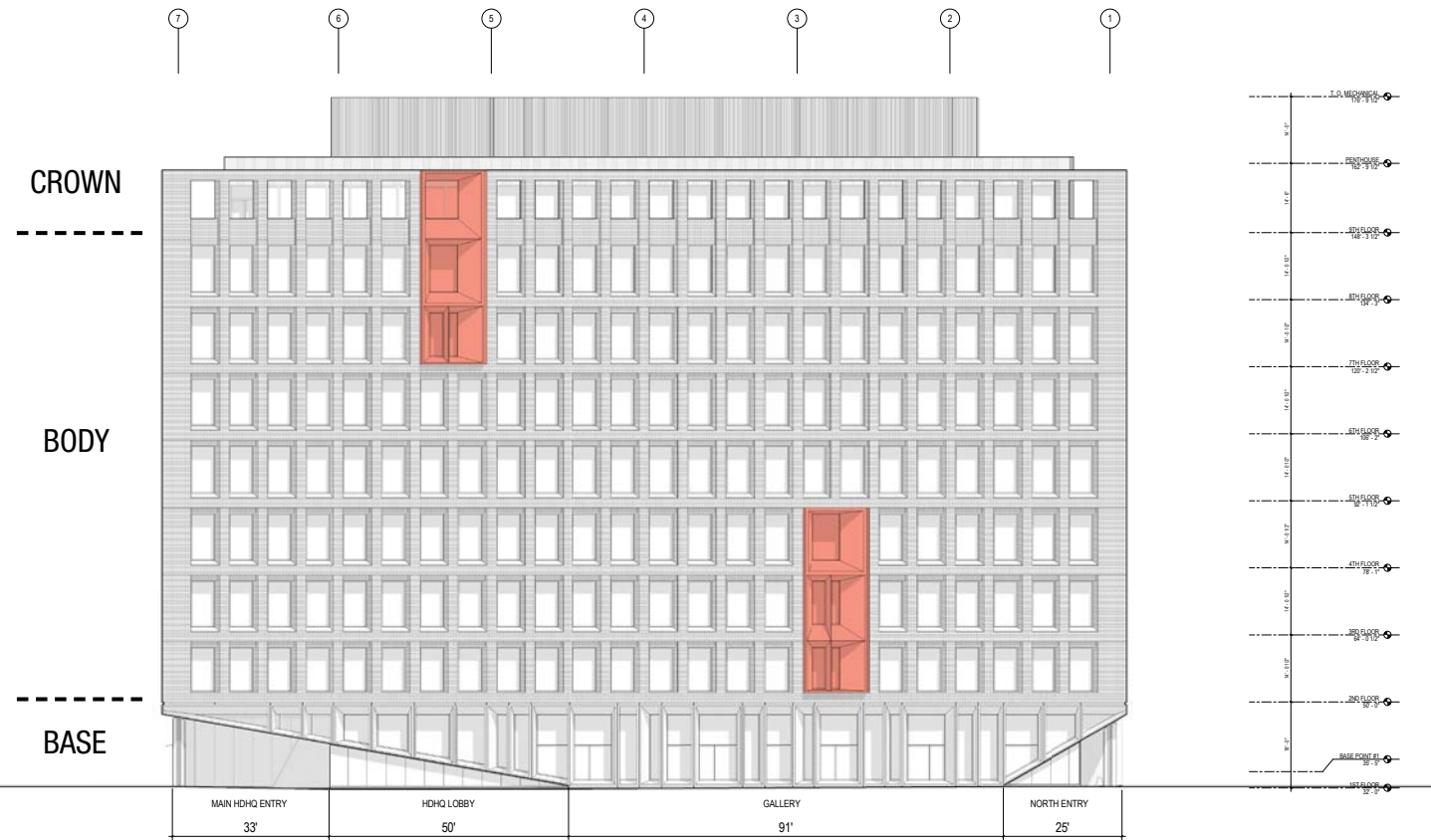
0' 10' 20' 40'



Floor Plan - Typical



Design Advice Request Elevation [April 14, 2016]

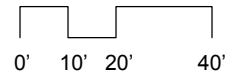


Current Design Review Elevation

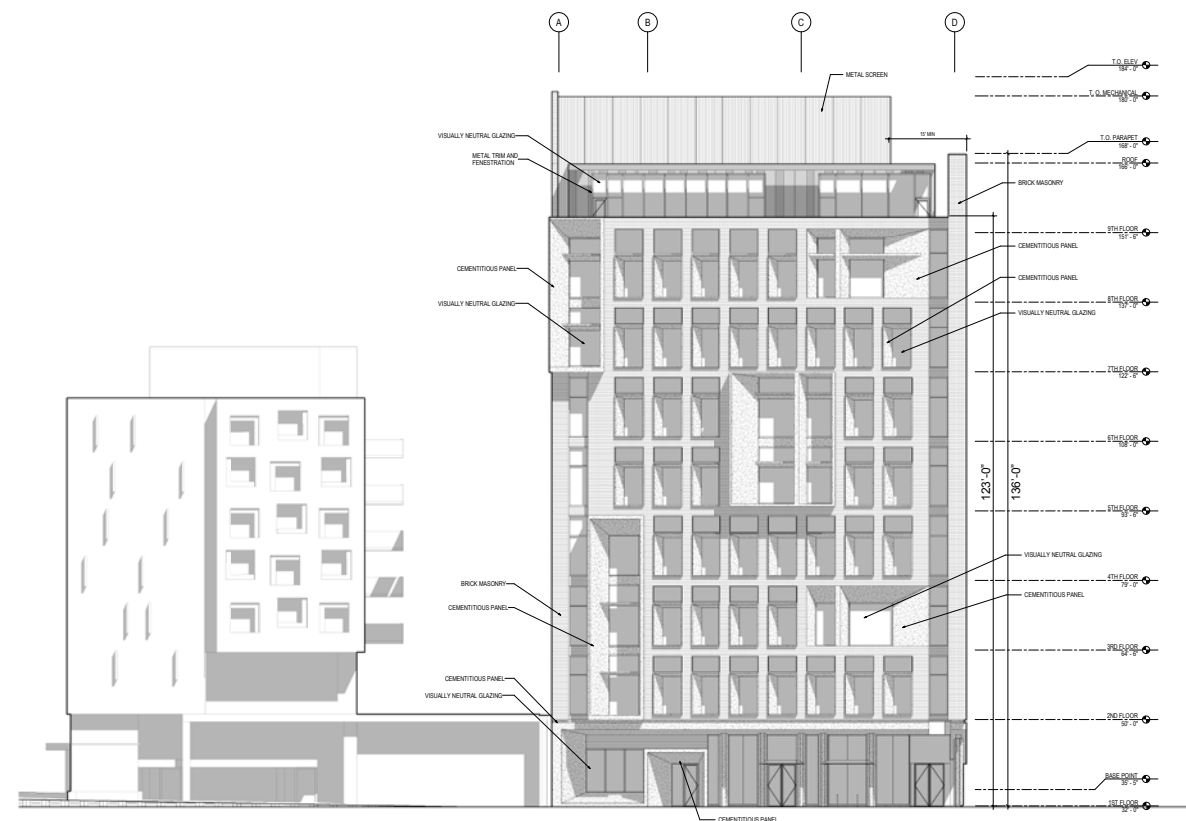
### DAR vs. DR Comparison

### DAR vs. DR Comparison

Scale = 1" = 40'-0"



### Partial Plan - Typical



Design Advice Request Elevation [April 14, 2016]



### Current Design Review Elevation



Scale = 1" = 40'-0"

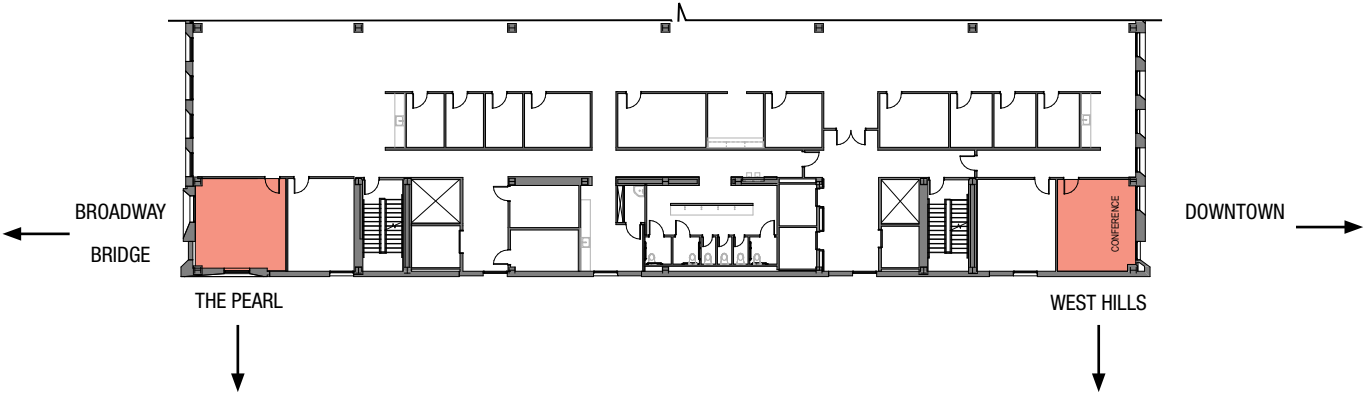
The profile view shows a cross-section of the road surface. The horizontal axis is labeled with 0', 10', 20', and 40'. The vertical axis represents elevation. The profile starts at a high level at 0', drops to a lower level at 10', remains at that lower level until 20', and then rises back to the original high level at 40'. This represents a 10-foot wide dip in the road surface.



WEST ELEVATION  
DAR vs. DR Comparison

Scale = 1" = 40'-0"

0' 10' 20' 40'



Partial Plan - Typical

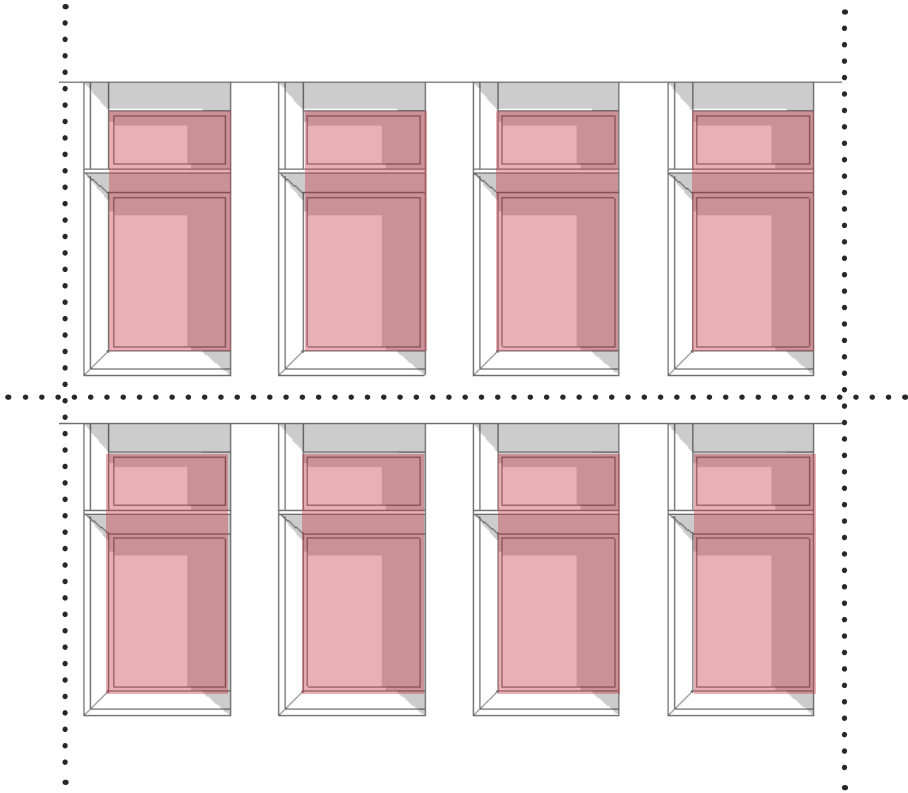


Design Advice Request Elevation [April 14, 2016]

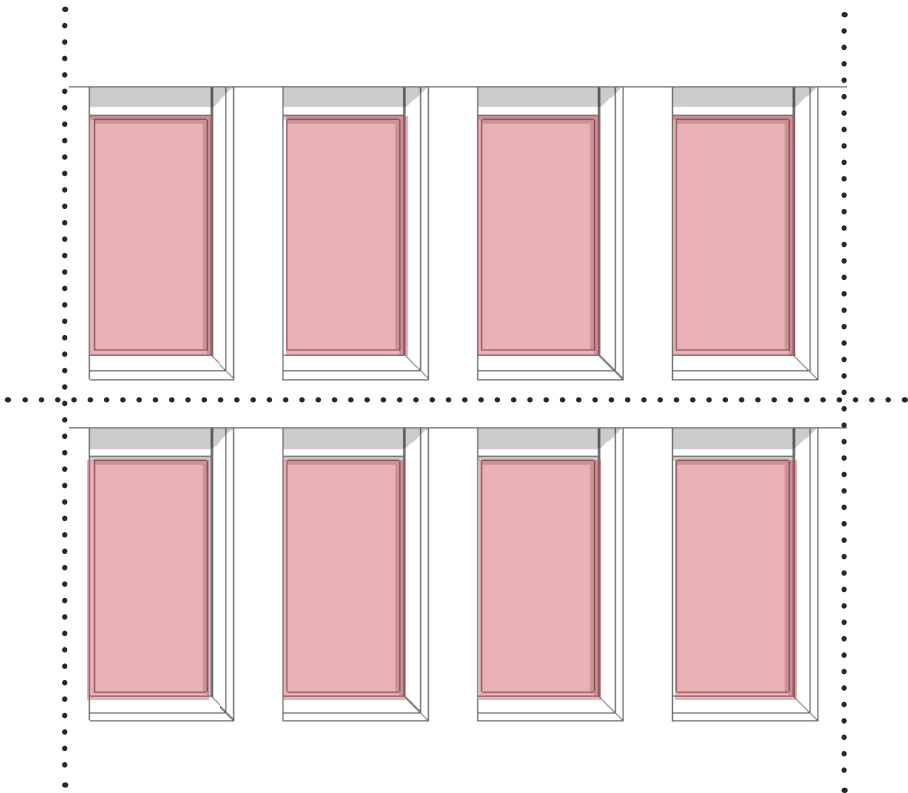


Current Design Review Elevation

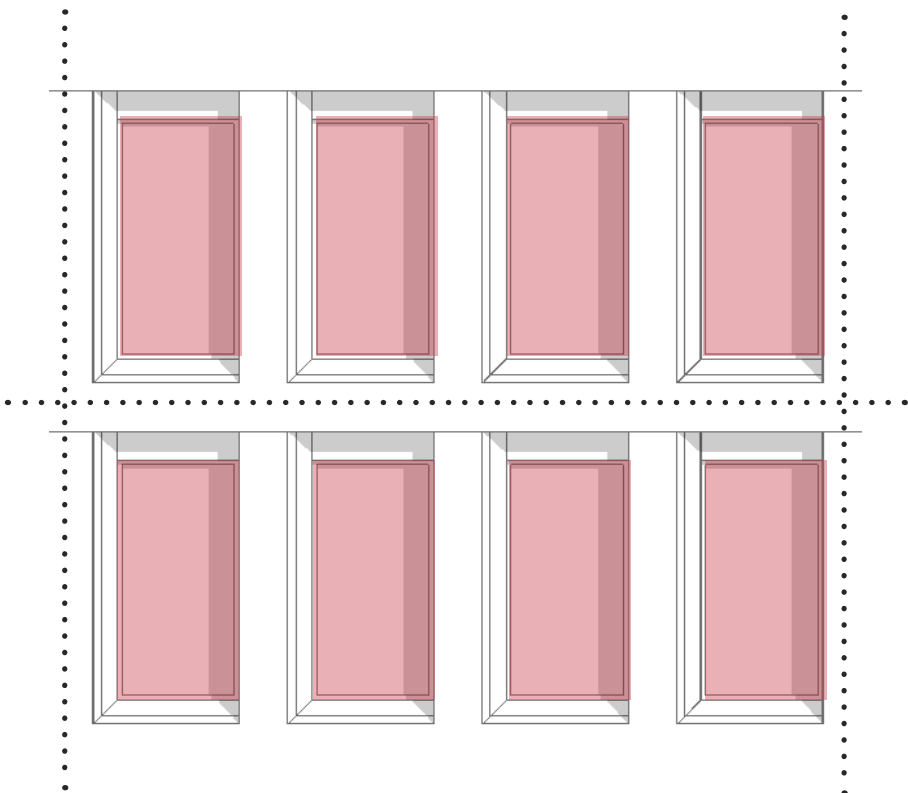
SCALE AND COHERENCY OF FACADES  
Consistent Window Modules Responding to Solar Orientation



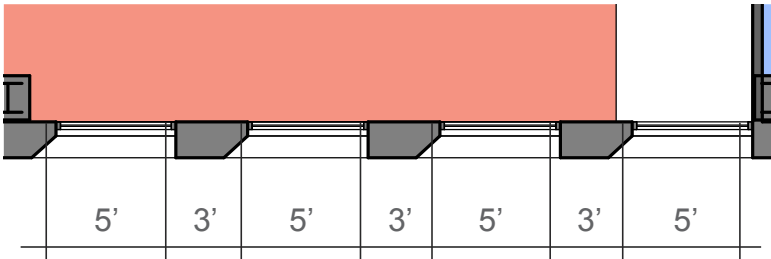
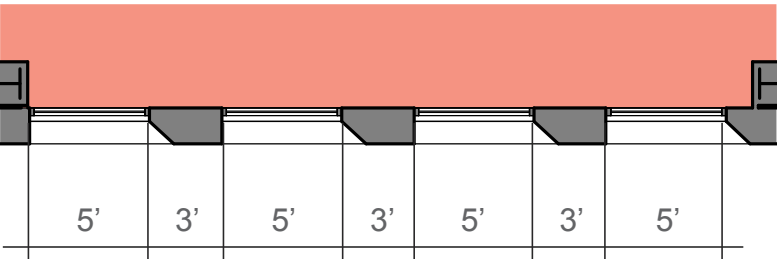
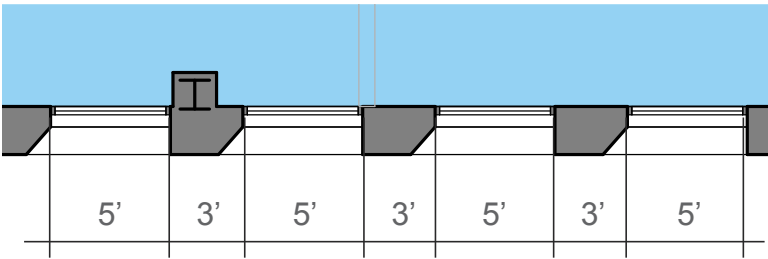
SOUTH ELEVATION WINDOW MODULE



EAST ELEVATION WINDOWMODULE



NORTH ELEVATION WINDOW MODULE

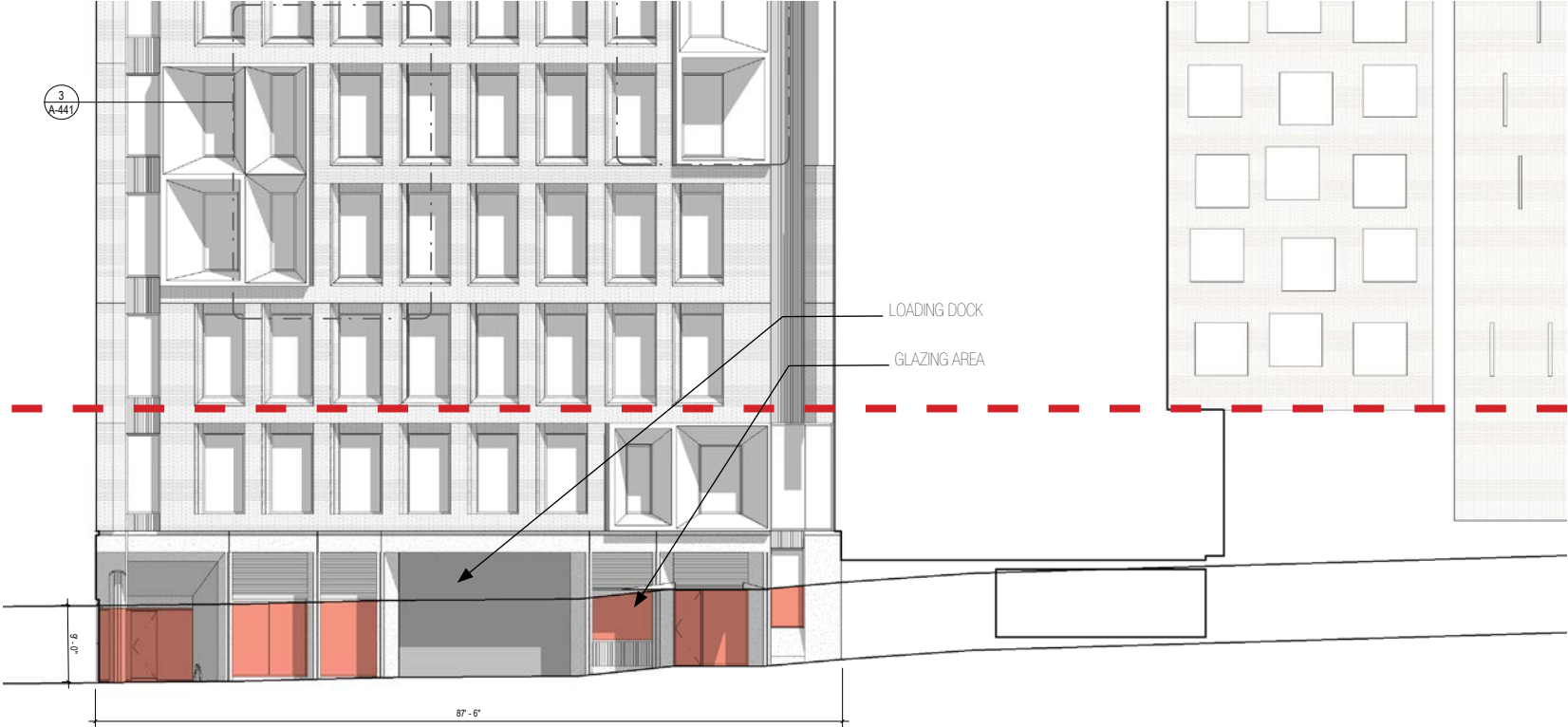




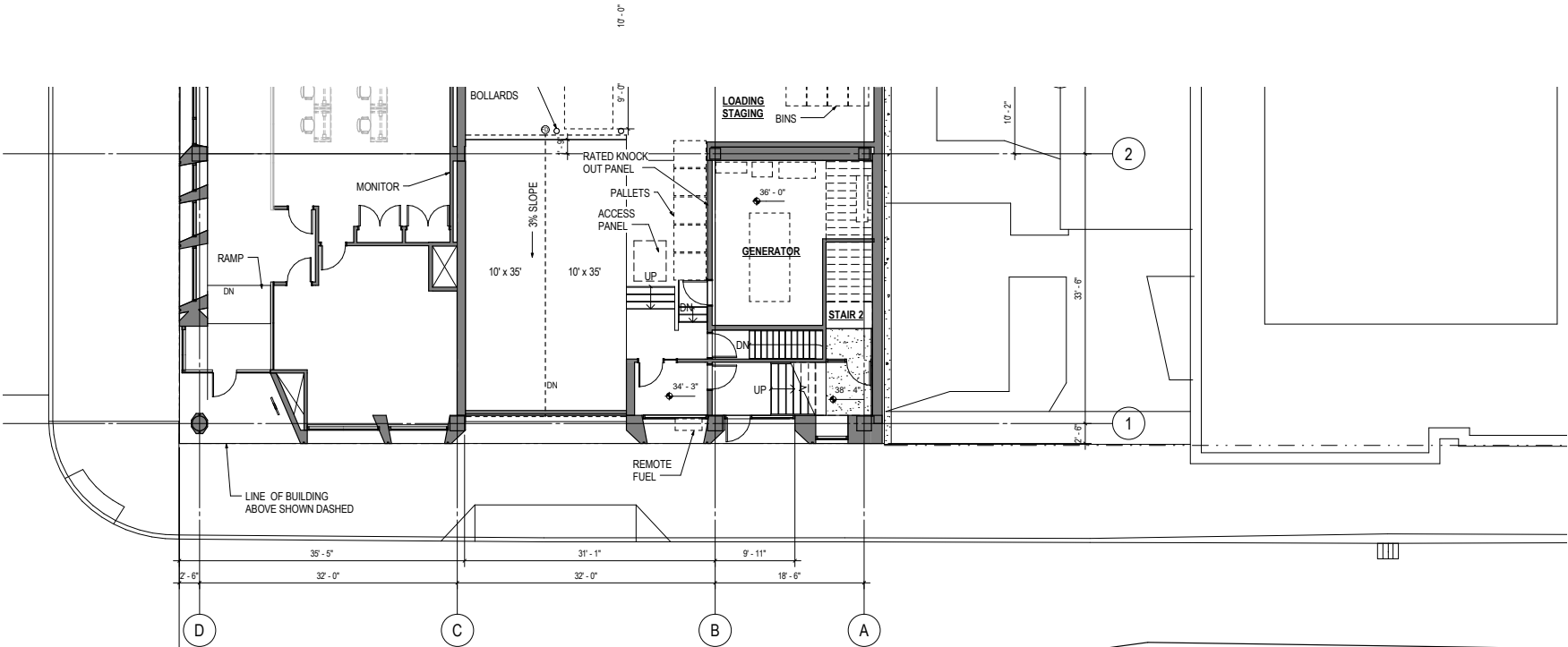
GROUND FLOOR DESIGN  
Minimize the Impact of Required Loading Area



View from Union Station Entrance

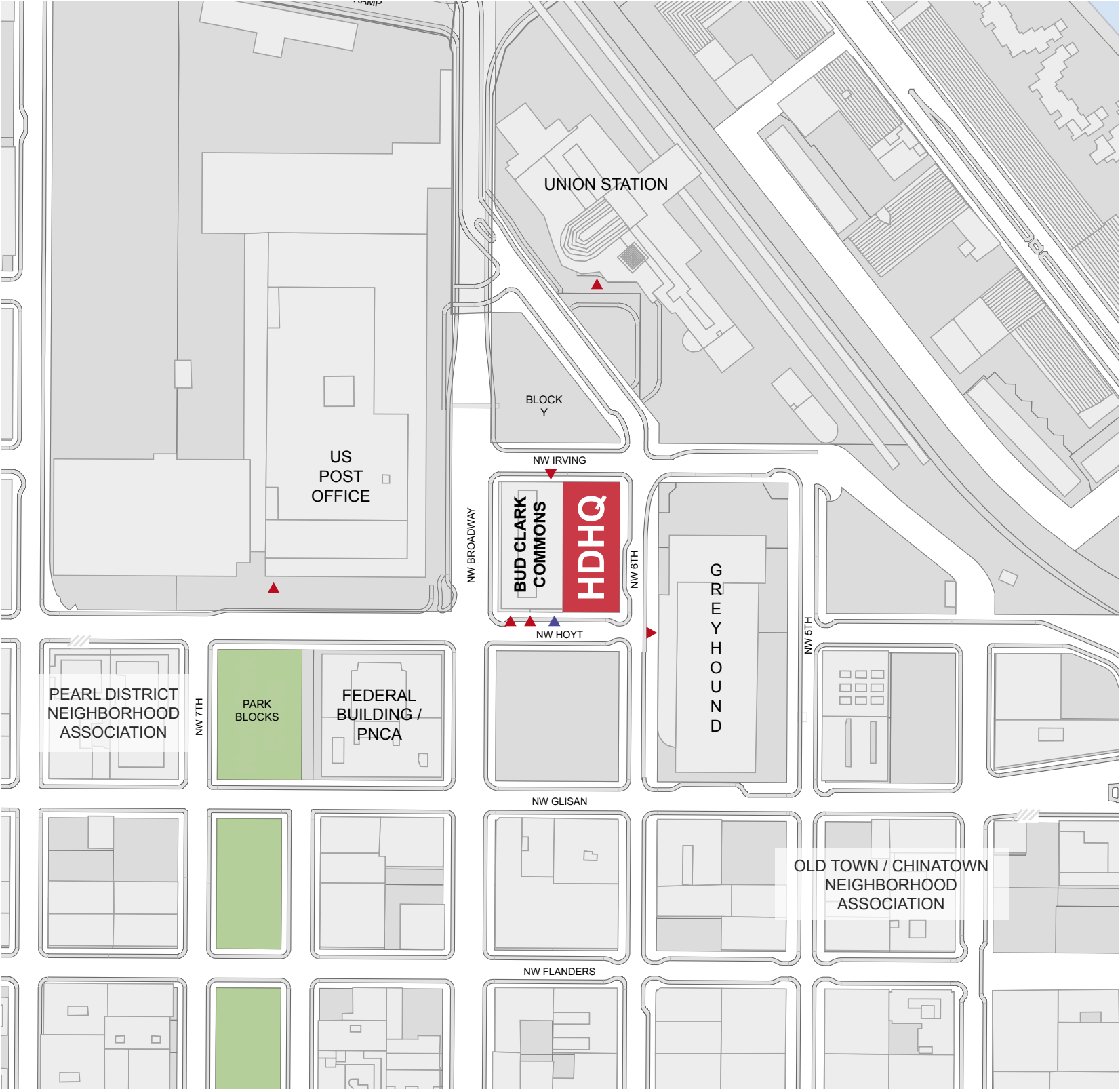


North Elevation



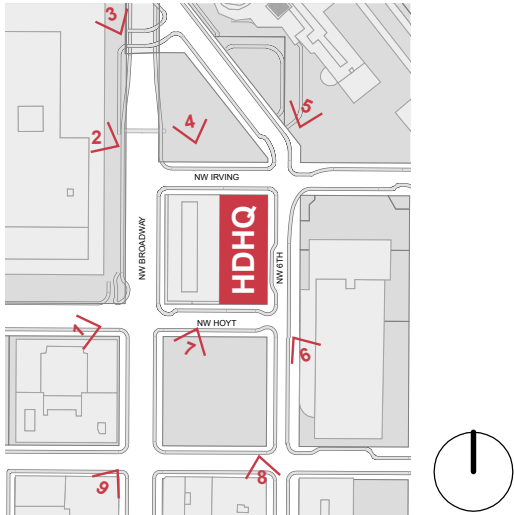
Ground Floor Plan

VICINITY PLAN





CONTEXT  
Views of Project Site





FLOOR AREA CALCULATIONS

Standard

33.910 Floor Area

Defined as “The total floor area of the portion of a building that is above ground. Floor area is measured from the exterior faces of a building or structure.

Assumptions

Floor area includes the area devoted to structured parking that is above ground level. Floor area does not include the following:

Areas where the elevation of the floor is 4 feet or more below the lowest elevation of an adjacent right-of-way.

Roof area, including rooftop parking;

Roof top mechanical equipment; and

Roofed porches, exterior balconies, or other similar area, unless they are enclosed by walls that are more than 42 inches in height, for 50 percent or more of their perimeter.

Floor Area Calculations

Level	SF towards FAR
1	16,187 SF
2-8	17,320 SF
9	13,653 SF
Penthouse	4,035 SF
TOTAL	155,115 SF

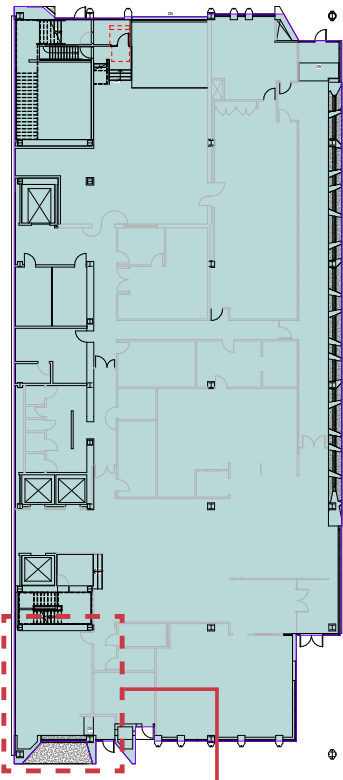
Floor Area Bonus Summary

The project seeks an additional 3:1 in bonus floor area per 33.510.210, paragraph C, Floor Area Bonus Options\*

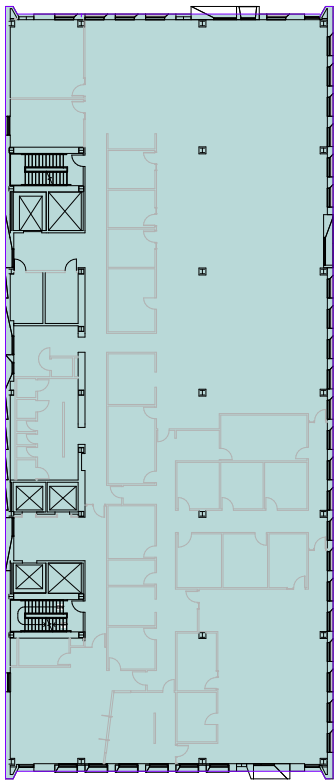
	Area (SF)	Multiplier	Sub-total Area (SF)
Base FAR	17,500	6	105,000 SF
Locker Room	912	40	36,480 SF
Eco-Roof > 60% (Subsection 10) (17,500 x 0.6 = 10,500 SF)			
Level 9	2,844	3	8,532 SF
Upper Roof	8,570	3	25,710 SF
Total Eco-Roof	11,414 (>10,500 SF)		

TOTAL available for FAR (Base + Bonus) 175,722 SF

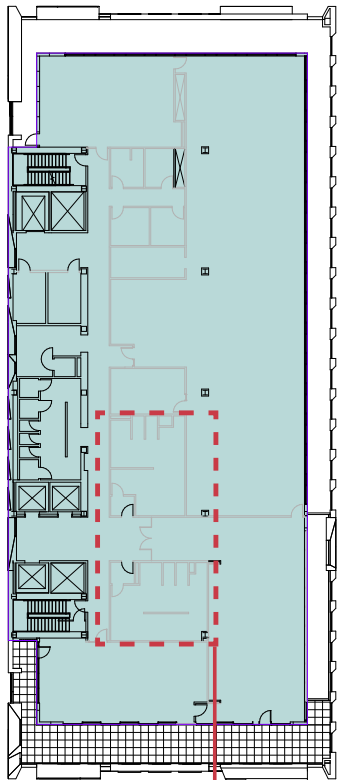
\* Please note in addition to measures noted in the table, the project is also electing to contribute to the Affordable Housing Replacement Fund (AHRF) per 33.510.210.15, at an amount to be determined.



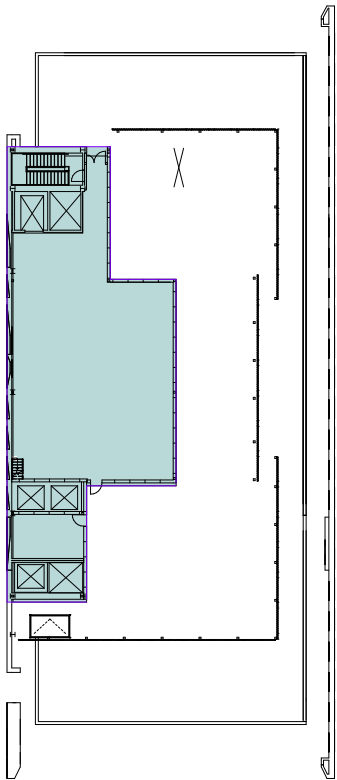
Ground Floor  
GSF: 16,187 SF



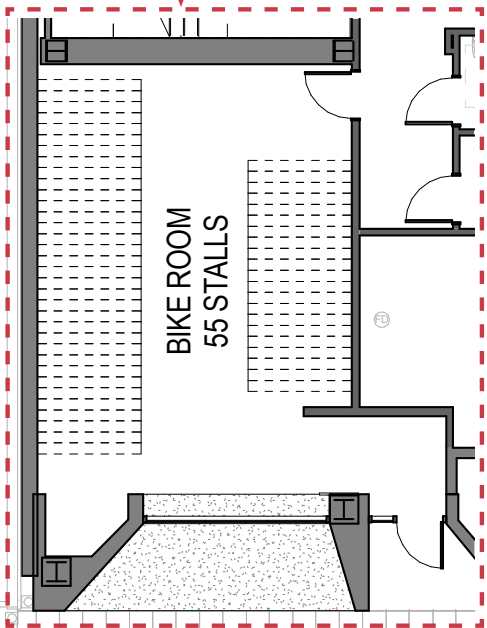
Typical Upper Floor  
GSF: 17,320 SF



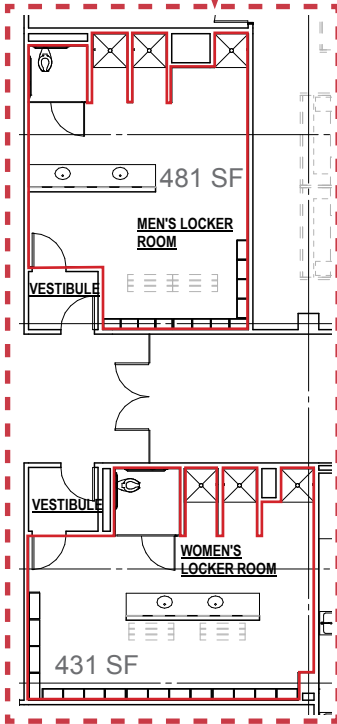
9th Floor  
GSF: 13,653 SF



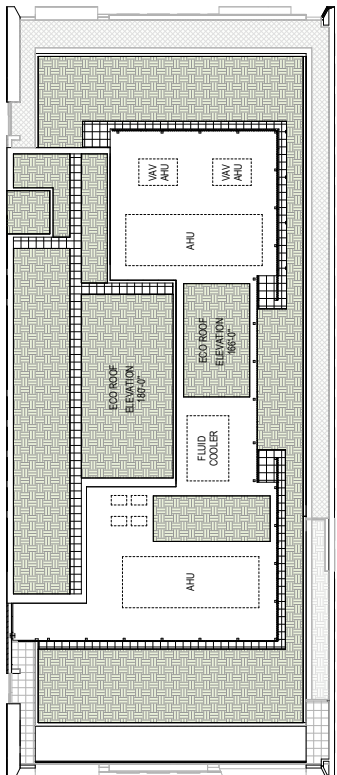
Roof  
GSF: 4,035 SF



Enlarged Bike Room  
110% of required long term bike parking  
= 110% x 155,115SF / 10,000SF = 18 stalls.  
Provided 55 stalls (>18 stalls)



Locker Room Areas



Green Roof Areas (Upper Roof).  
See Landscape Plan for Level 9.

# MODIFICATION 1

33.510.225.A Ground Floor Active Use



## Standard

On the ground floor, 50% of walls that front onto public area must meet the standard. The distance from the finished floor to the bottom of the structure above must be at least 12 feet. The area must be at least 25 feet deep, measured from the street-facing facade. The area may be designed to accommodate a single tenant or multiple tenants. The street-facing facade must include windows and doors, or be structurally designed so doors and windows can be added when the space is converted to active building uses.

## Request

The project requests a modification to the required percentage of active use at the ground floor on the north façade fronting NW Irving Street. The proposed ground floor active use percentages on the other two building fronts exceed the minimum requirements.

## Proposal

The ground floor of building is proposed to be 18'-0" tall (floor-to-floor) and include a significant amount of street-facing window area. On the south side a potential lease space will help provide activation. On the east side a lobby, pharmacy waiting area and pharmacy workspace will face the pedestrian zone along NW 6th. Additionally, a tall gallery space with a public art installation will act as a layer between internal workspaces and the pedestrian realm - the internal gallery wall will include areas of glazing to help connect the occupants to the pedestrian zone.

A loading dock, workspace and a staff entrance vestibule are located on the north facade of the ground floor. The site measures 87'-6" from east to west, narrower than a typical Portland half-block. The loading area is 32'-0" wide and the opening is sized to be meet code with a minimum 20'-0" width coiling door for two loading spaces. The remaining length of the façade (55'-6") includes a staff entry vestibule and workspaces for the Health Department, both of which have glazing facing NW Irving. The staff entry contains a vestibule which has floor to ceiling windows, glass entry door and an overhead canopy. The main generator room has been tucked inboard adjacent to the loading dock to maximize the amount of exterior glazing along this elevation.

The workspaces on ground floor include the "incident command and response" function which provides a critical service for Multnomah County and its residents. The center serves as a response location for epidemics as disease outbreaks and a workspace for that staff to plan and prepare for such events. This important service is located on the north edge of the site to be adjacent to the loading dock because the loading dock is an integral and critical part of the emergency response process. The incident command and response workspace is 41% of the north façade.

The street facing facade of the work spaces along the north and east-facing facades is designed to be primarily a storefront glazing system to anticipate the potential for future conversions. The northeast corner includes a door under a recessed portico. The east-facing facade is made up of sections of storefront between precast panels that will include horizontal mullions at 9'-0" and removable precast sills such that entries can be added to accommodate future tenant conversions.

MODIFICATION 2

33.130.242 Transit Street Main Entrance

Standard

The main entrance must be within 25 feet of the transit street and allow pedestrians to both enter and exit the building; and either face the transit street; or be at an angle of up to 45 degrees from the transit street, measured from the street property line, as shown in Figure 130-6.

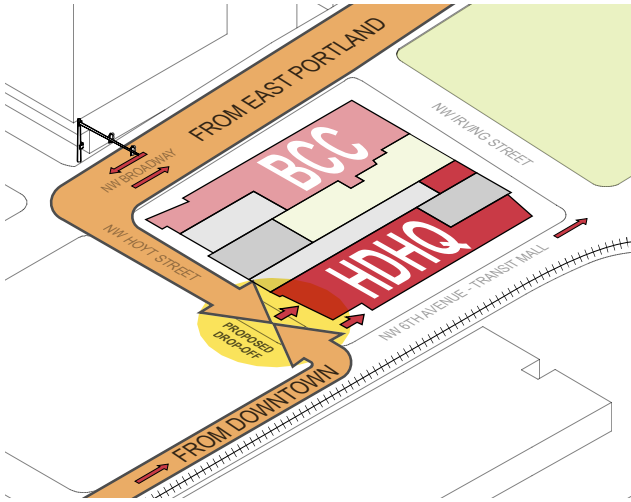
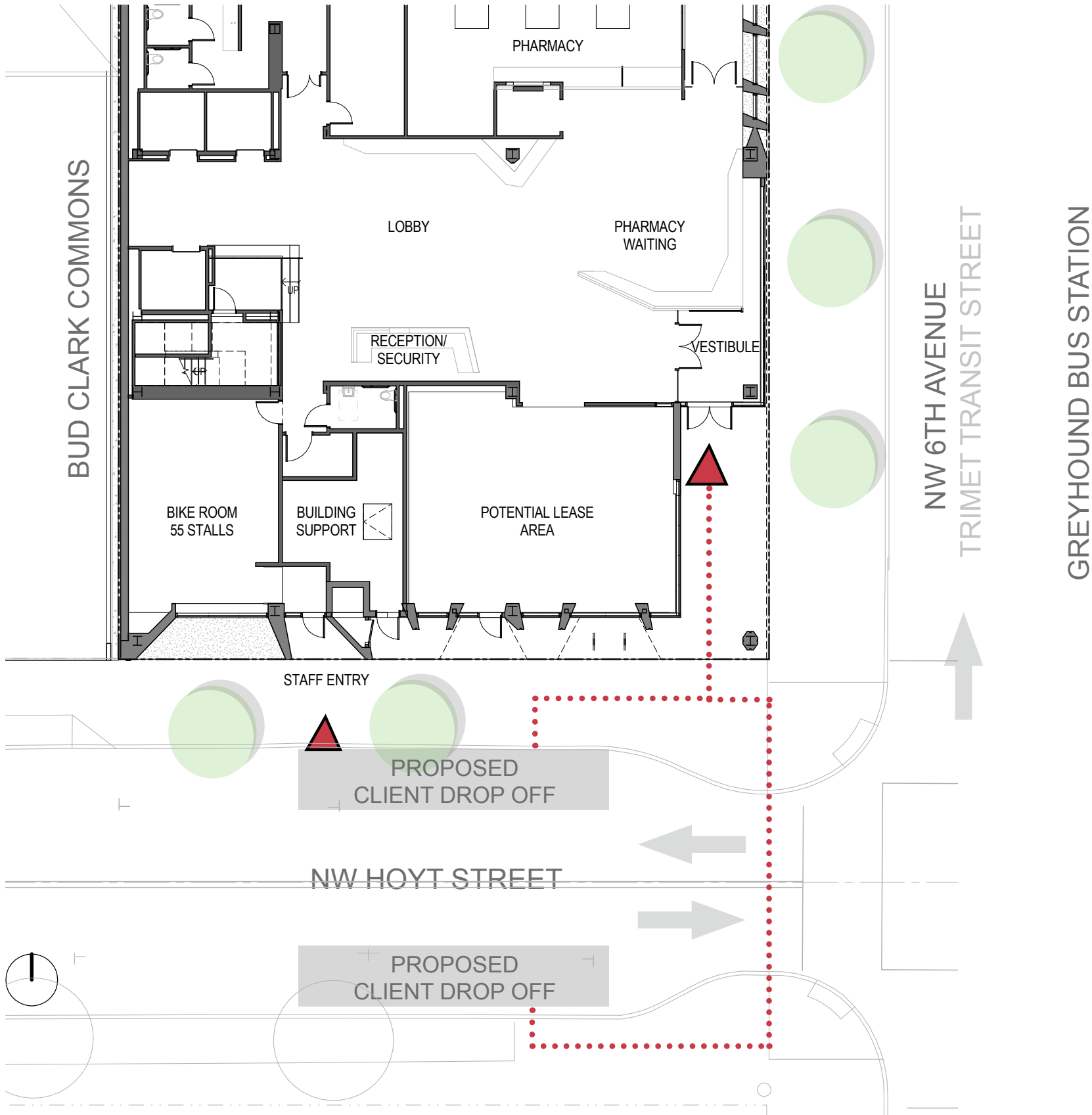
Request

The project requests a modification such that the main entry is 90 degrees to the transit street and oriented towards NW Hoyt Street.

Proposal

The main entrance and vestibule to the building is located on 6th Avenue along the transit street and is 35’ from the corner of NW Hoyt and NW 6th Avenue. At this location, NW Sixth Avenue narrows to a single lane and includes frequent bus traffic on one side and the MAX line on the other. It is anticipated that pedestrian, bicycle and vehicular arrivals will principally be coming from the south. Significantly, NW Hoyt Street is two-way here and allows for access to and from NW Broadway - an important link for Health Department staff and clients coming over the Broadway Bridge from across the river and East County.

The proposed orientation of the main entrance is meant to accommodate what is anticipated to be the primary client drop-off along NW Hoyt for clients coming to the clinic. The majority of clients and staff will come to the Health Department from the south-east direction, whether from NW Hoyt or NW Sixth - by bike, transit, taxi or vehicular drop-off. The intent is to make this entrance as clear and identifiable as possible for people in need of health services in the context of a relatively congested transit street. To reinforce the presence of this entrance, the building massing at the south-east corner is carved back from the property line to provide a graciously scaled ‘portico’ space. A long canopy along the south facade helps to emphasize this orientation and provide cover and scale for pedestrians approaching the entrance from the south and west.





MODIFICATION 3

33.130.230 Ground Floor Windows

Standard

B.3.The windows must be at least 50 percent of the length and 25 percent of the ground level wall area. Ground level wall areas include all exterior wall areas up to 9 feet above the finished grade. Ground level wall areas include all exterior wall areas up to 9 feet above the finished grade. The requirement does not apply to the walls of residential units, and does not apply to the walls of parking structures when set back at least 5 feet and landscaped to at least the L2 standard.

C. Qualifying window features. Required window areas must be either windows that allow views into working areas or lobbies, pedestrian entrances, or display window set into the wall. Display cases attached to the outside wall do not qualify. The bottom of the window must be no more than 4 feet above the adjacent exterior grade.

D. Adjustments. Public art may be considered for adjustments to the ground floor window provision. In all cases, the Regional Arts and Culture Council will review the application to determine whether public art is appropriate at the location, taking into account the scale and character of the building and area. The budget, selection process, final artwork, and installation must follow the guidelines of the Regional Arts and Cultrual Council and must be approved by the Regional Arts and Culture Council. Covenants will be required, following the regulations of Section 33.700.060, Covenants with the City, to ensure the installation, preservation, maintenance, and replacement of the public art.

Request

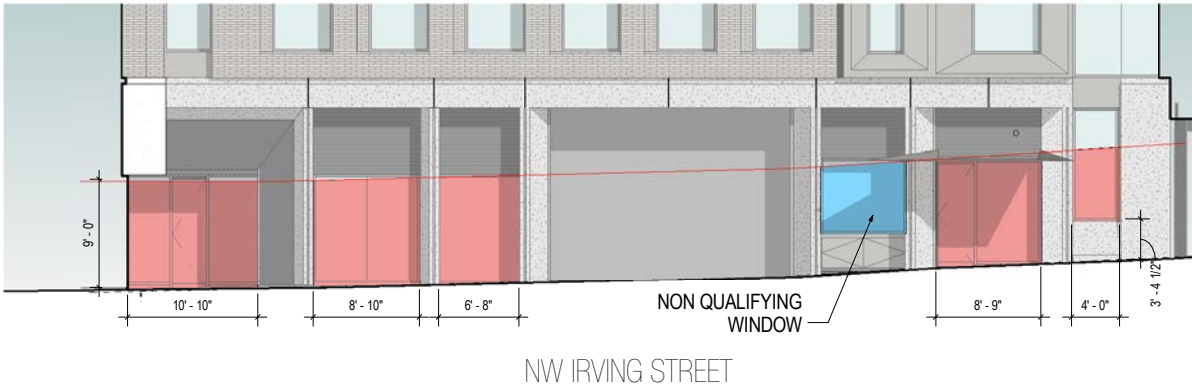
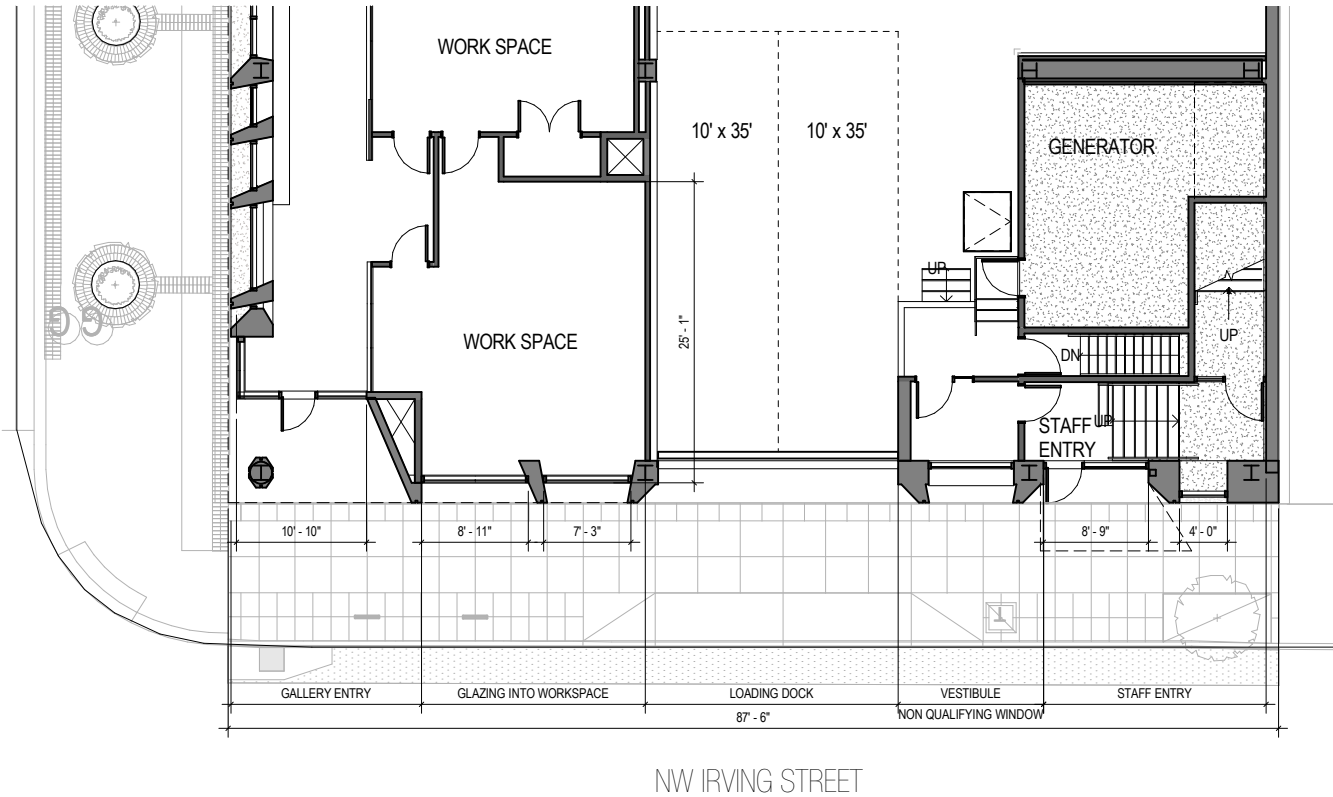
The proposed building requests a modification to the length of glazing along the north facade fronting NW Irving Street.

Proposal

A loading dock, workspaces, and a staff entrance vestibule are located on the north facade of the ground floor. The site measures 87’-6” from east to west, narrower than a typical 100’ Portland half-block. The interior loading area is 32’-0” wide and the opening is sized to be meet code with a minimum 20’-0” width coiling door for two loading spaces. The other 12’-0” consists of building and loading dock support functions such as secure staging and storage. One of the main functions of this building is to serve the residents of Multnomah County in the event of a public health emergency, and the loading dock size and building support functions along this elevation are critical for the functioning of the building in an event. The loading dock is located adjacent to the work space of an “incident command and response” function that requires the secure staging areas, space for emergency power docking vehicles, and visual privacy from the street.

The remaining length of the façade includes a staff entry vestibule and workspaces for the Health Department, both of which have glazing facing NW Irving. The staff entry contains a vestibule which has floor to ceiling windows, glass entry door and an overhead canopy. The main generator and electrical room have been tucked inboard adjacent to the loading dock to maximize the amount of exterior glazing along this elevation.

The proposed design seeks to maximize glazing along NW Irving Street to the extent possible given the narrow lot width and building function requirements. While the total area of ground floor glazing exceeds the minimum of 25 percent (it is 42 percent), the lineal foot of qualifying windows is approximately 4’-6” less than the requirement to reach the 50 percent length.



<b>NORTH FACADE GROUND FLOOR</b>	
GLAZING AREA:	336 SF
GROUND FLOOR <9'-0":	788 SF
GLAZING AREA RATIO:	42% (MIN. 25%)
GLAZING LENGTH:	39'-3"
GF WALL LENGTH:	87'-6"
GLAZING LENGTH RATIO:	45% (MIN. 50%)