

SEVEN CORNERS COMMUNITY COLLABORATIVE

1949 Southeast Division Street
Portland, Oregon
LU 16-125731

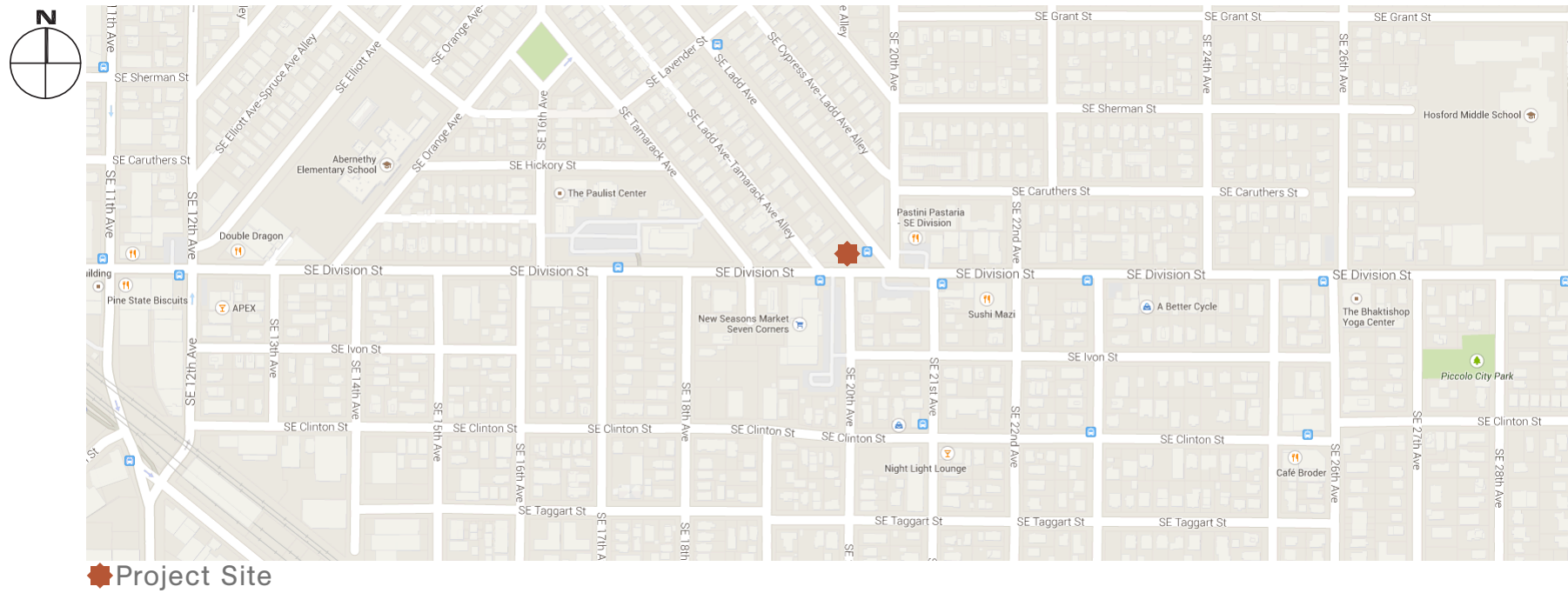


SHEET INDEX

Cover		Ground Floor Window Requirements	A14	Bike Storage & Calculations	A35
Sheet Index	A1	Existing Site Plan	A15	Details	A36
Property Information & Vicinity Map	A2	Proposed Site Plan	A16	Details	A37
Site & Zoning Context	A3	Ground Floor Plan	A17	Details	A38
Ladd’s Addition Commercial Context	A4	Second Floor Plan	A18	Details	A39
Division Street Commercial Context	A5	Third Floor Plan	A19	Details	A40
Ladd’s Addition Corner Building References	A6	Fourth Floor Plan	A20	Signage Details	A41
Portland Corner Building References	A7	Roof Plan	A21	Signage Details	A42
Parti Diagram & Program	A8	Exterior Elevations	A22	Nighttime Rendering	A43
Southeast View	A9	Exterior Elevations	A23	Exterior Lighting Plan	A44
Southwest View	A10	Building Sections	A24	Exterior Light Fixtures	A45
Northeast View	A11	Building Sections	A25	Garage Lighting & Impact Diagram	A46
Pedestrian View	A12	Enlarged Elevations & Wall Sections	A26	Materials, Furnishings & Equipment	A47
Aerial View	A13	Enlarged Elevations & Wall Sections	A27	Materials, Furnishings & Equipment	A48
		Enlarged Elevations & Wall Sections	A28	Materials, Furnishings & Equipment	A49
Utility Plan	C1	Enlarged Elevations, Sections & Plans	A29	Materials, Furnishings & Equipment	A50
Grading Plan	C2	Enlarged Elevations, Sections & Plans	A30	Materials, Furnishings & Equipment	A51
		Enlarged Elevations, Sections & Plans	A31	Alternative Window Layout	A52
Landscape Plan - Ground Floor	L1	Enlarged Elevations, Sections & Plans	A32		
Landscape Plan - Fourth Floor Roof Deck	L2	Enlarged Elevations, Sections & Plans	A33		
Plant Images	L3	Enlarged Elevations, Sections & Plans	A34		

PROPERTY INFORMATION

Property Address: 1949 SE Division Street
Property ID: R200689
Tax ID No: 1S1E02DD 21000
Map Number: 3232 OLD
Legal Description: LADDS ADD, BLOCK 29, LOT 1
Cross Street: SE Ladd Avenue
Cross Street: SE Division Street
Site Area: 9,562 s.f.
Zoning Description: CSm - Storefront Commercial, Main Street Overlay
Historic District: Ladd’s Addition Historic District





LEGEND	
	Ladd's Addition Historic District
	Division Main Street Corridor
	Ladd's Addition / Division Confluence
4	Transit Street



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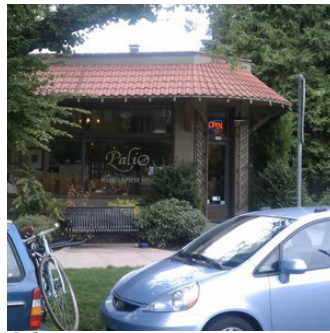
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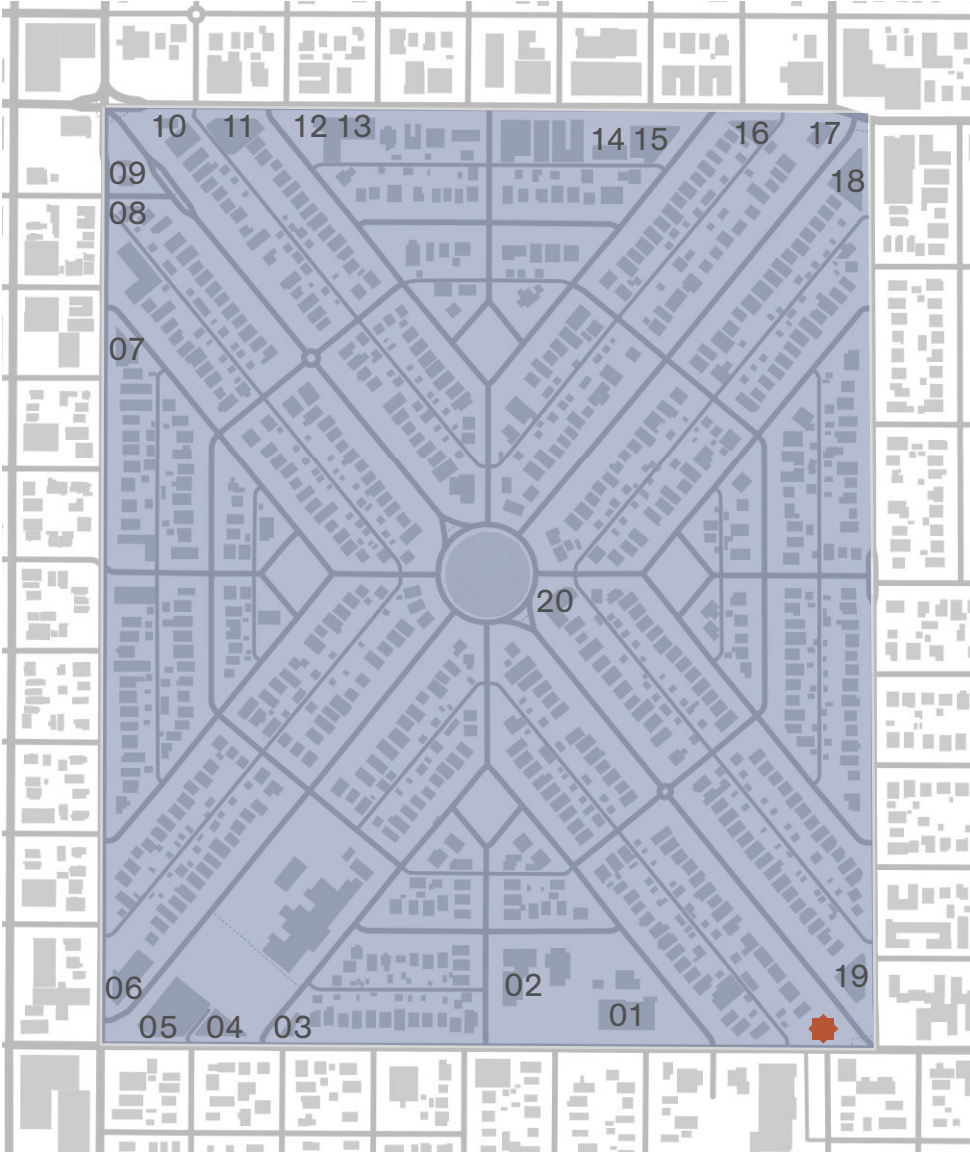
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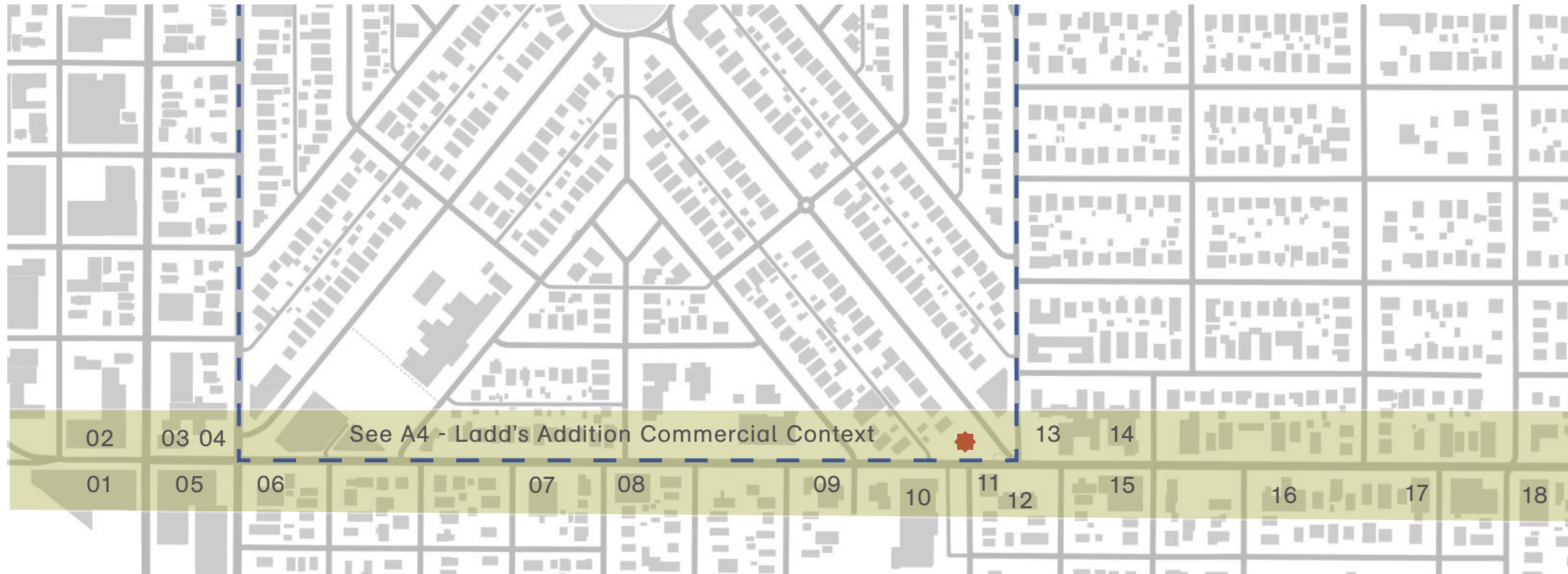
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LADD'S ADDITION COMMERCIAL CONTEXT

Ladd's Addition is a streetcar era district, historically significant primarily as an example of early urban design and residential architecture. Commercial strips were centered along the former streetcar line on SE Hawthorne Boulevard and along the automobile arterial of SE Division Street and included a number of gas stations and auto service businesses which have been converted to other businesses today.



Project Site



★ Project Site

DIVISION STREET COMMERCIAL CONTEXT
SE Division Street is a major two lane arterial in Southeast Portland. Historically populated by nearly equal combination of residences and commercial business, the street has seen heavy redevelopment and new construction over the last decade and has become one of the major commercial avenues on the Portland Eastside.



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Contributing



Contributing



Contributing



Contributing



Non-Contributing



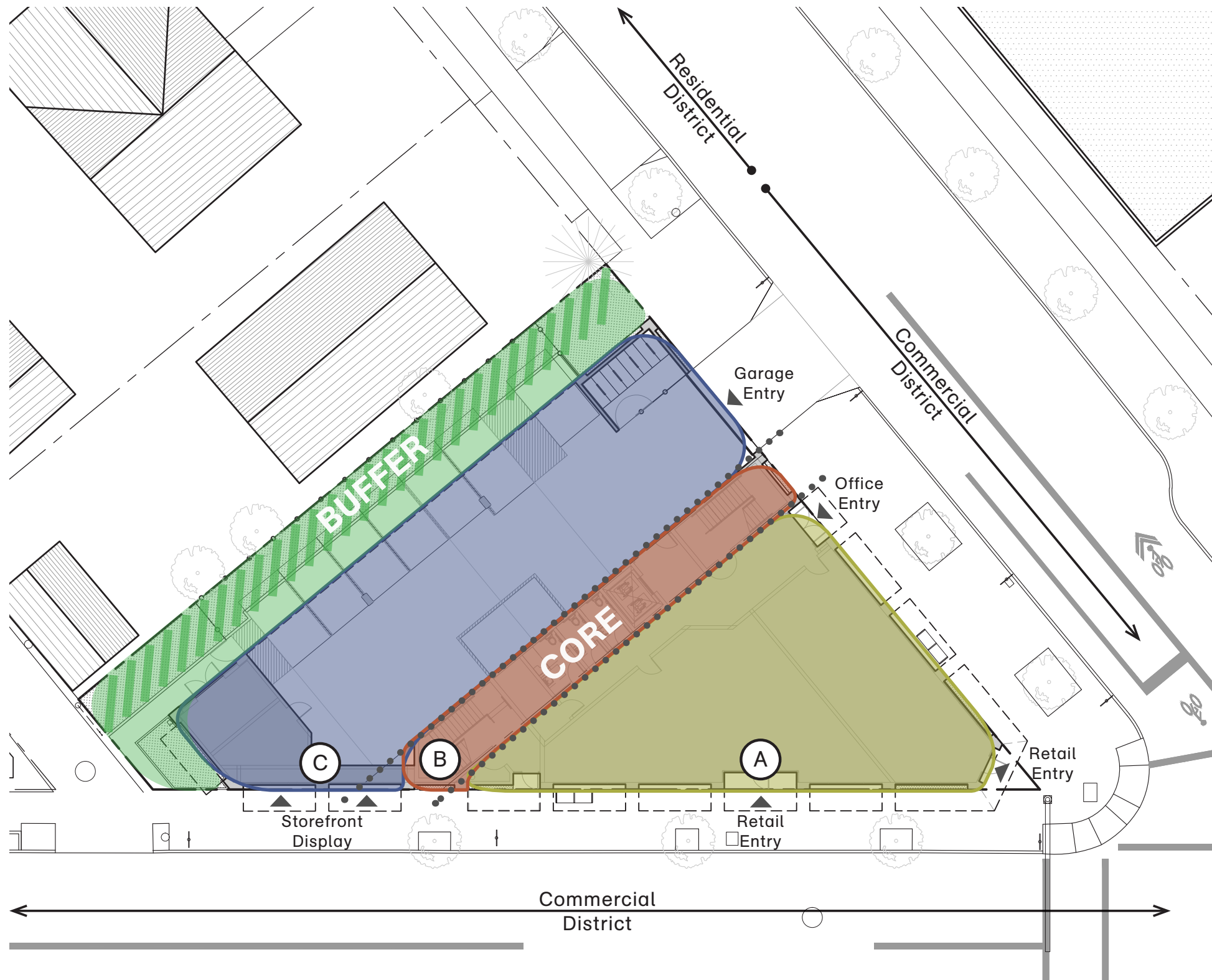
Non-Contributing

Downtown Portland



East Portland





CONCEPT DESIGN

- Extensive Areas of Pedestrian Storefront
- Durable, Low-Maintenance Materials & Finishes
- Simple, Clean and Clear Design
- Innovative Solutions Utilizing Current Technologies
- Sustainable Practices & Design Decisions
- Represent Community Vision's Values of Equity

BUILDING PROGRAM

- Community Vision, Inc. Office Headquarters
- Additional Office Lease Space for Non-Profit Tenants Who Share CVI's Mission & Goals
- Ground Floor Retail Lease & Display Space
- Shared Community Space
- Demonstration Facility to Feature Universal Design Innovations

A. PRIMARY SPACES

- Open & Inviting
- Densely Populated / Active
- Visual Connection to Seven Corners
- Commercial Architecture

B. EGRESS / CIRCULATION

- Clear & Simple Egress Paths
- Delineate Primary & Secondary Building Mass
- Emphasize Vertical Connectivity
- Functional Architecture

C. SUPPORT SPACES

- Address Visual Privacy & Screening
- Spaces Not Occupied At All Times
- Fewer Window Openings
- Stepped Down Height
- Transitional Architecture



Southeast Corner at SE Division Street & SE Ladd Avenue



Southwest Corner at SE Division Street



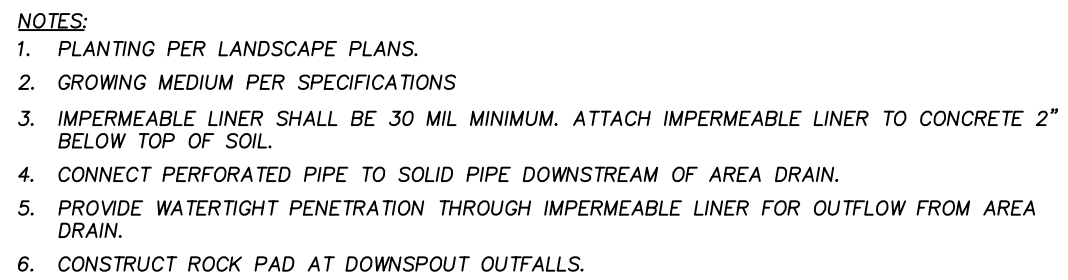
Northeast Corner at SE Ladd Avenue






Sidewalk at SE Division Street

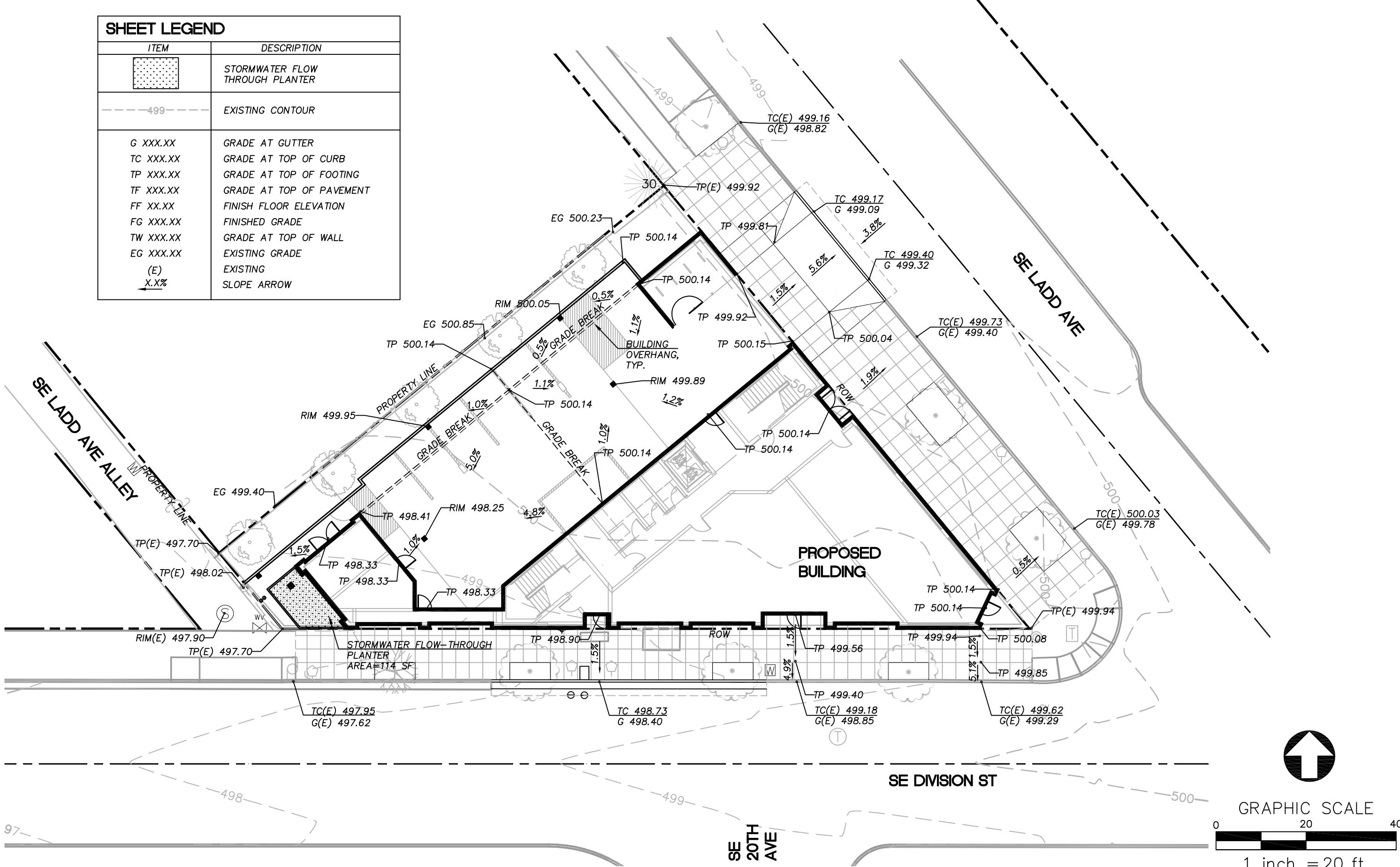


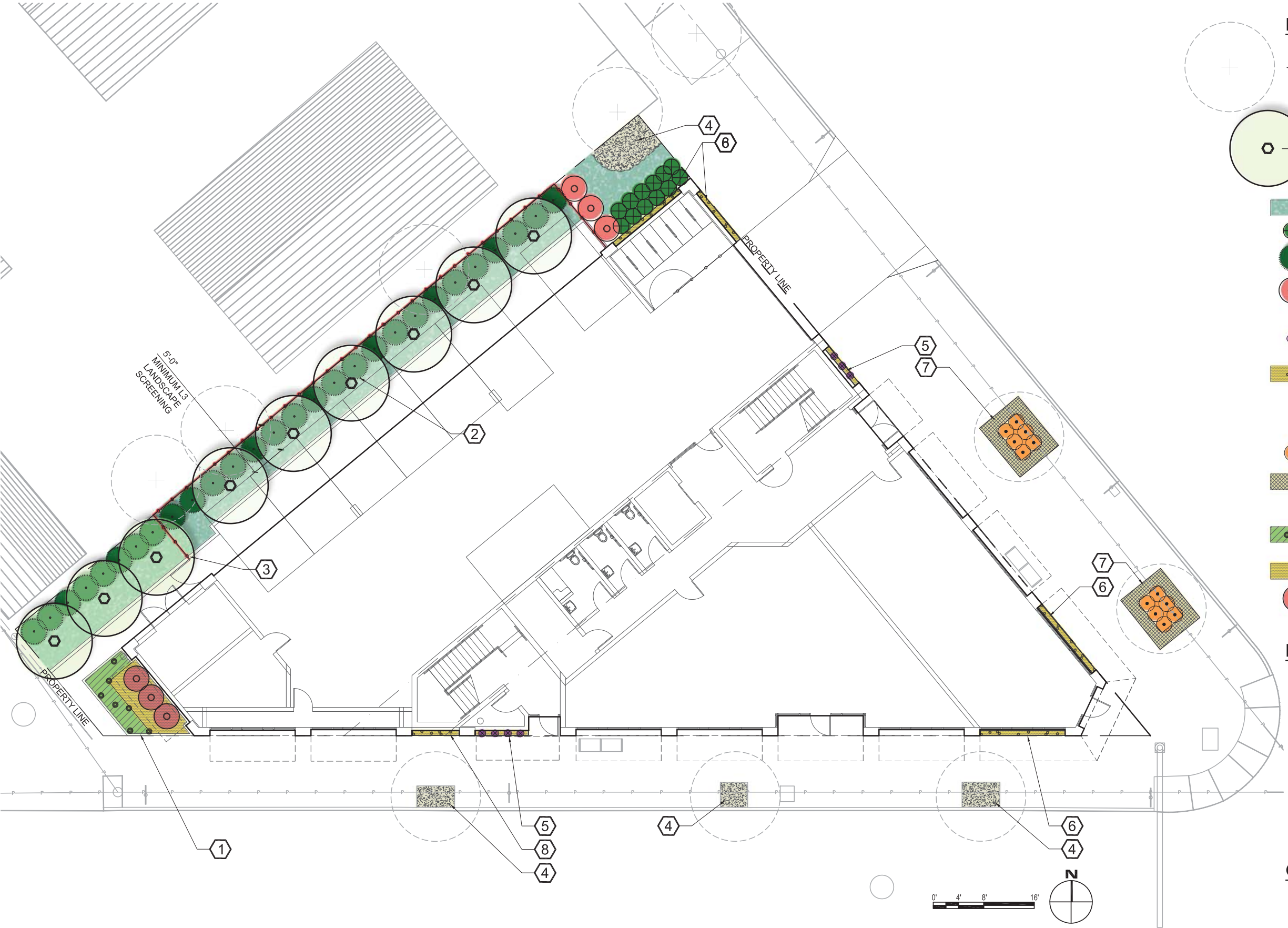
Seven Corners Intersection at SE Division Street



PUBLIC STREET IMPROVEMENTS:
STORMWATER MANAGEMENT IS NOT REQUIRED FOR THE IMPROVEMENTS TO THE PUBLIC SIDEWALKS IN THE PUBLIC RIGHT OF WAY. THE EXISTING STORMWATER DRAINAGE FOR THE RIGHT OF WAY WILL BE PROTECTED DURING CONSTRUCTION.

SHEET LEGEND	
ITEM	DESCRIPTION
	STORMWATER FLOW THROUGH PLANTER
	EXISTING CONTOUR
G XXX.XX	GRADE AT GUTTER
TC XXX.XX	GRADE AT TOP OF CURB
TP XXX.XX	GRADE AT TOP OF FOOTING
TF XXX.XX	GRADE AT TOP OF PAVEMENT
FF XX.XX	FINISH FLOOR ELEVATION
FG XXX.XX	FINISHED GRADE
TW XXX.XX	GRADE AT TOP OF WALL
EG XXX.XX	EXISTING GRADE
(E)	EXISTING
	SLOPE ARROW





PLANT LEGEND

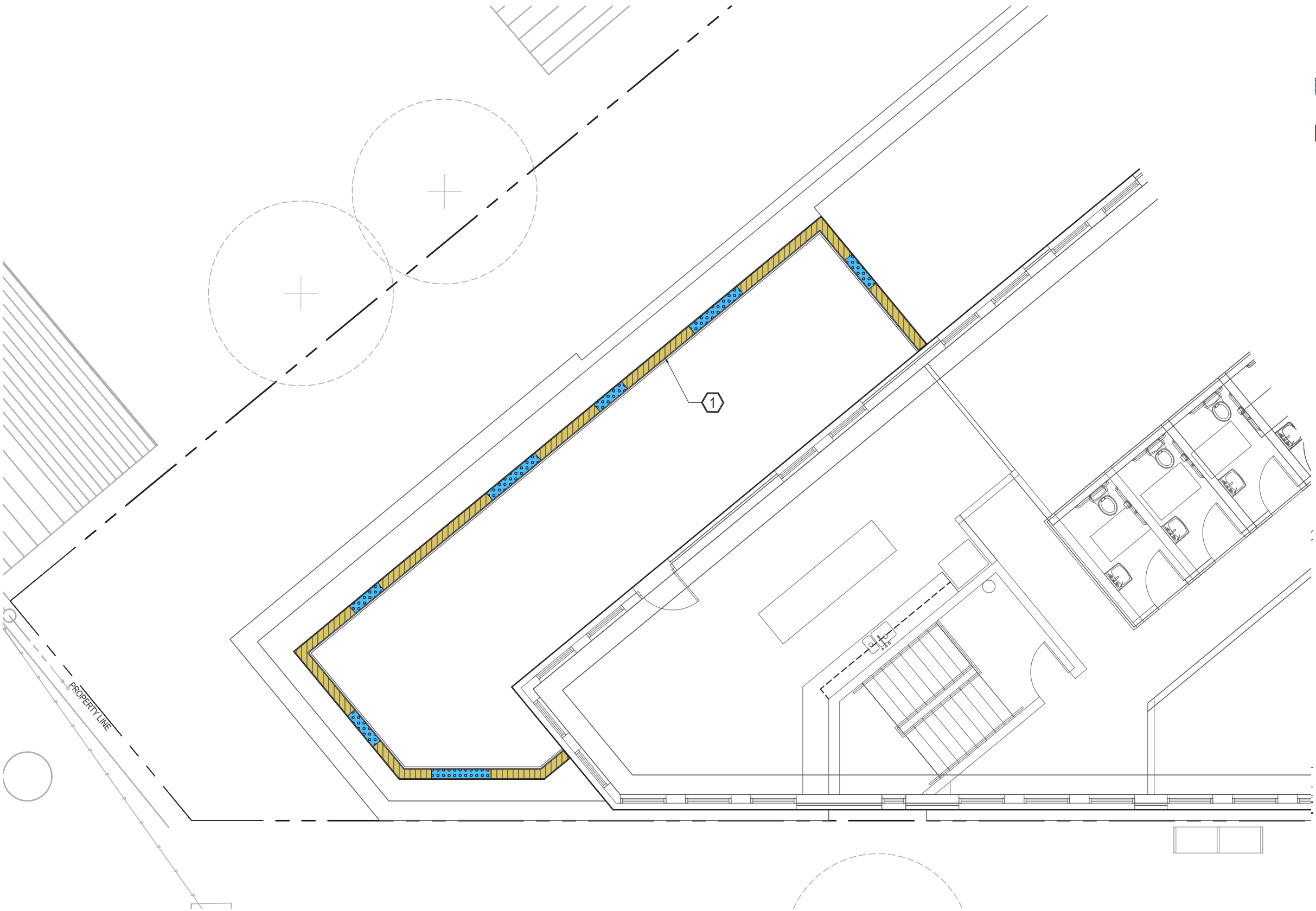
- EXISTING TREE TO REMAIN
- L3 BUFFER PLANTING
- TREES
- AMELANCHIER LAEVIS 'SNOWCLOUD'
 - SNOWCLOUD SERVICEBERRY; 1.5" CAL.; B&B;
 - (MATURE SIZE: 12'-15' CANOPY WIDTH, 20-24' HEIGHT)
- SHRUBS & GROUNDCOVER
- ILIRIOPE MUSCARI 'SILVERY SUNPROOF'
 - SILVERY SUNPROOF LILYTURF; 18" O.C. SPACING; 1 GAL. CONT.
 - POLYSTICHUM MUNITUM
 - WESTERN SWORD FERN; SPACING AS SHOWN; 2 GAL. CONT.
 - TAXUS X MEDIA 'HICKSII'
 - HICK'S YEW; SPACING AS SHOWN; 6' HEIGHT
 - CORNUS STOLONIFERA 'FARROW'
 - ARCTIC FIRE DOGWOOD; SPACING AS SHOWN; 5 GAL. CONT.
- RAISED PLANTERS
- TRACHELOSPERMUM JASMINOIDES 'MADISON'
 - MADISON STAR JASMINE; SAPCE AS SHOWN; 1 GAL. CONT., STAKED VINE PLANTING
 - CAREX TESTACEA
 - ORANGE NEW ZEALAND SEDGE; 18" O.C. SPACING; 1 GAL. CONT.
 - IRIS TENAX
 - OREGON IRIS; INTERPLANT IN GROUPINGS OF (3) 4" POTS
- TREE WELL PLANTING
- CORNUS SERICEA 'KELSEY'
 - KELSEY RED-TWIG DOGWOOD; SPACING AS SHOWN; 1 GAL. CONT.
 - PENNISETUM ALOPECUROIDES 'LITTLE BUNNY'
 - LITTLE BUNNY DWARF FOUNTAIN GRASS; 12" O.C. SPACING; 1 GAL. CONT.
- STORMWATER PLANTER
- CAREX MORROWII 'SILVER SCEPTRE'
 - SILVER SCEPTER SEDGE; 12" O.C. SPACING; 1 GAL. CONT.
 - INTERPLANT WITH GROUPINGS OF 3-5 IRIS TENAX, 4" POTS
 - CAREX TESTACEA
 - ORANGE NEW ZEALAND SEDGE; 12" O.C. SPACING; 1 GAL. CONT.
 - CORNUS STOLONIFERA 'FARROW'
 - ARCTIC FIRE DOGWOOD; SPACING AS SHOWN; 3 GAL. CONT.
 - (INTERPLANT BETWEEN CAREX)

KEY NOTES

- 1 STORMWATER PLANTER.
- 2 L3 BUFFER PLANTING.
- 3 PROPOSED FENCE. REFER TO ARCHITECTURAL DRAWINGS.
- 4 BARK MULCH.
- 5 RAISED PLANTER BELOW TRELLIS. TIE OFF VINE PLANTING TO TRELLIS TO MAINTAIN FORM OF PLANT.
- 6 RAISED PLANTER, REFER TO ARCHITECTURAL DRAWINGS.
- 7 IRRIGATION TO BE PROVIDED BY HAND WATERING DURING PLANT ESTABLISHMENT PERIOD.



GENERAL NOTES

- 1. PLANTING UNDER STRUCTURE WILL REQUIRE YEAR ROUND IRRIGATION, EITHER BY HAND WATERING OR A FULLY AUTOMATIC IRRIGATION SYSTEM.



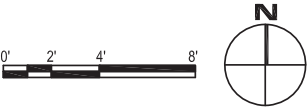
PLANT LEGEND

ROOF DECK

-  PERENNIAL MIX - 12" O.C. SPACING; 1 GAL. CONT.
MIX THE FOLLOWING PERENNIAL SHRUBS IN GROUPS OF 1, 2, OR 3:
-RUDBECKIA FULGIDA VAR. SULLIVANTII 'GOLDSTURM'
-PEROVSKIA ATRIPLICIFOLIA 'LITTLE SPIRE'
-  PENNISETUM ALOPECUROIDES 'HADELN'
DWARF FOUNTAIN GRASS; 30" O.C. SPACING; 1 GAL. CONT.

KEY NOTES

-  ROOF DECK PLANTER BOX.



STORMWATER PLANTER



Carex testacea - Orange New Zealand Sedge



Carex morrowii 'Silver Sceptre' - Silver Sceptre Sedge



Cornus stolonifera 'Farrow' - Arctic Fire Dogwood



Arctic Fire Dogwood winter stems



Iris tenax - Oregon Iris

L3 BUFFER PLANTINGS



Amelanchier laevis 'Snowcloud' - Snowcloud Serviceberry



Liriope muscari 'Silvery Sunproof' - Silvery Sunproof Lilyturf



Serviceberry fall color



Taxus x media 'Hicksii' - Hicks Yew



Polystichum munitum - Western Sword Fern



Hydrangea quercifolia 'Snow Queen' - Snow Queen Oakleaf Hydrangea

TREE WELL PLANTINGS



Cornus sericea 'Kelsey' - Kelsey Red-Twig Dogwood



Pennisetum alopecuroides 'Little Bunny' - Little Bunny Dwarf Fountain Grass

RAISED PLANTERS: ROOF DECK



Rudbeckia fulgida var. sullivantii 'Goldsturm' - Black-Eyed Susan



Perovskia atriplicifolia 'Little Spire' - Little Spire Russian Sage

RAISED PLANTERS: GROUND LEVEL



Carex testacea - Orange New Zealand Sedge



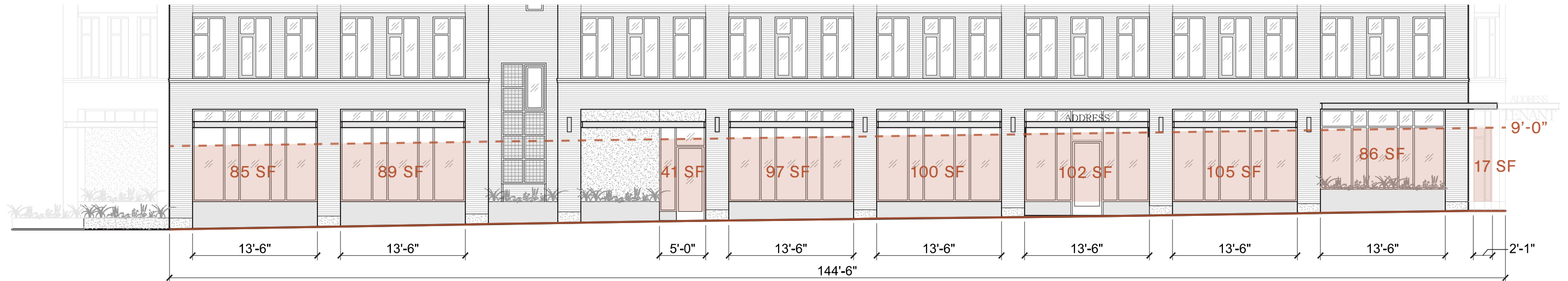
Trachelospermum jasminoides 'Madison' - Madison Star Jasmine



Iris tenax - Oregon Iris



Pennisetum alopecuroides 'Hameln' - Dwarf Fountain Grass

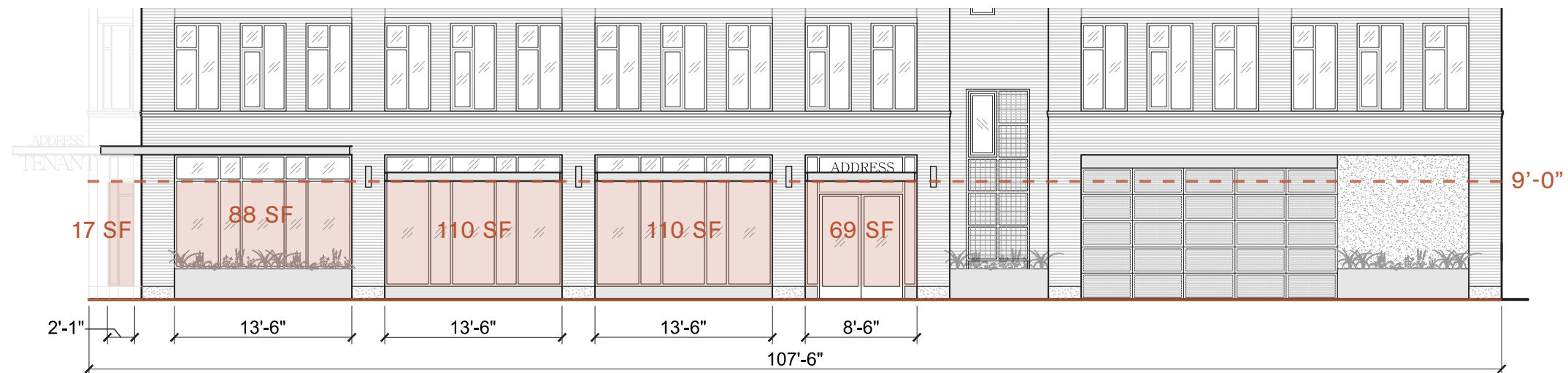


South Elevation (Primary Transit Street)

Overall Ground Wall Length = 144'-6"
Overall Ground Wall Area = 1,300 s.f.

Window Length = 101'-7"
Window Area = 722 s.f.

Percent Window Length = 70% (50% req.)
Percent Window Area = 56% (25% req.)

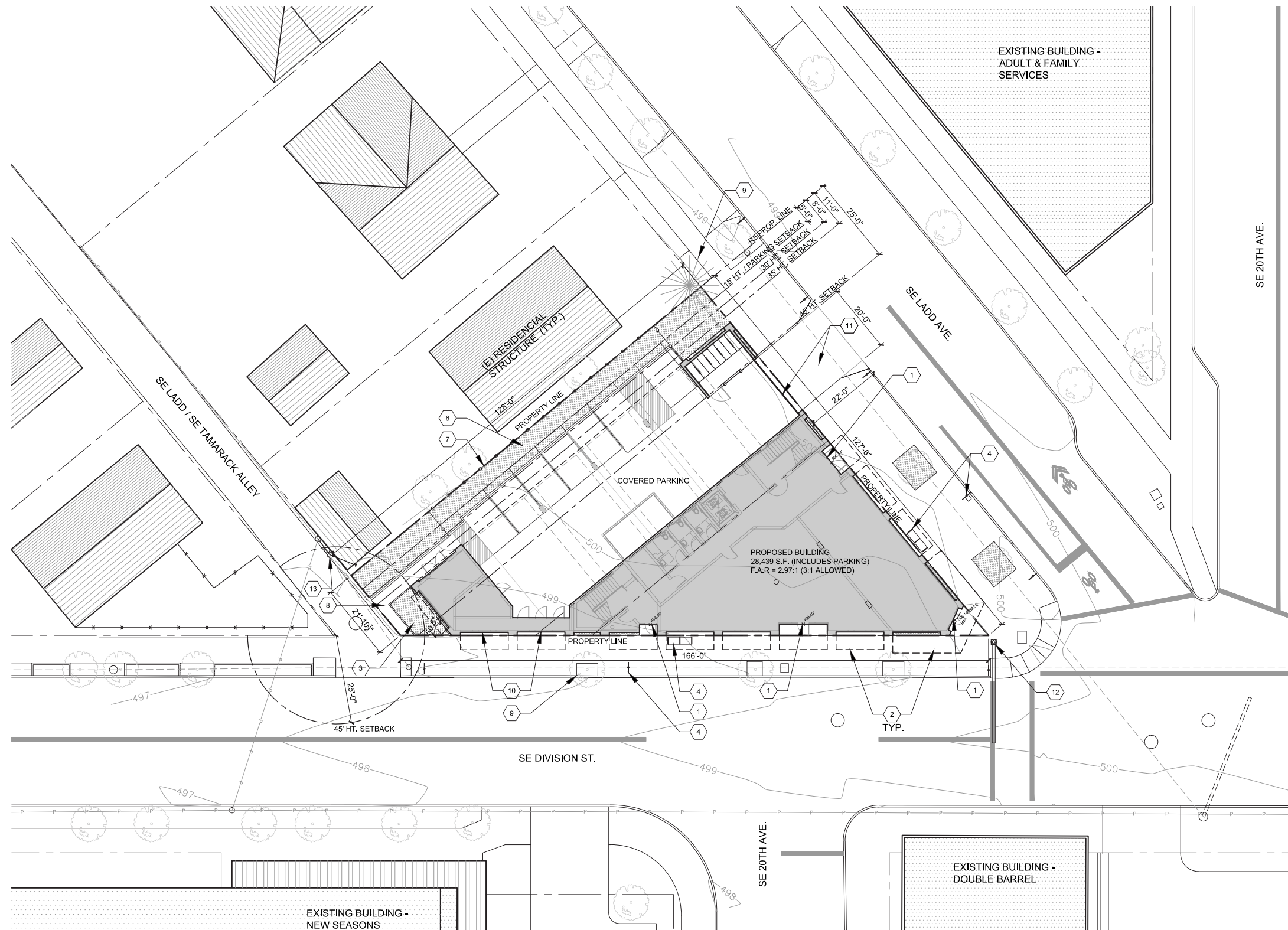


Northwest Elevation

Overall Ground Wall Length = 107'-6"
Overall Ground Wall Area = 968 s.f.

Window Length = 51'-1"
Window Area = 394 s.f.

Percent Window Length = 48% (25% req.)
Percent Window Area = 41% (12.5% req.)



KEYNOTES

- 1 BUILDING ENTRY
- 2 OVERHEAD AWNING
- 3 RAISED STORMWATER PLANTER. REFER TO CIVIL SHEETS
- 4 NEW TRANSIT BENCH. COORDINATE WITH TRIMET
- 5 DROP-OFF LANE
- 6 5' L3 PLANTING STRIP. REFER TO LANDSCAPE SHEETS
- 7 8'-0" WOOD PRIVACY FENCE
- 8 GARBAGE ACCESS
- 9 EXISTING EVERGREEN TO REMAIN
- 10 EXHIBIT WINDOWS
- 11 GARAGE ENTRY & DRIVEWAY
- 12 EXISTING SIGNAL
- 13 NEW POLE MOUNTED TRANSFORMER PROVIDED BY PGE

LEGEND

- — — — — PROPERTY LINE
- - - - - ITEM OVERHEAD
- o — o — o — WOOD FENCE
- [Hatched Box] PLANTINGS / VEGETATION
- [Tree Symbol] EXISTING TREE
- + 500' PRELIMINARY SPOT ELEVATIONS

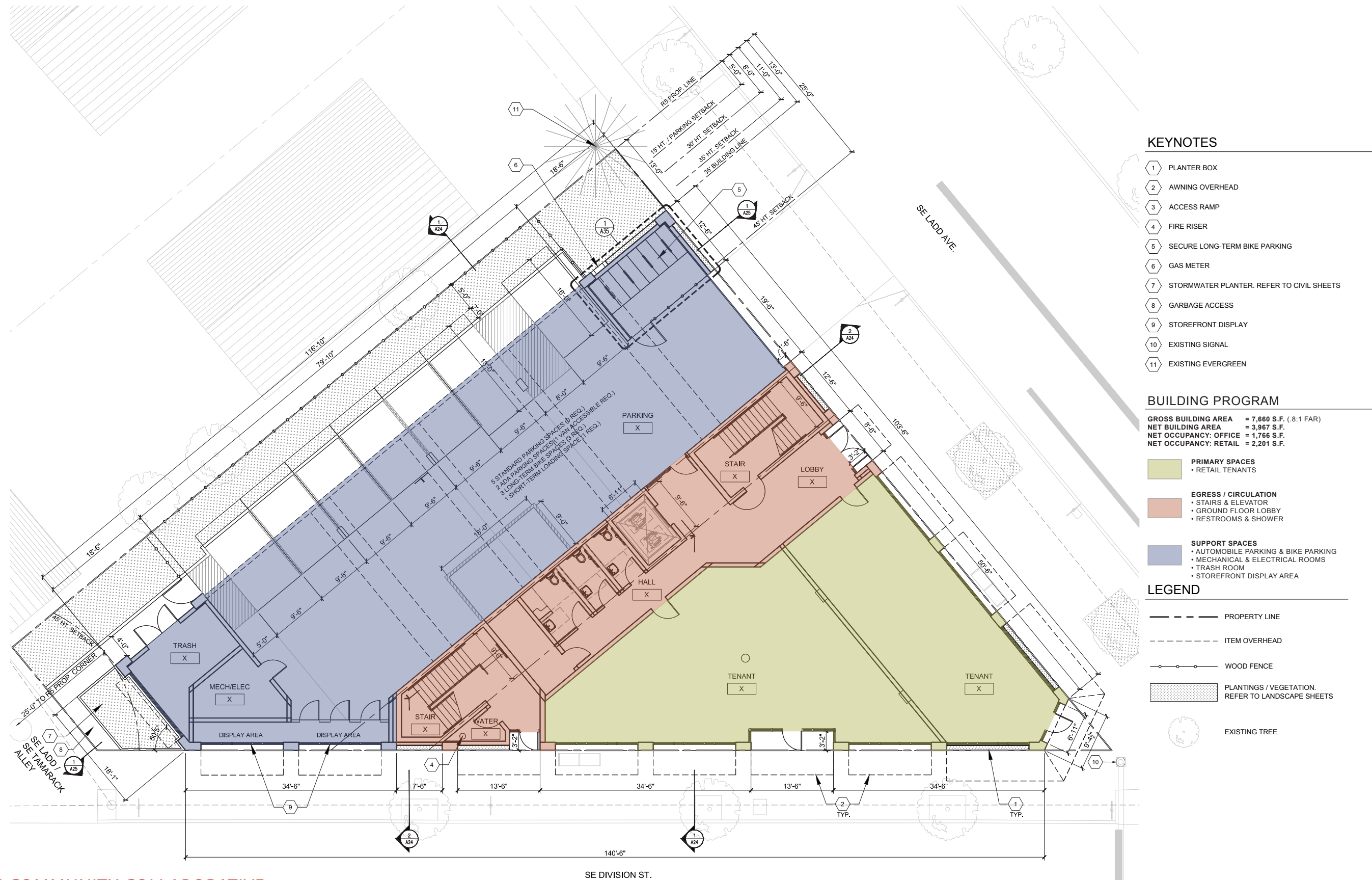
SEVEN CORNERS COMMUNITY COLLABORATIVE

Type III Land Use Review (LU 16-125731)

Proposed Site Plan

A16
Scale: 1/32" = 1'-0"





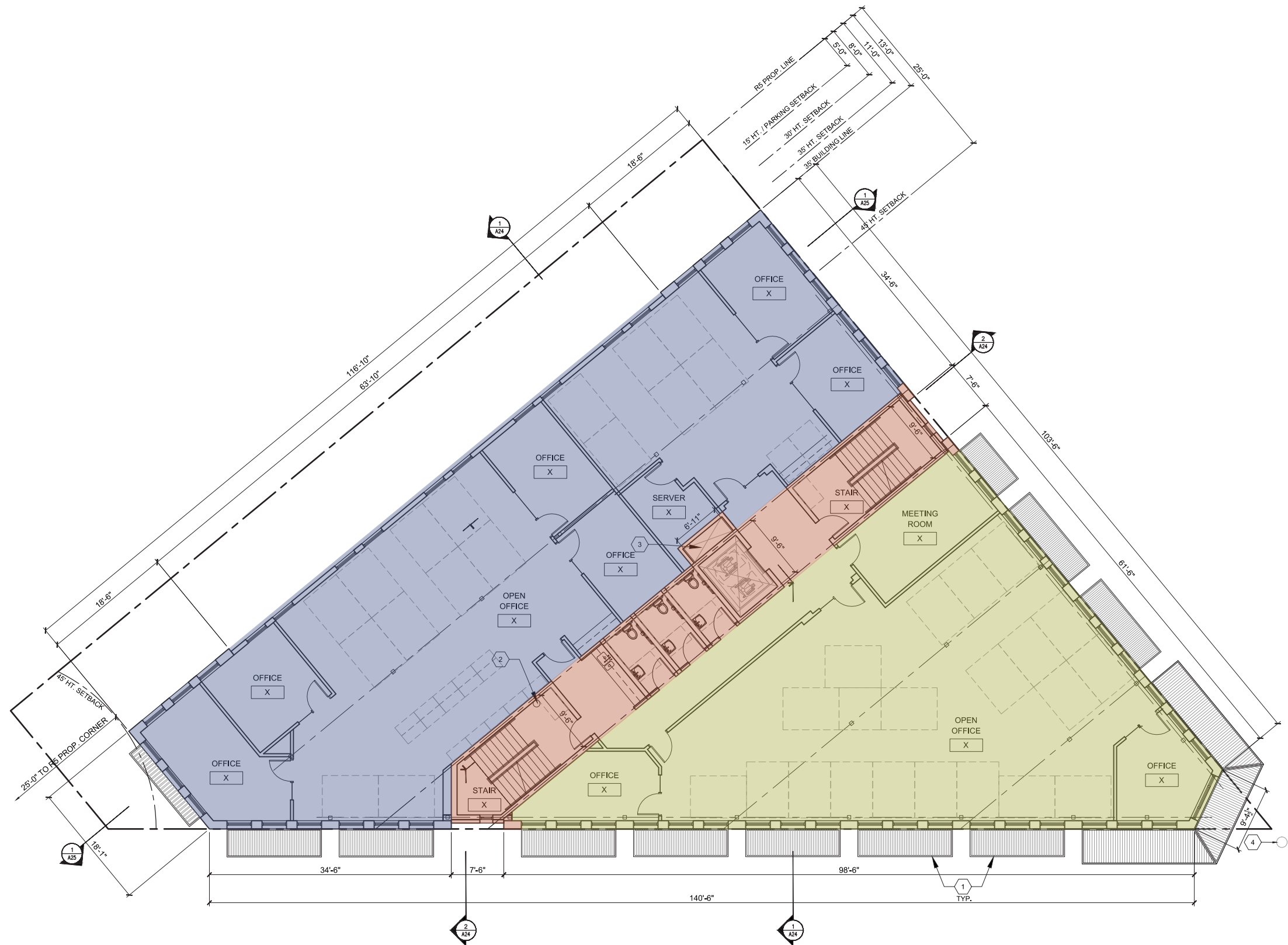
SEVEN CORNERS COMMUNITY COLLABORATIVE

Type III Land Use Review (LU 16-125731)

Ground Floor Plan

A17
 Scale: 1/16" = 1'-0"

C.7  waterleaf
 architecture, interiors + planning



KEYNOTES

- 1 AWNING BELOW
- 2 FIRE RISER
- 3 MECHANICAL CHASE
- 4 EXISTING SIGNAL

BUILDING PROGRAM

GROSS BUILDING AREA = 7,660 S.F. (.8:1 FAR)
 NET BUILDING AREA = 7,660 S.F.
 NET OCCUPANCY: OFFICE = 7,660 S.F.

- PRIMARY SPACES**
 - OFFICES
- EGRESS / CIRCULATION**
 - STAIRS & ELEVATOR
 - FLOOR LOBBY
 - RESTROOMS
- SUPPORT SPACES**
 - OFFICES
 - CONFERENCE ROOMS
 - COPY, STORAGE & SERVER ROOMS

LEGEND

- PROPERTY LINE
- ITEM OVERHEAD

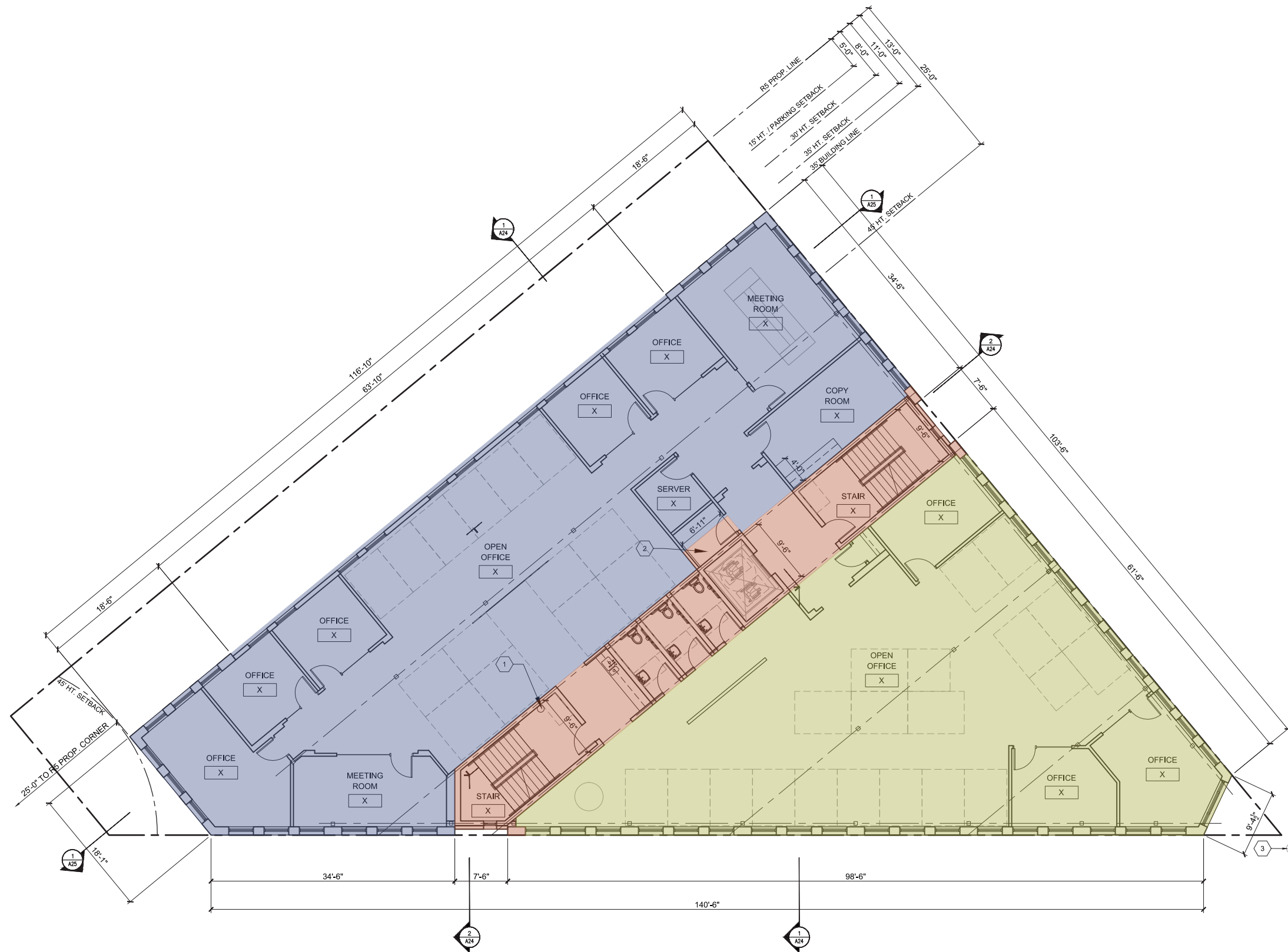
SEVEN CORNERS COMMUNITY COLLABORATIVE

Type III Land Use Review (LU 16-125731)

Second Floor Plan

A18
 Scale: 1/16" = 1'-0"

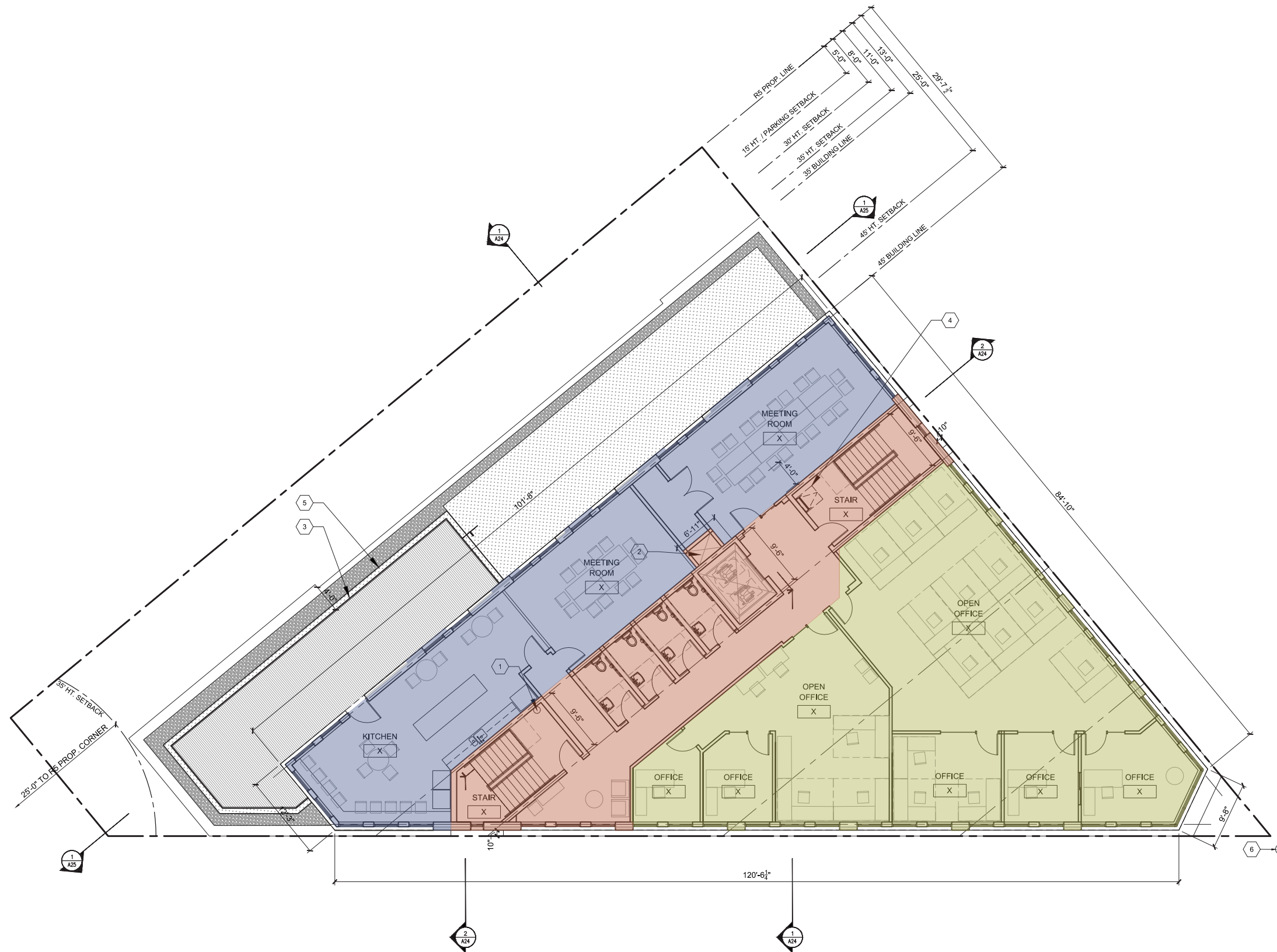




SEVEN CORNERS COMMUNITY COLLABORATIVE

Type III Land Use Review (LU 16-125731)
 Third Floor Plan

A19
 Scale: 1/16" = 1'-0"



KEYNOTES

- 1 FIRE RISER
- 2 MECHANICAL CHASE
- 3 42" DECK RAILING
- 4 ROOF ACCESS HATCH
- 5 PLANTER BOX
- 6 EXISTING SIGNAL

BUILDING PROGRAM

GROSS BUILDING AREA = 5,459 S.F. (.57:1 FAR)
 NET BUILDING AREA = 5,459 S.F.
 NET OCCUPANCY: OFFICE = 5,459 S.F.

- PRIMARY SPACES**
 - OFFICES
- EGRESS / CIRCULATION**
 - STAIRS & ELEVATOR
 - FLOOR LOBBY
 - RESTROOMS
- SUPPORT SPACES**
 - LARGE CONFERENCE ROOM
 - CLASSROOM
 - KITCHEN & BREAK AREA

LEGEND

- GREEN ROOF
- BALLAST ROCK
- ROOF DECK
- PLANTINGS / VEGETATION. REFER TO LANDSCAPE SHEETS
- PROPERTY LINE
- ITEM OVERHEAD

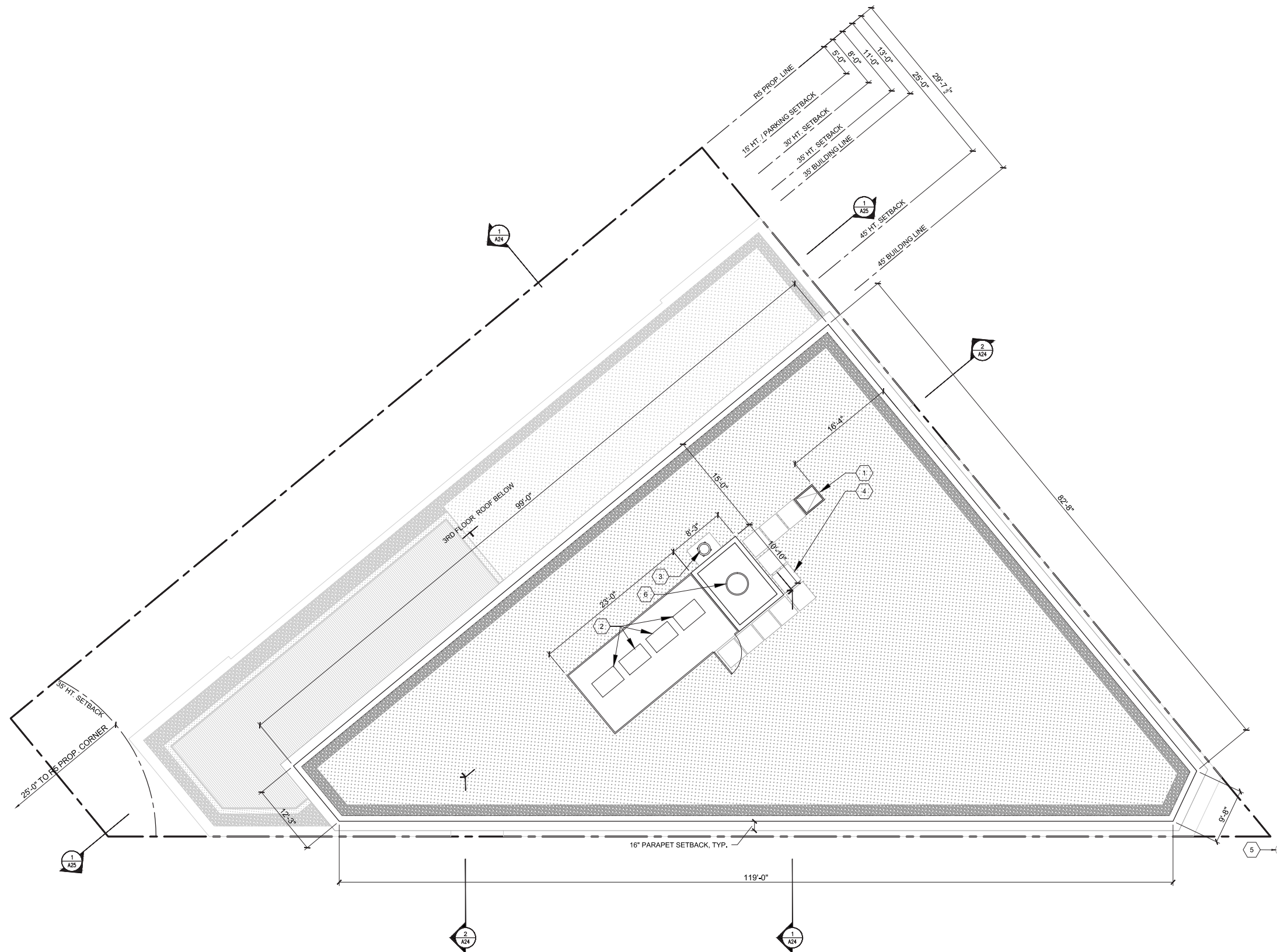
SEVEN CORNERS COMMUNITY COLLABORATIVE

Type III Land Use Review (LU 16-125731)

Fourth Floor Plan

A20
 Scale: 1/16" = 1'-0"





KEYNOTES

- 1 ROOF ACCESS HATCH
- 2 ROOFTOP MECHANICAL EQUIPMENT
- 3 EXHAUST VENT
- 4 WALKWAY PAVERS
- 5 EXISTING SIGNAL
- 6 ELEVATOR RELIEF VENT

LEGEND

- GREEN ROOF
- BALLAST ROCK
- PROPERTY LINE
- ITEM OVERHEAD

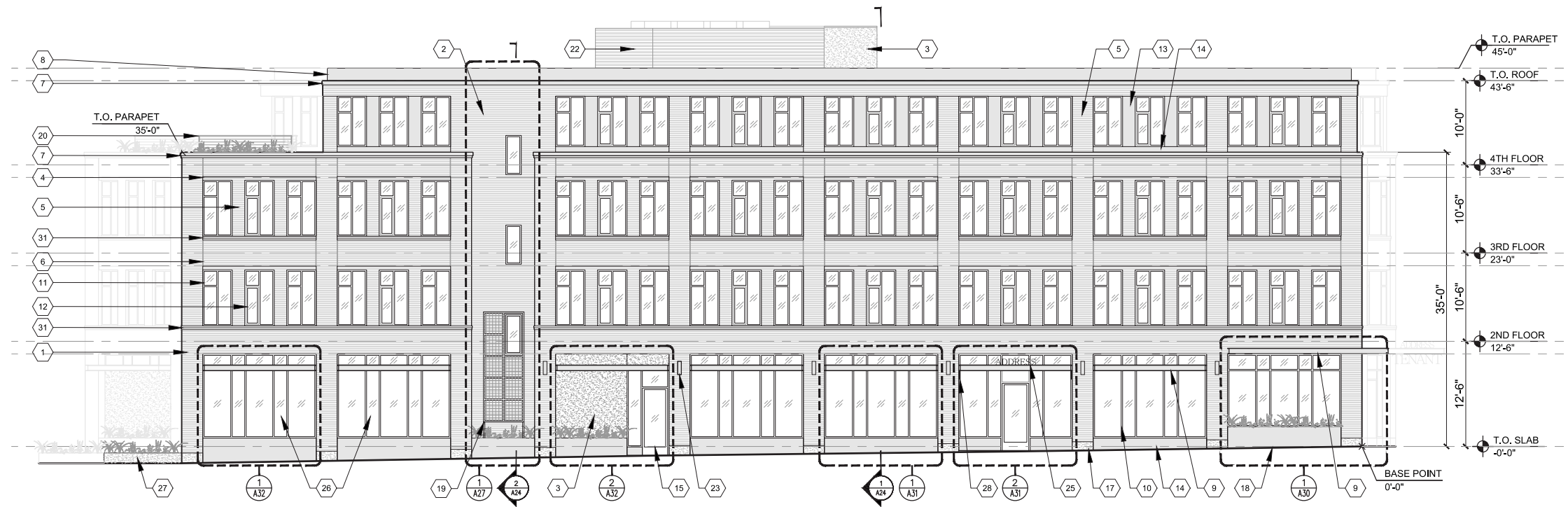
SEVEN CORNERS COMMUNITY COLLABORATIVE

Type III Land Use Review (LU 16-125731)

Roof Plan

Scale: 1/16" = 1'-0"





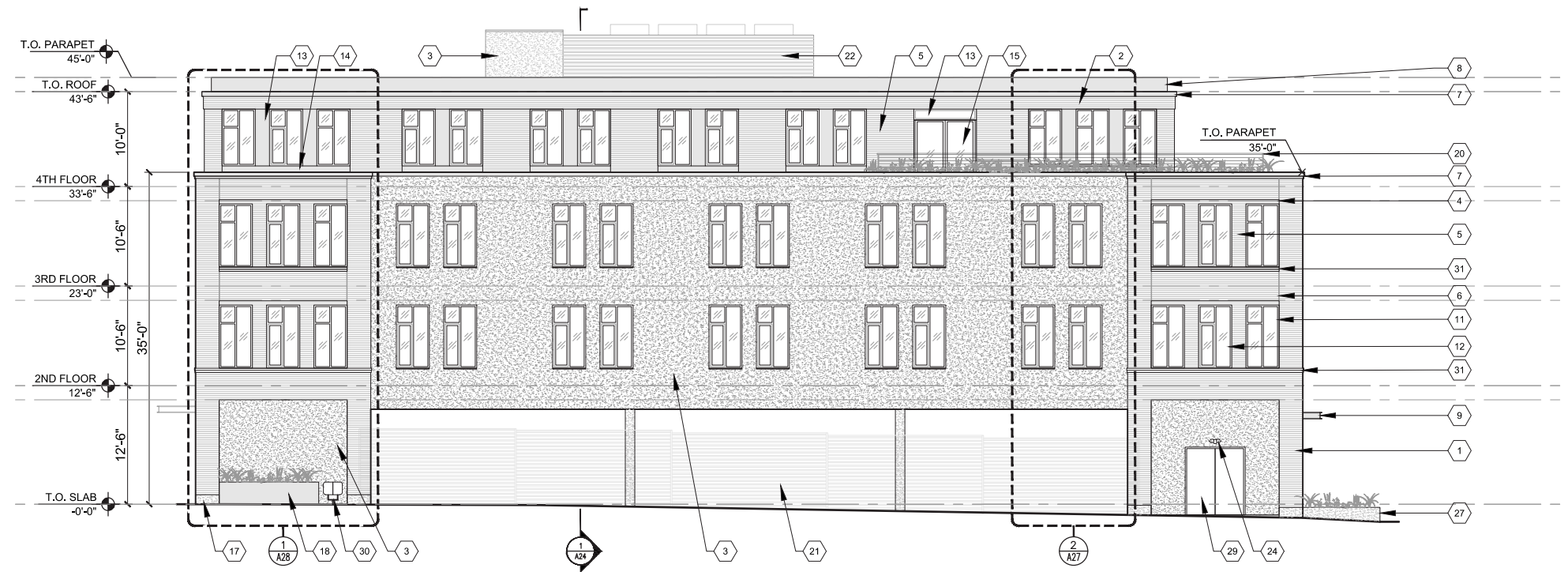
1 South (SE Division St.) Elevation
A22



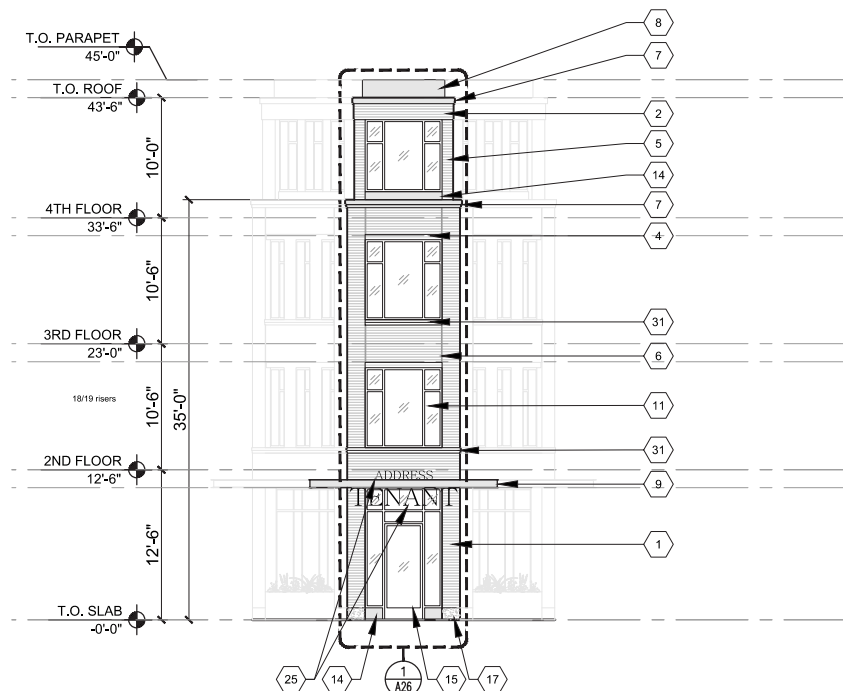
2 Northeast (SE Ladd Ave.) Elevation
A22

KEYNOTES

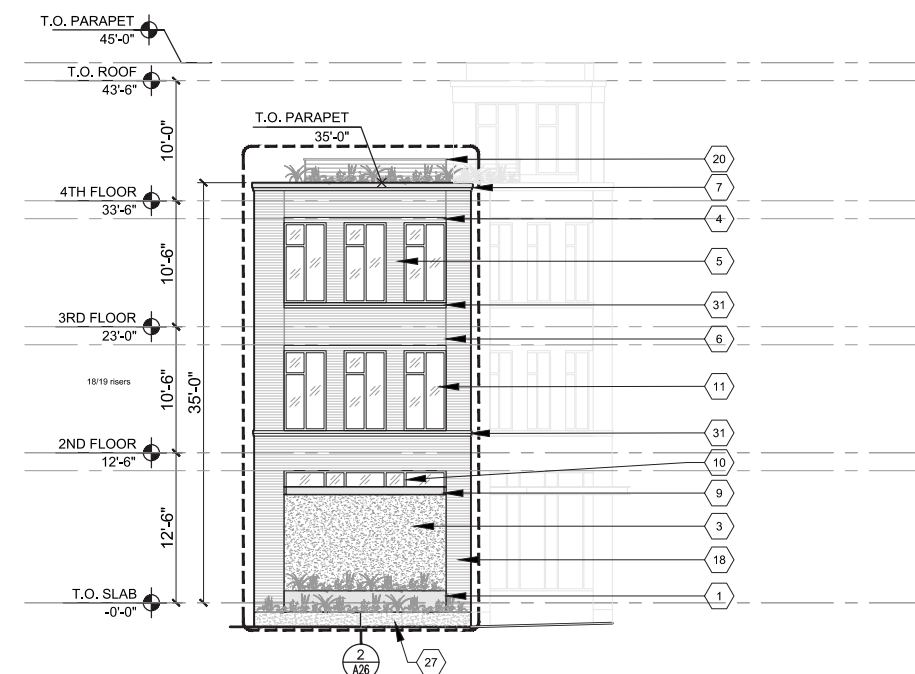
- 1 BRICK VENEER, 1/2 RUNNING BOND, NORMAN 'LIMESTONE' MISSION TEXTURE
- 2 BRICK VENEER, 1/2 RUNNING BOND, NORMAN 'LIMESTONE' SMOOTH TEXTURE
- 3 3-PART STUCCO SYSTEM, PAINTED 'LIMESTONE' / WARM GREY
- 4 HORIZONTAL BRICK REVEAL, 2 COURSES, BRICK STYLE TO MATCH ADJACENT
- 5 INSET BRICK PILASTER, BRICK STYLE TO MATCH ADJACENT
- 6 VERTICAL BRICK EXPANSION JOINT
- 7 BRAKE METAL CORNICE, DARK BRONZE
- 8 BRAKE METAL PARAPET, DARK BRONZE
- 9 STEEL CANOPY WITH WOOD SOFFIT, PAINTED BLACK
- 10 ALUMINUM STOREFRONT SYSTEM, DARK BRONZE, FRONT PLANE GLASS
- 11 ALUMINUM STOREFRONT WINDOW, DARK BRONZE, FRONT PLANE GLASS
- 12 ALUMINUM STOREFRONT WINDOW WITH OPERABLE PANEL, DARK BRONZE, FRONT PLANE GLASS
- 13 BRAKE METAL PANEL, DARK BRONZE
- 14 BRAKE METAL BULKHEAD, DARK BRONZE
- 15 ALUMINUM STOREFRONT ENTRY DOOR
- 16 ALUMINUM SECTIONAL GARAGE DOOR WITH PERFORATED METAL PANELS
- 17 CONCRETE BASE WITH 45° CHAMFER
- 18 STEEL PLATE PLANTER, PAINTED BLACK. SEE LANDSCAPE SHEETS FOR PLANTINGS
- 19 CUSTOM STEEL TRELLIS, PAINTED BLACK. SEE LANDSCAPE SHEETS FOR PLANTINGS
- 20 WOOD TOP STEEL GUARDRAIL WITH CABLE INFILL, PAINTED BLACK
- 21 HORIZONTAL WOOD SLAT FENCE
- 22 HORIZONTAL WOOD SLAT MECHANICAL SCREENING
- 23 LIGHT FIXTURE - UP/DOWN WALL SCONCE
- 24 LIGHT FIXTURE - DIRECTIONAL SECURITY LIGHT
- 25 EXTRUDED, BRUSHED ALUMINUM NUMBERING/LETTERING
- 26 ROTATING INTERACTIVE DISPLAY CASE
- 27 CONCRETE STORMWATER PLANTER. SEE LANDSCAPE SHEETS FOR PLANTINGS
- 28 PROJECTING BLADE SIGN
- 29 TRASH ENCLOSURE DOOR
- 30 RECESSED GAS METER
- 31 STAGGERED BRICK SILL, 2 COURSES, BRICK STYLE TO MATCH ADJACENT



1 Northwest (Rear Prop. Line / R5 Adjacent) Elevation
A23



2 Southeast (Seven Corners) Elevation
A23

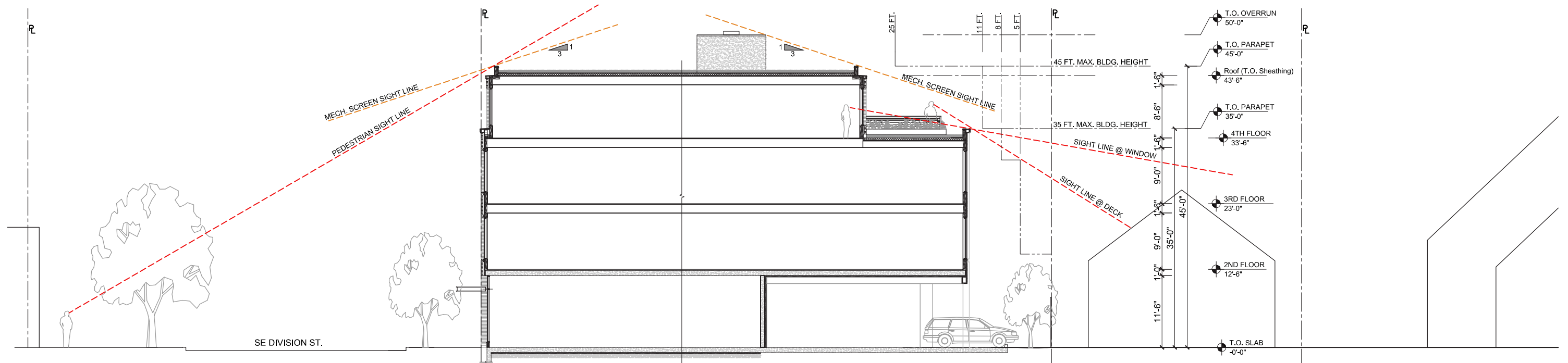


3 Southwest (SE Ladd/Tamarack Alley) Elevation
A23

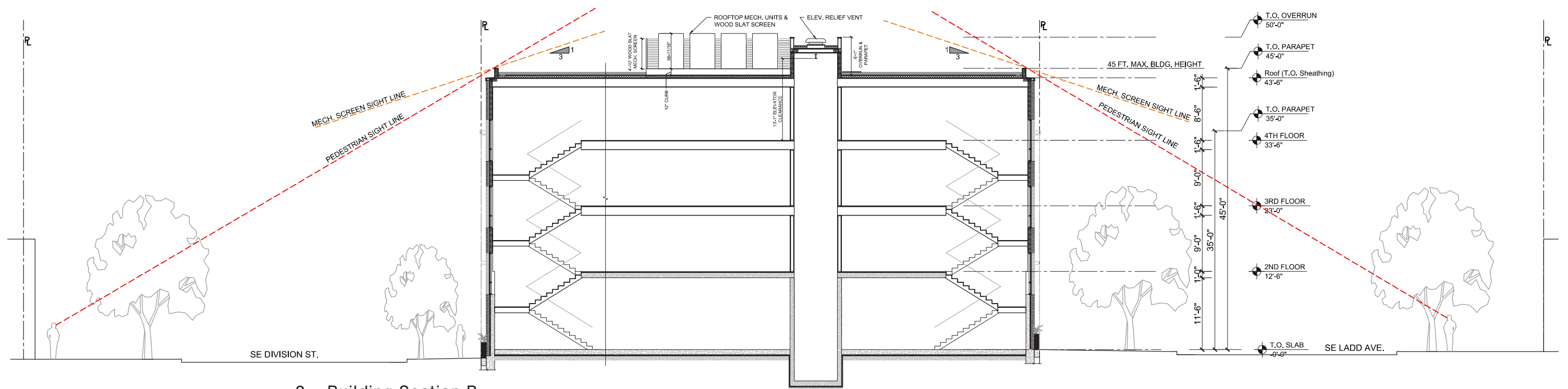
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- 30 RECESSED GAS METER
- 31 STAGGERED BRICK SILL, 2 COURSES, BRICK STYLE TO MATCH ADJACENT

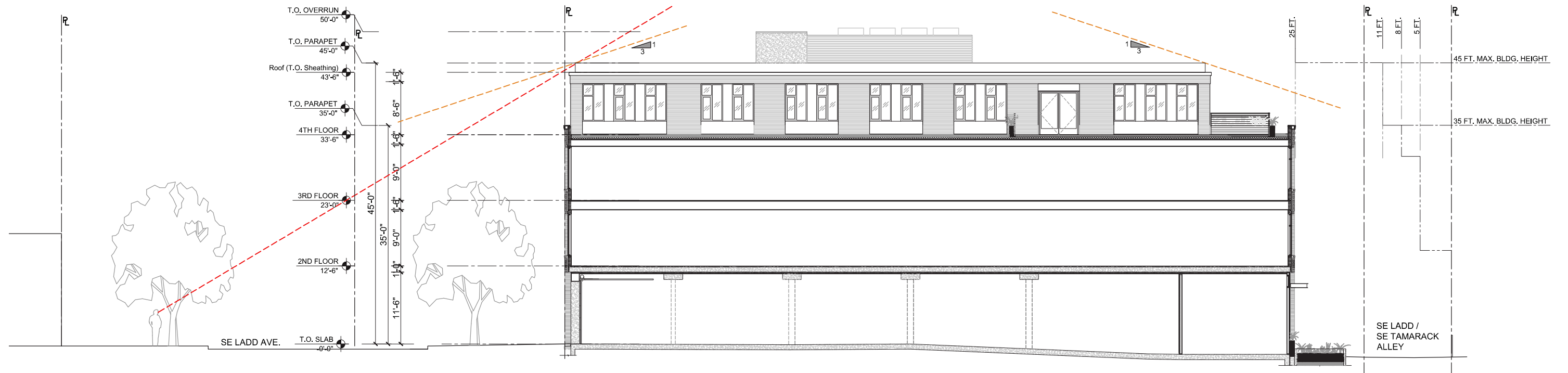




1 Building Section A
A24



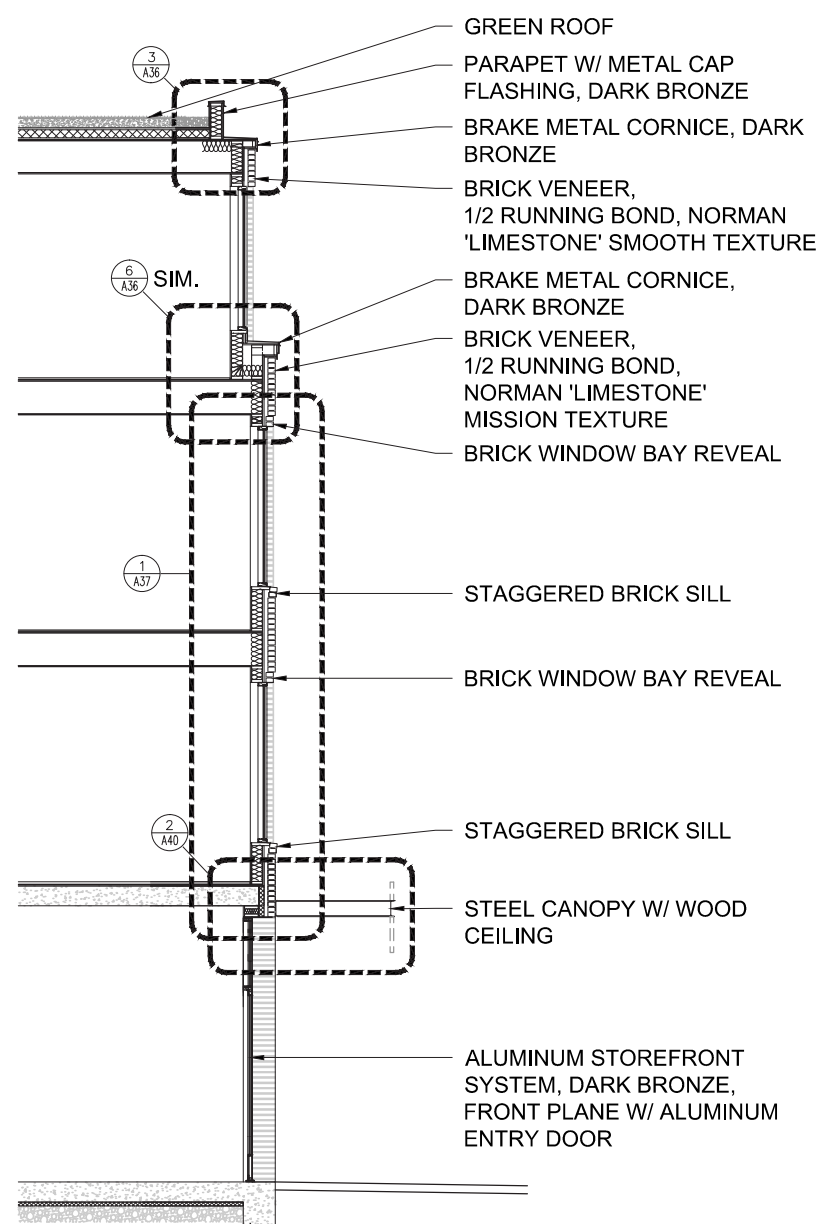
2 Building Section B
A24



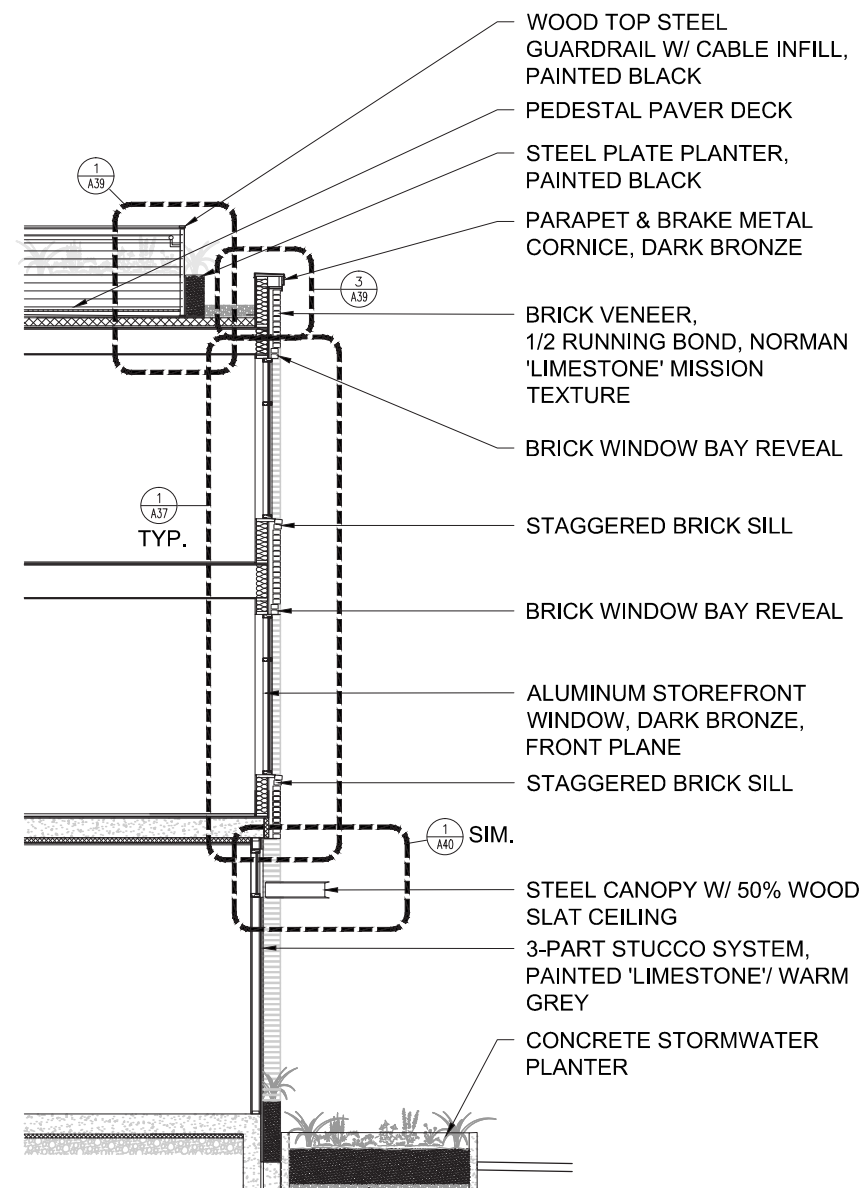
1 Building Section C
A25

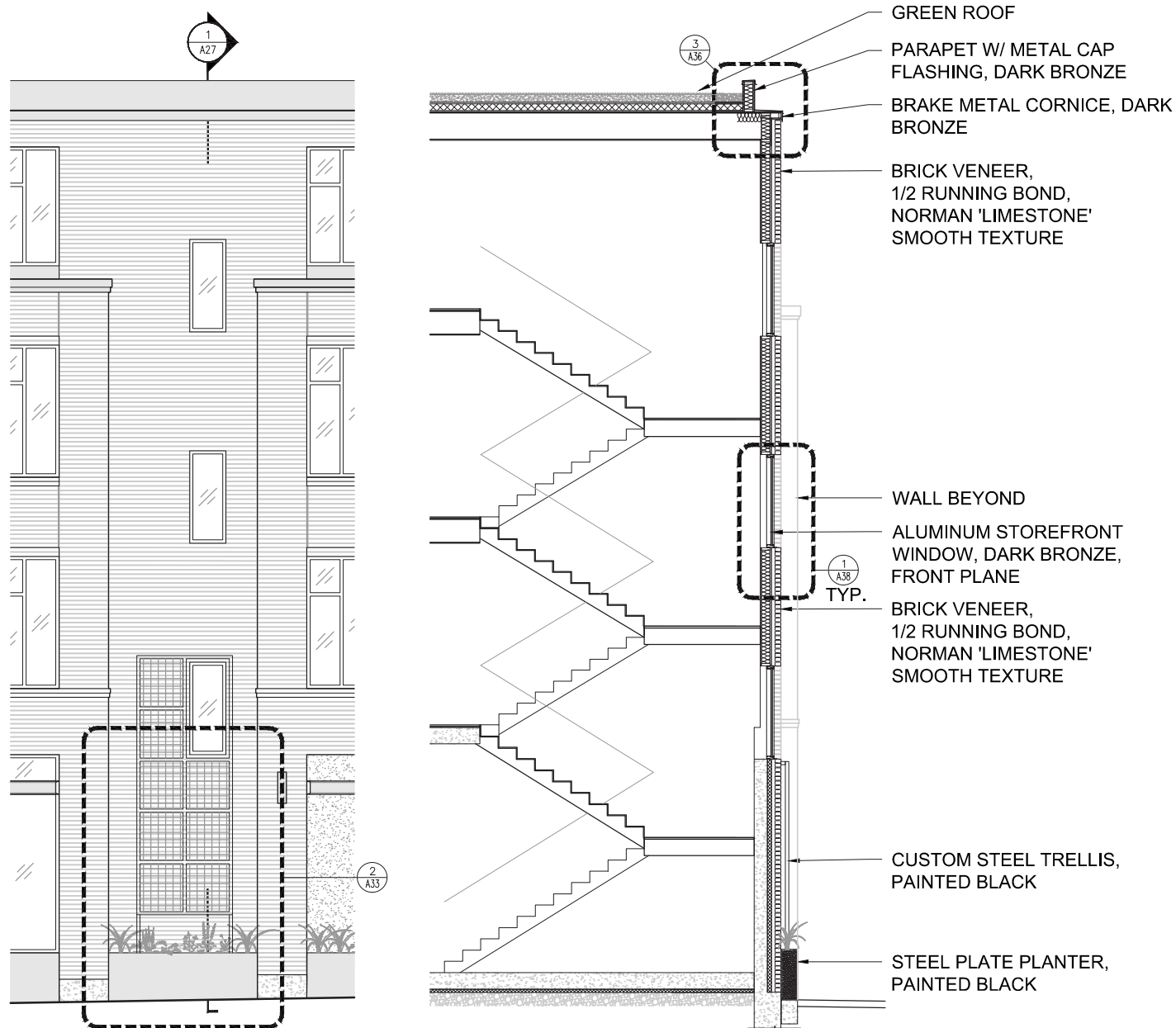


1 Southeast Entry (Seven Corners)
A26



2 Southwest Corner & Planter (SE Ladd/Tamarack Alley)
A26

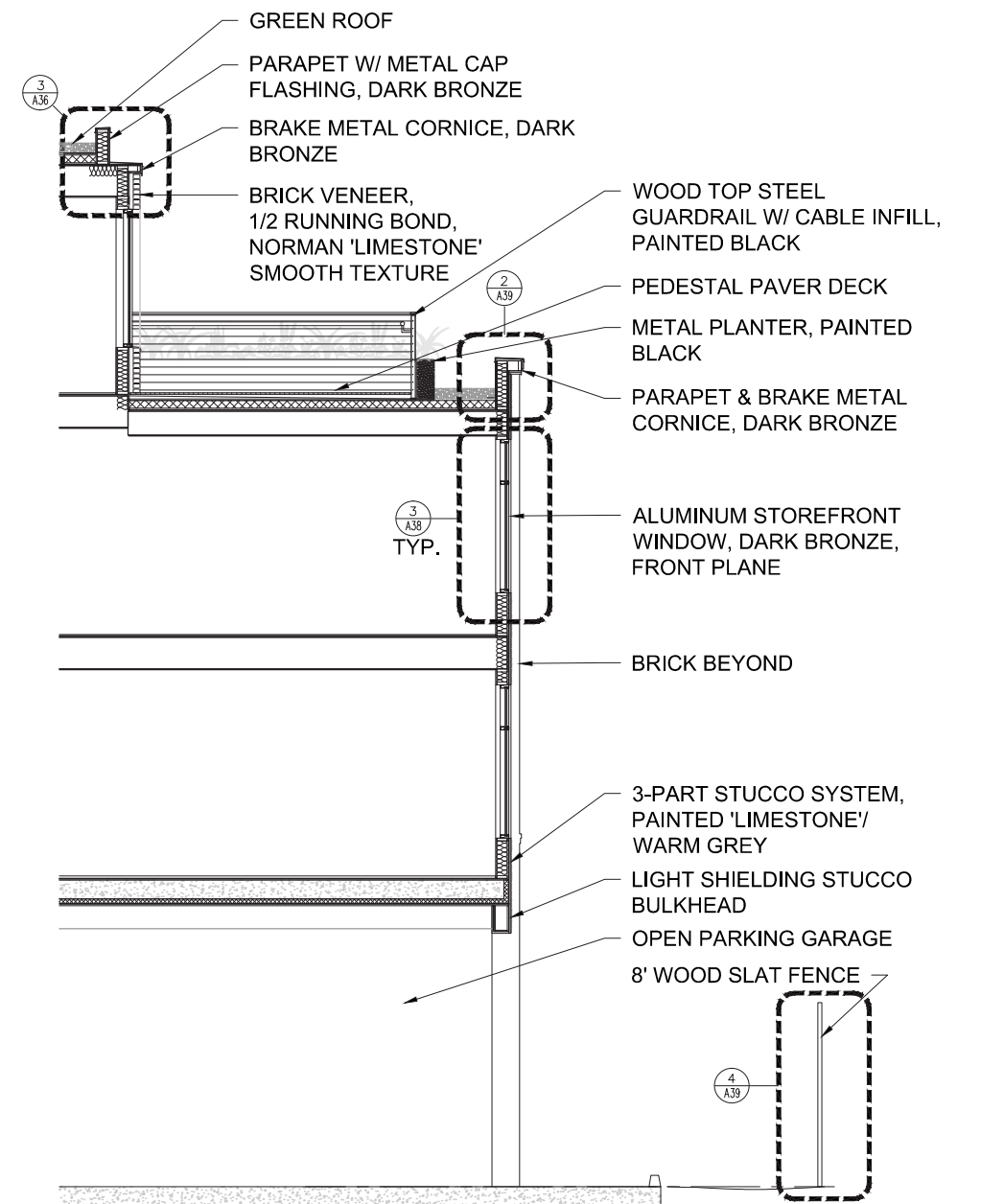


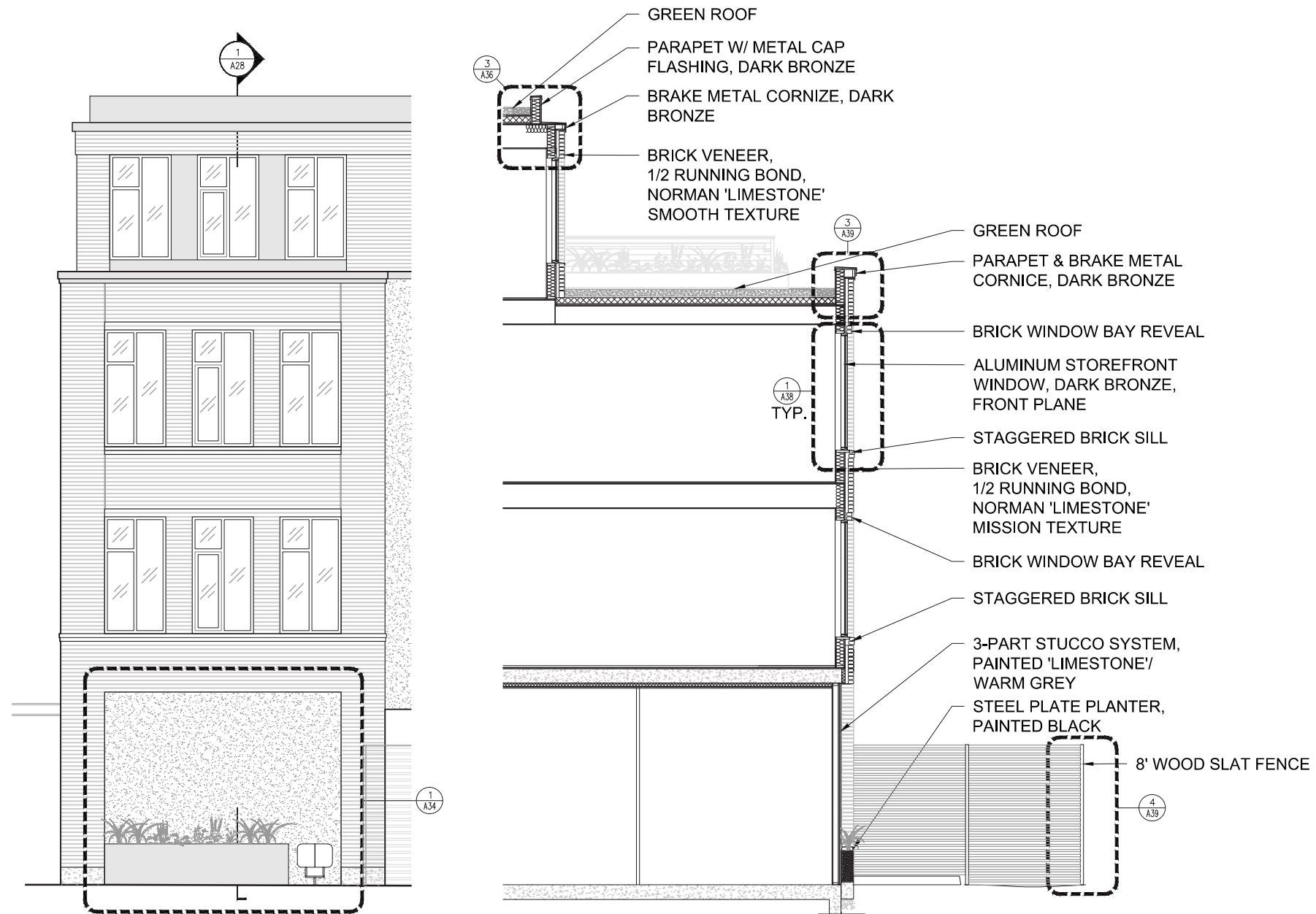


1 Stair Tower (SE Division St.; Sim. at SE Ladd Ave.)
A27

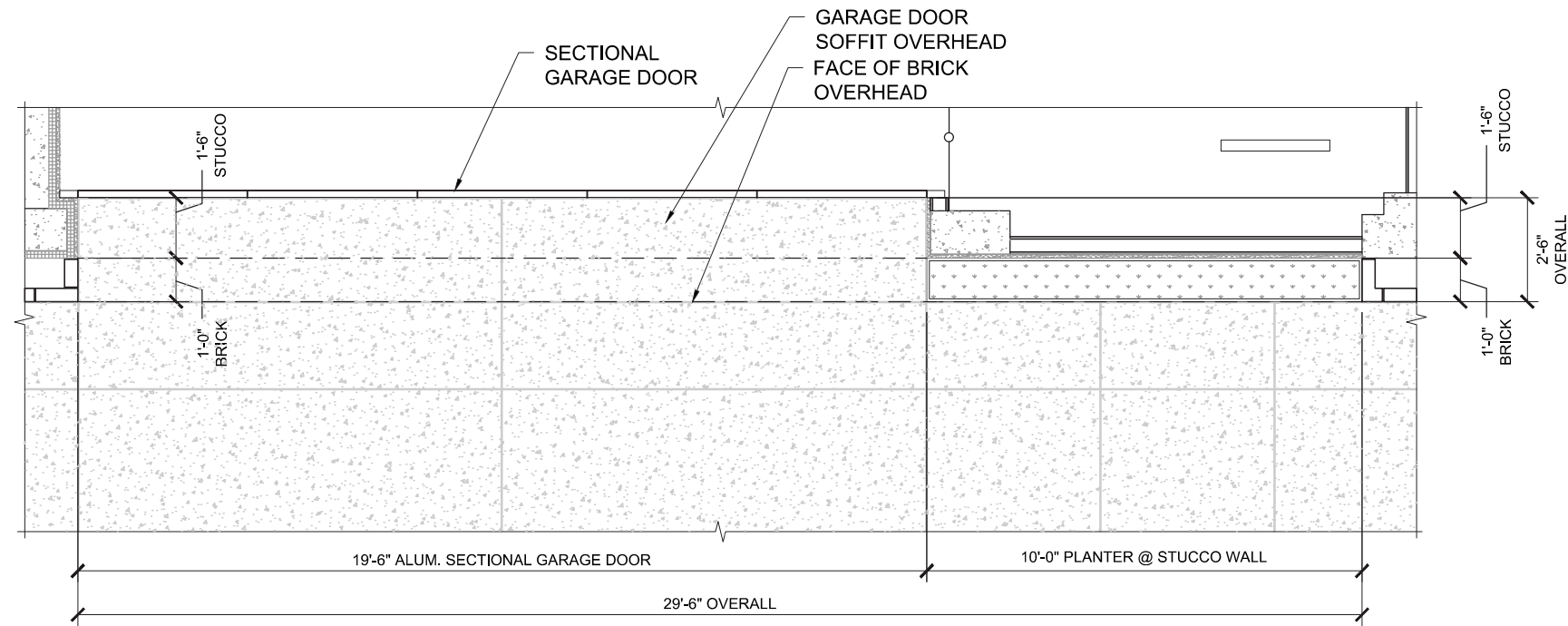


2 Parking Garage & Roof Deck (NW Rear Prop. Line)
A27

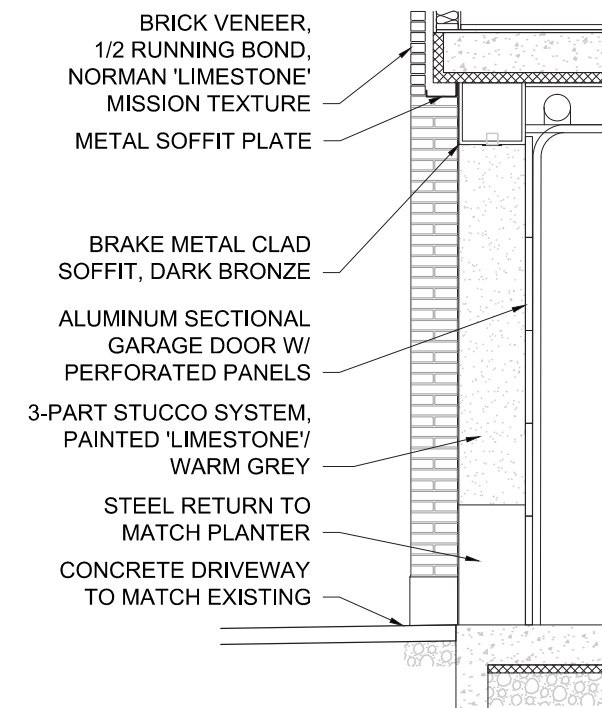
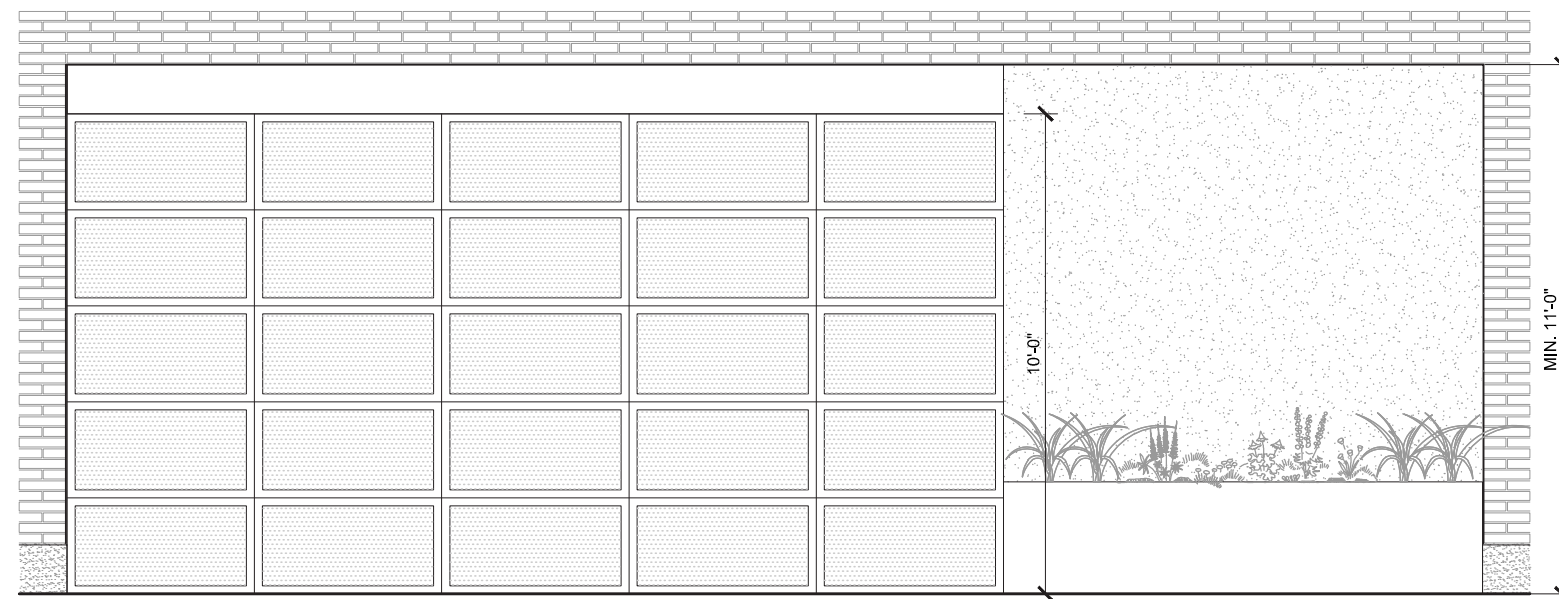




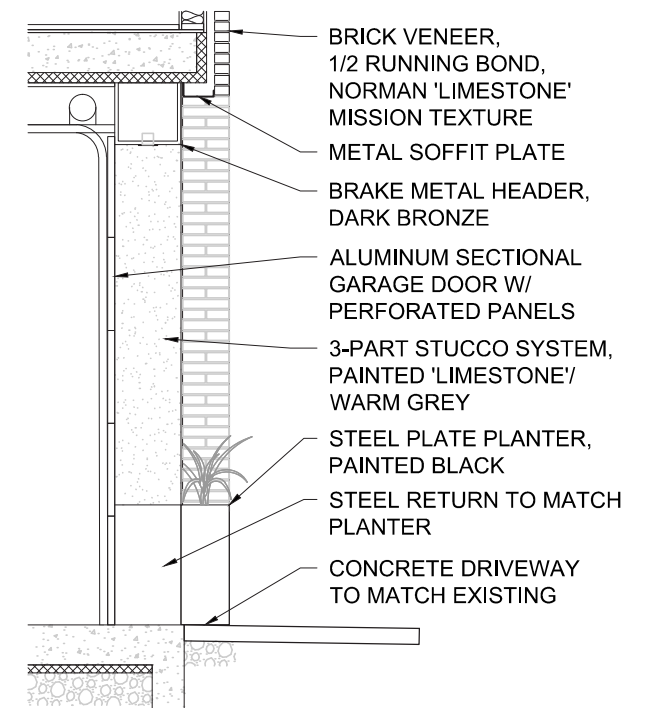
1 North Corner & Green Roof (Rear Prop. Line at SE Ladd Ave.)
A28



Sectional Garage Door w/ Perforated Panels
 Panels: 40% Open, 1/8" Dia. Holes, 3/16" Spacing Staggered
Telegram Building, Rasmussen/Grace, 1922 - National Register of Historic Places

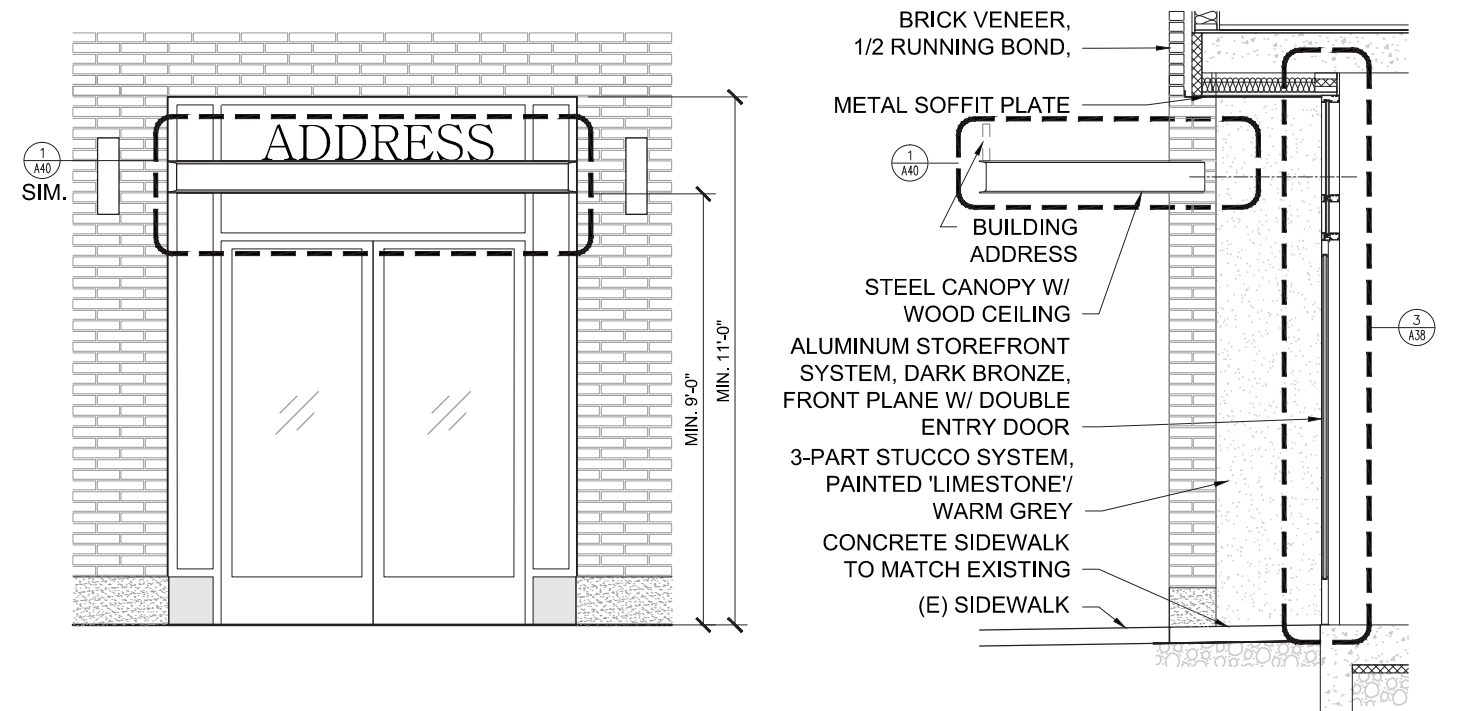
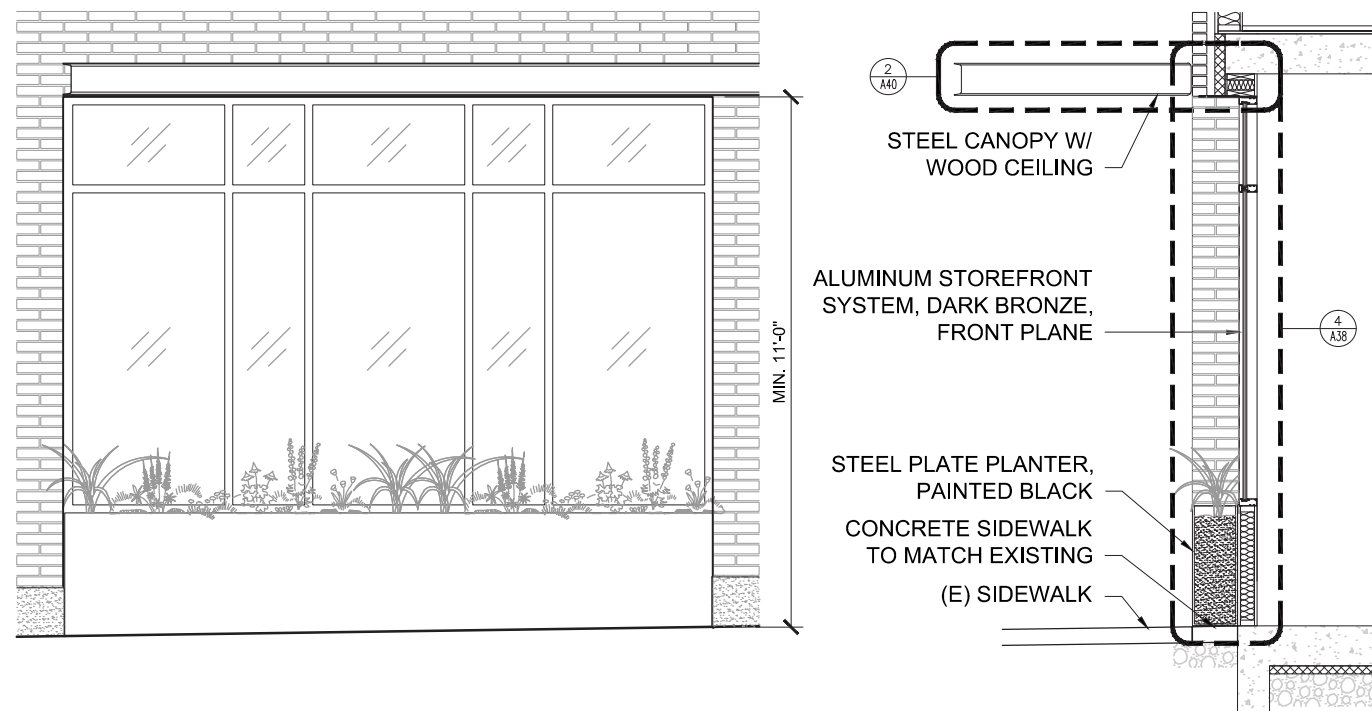
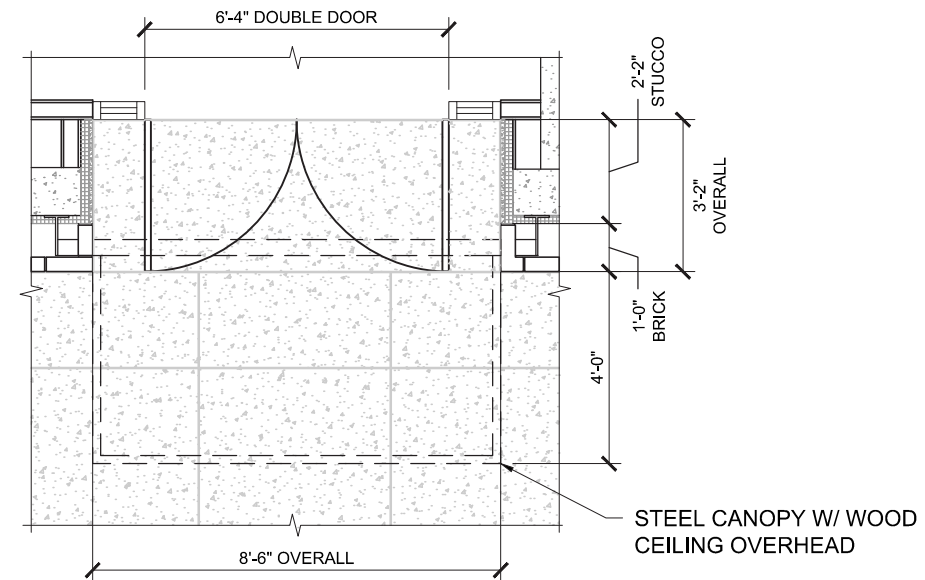
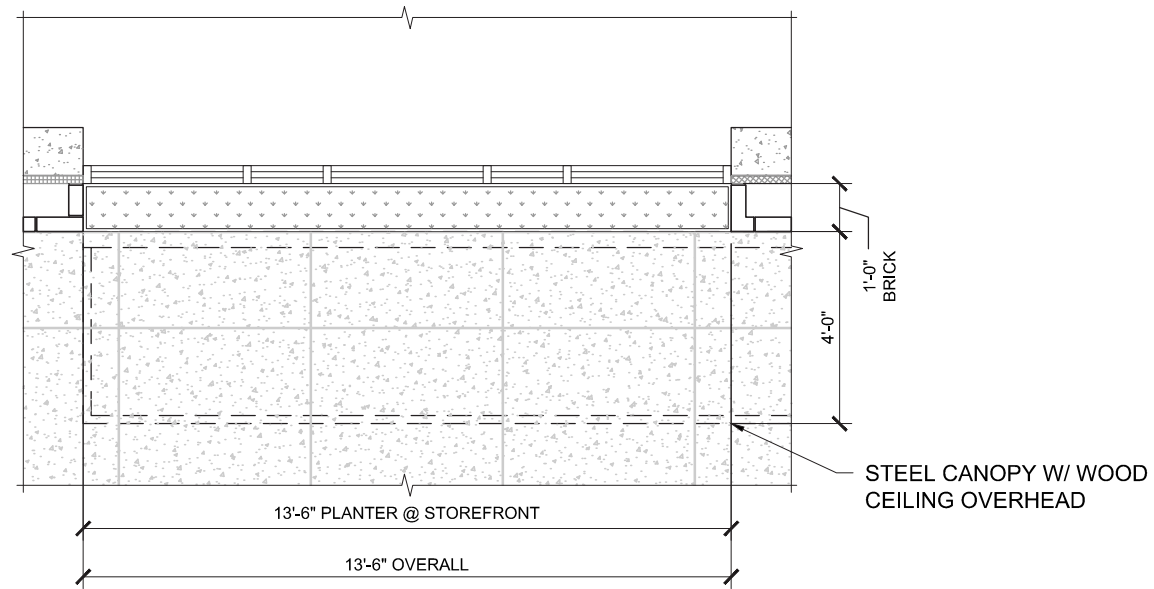


South Jamb



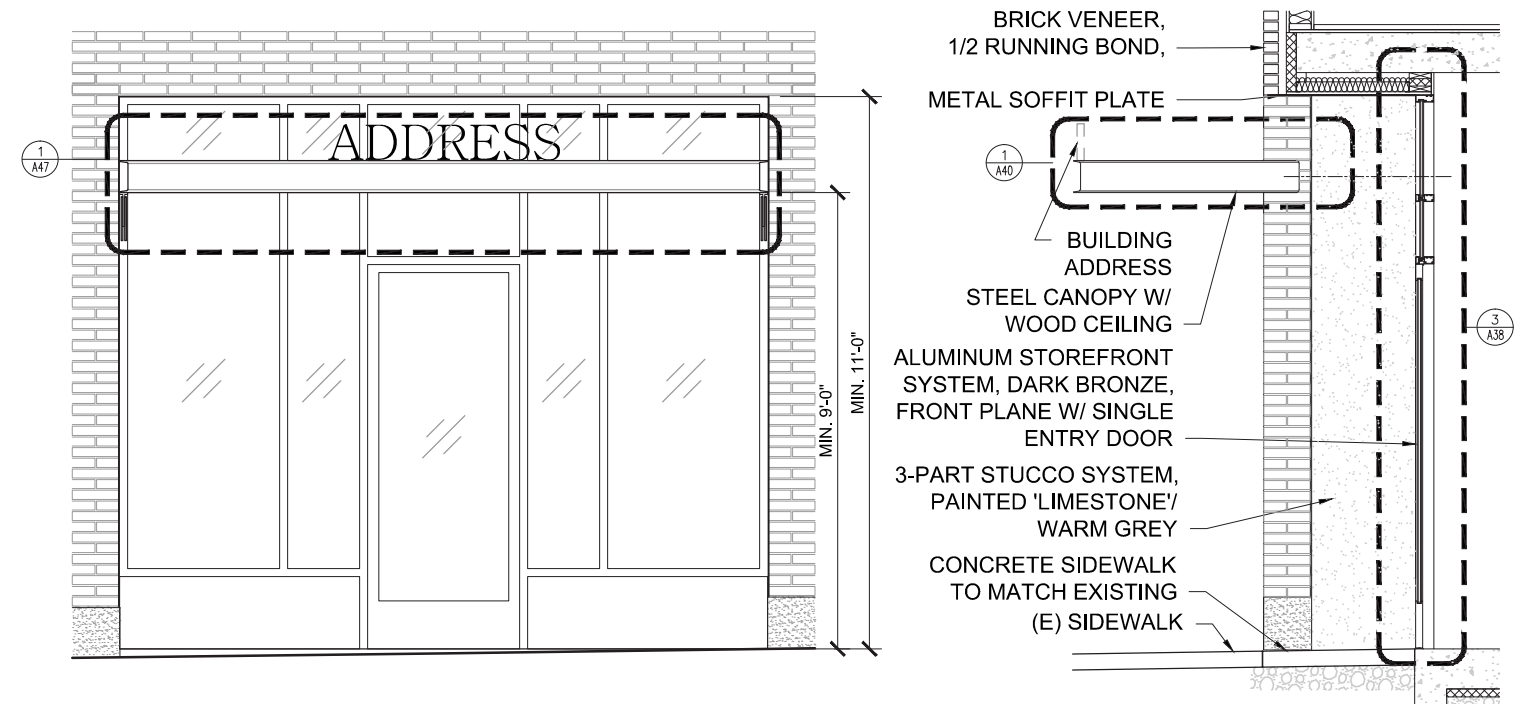
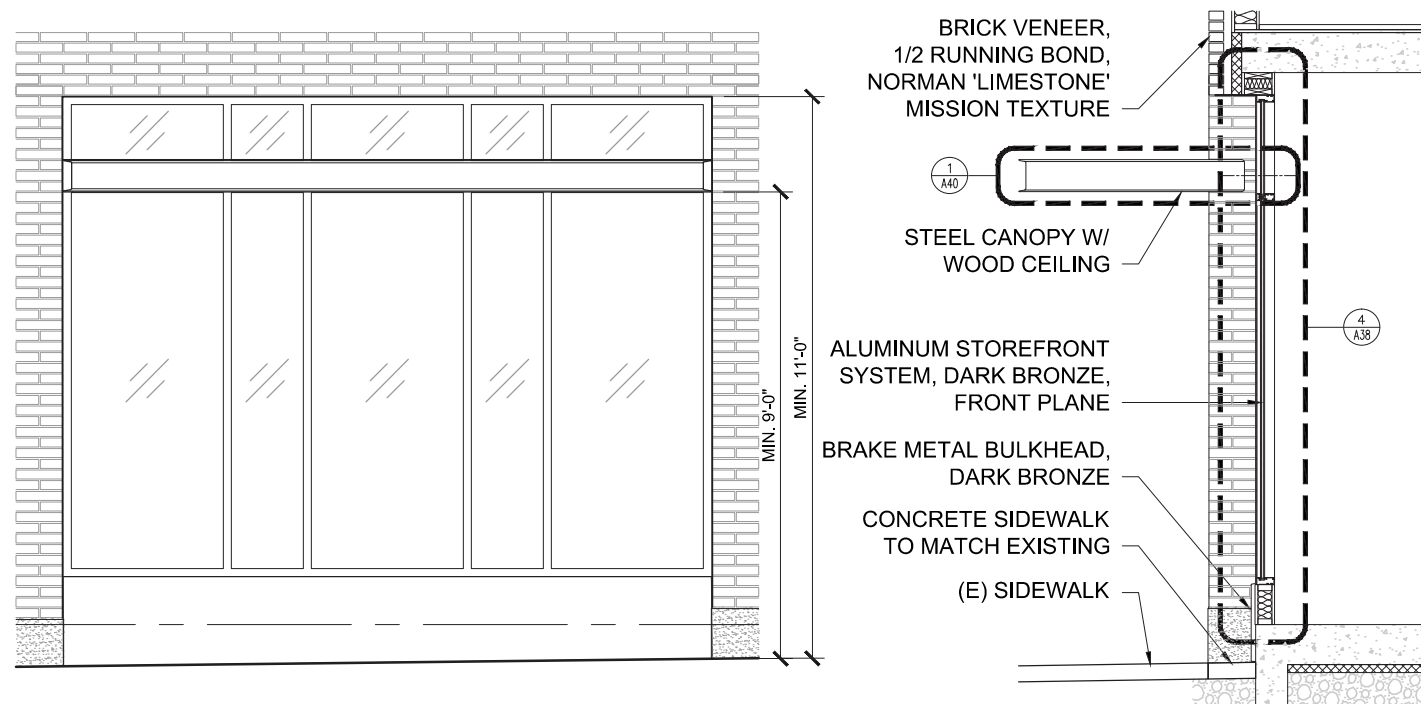
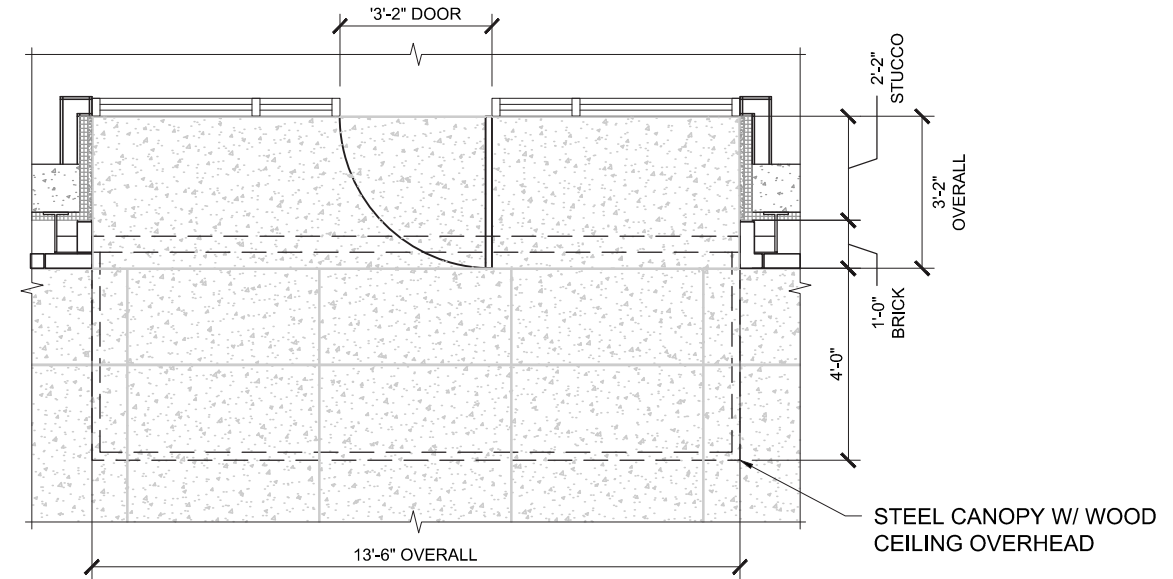
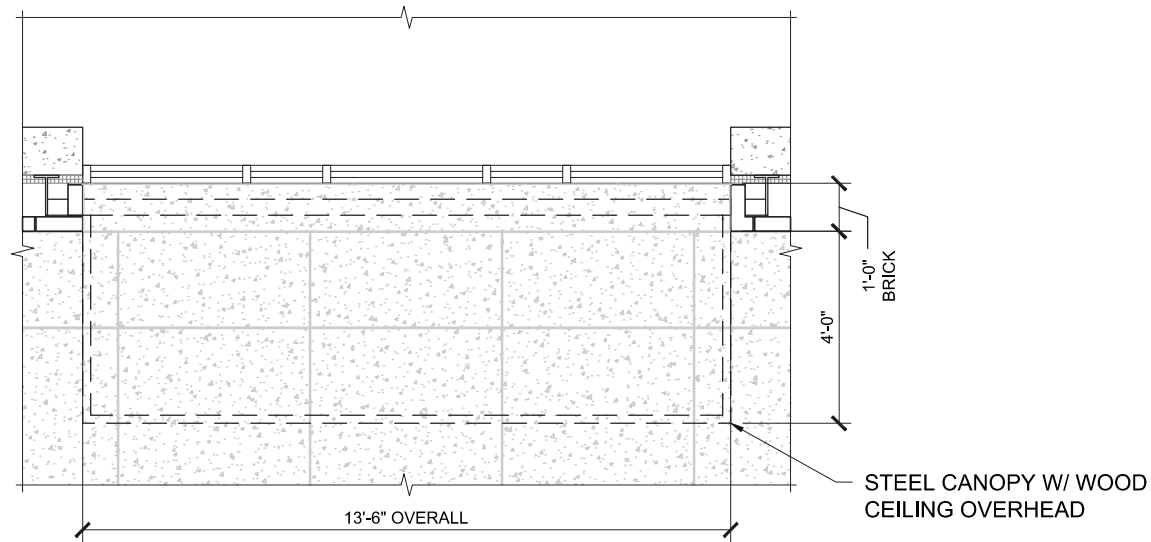
North Jamb

1 Parking Garage Entry
 A29



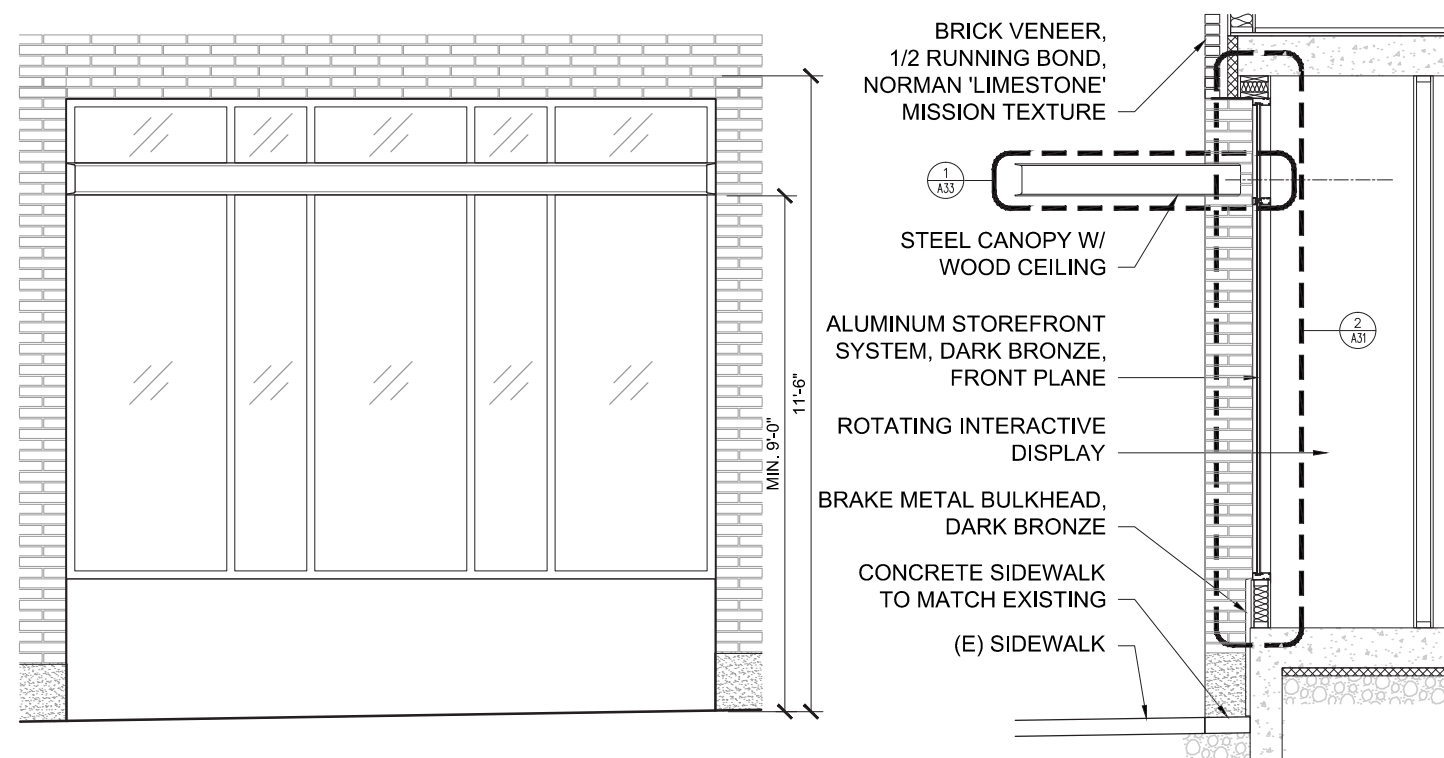
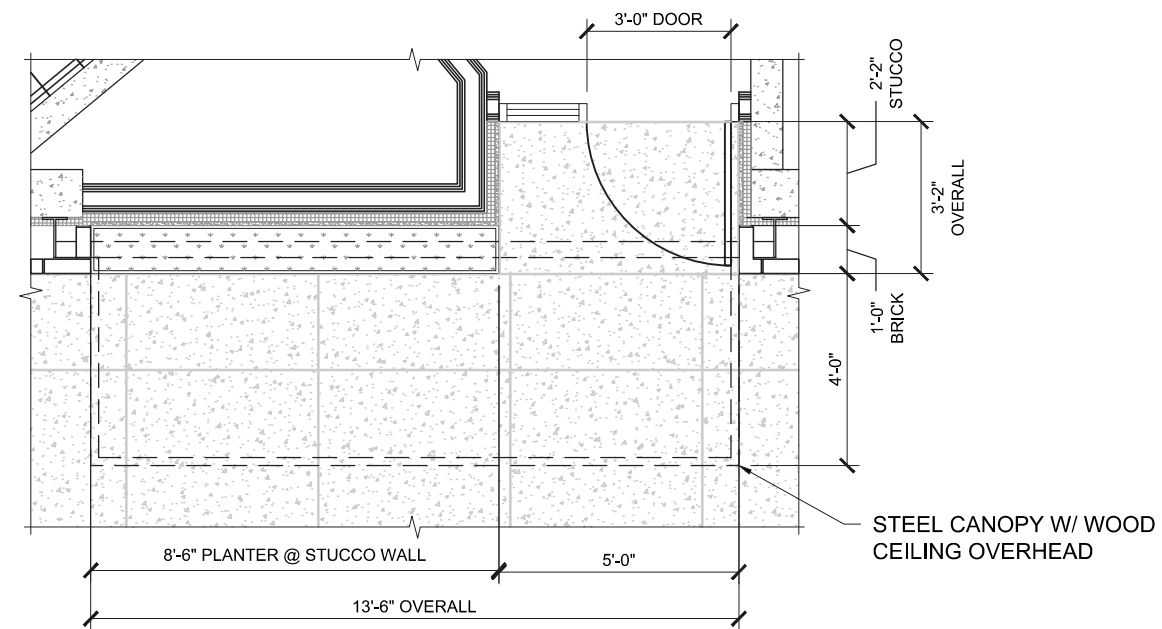
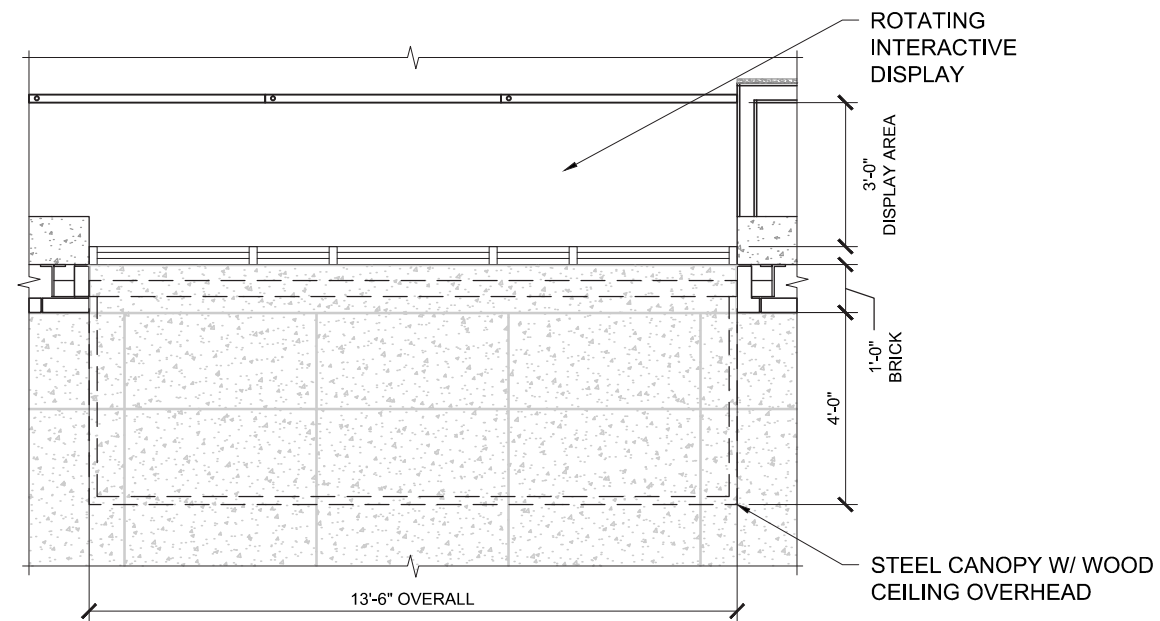
1 Storefront System at Planter Box
A30

2 Ground Floor Lobby Entry
A30

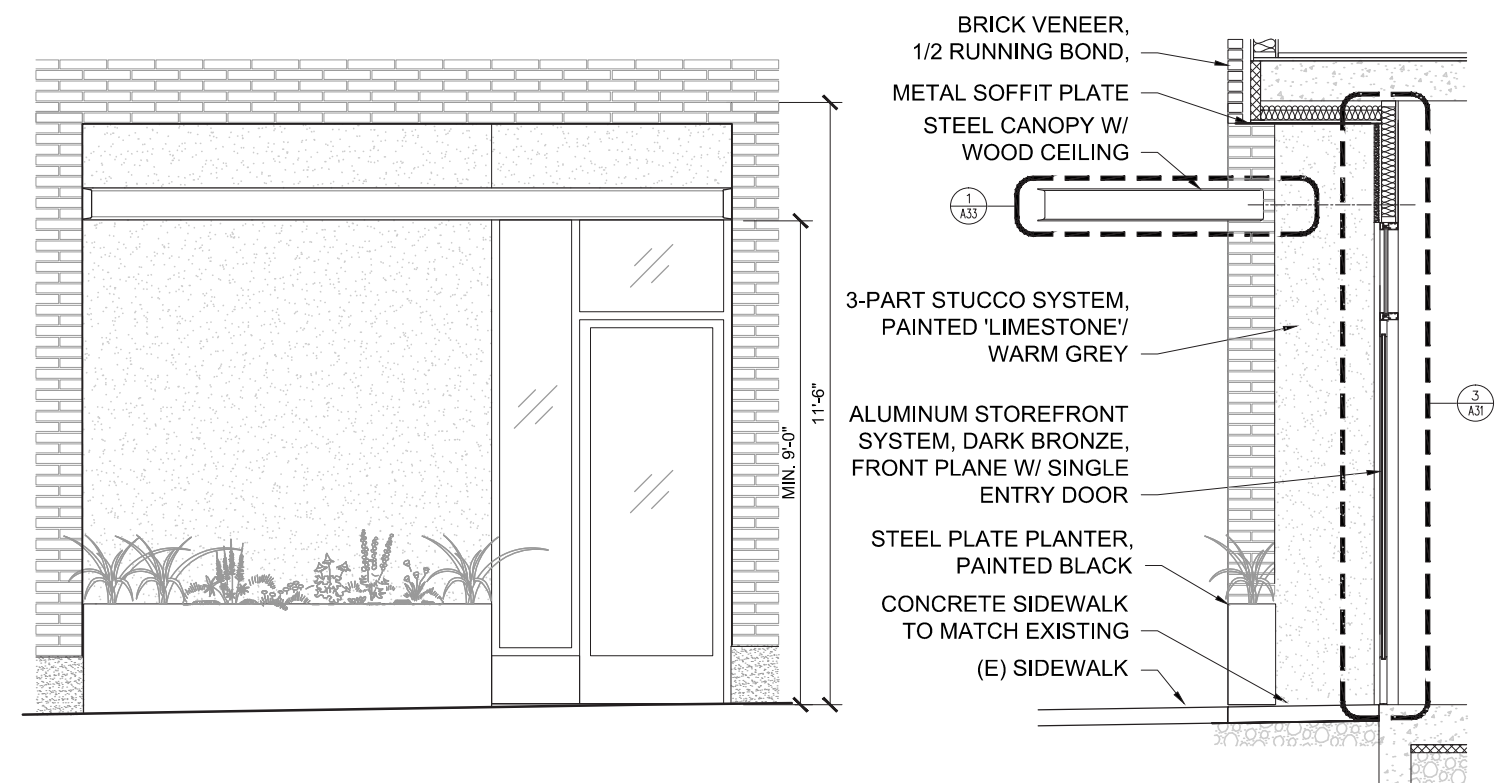


1 Storefront System & Bulkhead
A31

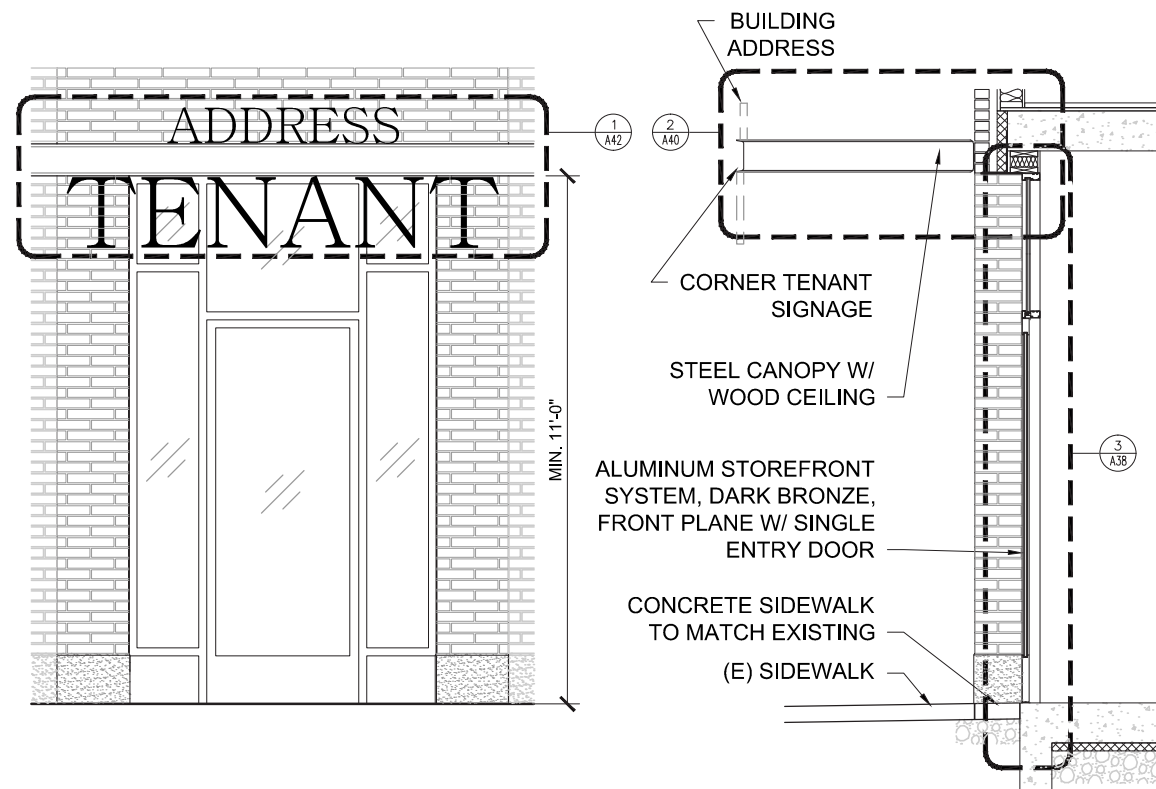
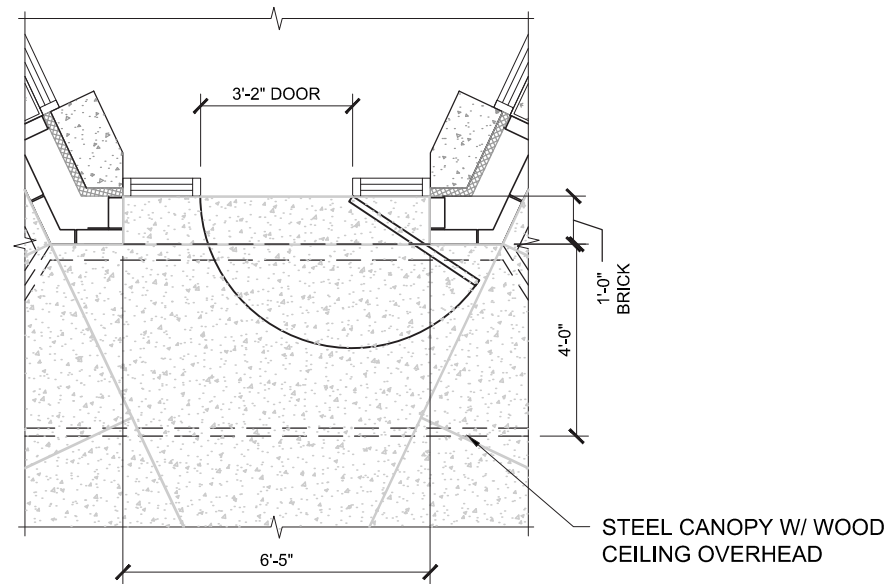
2 Division Street Tenant Entry
A31



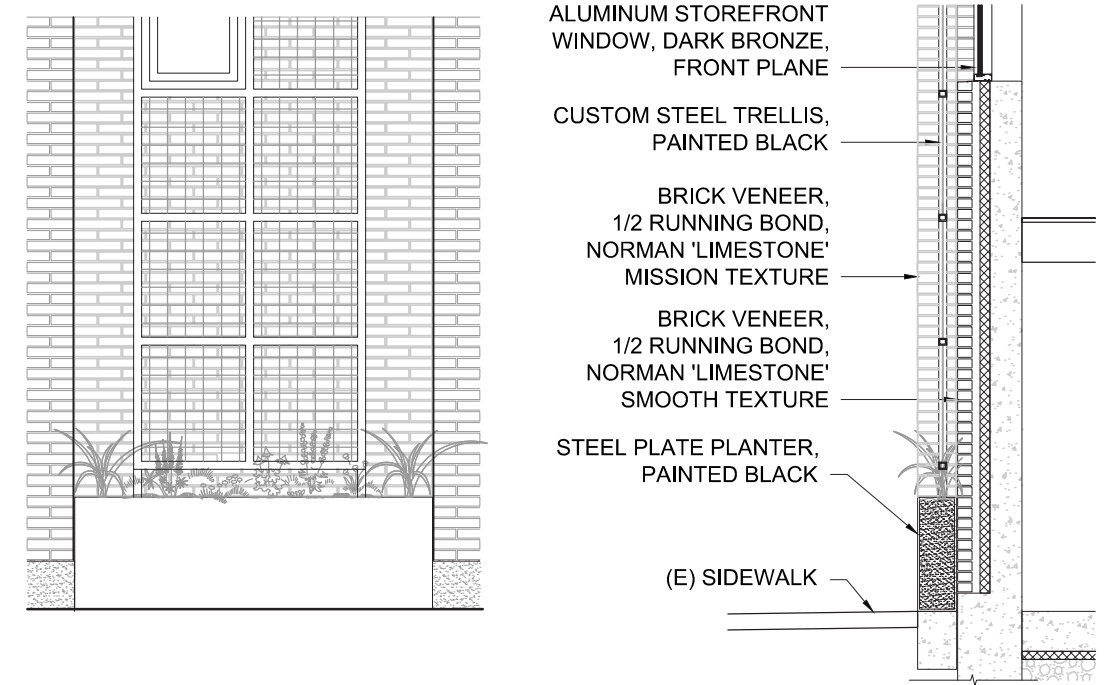
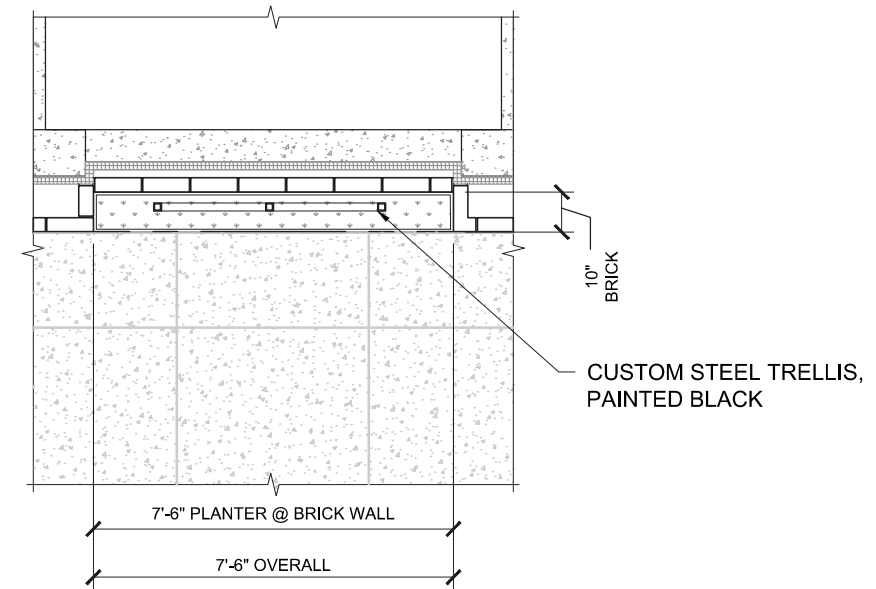
1 Storefront System at Interactive Display



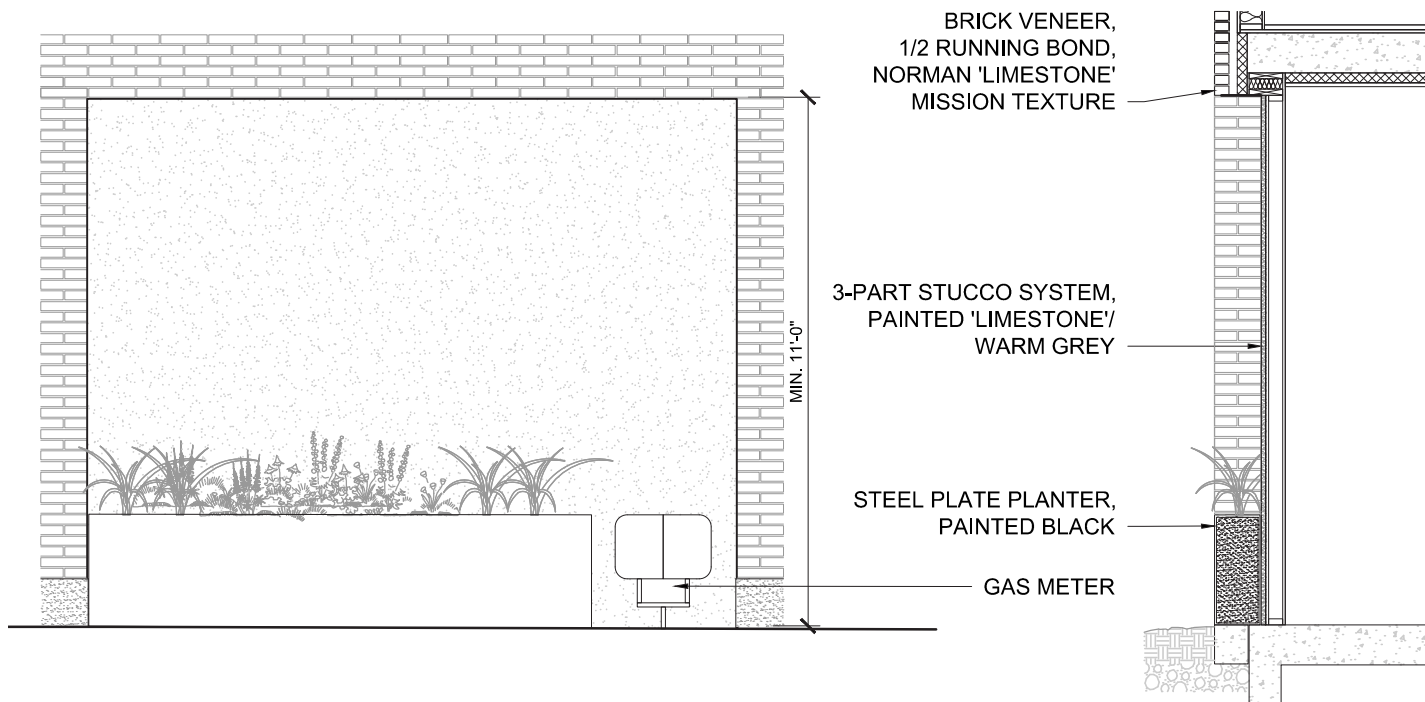
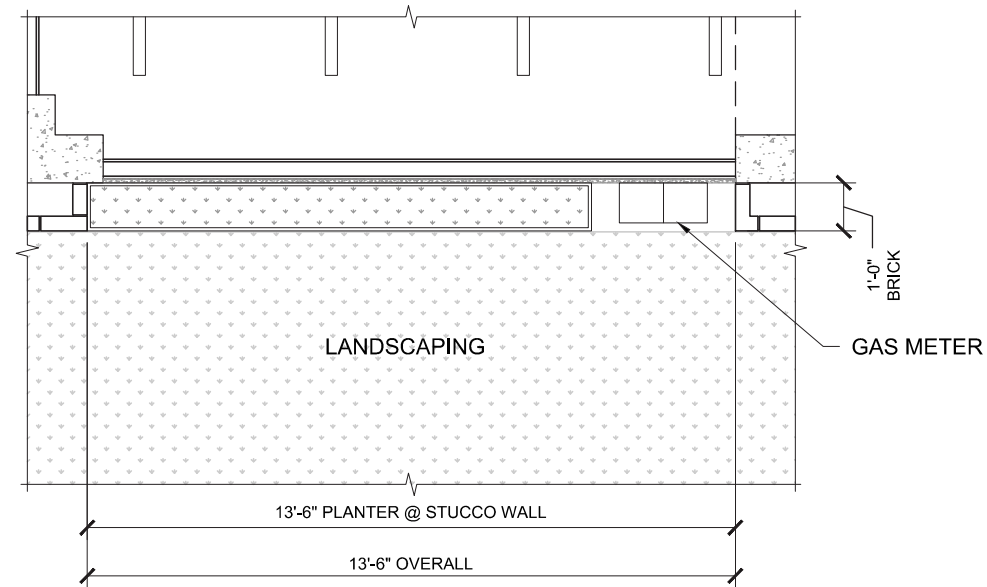
2 Division Street Stair Exit
A32



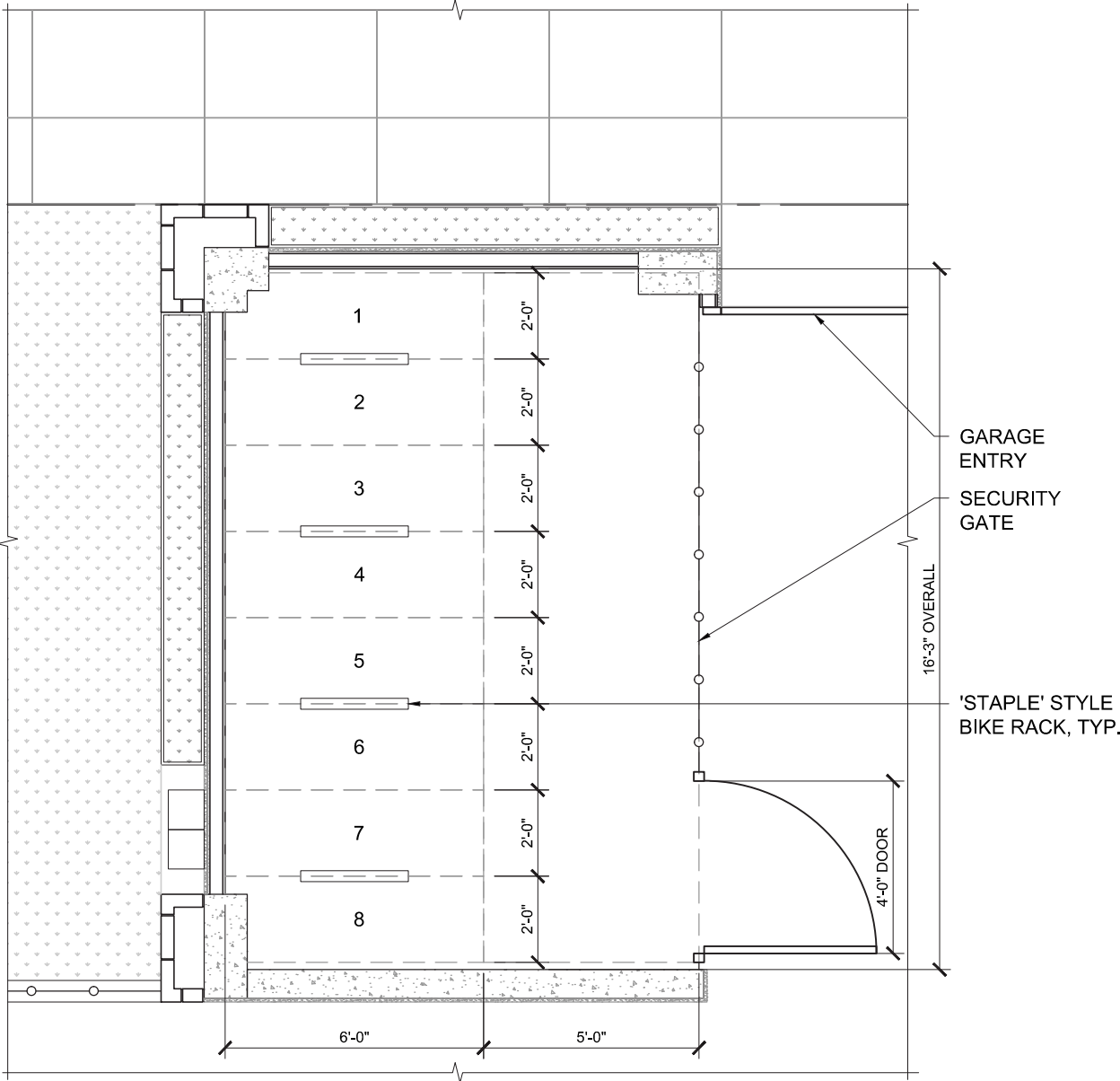
1 Corner Tenant Entry
A33



2 Stair Recess and Trellis Planter
A33



1 Planter Box at Stucco Wall
A34



BICYCLE PARKING REQUIREMENTS

Short-Term Spaces:

- 2 Minimum
 - 1 per 5,000 S.F. of Net Building Area (Retail)
 - 1 per 40,000 S.F. of Net Building Area (Office)
- or
- Bicycle Parking Fund contribution per Portland Zoning Code Section 33.266.220.2.c if it is not possible to provide all of the required Short-Term Bicycle Parking on Site in a way that complies with all of the Standards in A.2.b

A.2.b. Location. Short-term bicycle parking must be:
(1) Outside a building;
(2) At the same grade as the sidewalk or at a location that can be reached by an accessible route; and
•Building with more than one main entrance. For a building with more than one main entrance, the bicycle parking must be along all facades with a main entrance, and within 50 feet of at least one main entrance on each facade that has a main entrance, as measured along the most direct pedestrian access route.

Long-Term Spaces:

- 2 Minimum
- 1 per 12,000 S.F. of Net Building Area (Retail)
- 1 per 10,000 S.F. of Net Building Area (Office)

BICYCLE PARKING CALCULATIONS

Short-Term Spaces:

Net Building Area (Retail) = 2,201 S.F.
Net Building Area (Office) = 22,545 S.F.

$2,201 / 5,000 = .44$ Spaces
 $22,545 / 40,000 = .56$ Spaces

Total = 1.00 Spaces (2) Required

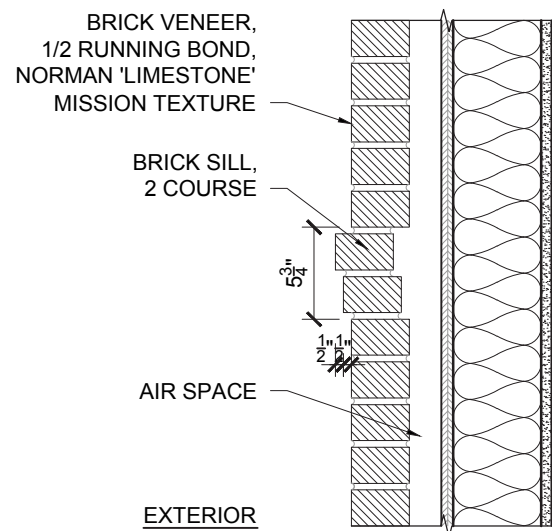
*Building lines at the site's frontages and limited open space at the rear do not allow area for 2 short-term spaces within 50 feet of at least one main entrance on each facade. Instead, this project will make a **Contribution to the Bicycle Parking Fund** per 33.266.220.2.c to meet the short-term requirements.*

Long-Term Spaces:

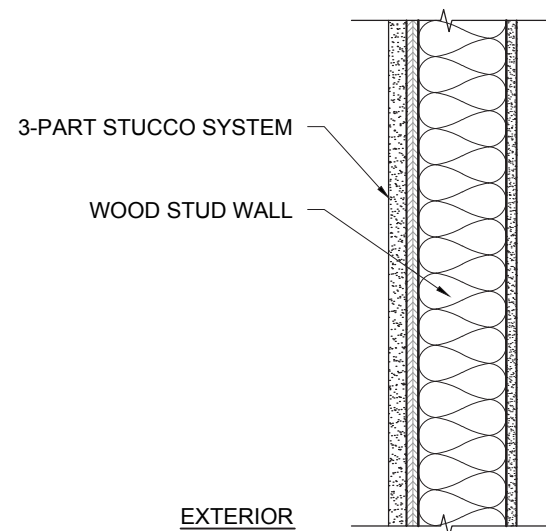
Net Building Area (Retail) = 2,201 S.F.
Net Building Area (Office) = 22,545 S.F.

$2,201 / 12,000 = .18$
 $22,545 / 10,000 = 2.25$

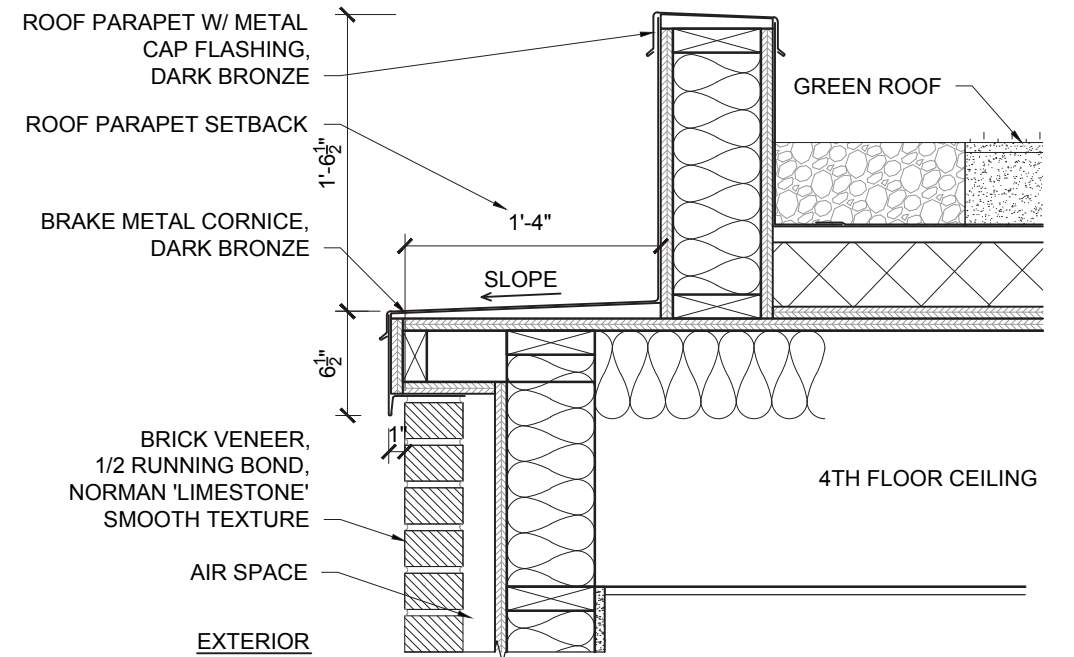
Total = 2.43 Long-Term Spaces (3) Required
8 Provided



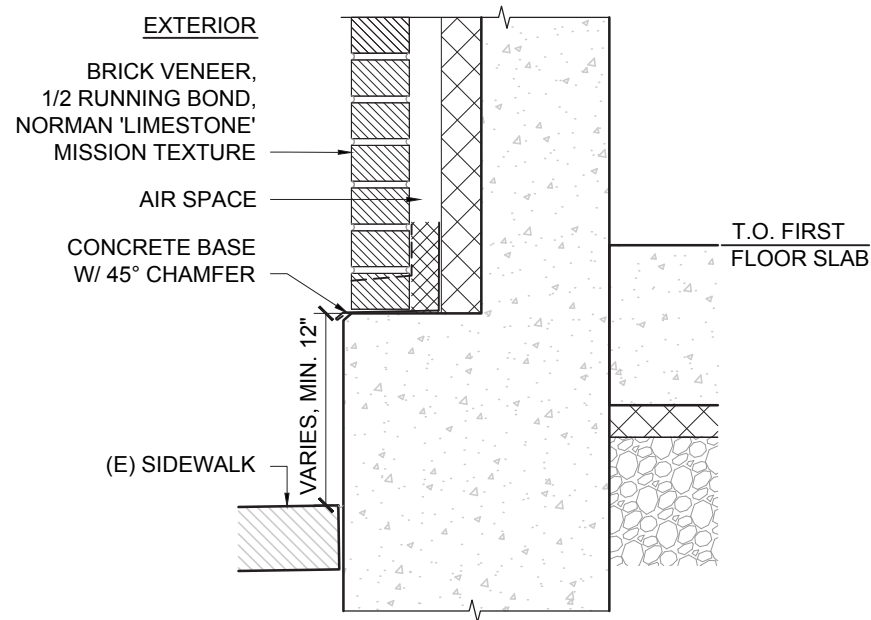
1 Brick Wall Reveal, Typ.
A36



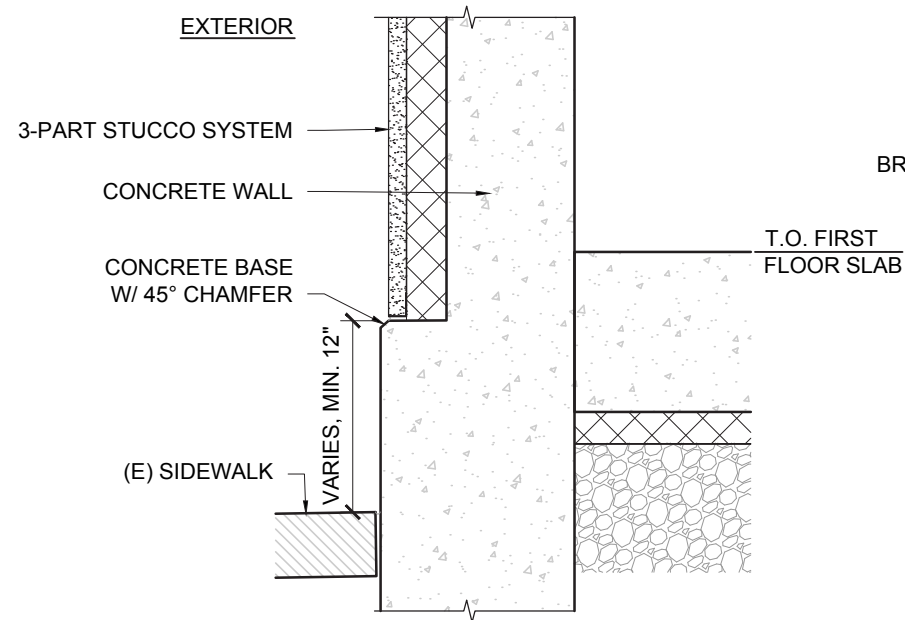
2 Stucco Wall Assembly, Typ.
A36



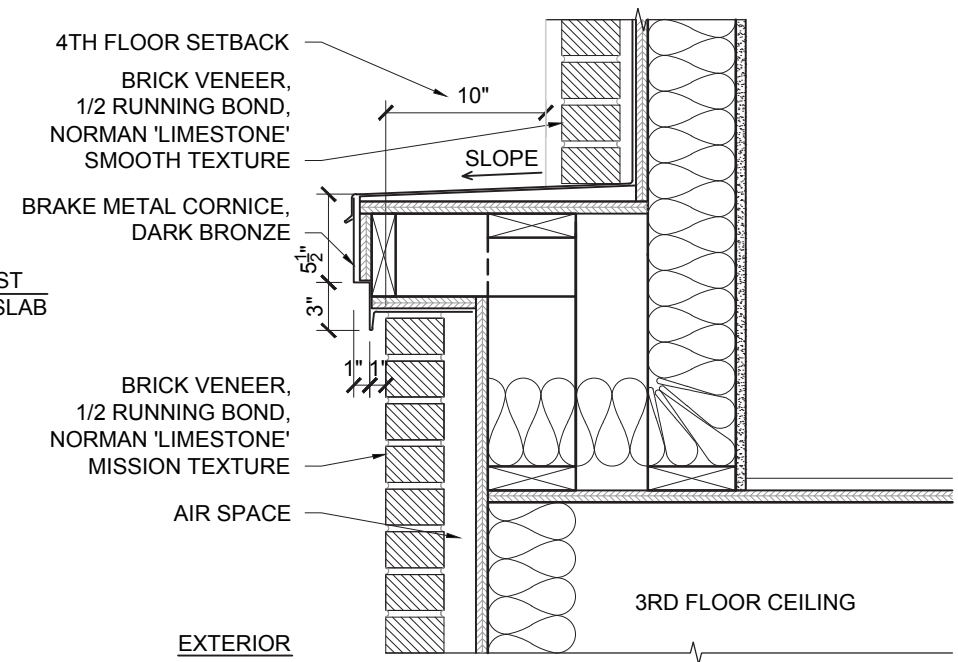
3 Cornice & Parapet at Roof
A36



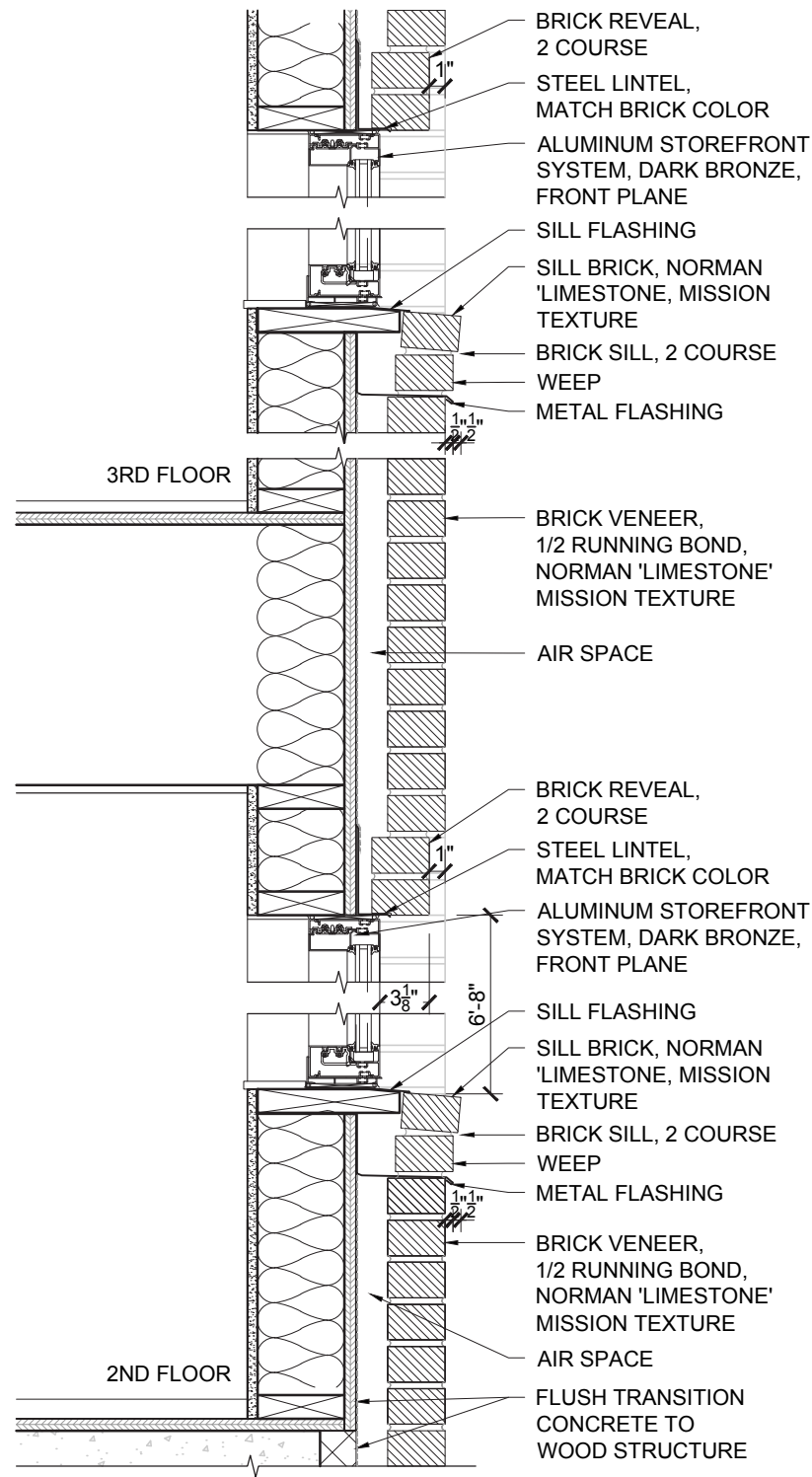
4 Wall Base at Brick, Typ.
A36



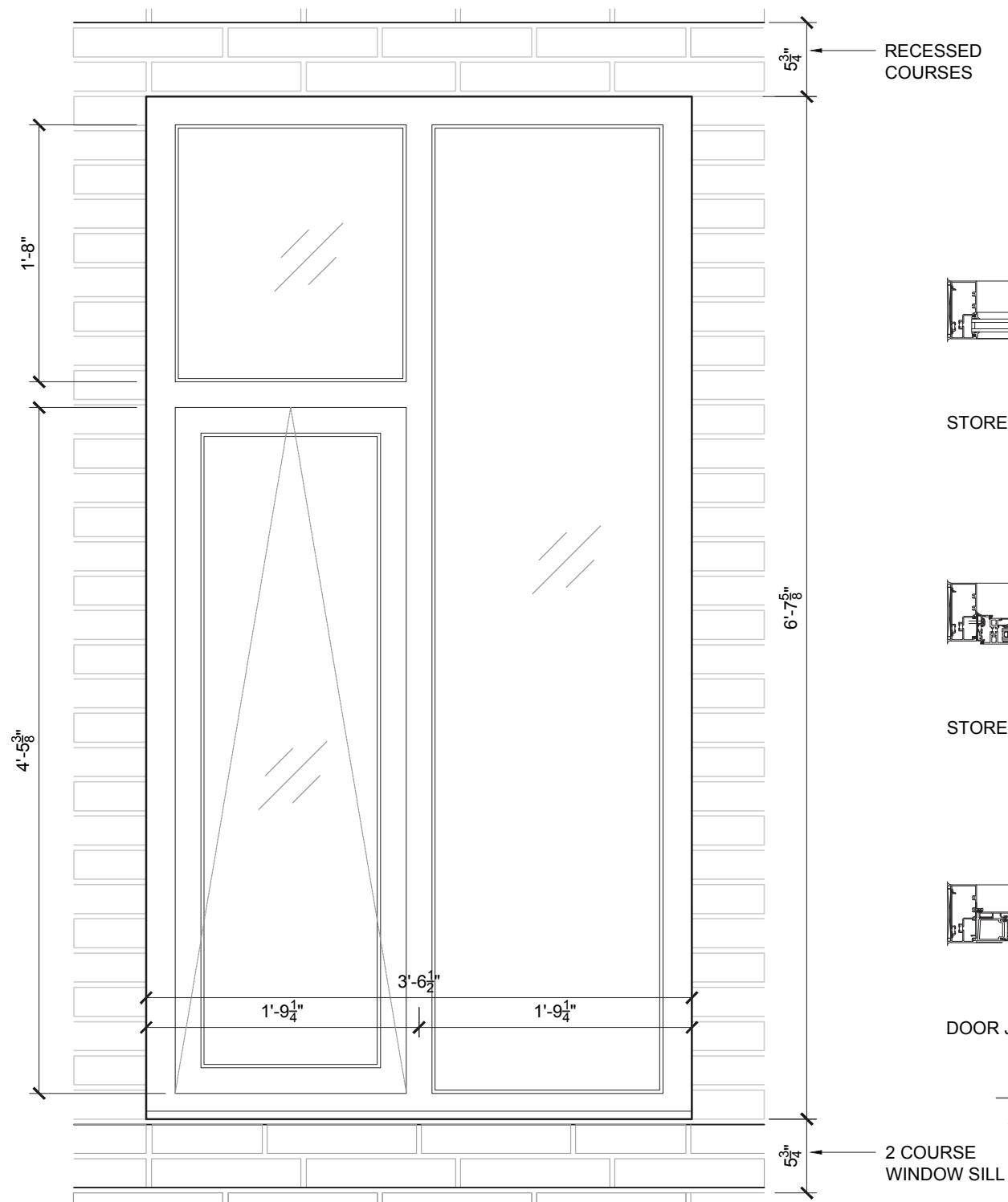
5 Wall Base at Stucco, Typ.
A36



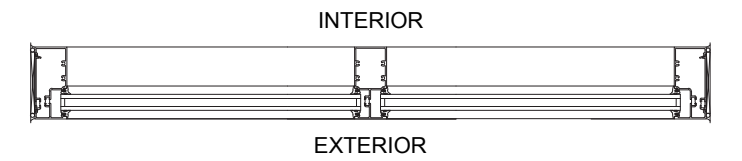
6 Cornice Between Third & Fourth Floor
A36



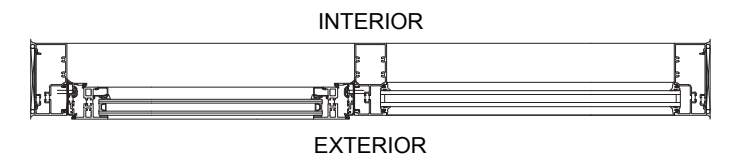
1 Second & Third Floor Wall Section, Typ.
A37



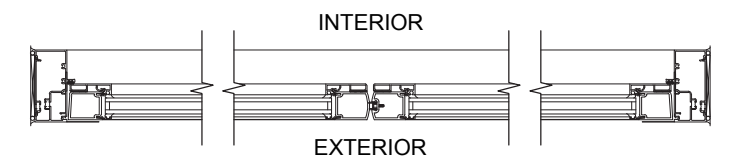
2 Operable Window Profile, Typ.
A37



STOREFRONT JAMB DETAIL W/ VERTICAL MULLION, TYP.

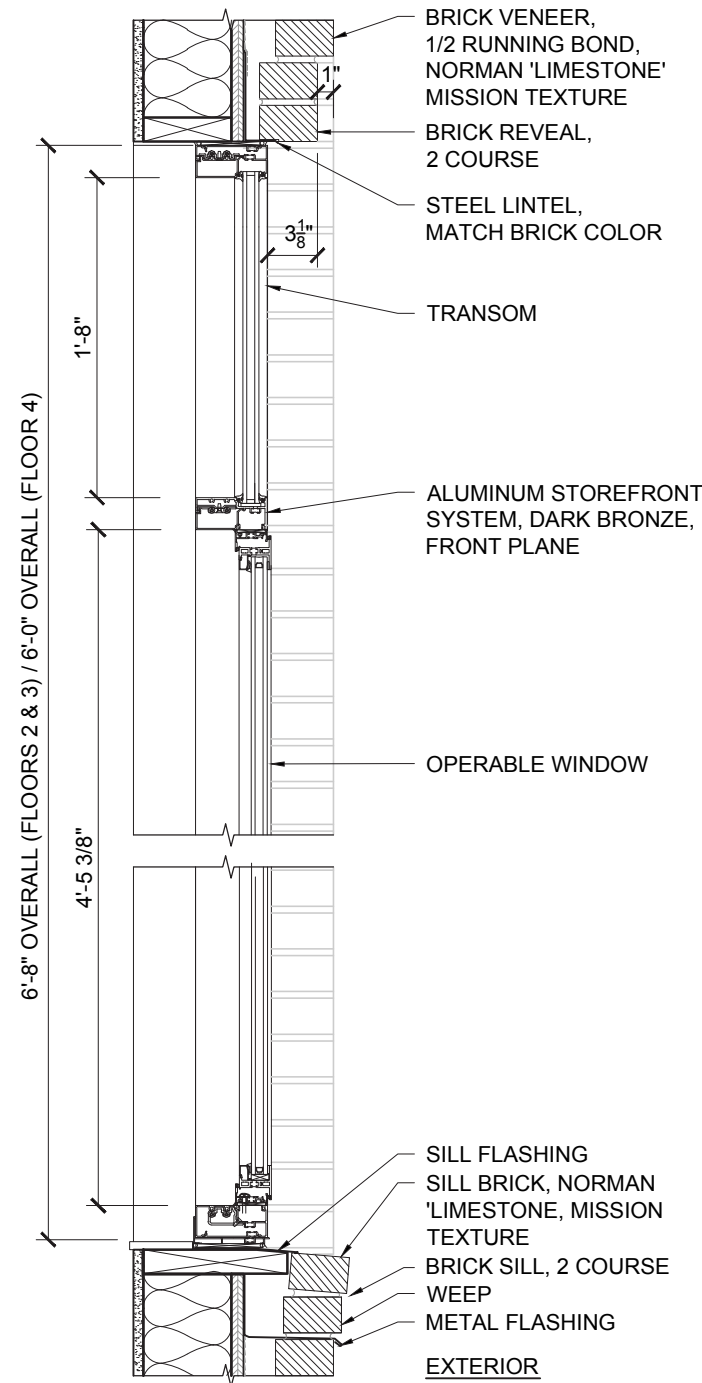


STOREFRONT JAMB DETAIL, W/ OPERABLE WINDOW SASH, TYP.

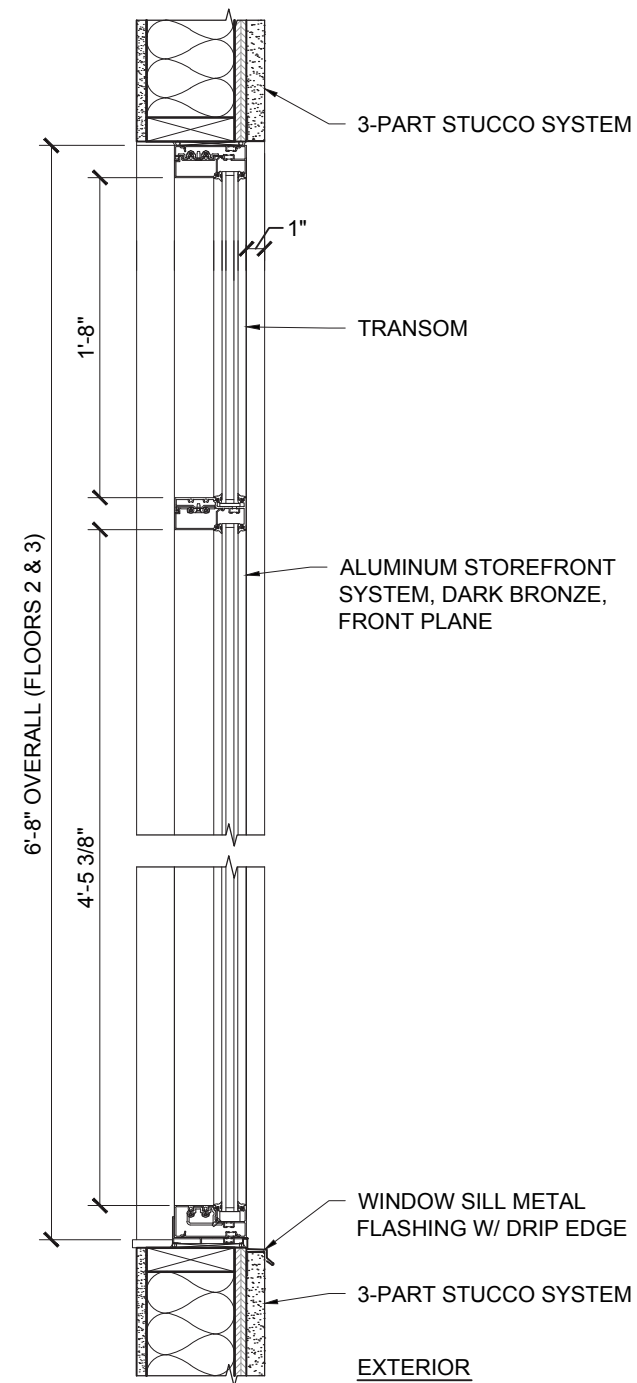


DOOR JAMB DETAIL, W/ DOUBLE DOOR MEETING STILES, TYP.

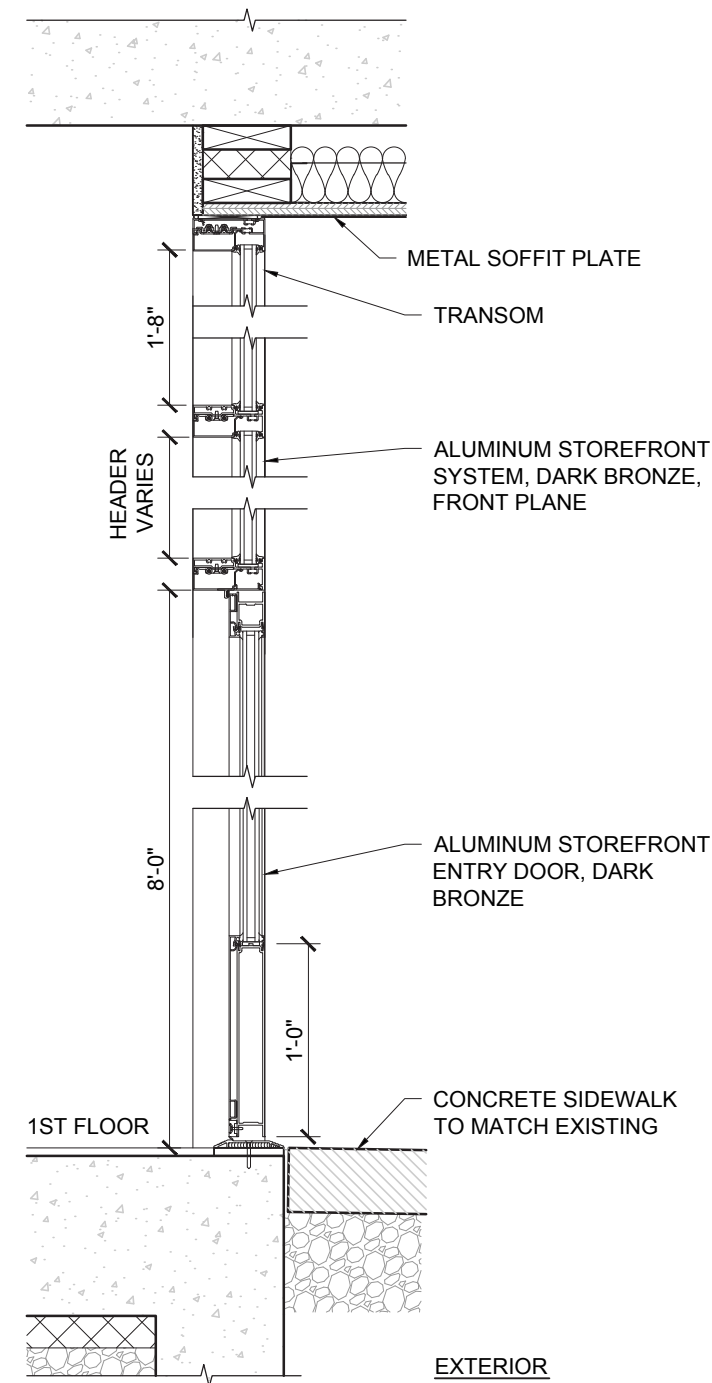
3 Typ. Jamb Details
A37



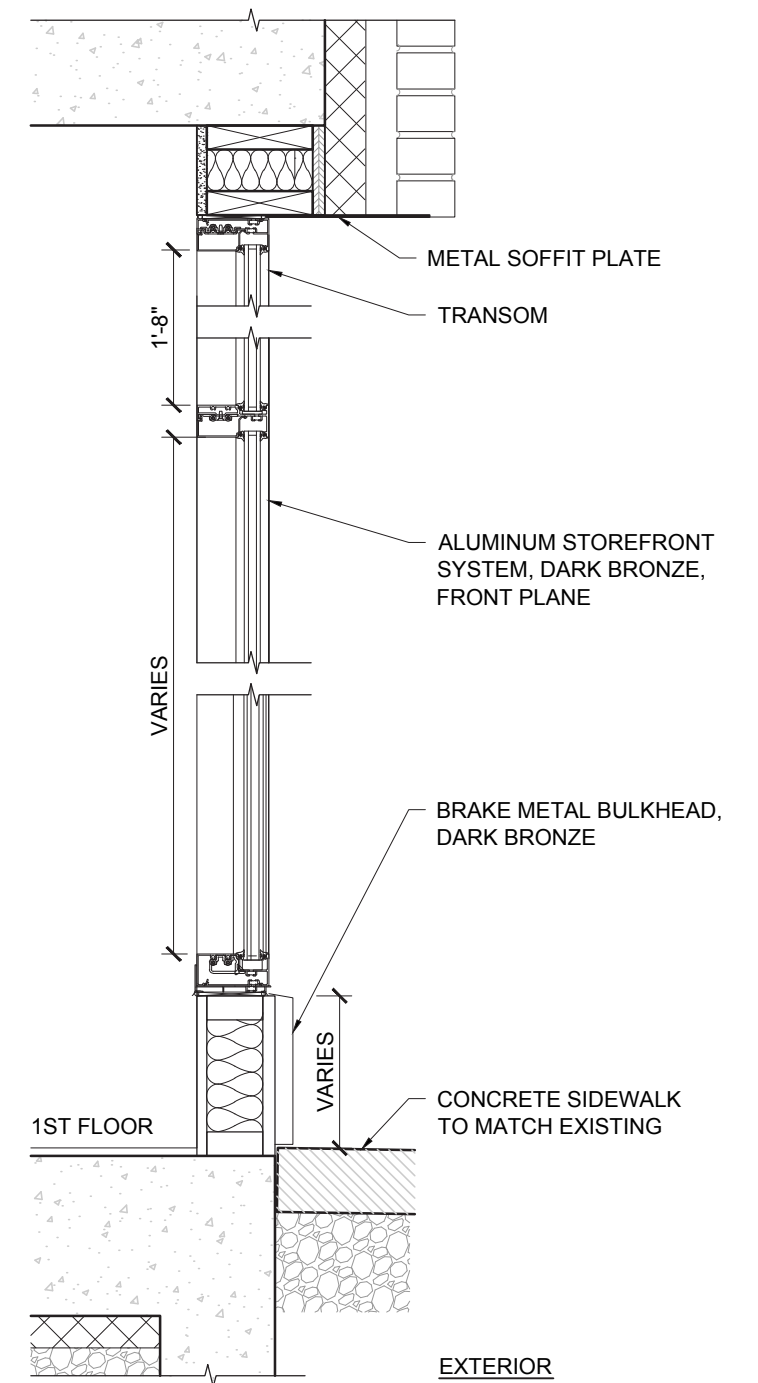
1 Window at Brick Wall, Typ.
A38



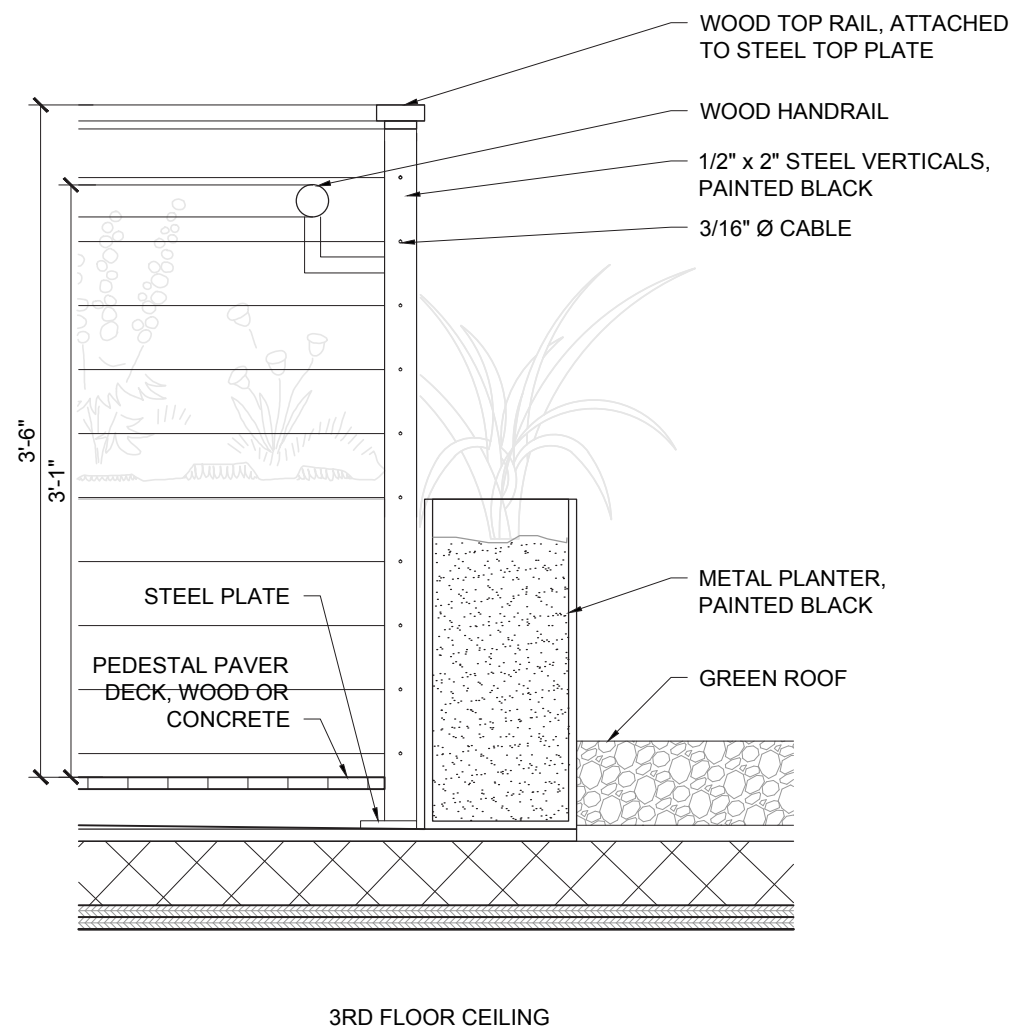
2 Window at Stucco Wall, Typ.
A38



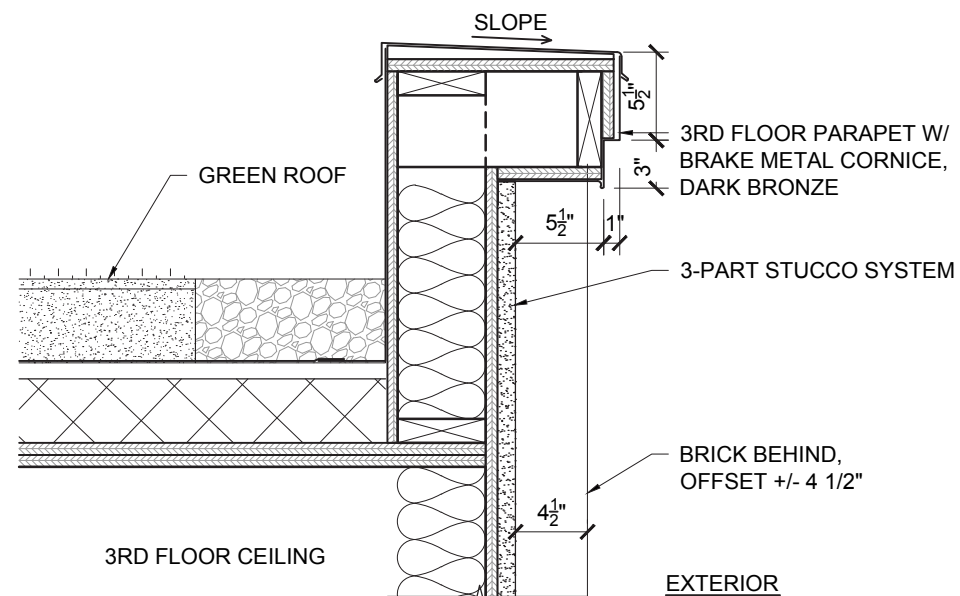
3 Storefront Entry Door, Typ.
A38



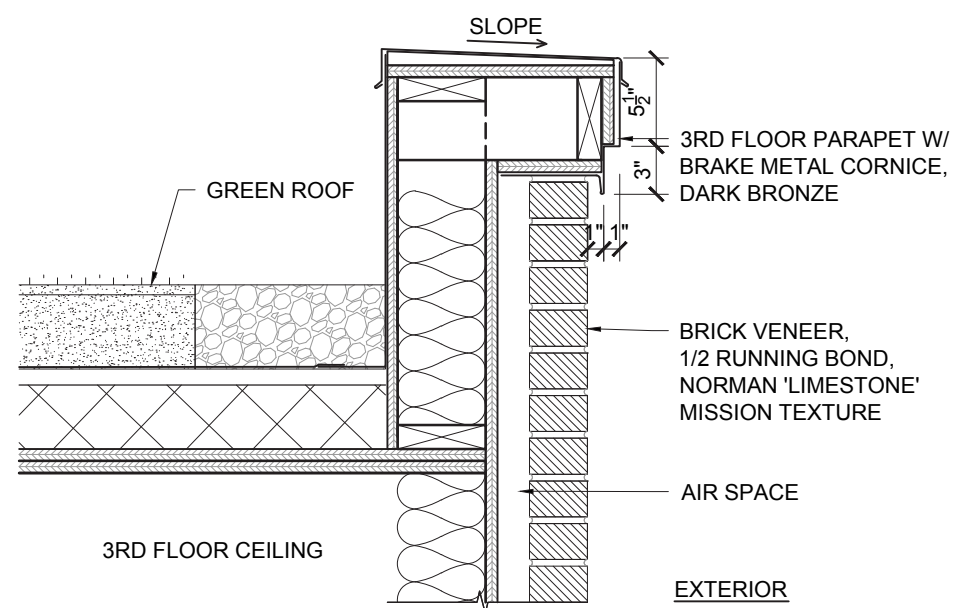
4 Storefront at Bulkhead, Typ.
A38



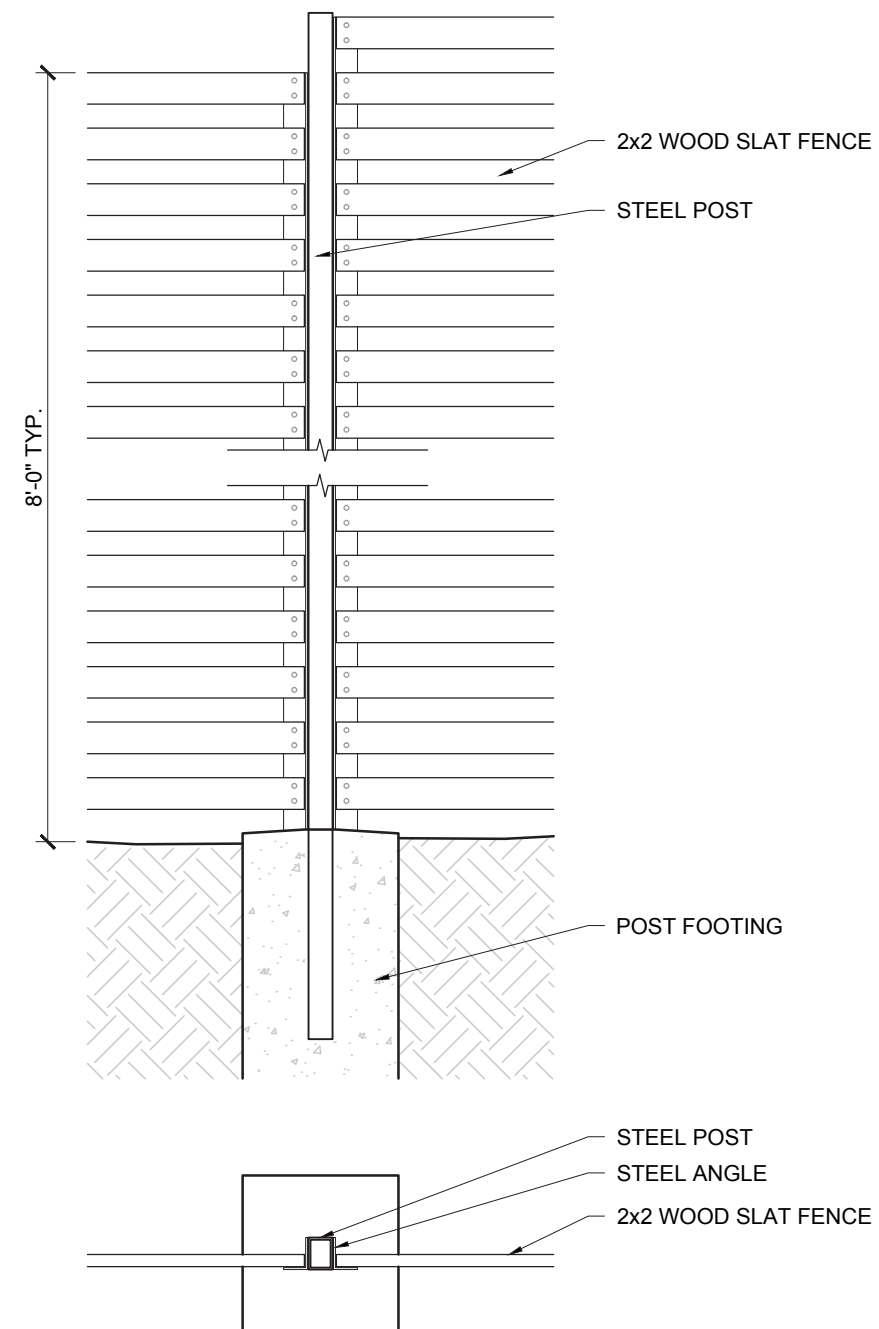
1 Guardrail at Roof Deck
A39



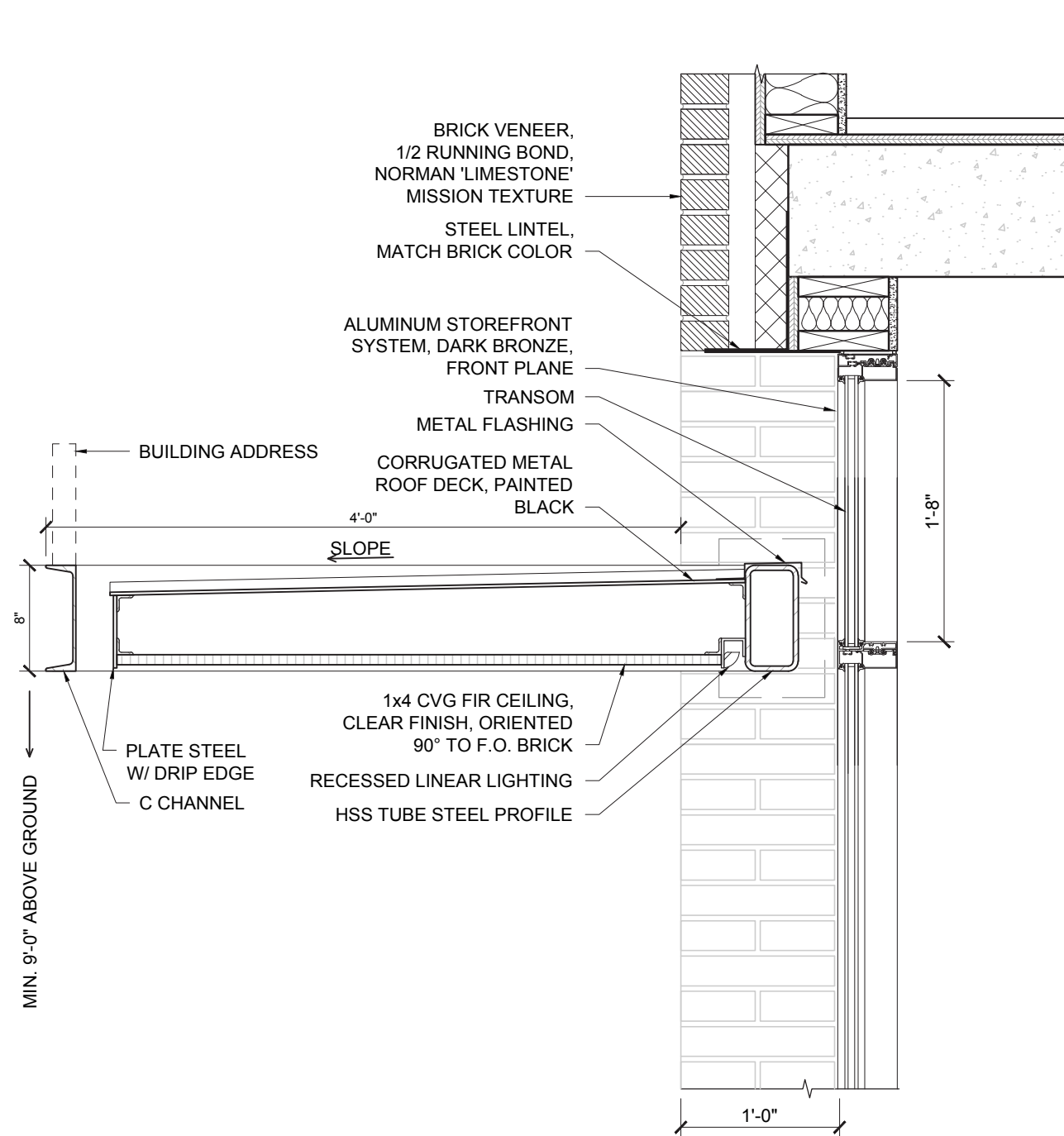
2 Parapet Cornice at Third Floor Stucco Wall
A39



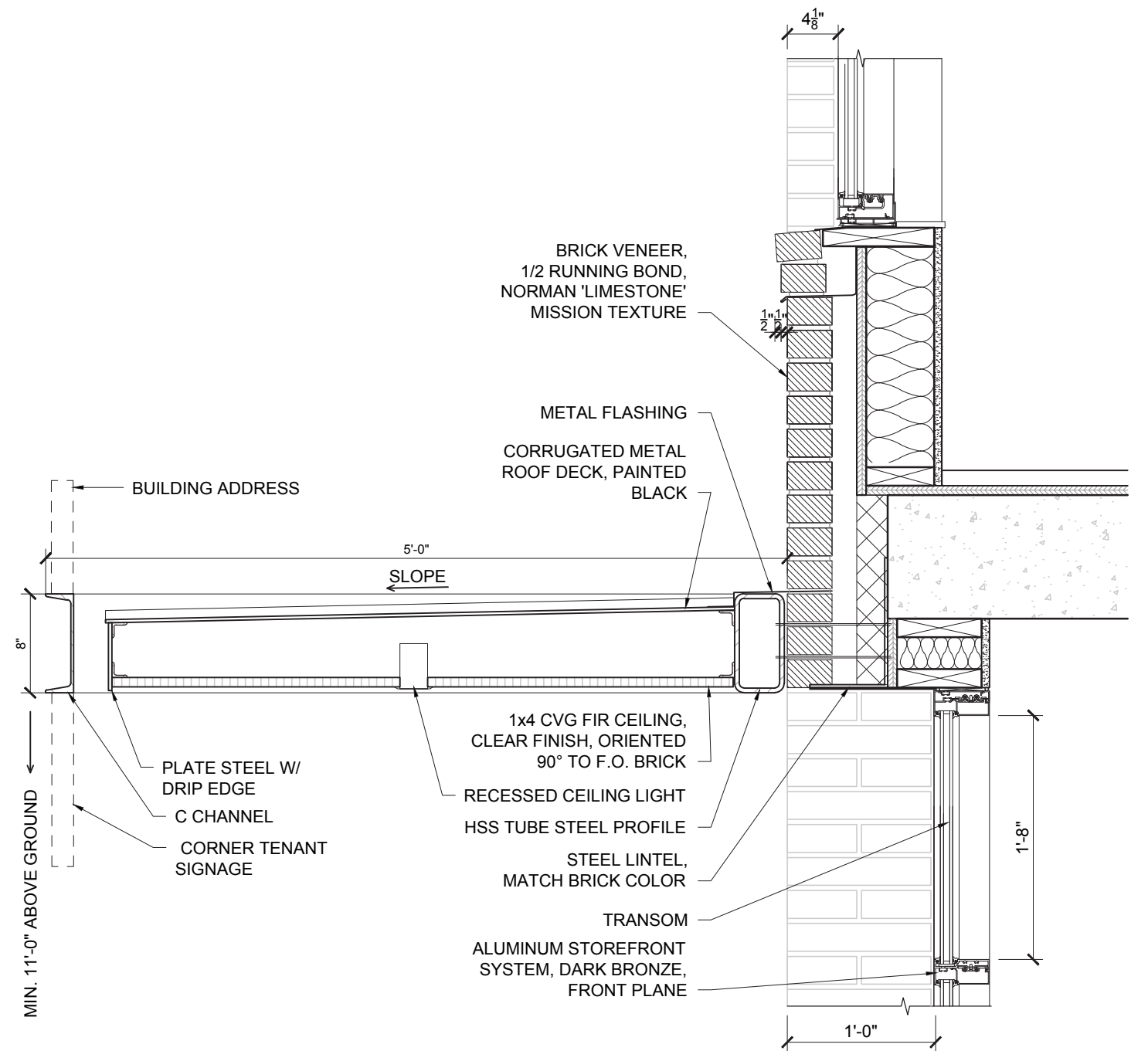
3 Parapet Cornice at Third Floor Brick Wall
A39



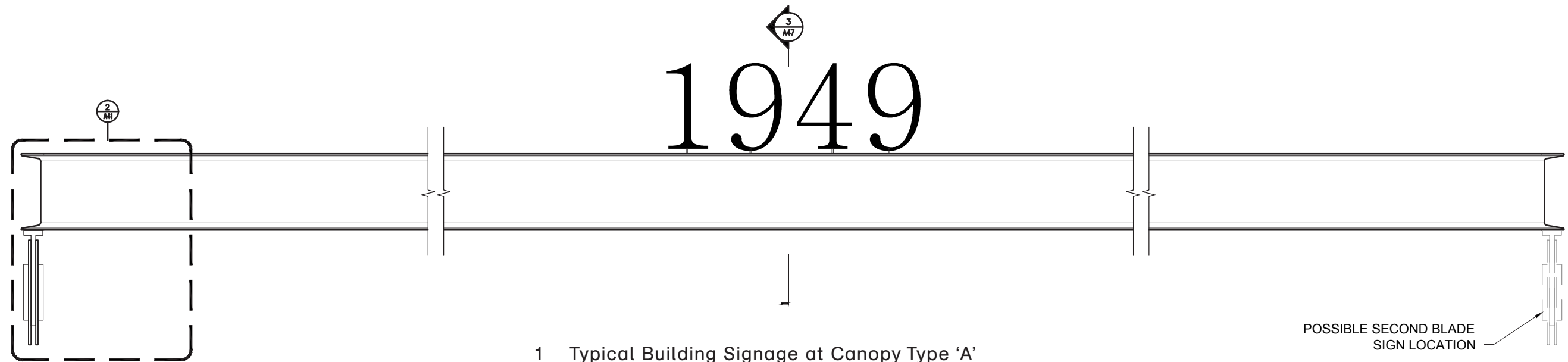
4 Privacy Fence
A39



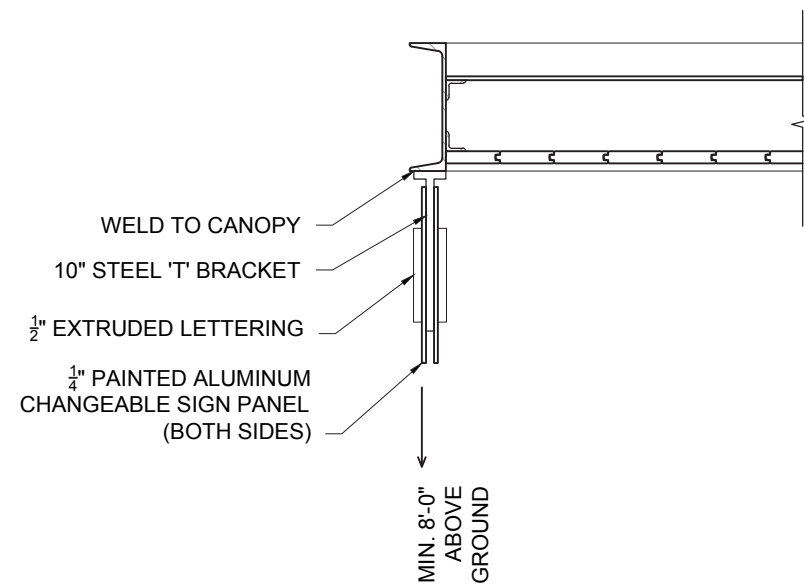
1 Steel Channel Canopy - Type 'A'
A40



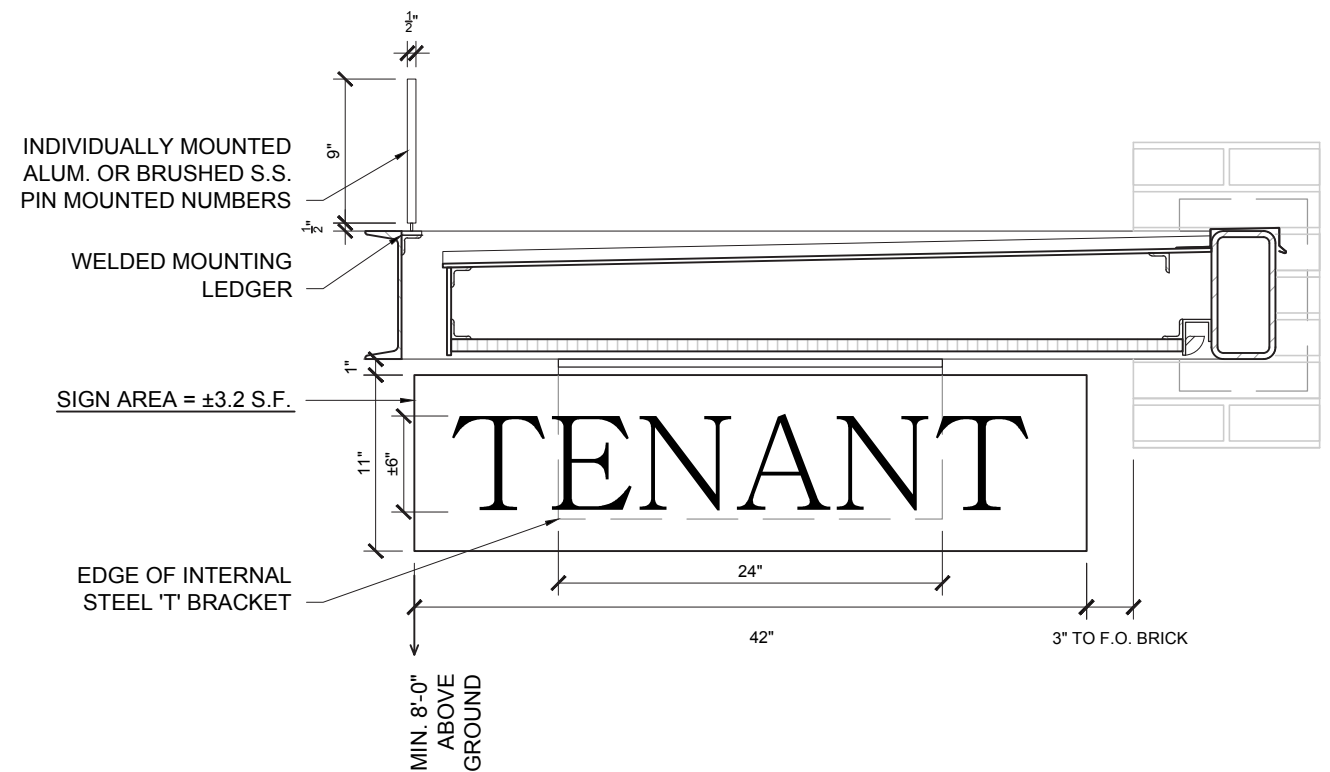
2 Steel Channel Canopy - Type 'B'
A40



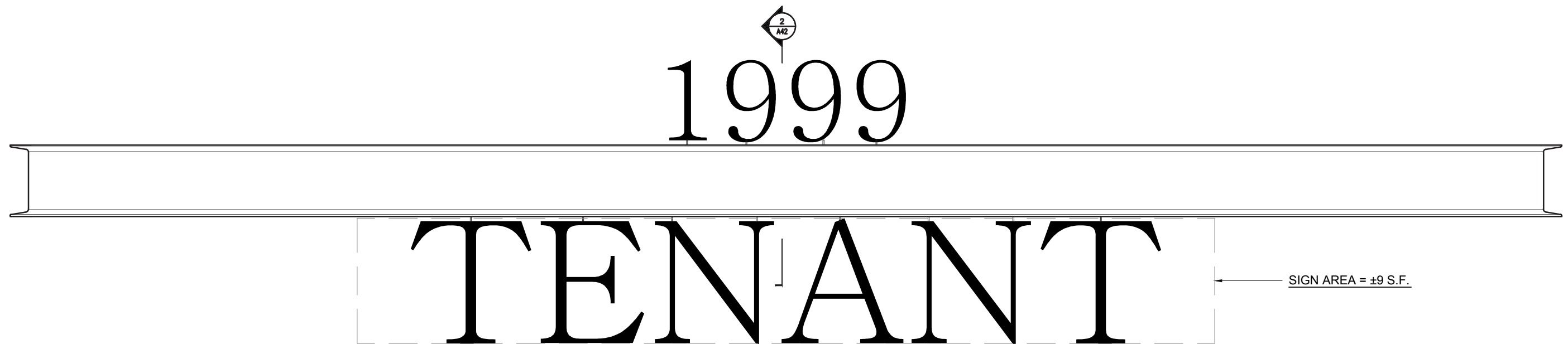
1 Typical Building Signage at Canopy Type 'A'
A41



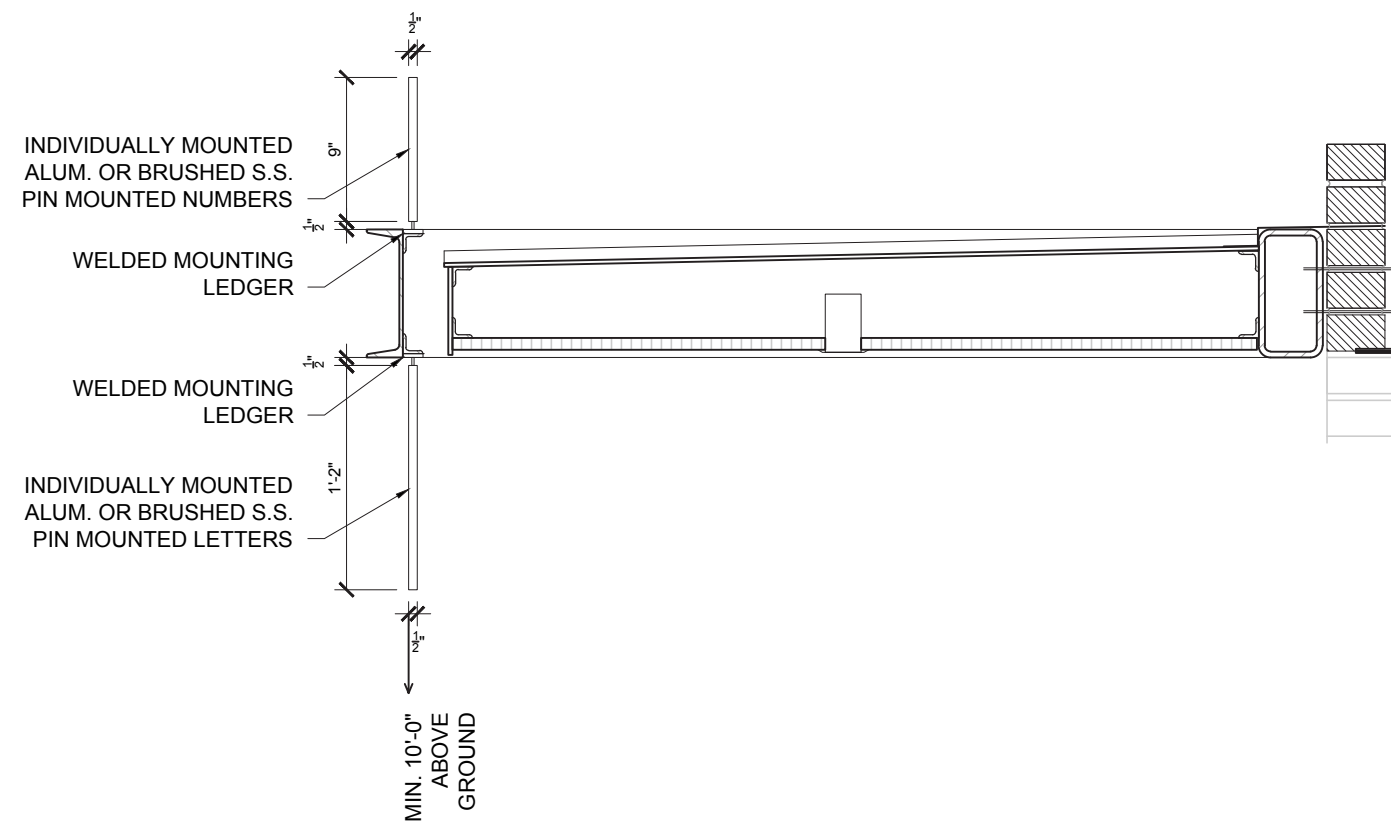
2 Under Canopy Blade Sign - Section
A41



3 Under Canopy Blade Sign & Building Address
A41



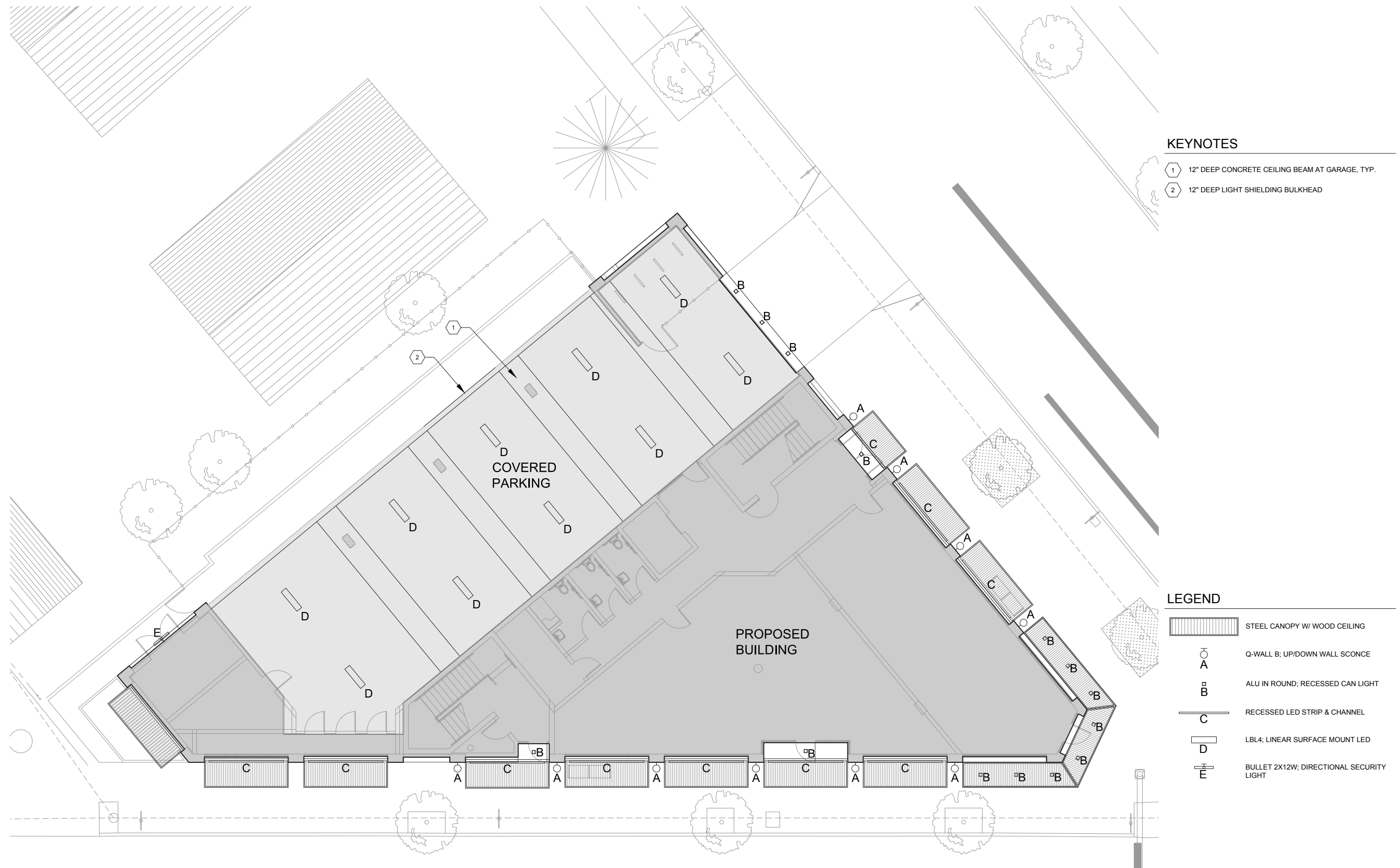
1 Typical Building Signage at Canopy Type 'B' (Corner)
A42



2 Under Canopy Mounted Signage & Building Address
A42



Southeast Corner at SE Division Street & SE Ladd Avenue





Fixture 'A' - Exterior LED Up/Down Wall Sconce



Fixture 'B' - Exterior Recessed LED Soffit Downlight

Q-WALL B

CODE 070112

Indoor and outdoor wall-mount fixture, including:

Extruded aluminium housing, grey or anthracite painted

Polymer gasket

Extra-clear flat tempered glass diffuser with internal screen-printing

Painted die cast aluminium bracket for wall mounted applications, featuring ease of installation

Stainless steel locking screws

Aluminium heat sink

4000 K and 3000 K LED Array

High-power LEDs with next generation high intensity light beam

99.85% high performance anodised aluminium circular reflectors

Double-emission (B) versions are equipped with two lights in order to provide upwards and downwards emission

ALU IN ROUND

CODE 077401

Recessed into false ceilings or hollow walls.

Anodised aluminum housing.

Frosted polycarbonate diffusers.

All versions are available with white LEDs, 3000 K (warm) and 6000 K (cool).

700 mA Class II Constant Current driver is available by others (to be remoted mounted). Consult factory for more information.

Factory can supply if needed.

Please call for model numbers.

Consult factory for custom colors.

Consult factory for non-catalogued kelvin temps.

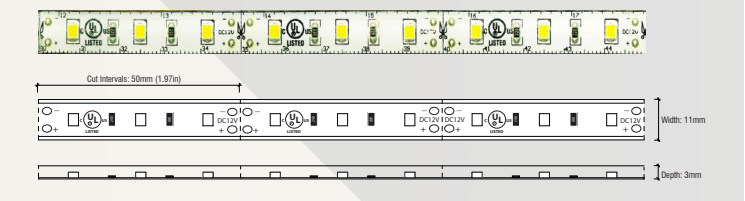


PH35K-RC

3500K HIGH OUTPUT LEDHESIVE®
RUBBER-COATED
LINEAR LED LIGHTING

CH-016

EXTRUDED ALUMINUM
MOUNTING CHANNEL

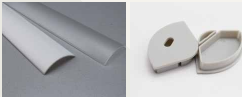


PRODUCT FEATURES

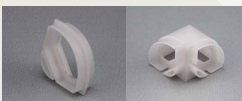
- Available in 1 or 2 meter sections
- Extruded aluminum construction
- Anodized matte finish
- 5-year warranty
- Consult factory for custom lengths & finishes

SPECIFICATIONS

Model	CH-016
Length	1 or 2 meters
Overall Width	30mm (1-3/16")
Internal Width	20.2mm (13/16")
Height	30mm (1-3/16")

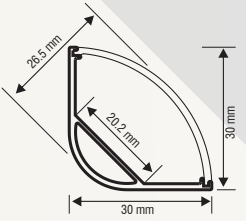


White lens (WH)
Frost lens (FR)



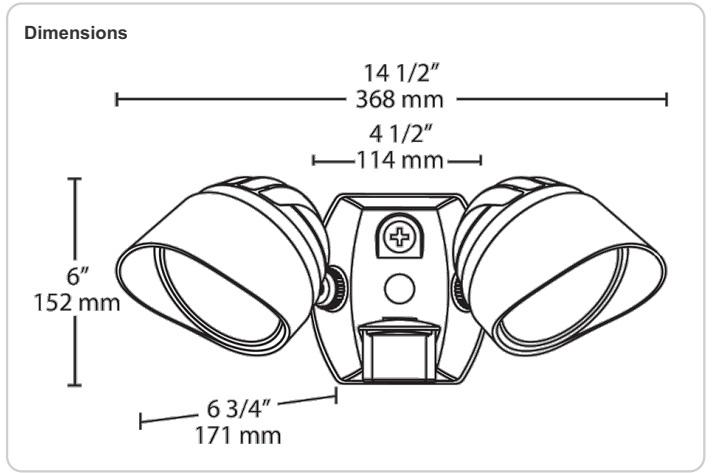
End cap with hole
End cap without hole

180 degree connector
90 degree connector



Fixture 'C' - Exterior Recessed LED Strip & Channel

BULLET2X12W



Fixture 'E' - Directional Security Light



Recessed LED Strip & Channel
Legacy Good Samaritan Urgent Care, NW 23rd Ave.



Low-Profile Curved-Basket
LED Wraparound

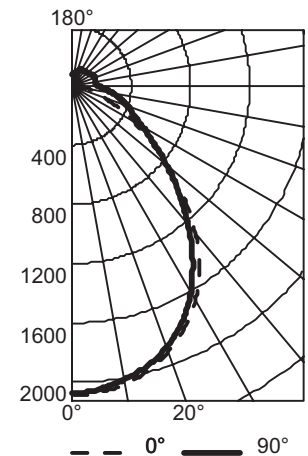
LBL4

4' LENGTH, NARROW HOUSING
LED



PHOTOMETRICS

LBL4 48L EZ1 LP840, 5250.7 delivered lumens, test no. LTL27386P14, tested in accordance to IESNA LM-79.

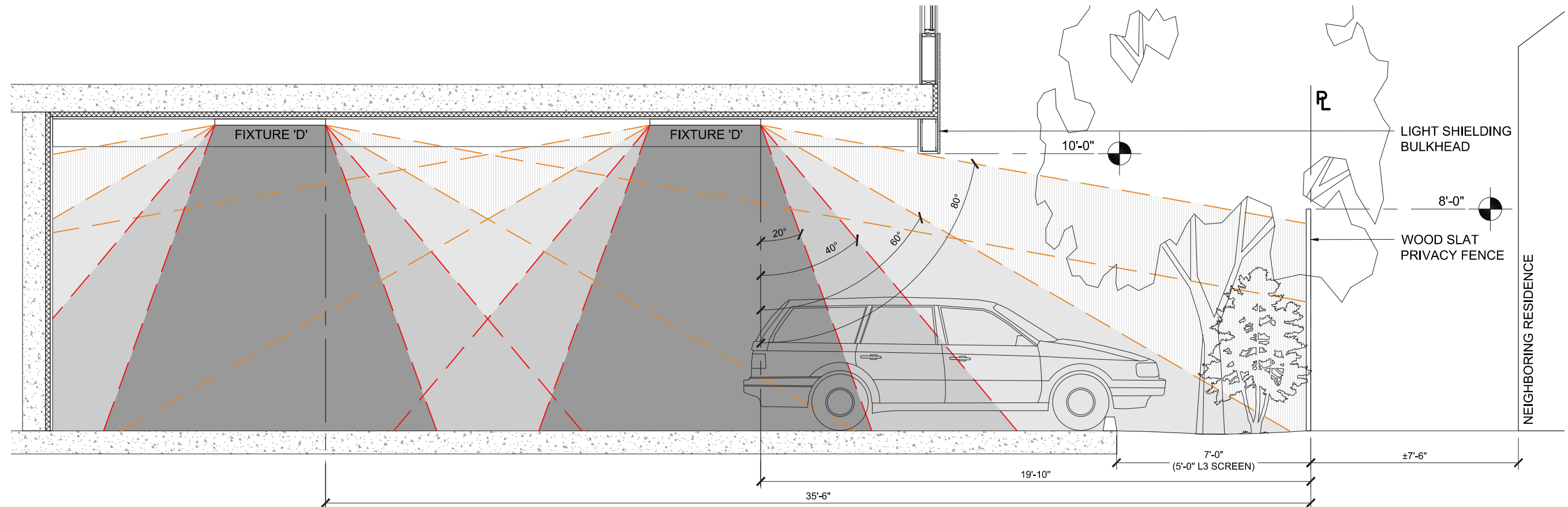


CP Summary		
	0°	90°
0°	2077	2077
5°	2077	2056
15°	1989	1957
25°	1801	1757
35°	1496	1418
45°	1066	1018
55°	647	680
65°	327	456
75°	174	339
85°	59	221
90°	9	181

Coefficients of Utilization													
ROR	pf	80%						20%			50%		
	pc							70%					
	pw	70%	50%	30%	30%	50%	30%	10%	10%	50%	30%	10%	
	0	116	116	116		112	112	112		105	105	105	
	1	106	102	98		98	95	91		92	89	86	
	2	98	90	83		87	81	76		82	77	73	
	3	90	80	72		77	71	65		73	67	62	
	4	83	72	63		69	62	56		66	59	54	
	5	76	64	56		63	55	49		59	53	48	
	6	71	58	50		57	49	43		54	47	42	
7	66	53	45		52	44	39		49	43	38		
8	62	49	41		48	40	35		45	39	34		
9	58	45	37		44	37	32		42	35	31		
10	54	42	34		41	34	29		39	33	28		

Zonal Lumen Summary			
Zone	Lumens	% Lamp	% Fixture
0° - 30°	1571	29.9	29.9
0° - 40°	2482	47.3	47.3
0° - 60°	3855	73.4	73.4
0° - 90°	4626	88.1	88.1
90° - 120°	307	5.9	5.9
90° - 130°	401	7.6	7.6
90° - 150°	546	10.4	10.4
90° - 180°	624	11.9	11.9
0° - 180°	5251	100.0	100.0

Fixture 'D' - Linear Surface Mount LED



1 Garage Lighting Impact Diagram
A46



Norman Brick Veneer, 1/2 Running Bond, 'Limestone' Mission Texture



Norman Brick Veneer, 1/2 Running Bond, 'Limestone' Smooth Texture



3-Part Stucco System painted 'Limestone'/'warm light grey



Plate Steel Planter, Powder Coat Black



Aluminum Storefront System, Dark Bronze, Front Plane Glazing



Steel Channel Canopy (Wood Ceiling not shown)



Obscure Panel Sectional Garage Door (Perforated Aluminum not shown)



Extruded Brushed Aluminum or Brushed Stainless Steel Lettering (Text & Style T.B.D.)



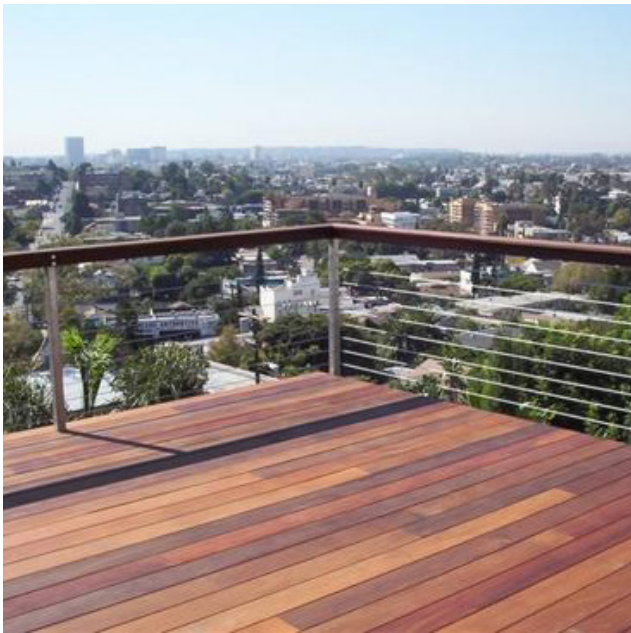
'Staple' Style Bike Rack



Concrete Planter with Stainless Steel Skateguards



Horizontal Wood Slat Fence

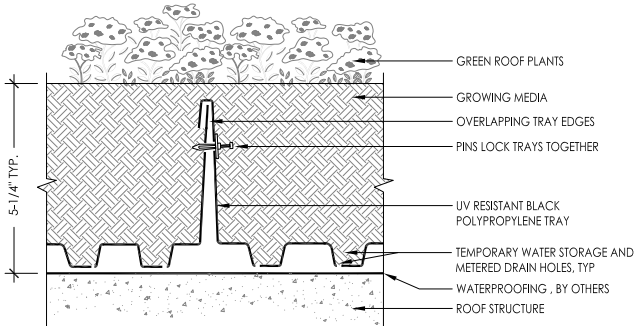


Roof Deck with Cable Guardrail



TRAY SYSTEMS: PRE-GROWN AND PLANTED-IN-PLACE

- Our patented interlocking and overlapping tray system was designed by landscape architects, stormwater engineers, horticulturists and roofing experts specifically for the unique challenges of the rooftop environment—just fill it with growing media and plants. Each of the individual functions found in the layered assembly is inherent to the tray, thus eliminating the need for separate drainage mats, root barriers, filter fabric, etc.
- Can be pre-grown as well as planted at the job site.
- Maximum stormwater retention capability.
- Easily installed.
- Integrated drip irrigation available.
- Optimal growing environment for plants.



Green Roof Tray System

vertigrow

WELDED WIRE TRELLIS SYSTEMS

Vertigrow is a modular parallel-panel system welded together to create a growing area for vine plants. This panel system is attached to a building using standoffs to improve wall durability. Vines are planted below the screens and maintained to encourage natural growth to cover the walls.

Vertigrow panels can also be anchored to posts to create a fence, free-standing wall, or a trellis system and can be used indoors as well as out.

The panels can be incorporated with existing or new construction.

- BENEFITS**
- + Improves energy efficiency
 - + Creates a more appealing building exterior
 - + Improves air quality

Vertigrow provides project-specific design expertise to ensure successful planning and installation.



Custom Wall Trellis System

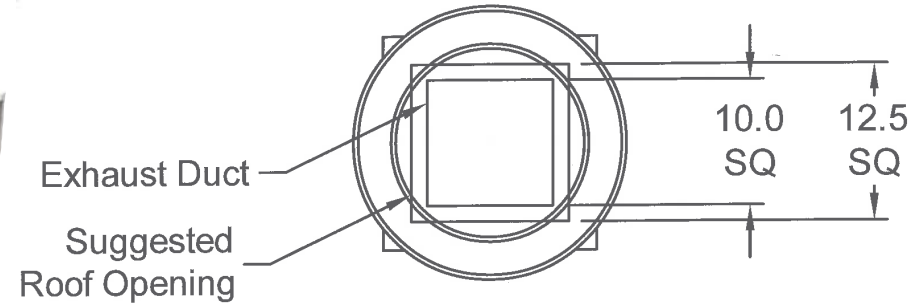
VRV IV Air-Cooled Heat Pump

Daikin's VRV IV systems integrate advanced technology to provide comfort control with maximum energy efficiency and reliability. Currently available in heat pump configurations, VRV IV provides a solution for multi-family residential to large commercial applications desiring heating or cooling. The VRV IV is the first variable refrigerant flow (VRF) system to be assembled in North America.

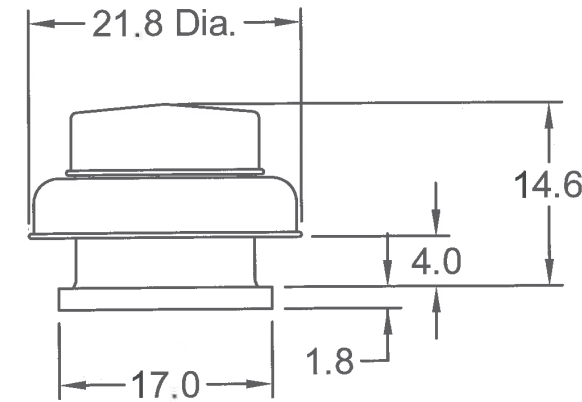
- Features:
- Total comfort solution for heating, cooling, ventilation and controls
 - Redesigned and optimized for total Life Cycle Cost (LCC)
 - Reduced install cost and increased flexibility as compared to VRV III with larger capacity single modules up to 14Tons and system capacity up to 34Tons
 - Efficiency improved over VRV III by an average of 11% with IEER Values now up to 28
 - Improved seasonal efficiency as compared to VRV III with automatic and customizable Variable Refrigerant Temperature (VRT) climate tuning
 - Best-In-class warranty* with 10 year compressor and parts as standard
 - Reduced commissioning time vs. VRV III with VRV configurator software and Graphical User Interface (GUI)
 - Design flexibility with long piping lengths up to 3,280 ft. total and 100 ft. vertical separation between indoor units
 - Take advantage of Daikin's unique zone and centralized controls that are optimized for the specific needs of North America



Additional information
Before purchasing this appliance, read important information about its estimated annual energy consumption, yearly operating cost, or energy efficiency rating that is available from your retailer.



TOP VIEW



FRONT VIEW

Rooftop Exhaust Fan

GRSR
Spun Aluminum Gravity Relief
STANDARD CONSTRUCTION FEATURES

- Aluminum housing.
- Aluminum curb cap with prepunched mounting holes.
- Recommended roof opening dimension is at least 2.5 in. larger than the damper size.

SELECTED OPTIONS & ACCESSORIES

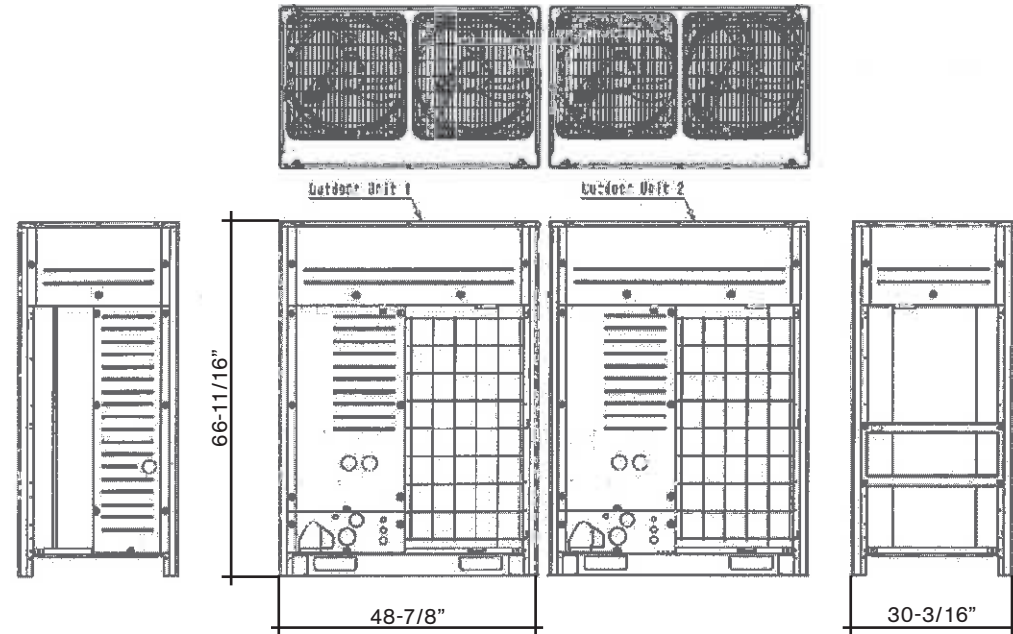
- Galvanized Birdscreen - 0.5 in. Mesh Type
- Aluminum Housing
- Curb GPI-G12, Tray
- Damper WD-100-PB, Chnl. Frm., 24 VAC, Int Mnt., Dmpr Shipped Sep.

NOTE: All dimensions shown are in units of inches

DIMENSIONS											
ID #	Tag	Qty	Model Size	A sq. (in.)	B (in.)	C (in.)	D (in.)	Dia. (in.)	Opt. Damper Width (in.)	Opt. Damper Length (in.)	Unit Weight (lb)
2-1	RH-1	1	24	34	38.25	11	4	24.5	24	24	29

PERFORMANCE							
ID #	Tag	Qty	Model Size	Volume (CFM)	SP (in. wg)	Throat~V elocity~ (ft/min)	Throat Area (ft2)
2-1	RH-1	1	24	1,500	0.025	463	3.24

Elevator Exhaust/Relief Vent



Rooftop VRV Heat Pump Unit

Trifab® VG (VersaGlaze®)

Trifab VG 450, 451 & 451T (Thermal) Framing Systems

Design Versatility
with Unmatched
Fabrication Flexibility

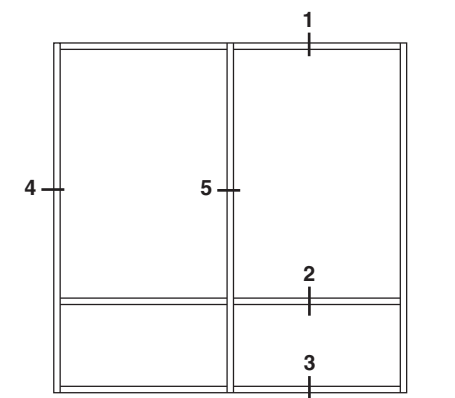
Preston Ponto, Louisville, KY
Architect: Potter & Associates Architects P.A.C., Louisville, KY
Glazing Contractor: Kentucky Mirror & Plate Glass Company, Louisville, KY

Trifab® VG (VersaGlaze) is built on the proven and successful Trifab platform – with all the versatility its name implies. Trifab set the standard and Trifab® VG improves upon it. There are enough fabrication, design and performance choices to please the most discerning building owner, architect and installer. Plus the confidence a tried and true framing system instills. Select from four glazing applications, four fabrication methods and multiple infill choices. Consider thermal options and performance, SSG and Weatherseal alternatives and your project takes an almost custom shape whether your architecture is traditional or modern and the building is new or retrofitted.

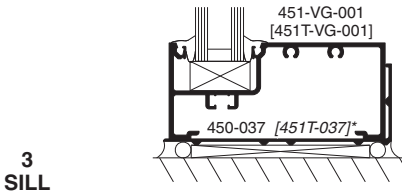
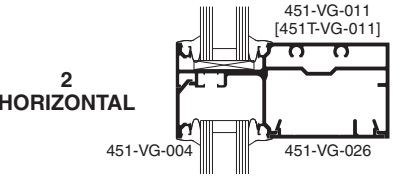
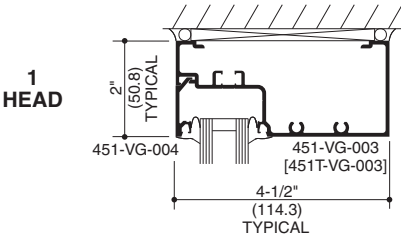
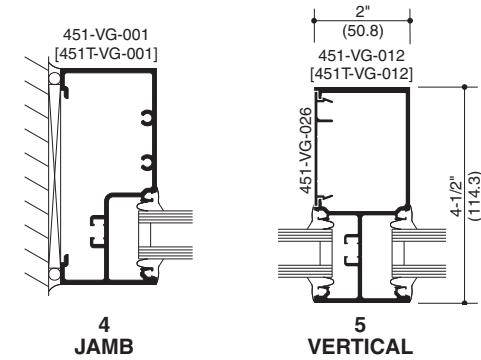
Aesthetics
Trifab® 450 has 1-3/4" sight lines and both Trifab® 451 and Trifab® 451T have 2" sight lines, while all three have a 4-1/2" frame depth. Designers can not only choose front, center or back glass planes, they can now add the versatility of multi-plane glass applications, thus allowing a greater range of design possibilities for specific project requirements and architectural styles. Structural Silicone Glazing (SSG) and Weatherseal options further expand the designer's choices.



Aluminum Storefront System (Front Plane Glazing)



ELEVATION IS NUMBER KEYED TO DETAILS



Kawneer Trifab VG 451T Storefront System, Dark Bronze
Failing Office Building, Whidden & Lewis, 1913 - National Register of Historic Places



260, 360, 560 Insulclad® Thermal Entrances

Engineered Entrances with
Climate Control Efficiency

PCL Centennial Learning Centre, Edmonton, Alberta, Canada
Architect: Cohos Evamy Integratedesign®, Edmonton, Alberta, Canada
Glazing Contractor: Becon Glass Products Ltd., St. Albert, Alberta, Canada

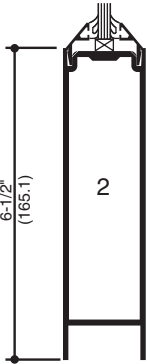
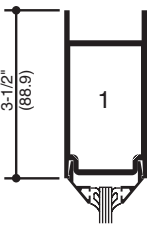
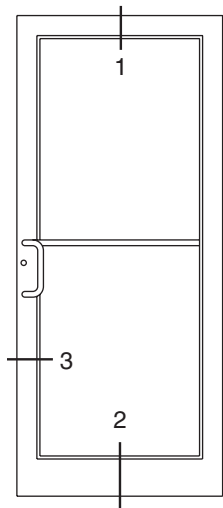
Kawneer's Insulclad® Entrances provide thermal efficiency for the entire building façade and are available in 260 Narrow Stile for moderate-traffic applications, and 360 Medium Stile and 560 Wide Stile for heavy-traffic applications. All doors are thermally enhanced with interior cladding, which has the added advantage of enabling dual-color design.

Insulclad® Entrances are available as a single-source package of door, fully integrated door frame (with or without transoms) and integrated hardware. Center plane Trifab® VG 451T (Thermal) frames are standard, and Insulclad® Entrances are also compatible with 1600 Wall System®1, as well as other Kawneer framing systems. The total package and options allow easy adaptation to custom entrance requirements.



Aluminum Storefront System - Entry Doors

350 MEDIUM STILE



516 ISOPORT® / 518 ISOPORT® Windows

Delivering Thermal Performance,
Economy and Ease of Installation

Woodsworth College Residence, University of Toronto, Toronto, Ontario, Canada
Architect: architectsAlliance, Toronto, Ontario, Canada
Glazing Contractor: Ferguson-Neudorff Glass, Inc., Beamsville, Ontario, Canada

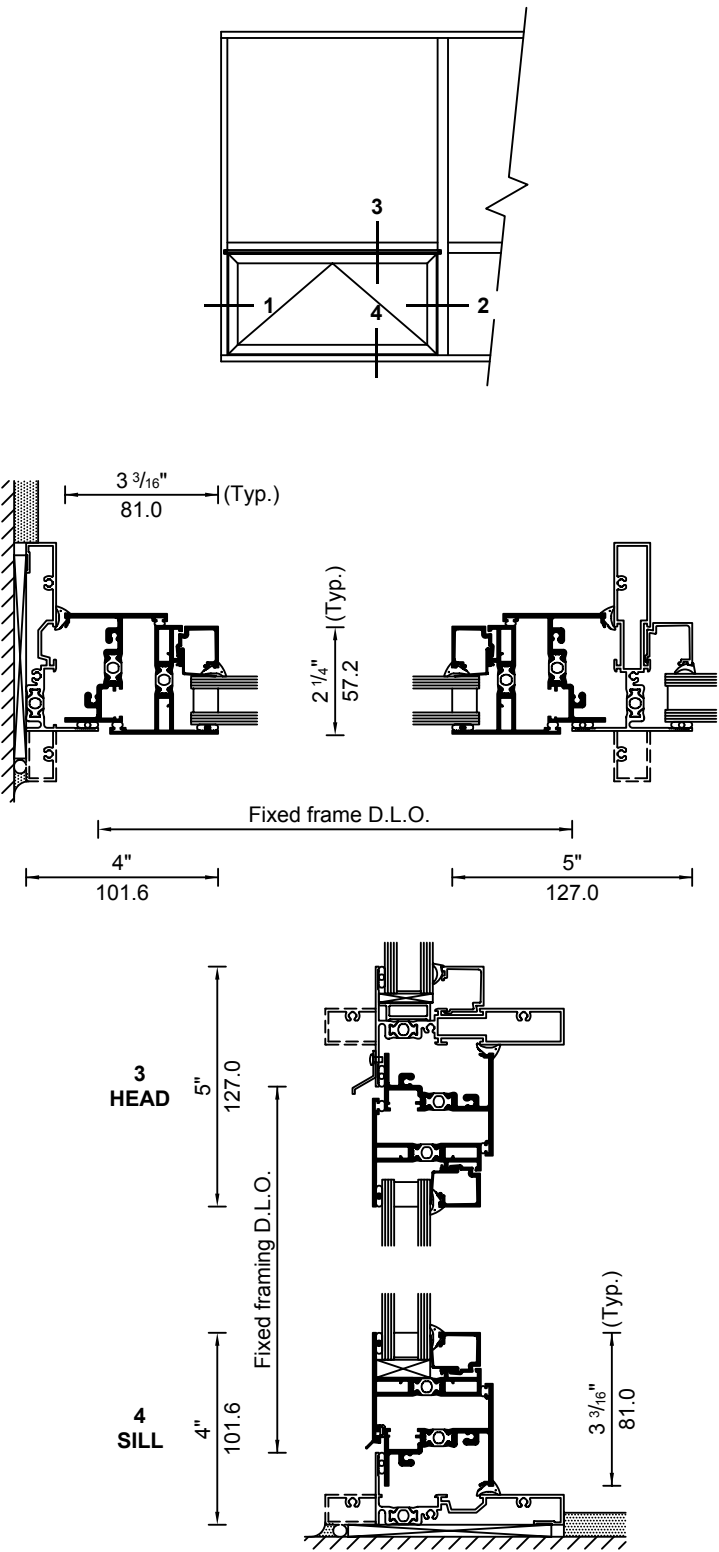
Designed for punched openings, strip and ribbon window applications, Kawneer's 516 and 518 ISOPORT® Windows provide an economical, high-performance, thermally broken product that is easily fabricated and installed. As a bonus, they are also competitively priced, feature a full rain screen option and offer the ability to incorporate ventilators. A "top hat" feature provides a deeper frame for thicker wall construction, greater structural capability and inset glazing.

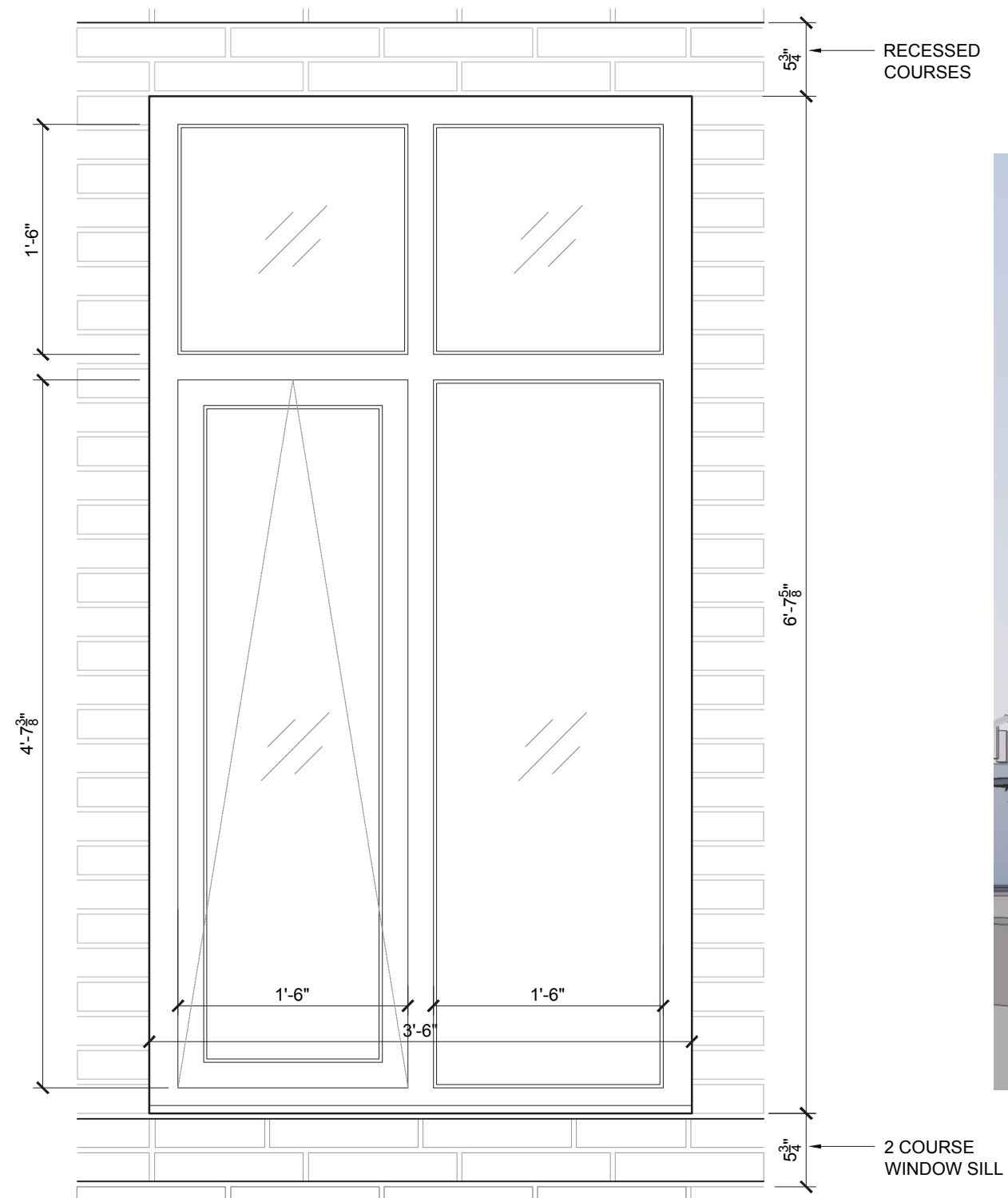
Performance

Responding to owner and designer demand for improved thermal performance, the 0.57" (14.6) ISOPORT® 6/6 glass-reinforced nylon thermal break provides windows with improved condensation resistance and thermal transmittance capability. The rigid profile provides composite structural performance, and 516 and 518 ISOPORT® Windows meet or exceed the highest performance levels for the specifications listed on the reverse side.



Aluminum Storefront System - Operable Window





Operable Window, Alternative Layout with Continuous Transom

