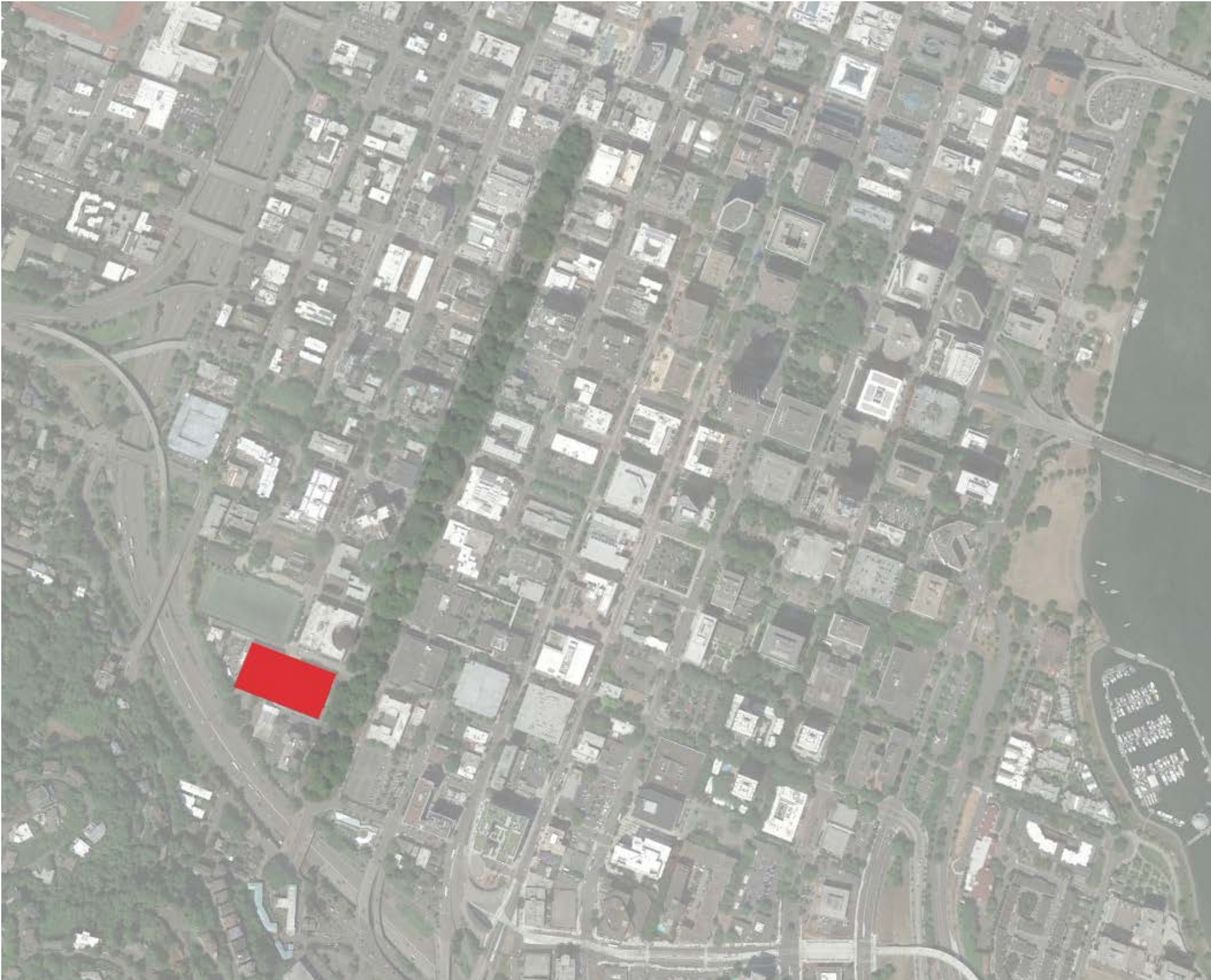
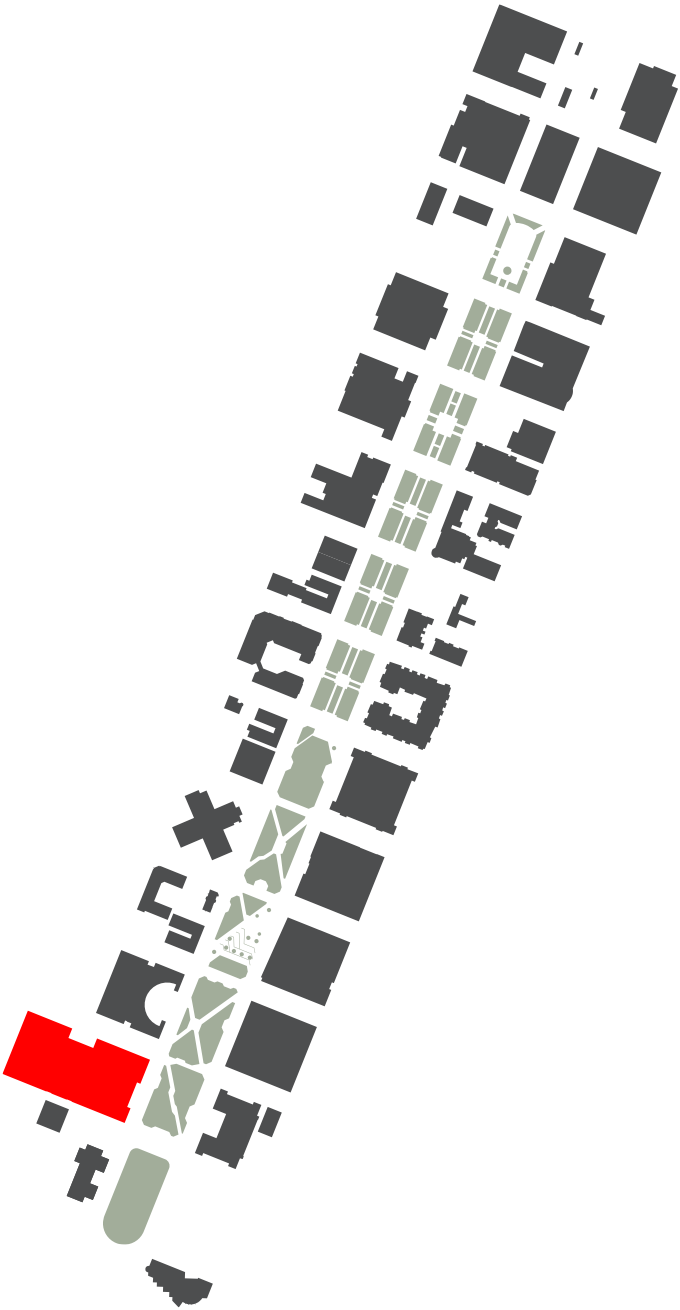


site location



aerial photo of southwest portland



figure/ground diagram of buildings facing south park blocks

vicinity plan

- LEGEND
- PROJECT SITE
 - PSU BUILDING
 - PRIVATE BUILDING
 - STREET
 - PARKING STRUCTURE
 - STREET CAR STOP
 - MAX STOP



millar library



park plaza apartments



shattuck hall

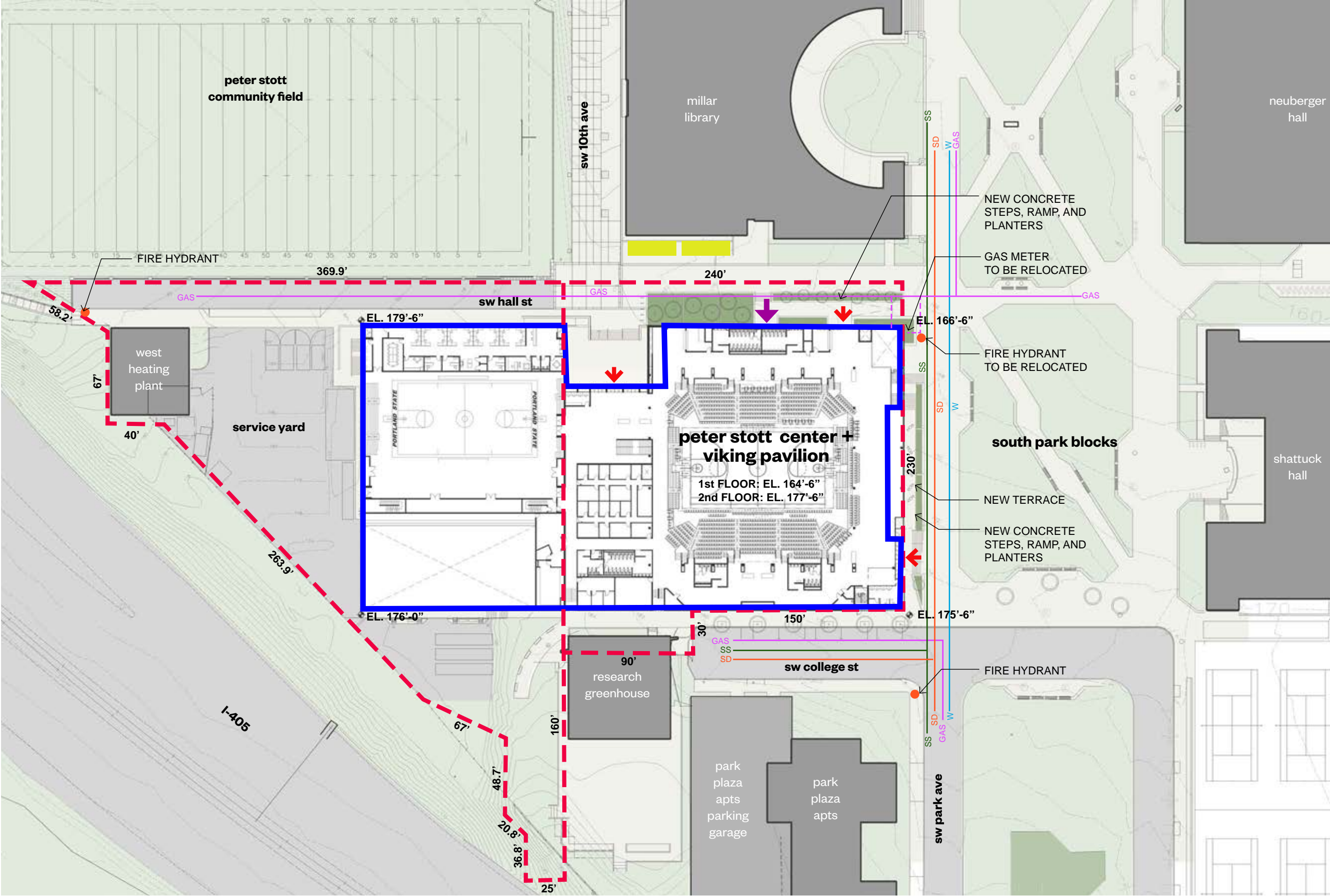


neuberger hall

site context



site plan



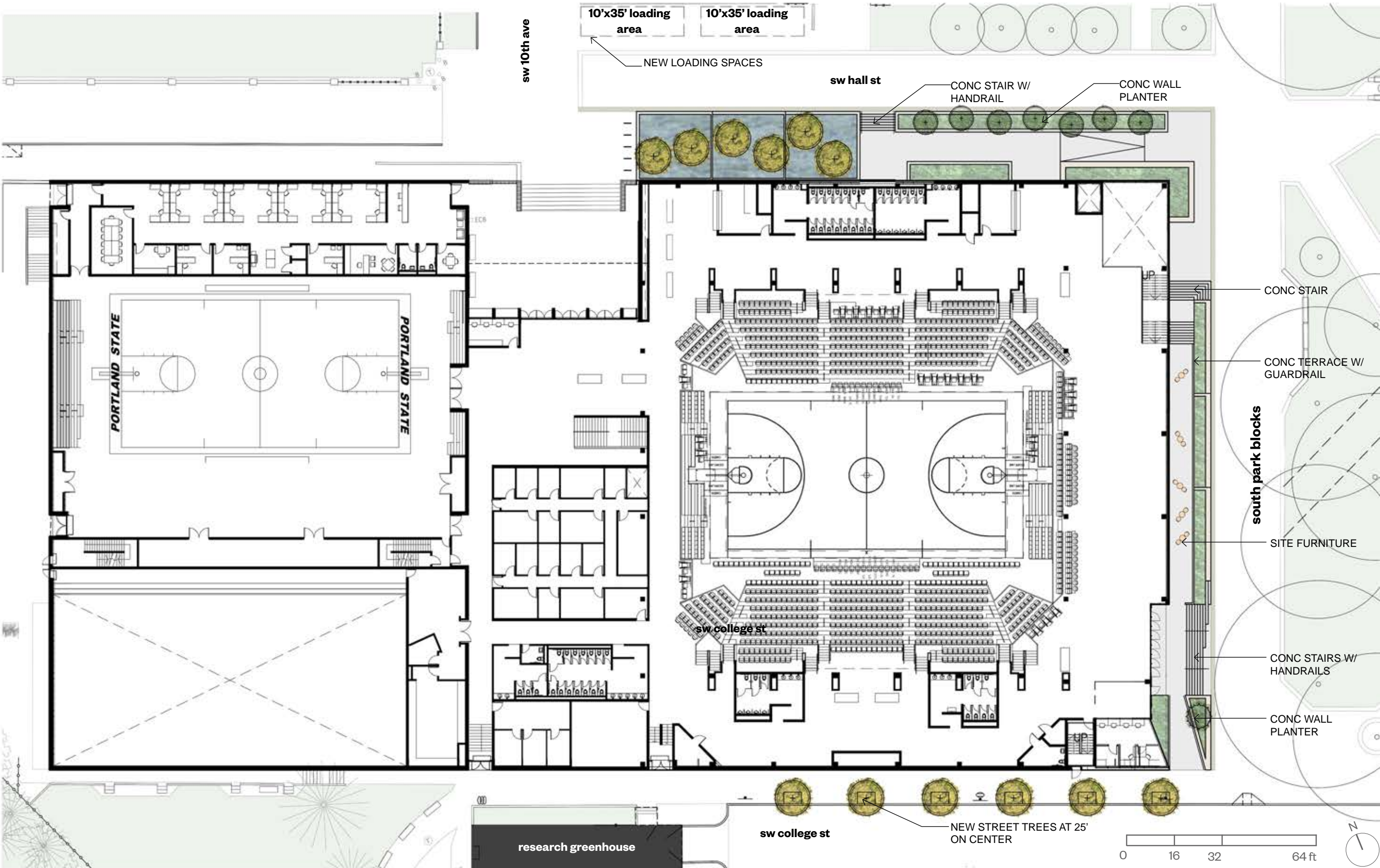
notes

- 1. Refer to survey drawings (pages C.6-C.7) for additional information.
- 2. Refer to landscape plan (page C.5) for additional information.

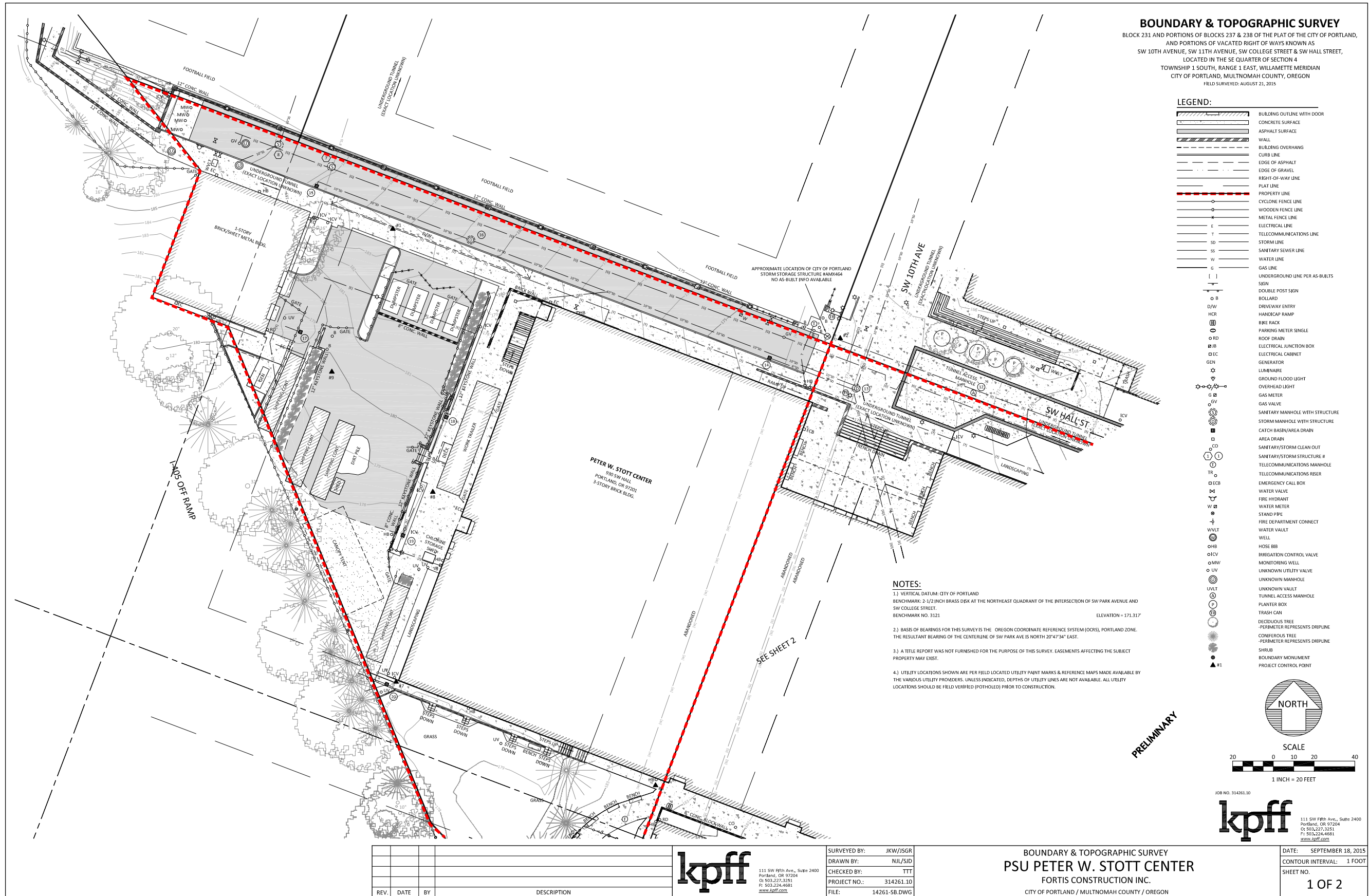
legend

- property line
- outline of existing building
- ← building entry
- ← loading
- 10' x 35' loading spaces

landscape plan



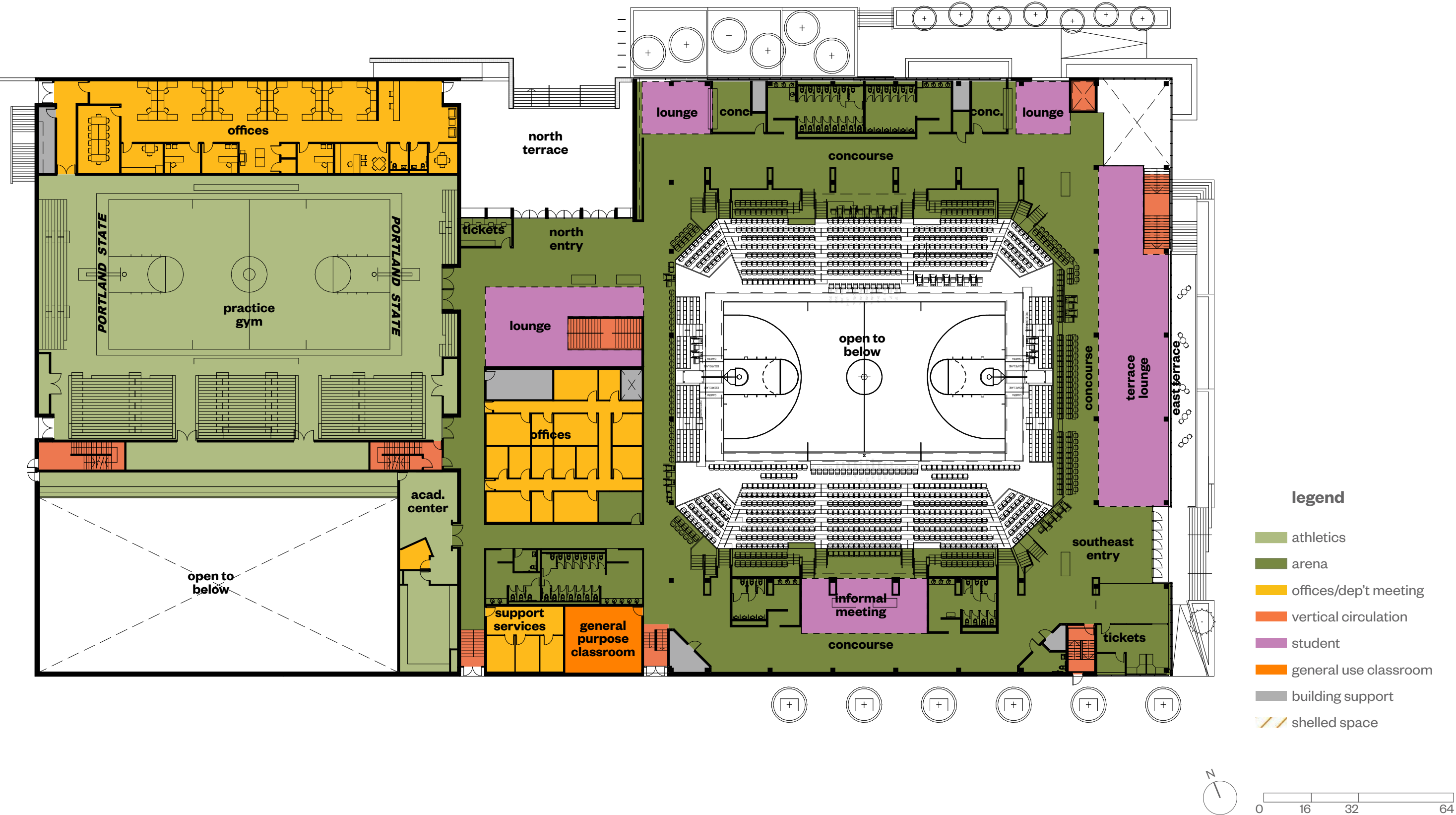
site survey – west

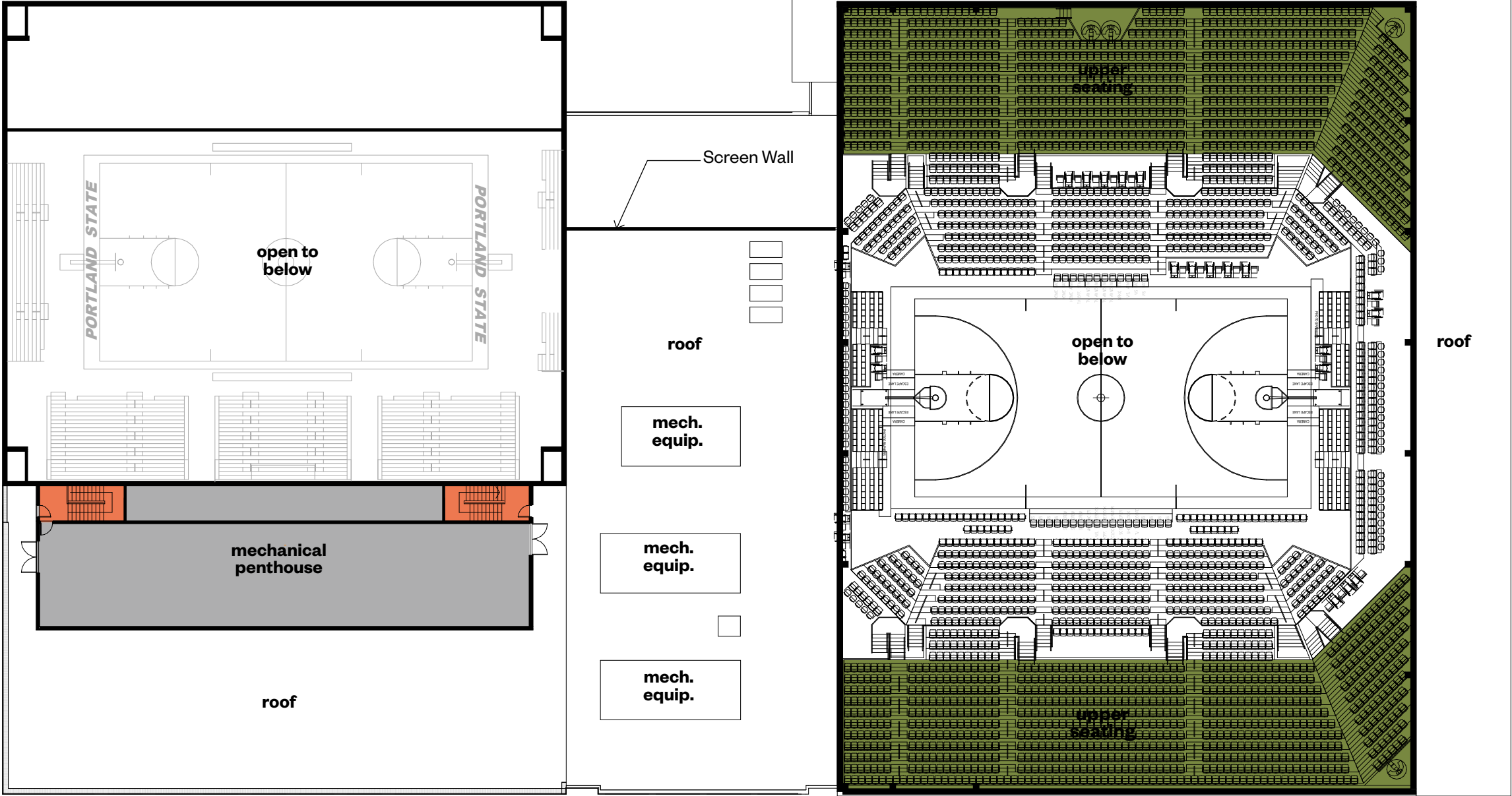


Portland State University
Peter Stott Center Renovation + Viking Pavilion



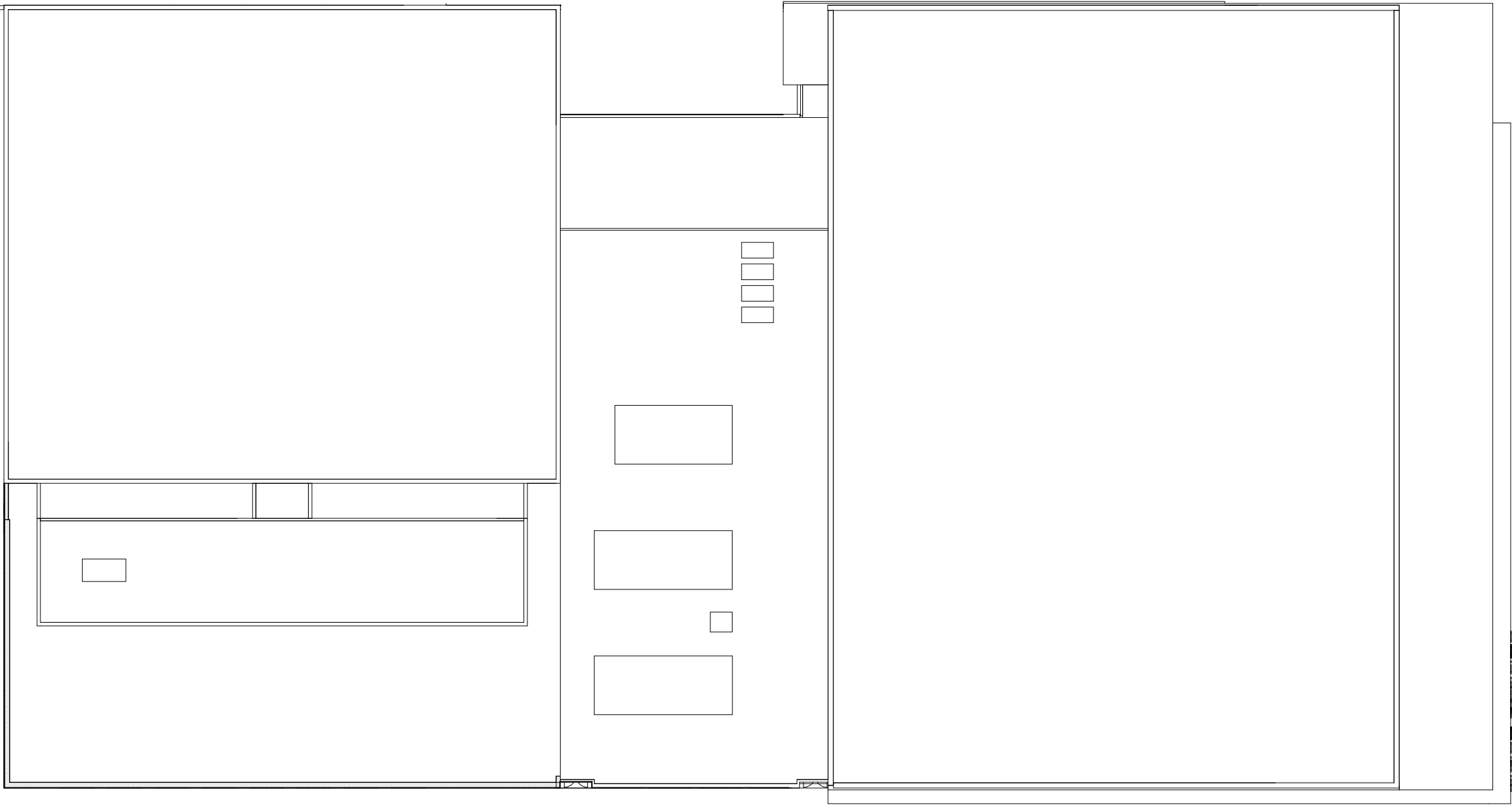




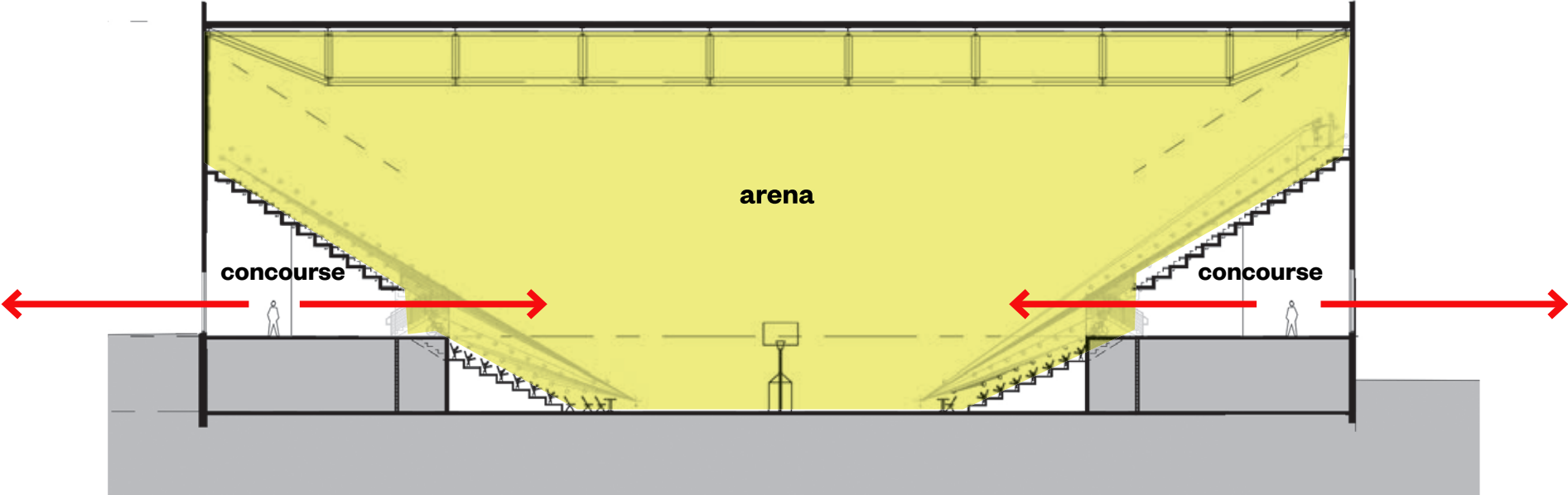


- legend
- athletics
 - arena
 - offices/dep't meeting
 - vertical circulation
 - student
 - general use classroom
 - building support
 - shelled space

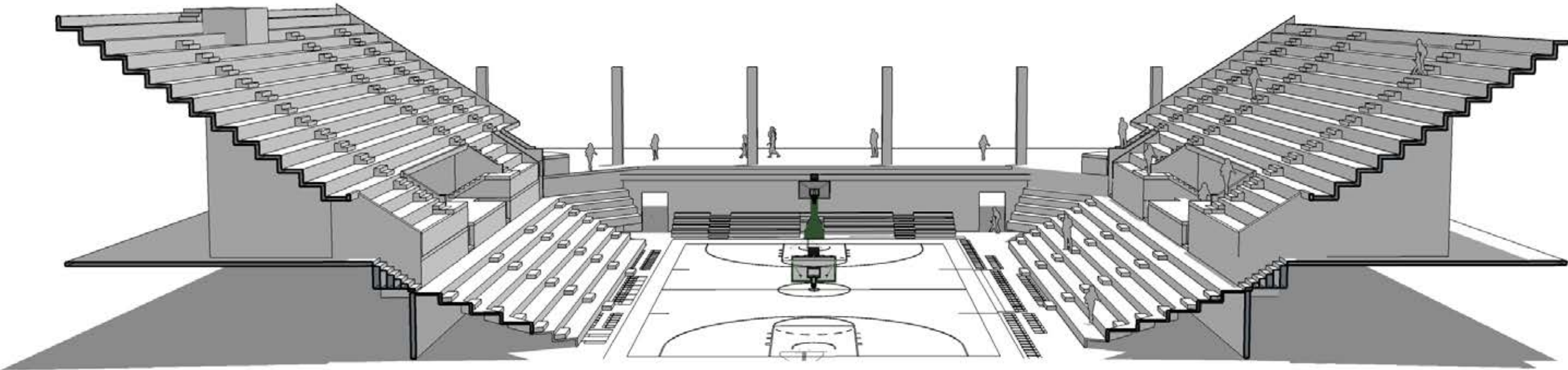
roof plan



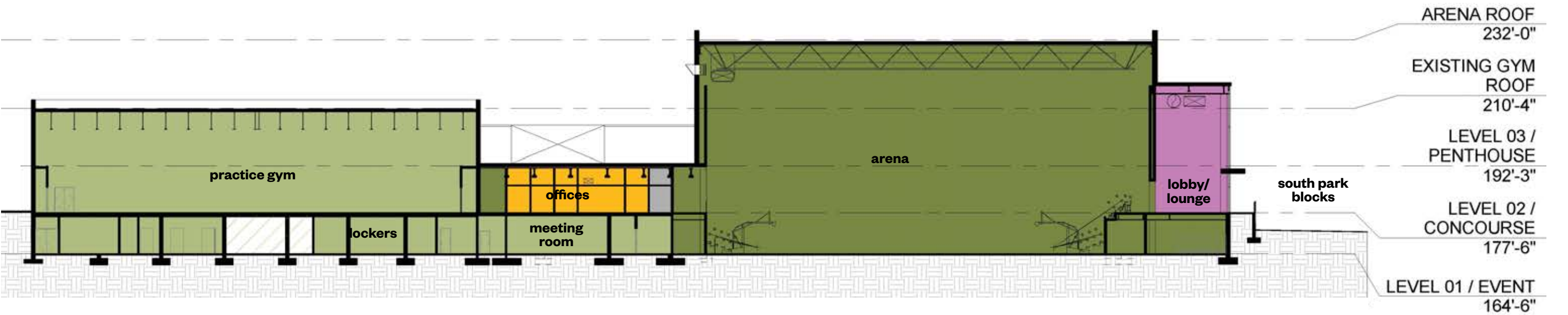
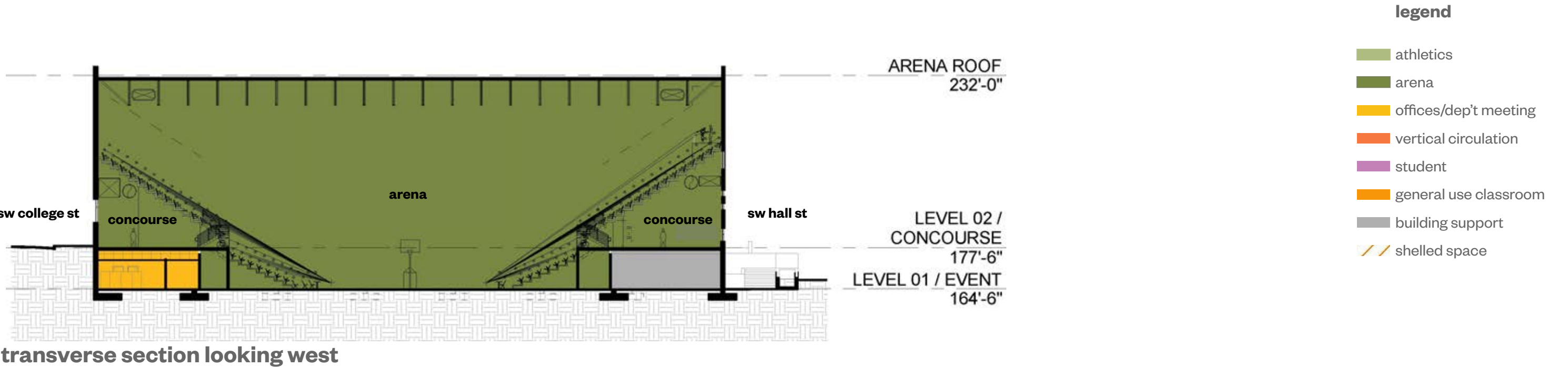
arena – section diagram



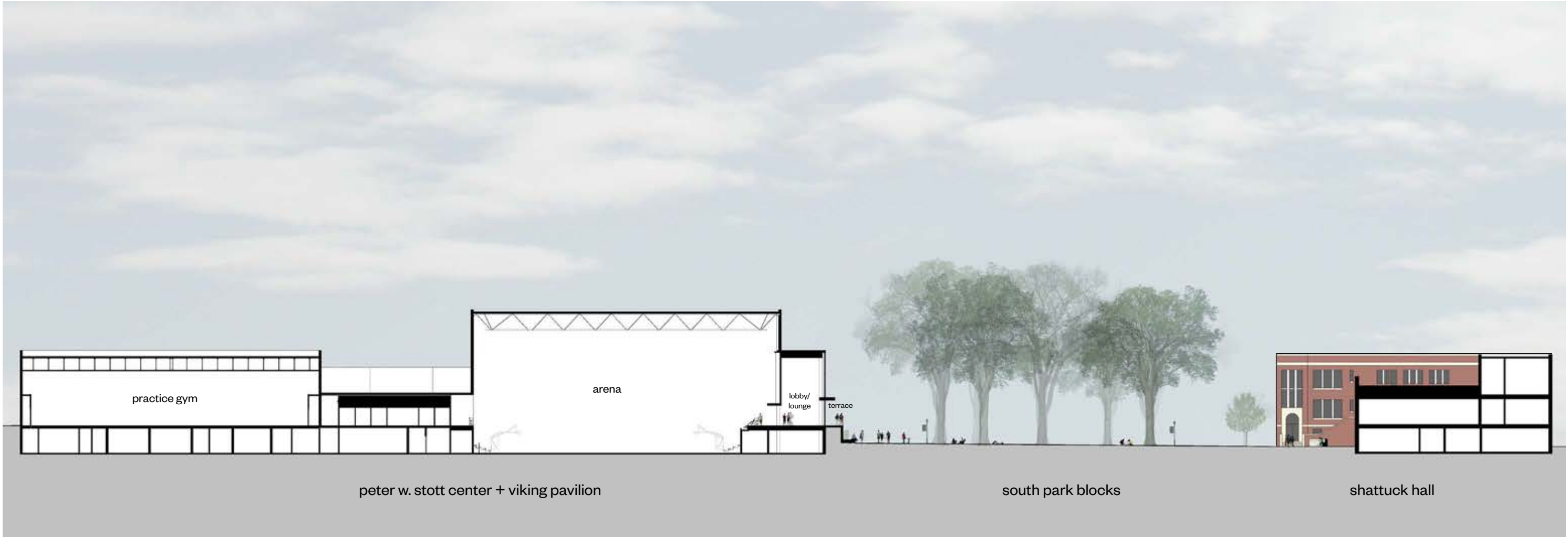
North/South Section



building sections



site section looking north



existing conditions



View from SW College St of Southeast corner



North - Main Entry



South



View from Park Blocks of Northeast corner



North - Exterior of Main Gym



View looking SE toward Main Entry



View from Library Looking SW toward Main Entry

building expression:

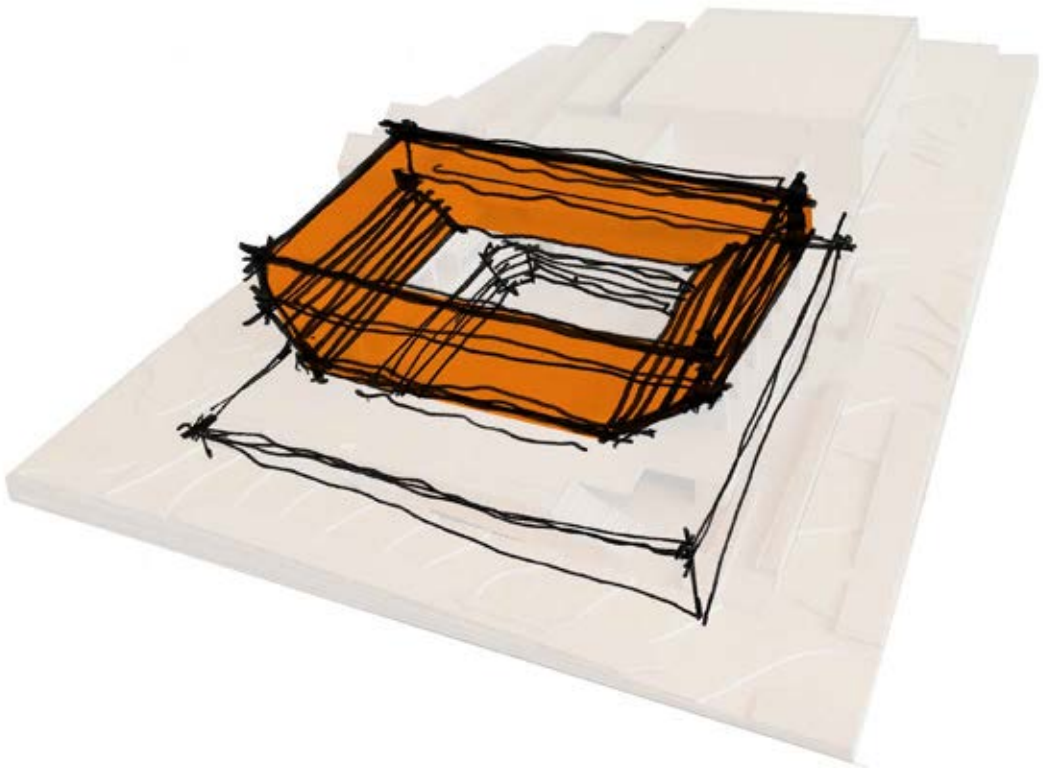
- unified, civic building
- simple, authentic

bowl expression:

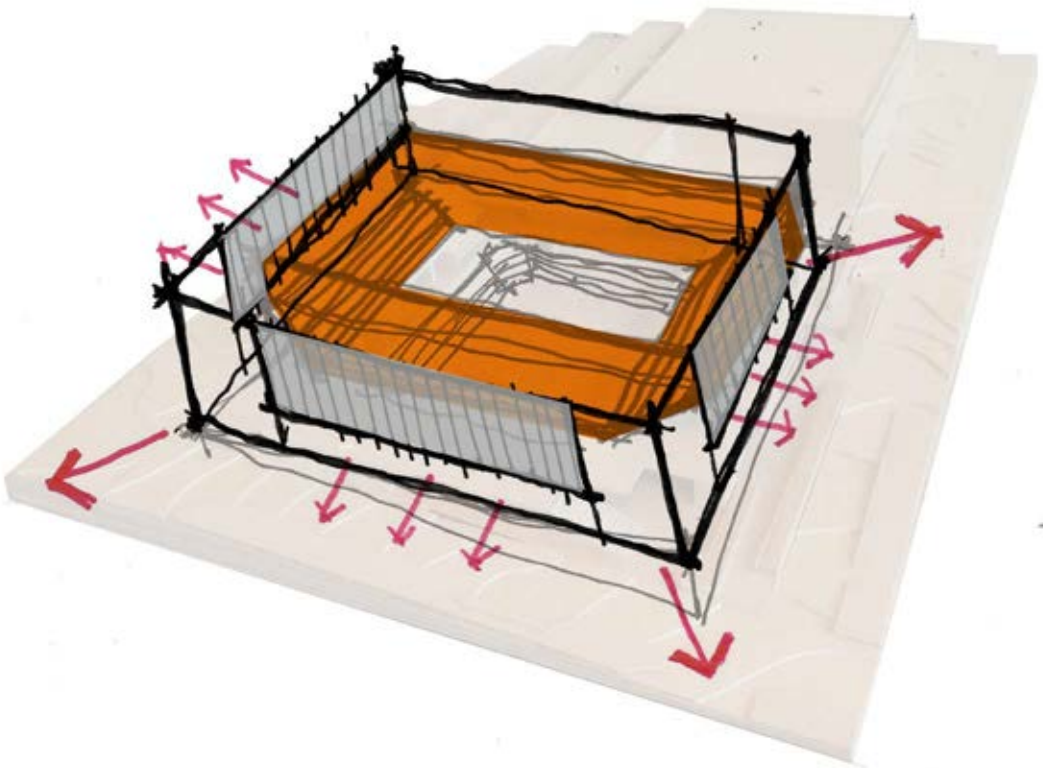
- full-height glazed corners revealing bowl volume at entries/ primary site approaches

concourse expression:

- consistent on all exposed sides
- glazing at concourse level for views/ site connections
- repetitive panels/ full-height windows above: glimpses of arena volume, controlled daylight into concourse

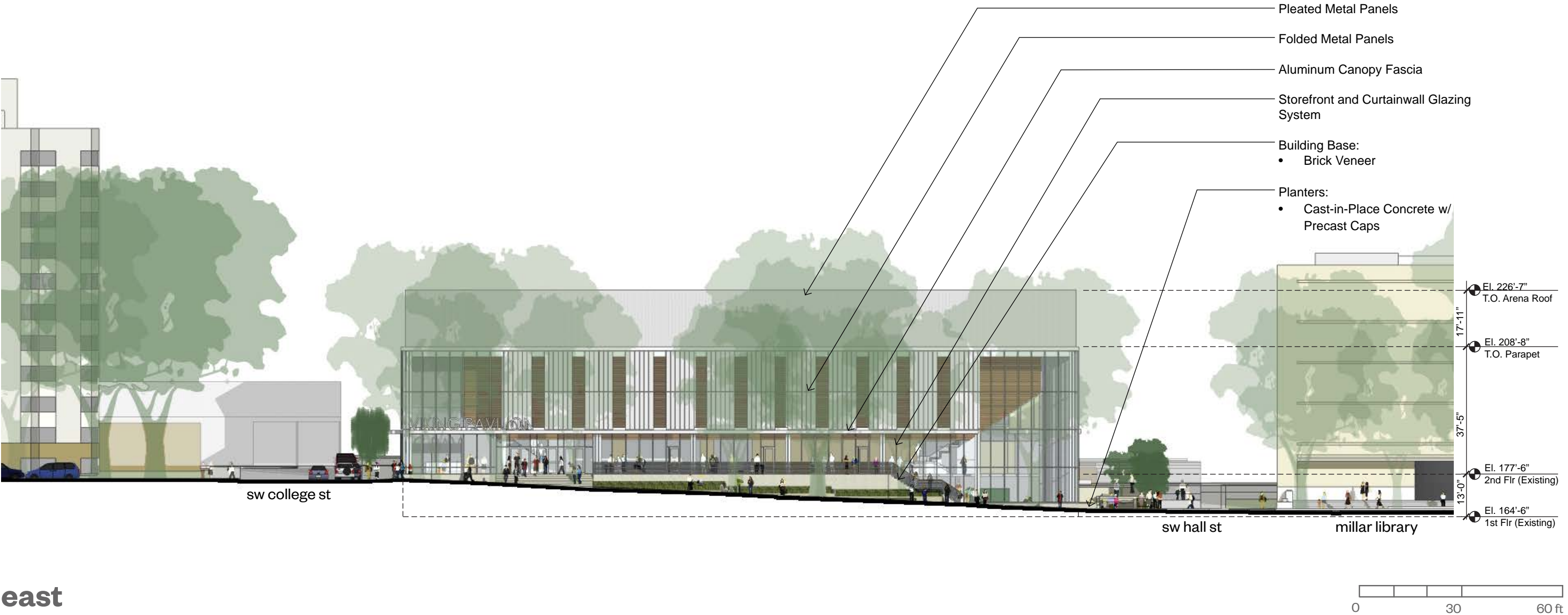


interior arena volume



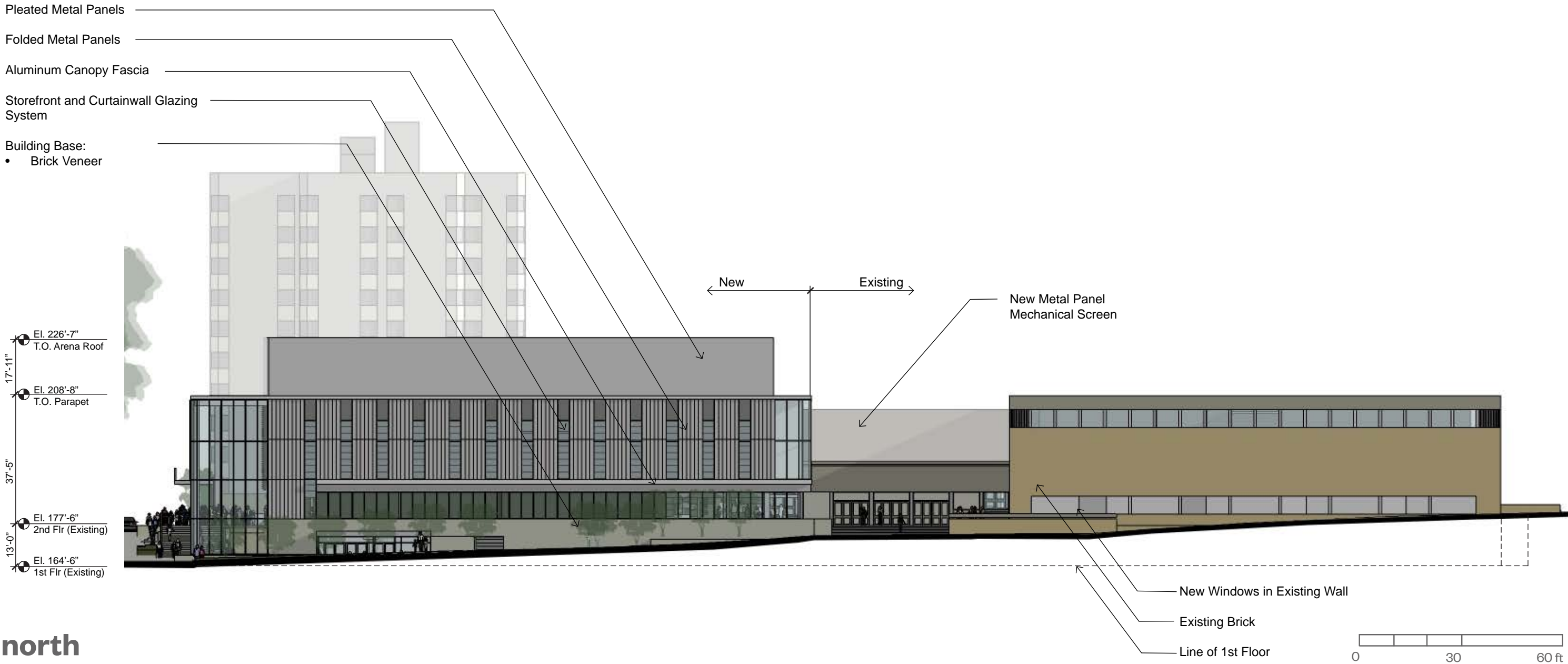
exterior enclosure + site connections

exterior elevation

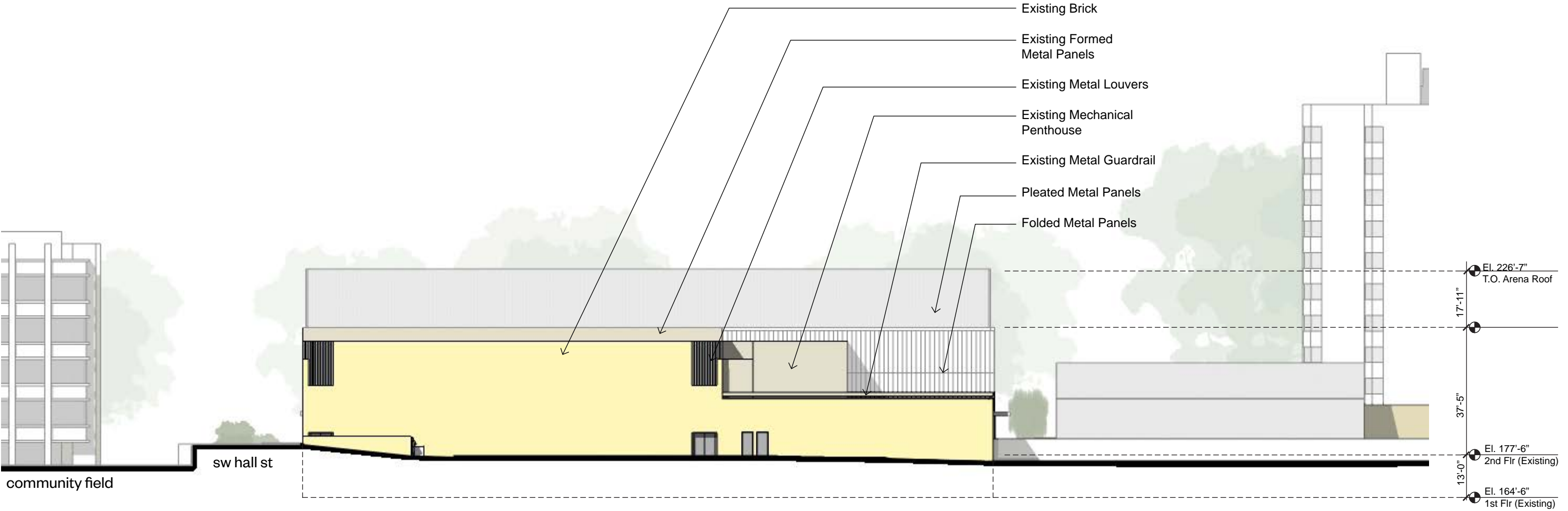


east

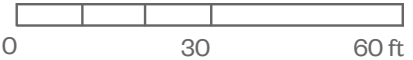
exterior elevation



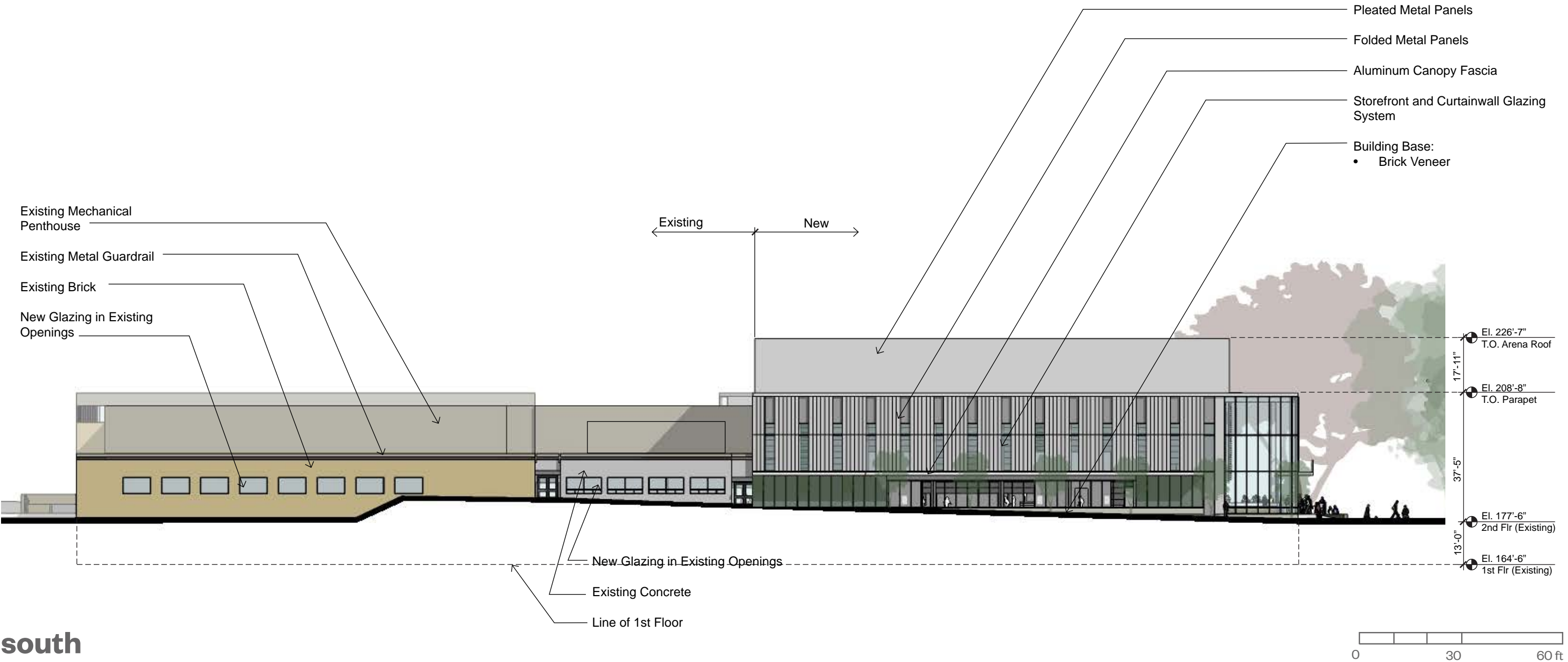
exterior elevation



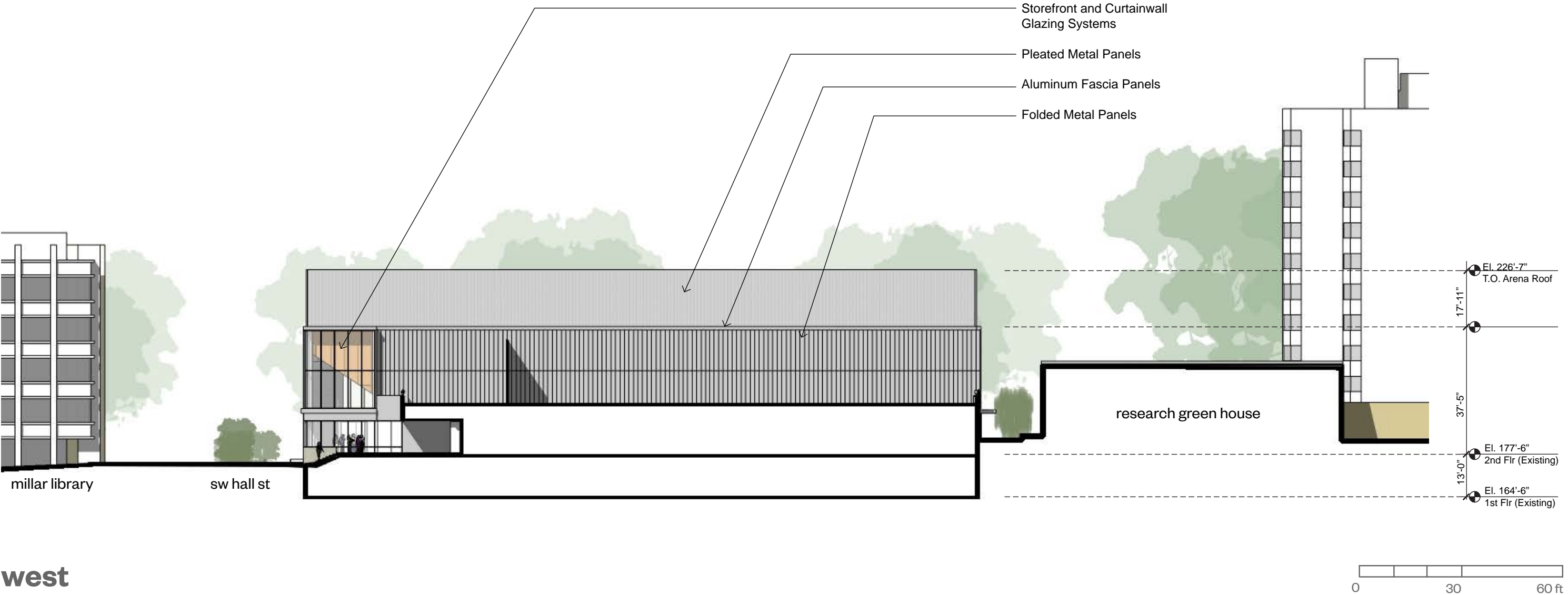
west



exterior elevation



exterior elevation/building section at north terrace



west

view from SE



view from NE



view from N



night view from SE



night view from NE



material palette

Pleated Metal Panels
•min. 20 gauge metal
•concealed fasteners

Folded Metal Panels
•min. 20 gauge metal
•concealed fasteners

Aluminum Canopy Fascia

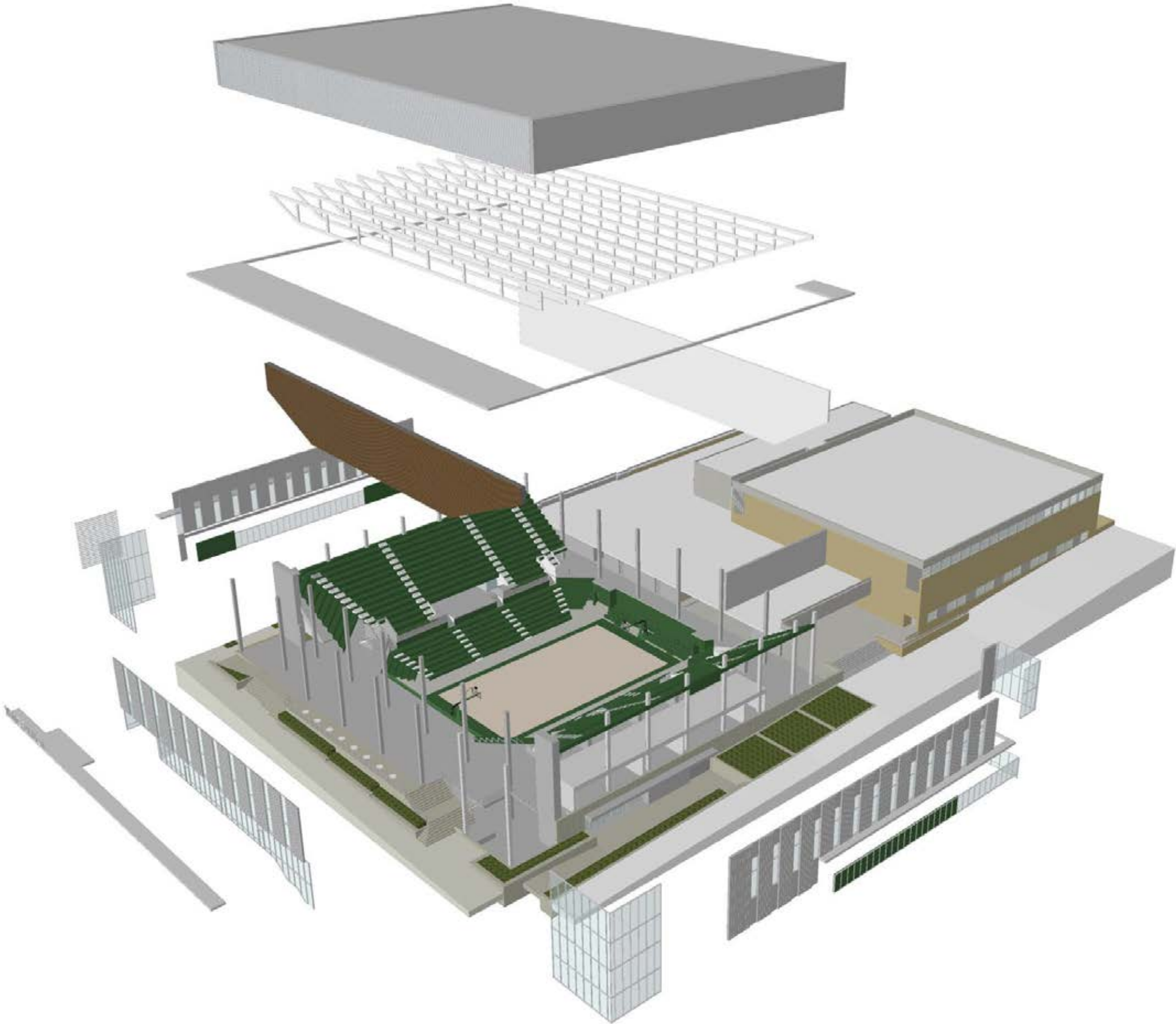
Storefront + Curtainwall
Glazing Systems

Painted Metal Guardrail

Building Base:
•Brick Veneer
•Cast-in-place concrete planters
•Precast planter wall caps



axonometric diagram



central city plan district development standards diagrams

ground floor windows

GROUND FLOOR WINDOW REQUIREMENTS (33.130.230.3 & 33.510.220):

- REQUIRED:

MINIMUM **50 PERCENT** OF LENGTH OF STREET-FACING FACADE

LENGTH OF STREET-FACING FACADE: 150'-0"
- PROVIDED:

LENGTH OF QUALIFYING WINDOWS (SILL WITHIN 4' OF GRADE): = 93'-9" =**63 PERCENT**
- REQUIRED:

MINIMUM **25 PERCENT** OF GROUND LEVEL WALL AREA (UP TO 9' ABOVE FIN. GRADE)

GROUND LEVEL WALL AREA: 1,351 SF
- PROVIDED:

AREA OF QUALIFYING WINDOWS (SILL WITHIN 4' OF GRADE): 580 SF= **43 PERCENT**

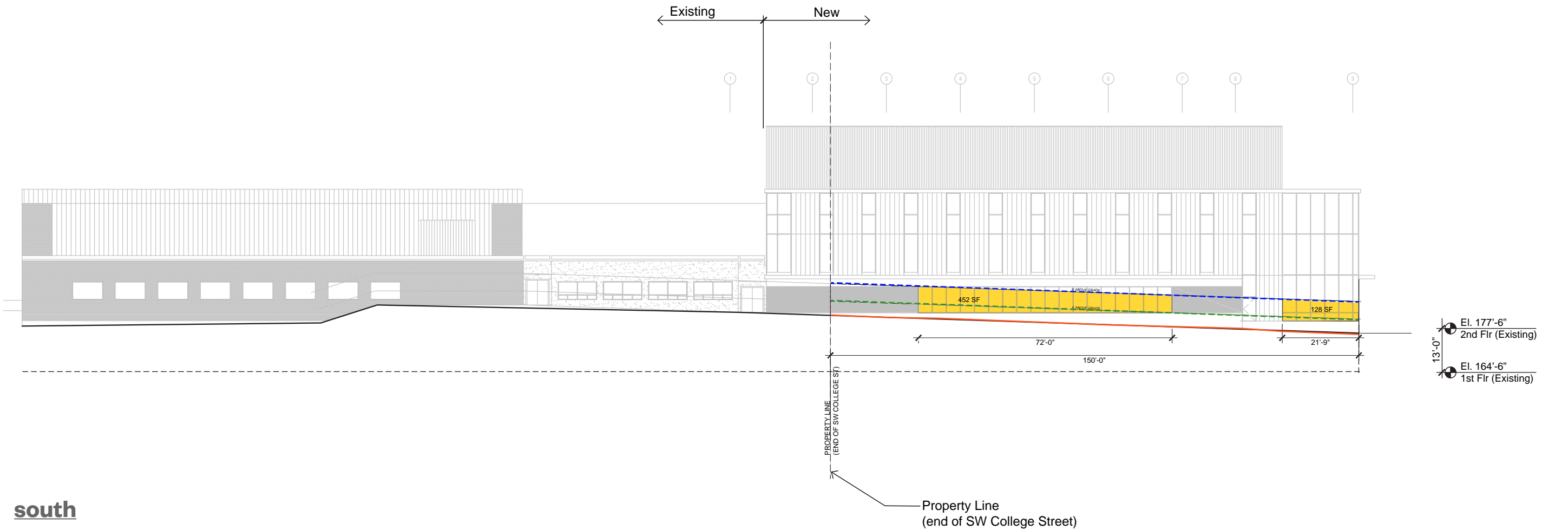
legend

— top of exterior grade

- - - 4' above grade

- - - 9' above grade

■ area of windows/glass doors meeting the standard



central city plan district development standards diagrams

ground floor windows

GROUND FLOOR WINDOW REQUIREMENTS (33.130.230.3 & 33.510.220):

REQUIRED:	MINIMUM 50 PERCENT OF LENGTH OF STREET-FACING FACADE
	LENGTH OF STREET-FACING FACADE: 200'-0"
PROVIDED:	LENGTH OF QUALIFYING WINDOWS (SILL WITHIN 4' OF GRADE): = 102'-0" = 51 PERCENT
REQUIRED:	MINIMUM 25 PERCENT OF GROUND LEVEL WALL AREA (UP TO 9' ABOVE FIN. GRADE)
	GROUND LEVEL WALL AREA: 1,802 SF
PROVIDED:	AREA OF QUALIFYING WINDOWS (SILL WITHIN 4' OF GRADE): 661 SF= 37 PERCENT

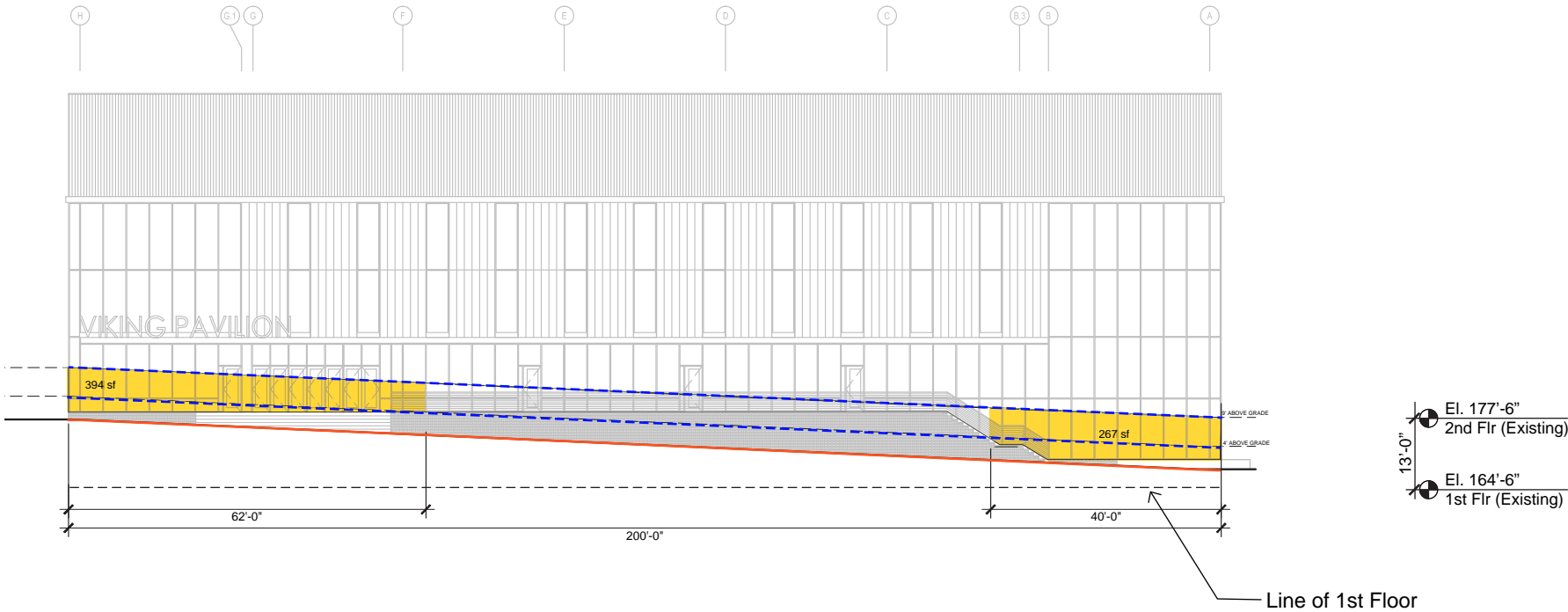
legend

top of exterior grade

4' above grade

9' above grade

area of windows/glass doors meeting the standard



east

central city plan district development standards diagrams

ground floor windows

GROUND FLOOR WINDOW REQUIREMENTS (33.130.230.3 & 33.510.220):

- REQUIRED:

MINIMUM **50 PERCENT** OF LENGTH OF STREET-FACING FACADE

LENGTH OF STREET-FACING FACADE: 379' -8 1/2"
- PROVIDED:

LENGTH OF QUALIFYING WINDOWS (SILL WITHIN 4' OF GRADE): = 147'-1" =**39 PERCENT**
- REQUIRED:

MINIMUM **25 PERCENT** OF GROUND LEVEL WALL AREA (UP TO 9' ABOVE FIN. GRADE)

GROUND LEVEL WALL AREA: 3,398 SF
- PROVIDED:

AREA OF QUALIFYING WINDOWS (SILL WITHIN 4' OF GRADE): 858 SF= **25 PERCENT**

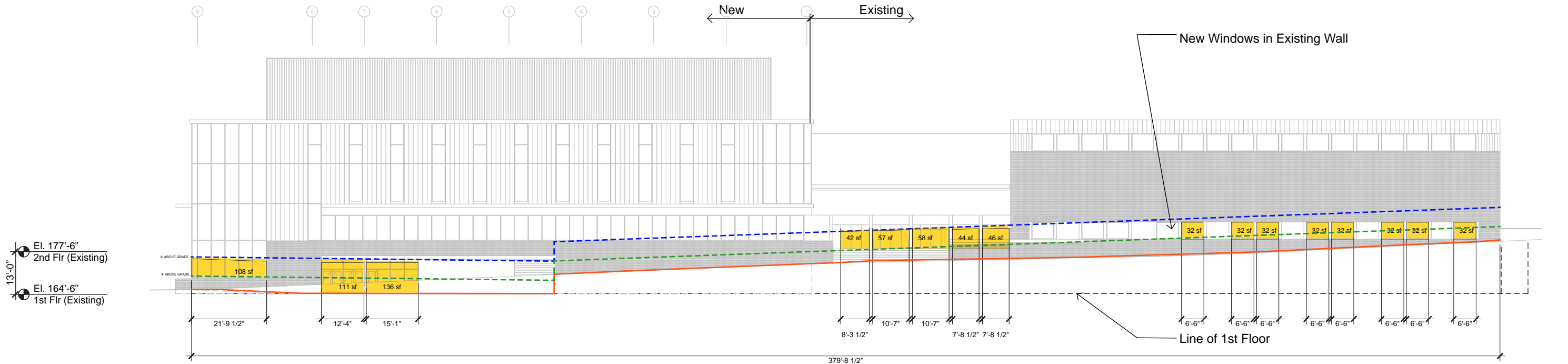
legend

top of exterior grade

4' above grade

9' above grade

area of windows/glass doors meeting the standard

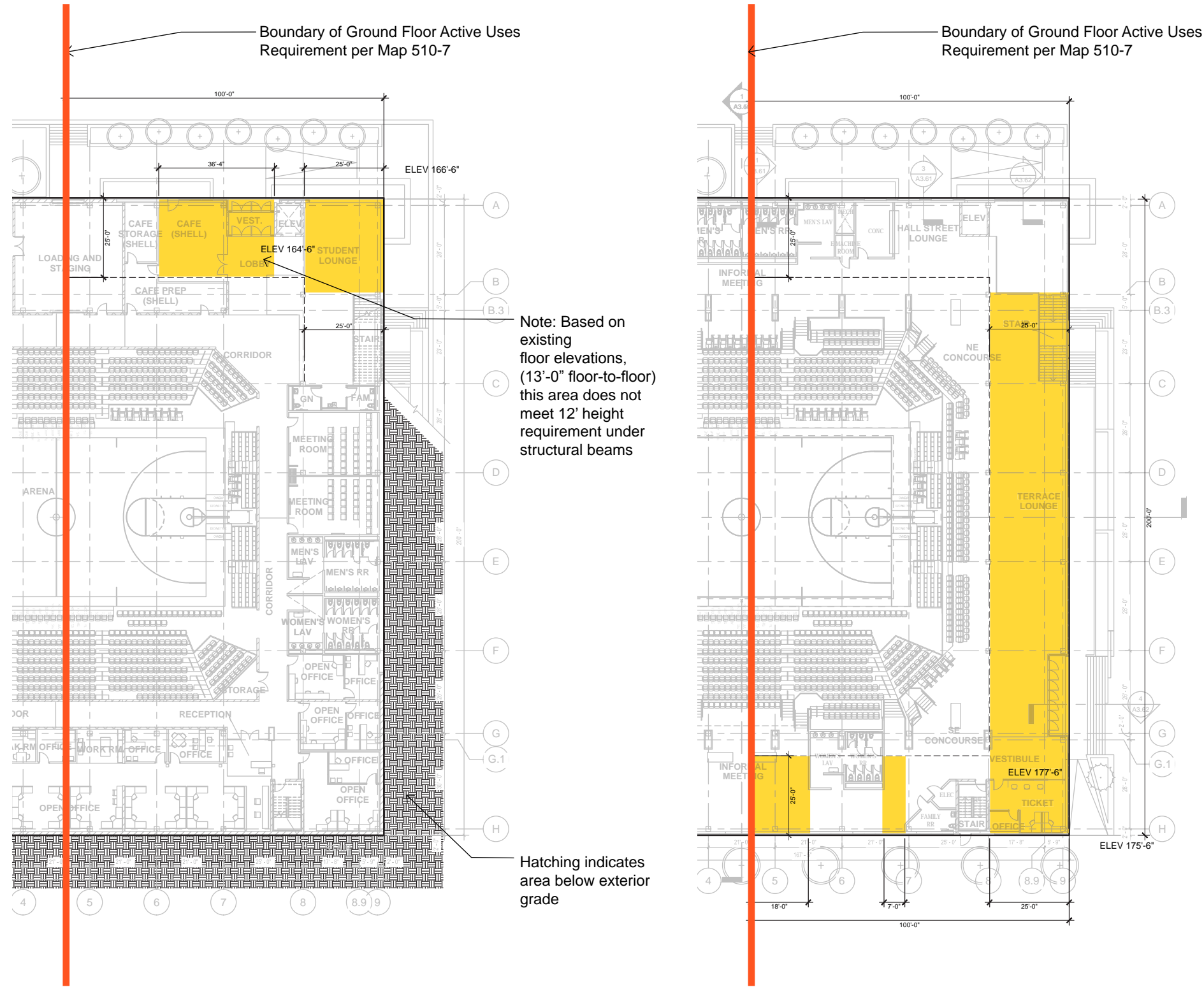


north



central city plan district development standards diagrams

ground floor active uses



- GROUND FLOOR ACTIVE USES (33.510.225):
- REQUIREMENTS:
- IN AREAS IDENTIFIED IN MAP 510-7, STANDARD MUST BE MET ALONG AT LEAST **50 PERCENT** OF GROUND FLOOR OF WALLS THAT FRONT ONTO A SIDEWALK, PLAZA, OR OTHER PUBLIC OPEN SPACE.
 - ACTIVE USES INCLUDE, BUT ARE NOT LIMITED TO: LOBBIES, RETAIL, RESIDENTIAL, COMMERCIAL, AND OFFICE
- AREAS DESIGNED TO ACCOMMODATE ACTIVE USES MUST MEET THE FOLLOWING STANDARDS:
1. DISTANCE FROM FINISHED FLOOR TO BOTTOM OF THE STRUCTURE ABOVE MUST BE AT LEAST 12 FEET. THE BOTTOM OF THE STRUCTURE ABOVE INCLUDES SUPPORTING BEAMS.
 2. THE AREA MUST BE AT LEAST 25 FEET DEEP, MEASURED FROM THE STREET-FACING FACADE
 3. THE AREA MUST BE DESIGNED TO ACCOMMODATE A SINGLE TENANT OR MULTIPLE TENANTS. IN EITHER CASE, THE AREA MUST MEET THE STANDARDS OF THE ACCESSIBILITY CHAPTER OF THE STATE OF OREGON STRUCTURAL SPECIALTY CODE.
 4. THE STREET-FACING FACADE MUST INCLUDE WINDOWS AND DOORS, OR BE STRUCTURALLY DESIGNED SO DOORS AND WINDOWS CAN BE ADDED WHEN THE SPACE IS CONVERTED TO ACTIVE BUILDING USES.
- PROVIDED:
- SOUTH: **50 PERCENT**
 - EAST: **100 PERCENT**
 - NORTH: **61 PERCENT***
*(36 PERCENT DOES NOT MEET 12' MIN. CLEAR HEIGHT REQUIREMENT BASED ON EXISTING CONDITIONS)

legend

area of active uses at least 25 feet deep

part. plan at level 1 (elev. 164'-6")

part plan at level 2 (elev. 177'-6")

south park blocks

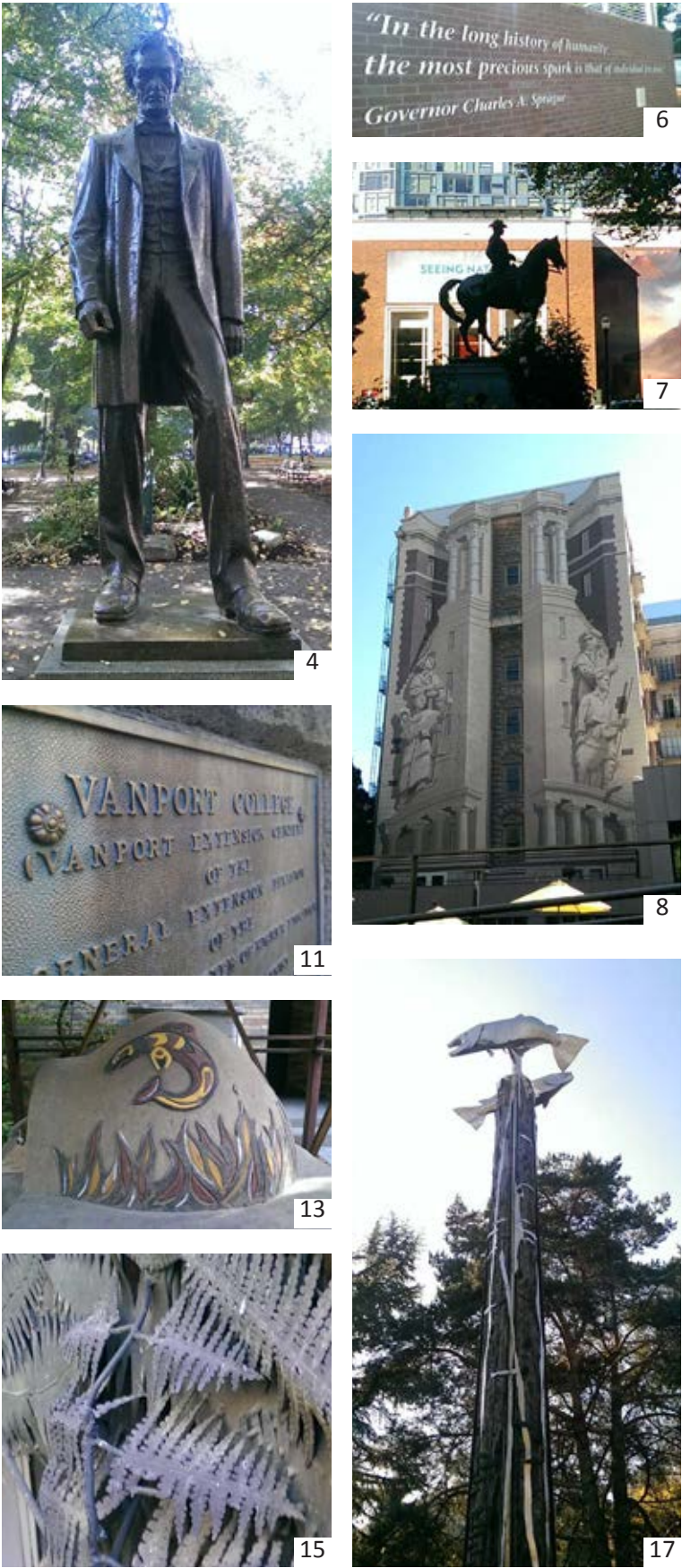


Portland State University
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C.33

existing conditions analysis



woofter architecture + sink combs dethlefs
EA 15-149774 DAR SUBMISSION October 30, 2015