

RESIDENCES AT SW 20th AVENUE

SW 20TH AVENUE PORTLAND, OREGON 97201

DESIGN DEVELOPMENT SET

OCTOBER 09, 2015

TYPE 3 DESIGN REVIEW



SITE PLAN



CONTACT DIRECTORY

DESIGN ARCHITECT

URBAN FOUNDRY ARCHITECTURE

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PROPERTY OWNER

WESTERN STATES HOUSING

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TUCSON, AZ 85718
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CODE ANALYSIS

COMMERCIAL (INCLUDING STRUCTURES CONTAINING THREE OR MORE DWELLING UNITS):

BUILDING:
2014 OREGON STRUCTURAL SPECIALTY CODE (BASED ON THE 2012 INTERNATIONAL BUILDING CODE), EFFECTIVE JULY 1, 2014
2014 OSSC ACCESSIBILITY REFERENCED STANDARD: ICC A117.1-2009

ENERGY
GENERAL ENERGY CODE COMPLIANCE INFORMATION AND FORMS
2014 OREGON ENERGY EFFICIENCY SPECIALTY CODE (BASED ON THE 2009 INTERNATIONAL ENERGY CONSERVATION CODE), EFFECTIVE JULY 1, 2014
SOLAR CODE

FIRE
2007 PORTLAND FIRE CODE (BASED ON THE 2007 OREGON FIRE CODE)
EFFECTIVE APRIL 1, 2007

MECHANICAL CODE:
2014 OREGON MECHANICAL SPECIALTY CODE (BASED ON THE 2012 INTERNATIONAL MECHANICAL CODE AND 2012 INTERNATIONAL FUEL GAS CODE), EFFECTIVE JULY 1, 2014

ELECTRICAL CODE:
2014 OREGON ELECTRICAL SPECIALTY CODE - (BASED ON THE 2014 NFPA 70 NATIONAL ELECTRICAL CODE) EFFECTIVE APRIL 1, 2011
PLUMBING CODE:
2014 OREGON PLUMBING SPECIALTY CODE (BASED ON THE 2009 UNIFORM PLUMBING CODE) EFFECTIVE OCTOBER 1, 2014

DESCRIPTION

MULTI-FAMILY HOUSING PROJECT
4 STORIES OVER GARAGE PODIUM

16 DWELLING UNITS
12 TYPE A
4 TYPE B

BUILDING BASELINE: 166.58'
STREET LOBBY ELEVATION: 167.08' T.O. DECK
GARAGE LOBBY ELEVATION: 169.40' T.O. DECK
T.O. ROOF: 221.58

TOTAL SITE AREA: 16,000 SF

TOTAL BUILDING FLOOR AREA: 27,023 GSF

TOTAL BUILDING FLOOR AREA RATIO: 1.69

PARKING

19 TOTAL STALLS:
15 STANDARD (MIN.) 8'6"x16'
3 AUXILIARY STALL
1 VAN ACCESSIBLE: 9'0"x16' + 8' LOADING

PRIVATE ON-SITE STORAGE

STORAGE UNITS: 10 TOTAL + 3 OPTIONAL
NOMINAL SIZE: 24 SF

BICYCLE STORAGE (Per 33,266,120)
TOTAL 24 RACKS

PROPERTY

NO SITE ADDRESS: SW 20TH AVE. AND SW MARKET ST.
LEGAL DESCRIPTION: 1S1E04BA 8400
TAX ACCOUNT NO: R128649
QUARTER SECTION: 3127 OLD
NEIGHBORHOOD: GOOSE HOLLOW & WEST END
PLAN DISTRICT: CENTRAL DISTRICT DESIGN ZONE
ZONING: R1d CENTRAL CITY

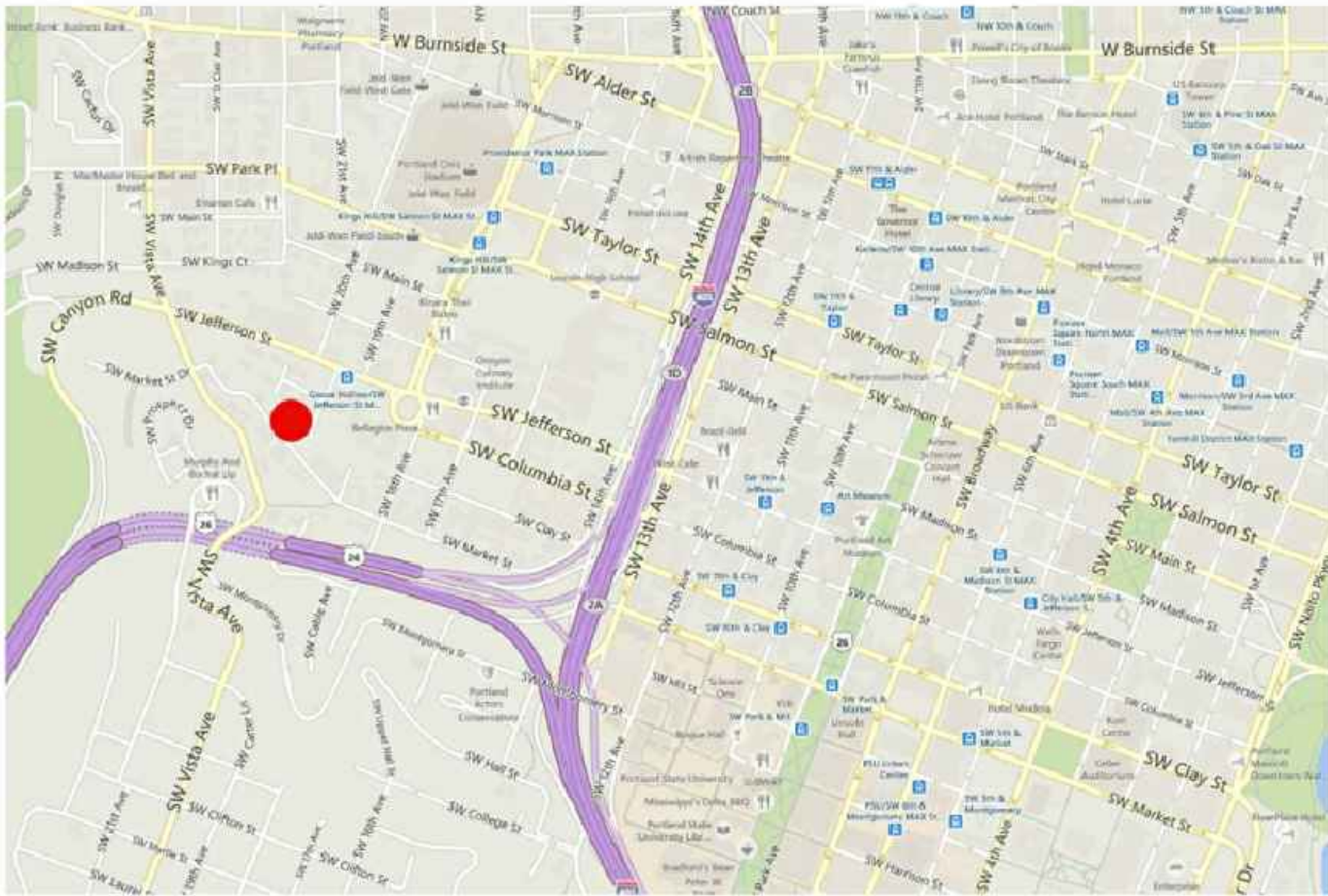
OWNERSHIP

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SCOTIA WESTERN STATES HOUSING, LLC.
6340 N. CAMPBELL AVE., STE. 240
TUCSON, ARIZONA 85718

JURISDICTION: PORTLAND, OREGON
MULTNOMAH COUNTY
GOOSE HOLLOW NEIGHBORHOOD

OCCUPANCY CLASSIFICATION: R-2
CONSTRUCTION TYPE: TYPE 5A
FULLY SPRINKLERED

LOCATION MAP



N.T.S.

RESIDENCES AT SW 20th

SW 20TH AVENUE

PORTLAND, OREGON

LAND USE CASE #: LU 15-118576 DZM

EXHIBIT C1

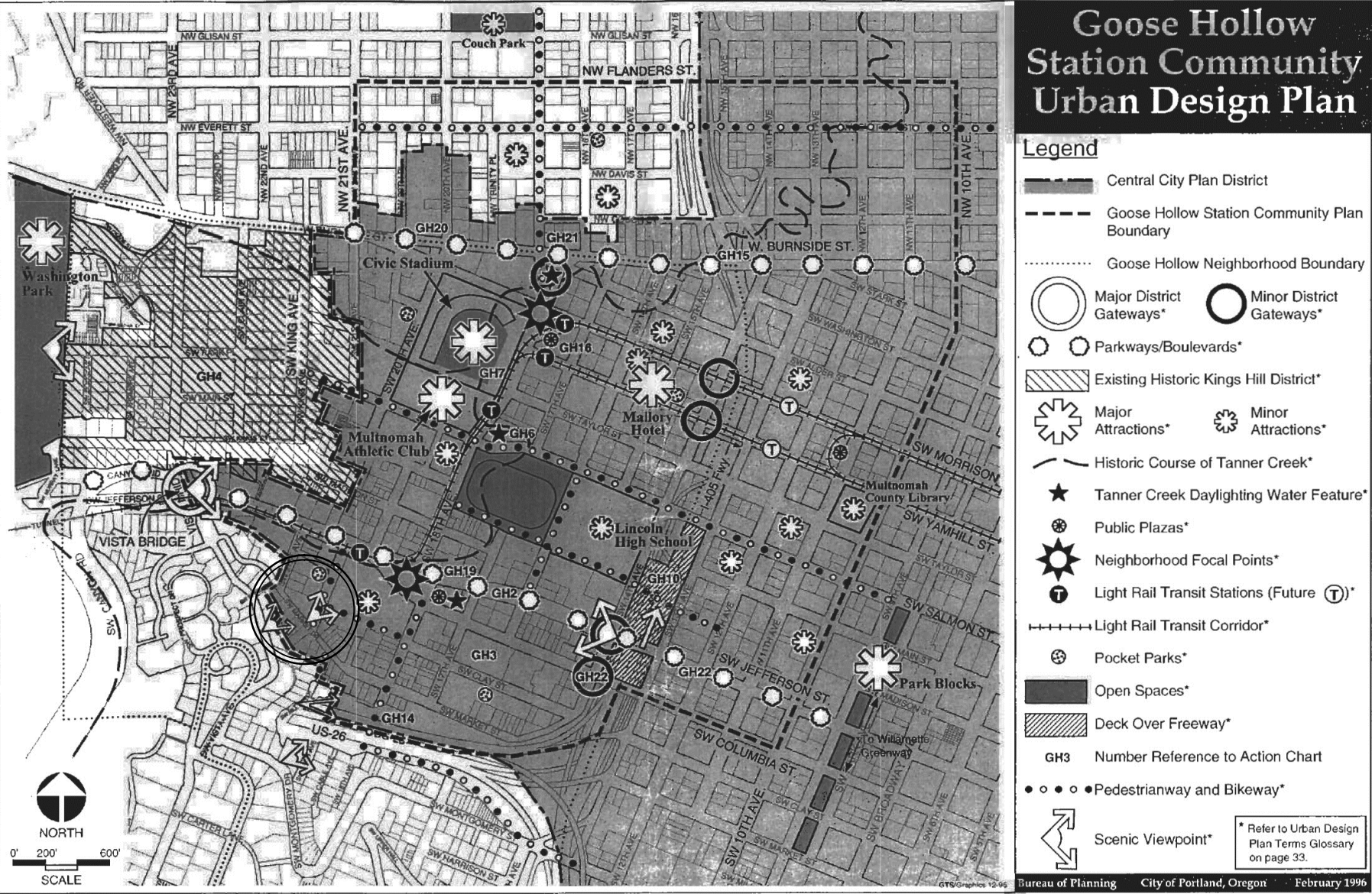
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PROJECT NUMBER: 1429	ISSUES: 05/18/15 06/25/15	TYPE III DESIGN REVIEW TYPE III DR - COMMENT REVISIONS	Revisions	Date	Description
DRAWING DATE: 10/09/2015					
DRAWING TITLE: COVER SHEET					
SHEET NUMBER: A.000					

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NEIGHBORHOOD DESIGN GOALS

Goose Hollow District Design Goals

The Goose Hollow Foothills League, the Goose Hollow Design Guidelines Committee and the Neighborhood Development Committee have assisted the City in promoting certain urban design concepts as described in the Vision. These concepts concern the design of housing, mixed-use centers, neighborhood retail, main attractions and activity centers, urban plazas and pocket parks, and pedestrian and bike connections to adjacent neighborhoods. The Goose Hollow District design guidelines are directed to address the following urban design goals and objectives specific to the Goose Hollow District.

- Enhance mixed-use, transit-oriented development around the light rail stations to make it a pedestrian-friendly station community.**
 - Consider each station's unique qualities in design and its role in the region.
 - Achieve appropriate density while ensuring good design of mixed-use buildings at each station area core.
 - Promote pedestrian-friendly neighborhood retail at the Civic Stadium and Jefferson Street station areas to make them active neighborhood focal points.
- Provide open spaces to accommodate active public life.**
 - Consider incentive programs for designing neighborhood-scale pocket parks in the residential areas to provide for play areas.
 - Design urban plazas with art work and pedestrian-friendly amenities at the two neighborhood focal points of the Civic Stadium Station and Jefferson Street stations.
 - Maintain a well designed transition between open spaces and built-up areas.
- Strengthen connections to adjacent neighborhoods through light rail, bike and pedestrian access and assure a safe and pleasant bike/pedestrian environment.**
 - Maintain pedestrian-friendly treatment along the light rail alignment.
 - Maintain safe and easy connections between housing, station area cores and major activity centers.
 - Strengthen connections between Washington Park and downtown Park Blocks by developing a pleasant boulevard with active uses along SW Jefferson Street.
 - Promote additional building setbacks and active retail along West Burnside to make it a corridor attracting people from both the Northwest neighborhoods and Goose Hollow District.
- Preserve and enhance the community's history and architectural character.**
 - Integrate the history of the Community, symbolically, with its natural and formal (man-made) features.
 - Consider using % for art funds for promoting art work related to the community's history and special design elements to emphasize gateways to the district and important centers and landmarks.

APPLICABLE NEIGHBORHOOD SPECIFIC GUIDELINES

GHA2.1 Recognize the course of the historic Tanner Creek and emphasize the District's connection with the Creek.

GHA5.5 Incorporate water features or water design themes that enhance the quality, character, and image of the Goose Hollow District.

GHA5.6 Incorporate works of art or other special design features that increase the public enjoyment of the District.

GHB1.1 Provide human-scale and interest to buildings along sidewalks and walkways

GHB6.1 Provide outdoor lighting at a human scale to encourage evening pedestrian activity.

GHC1.1 Design surface parking and parking garage exteriors to visually integrate with their surroundings.

GHC1.2 Integrate signs and awnings to be complementary and respectful of a building's architecture.

GHC7.1 Reduce the impact on pedestrians from cars entering and exiting residential unit garages by locating garage access on alleys, wherever possible, and active spaces on ground floors that abut streets.

CENTRAL CITY FUNDAMENTAL DESIGN GUIDELINES

A. PORTLAND PERSONALITY

A1 INTEGRATE THE RIVER

A2 EMPHASIZE PORTLAND THEMES

When provided, integrate Portland-related themes with the development's overall design concept.

A3 RESPECT THE PORTLAND BLOCK STRUCTURE

A4 USE UNIFYING ELEMENTS

Integrate unifying elements and/or develop new features that help unify and connect individual buildings and different areas.

A4.2. Identifying unifying elements of Portland.

A5 ENHANCE, EMBELLISH, AND IDENTIFY AREAS

Enhance an area by reflecting the local character within the right-of-way.

Embellish an area by integrating elements in new development that build on the area's character.

Identify an area's special features or qualities by integrating them into new development.

A5.8. Using imaginative designs for necessary building features or functions.

A5.11 Recognizing important historic buildings of the neighborhood

A6 REUSE/REHABILITATE/RESTORE BUILDINGS

A7 ESTABLISH AND MAINTAIN A SENSE OF URBAN ENCLOSURE

A8 CONTRIBUTE TO A VIBRANT STREETScape

Integrate building setbacks with adjacent sidewalks to increase the space for potential public use.

Develop visual and physical connections into buildings' active interior spaces from adjacent sidewalks.

Use architectural elements such as atriums, grand entries and large ground-level windows to reveal important interior spaces and activities.

A8.3. Capitalizing on sidewalk opportunities.

A8.4. Orienting residential development to the sidewalk.

A9 STRENGTHEN GATEWAYS

B. PEDESTRIAN EMPHASIS

B1 REINFORCE AND ENHANCE THE PEDESTRIAN SYSTEM

Maintain a convenient access route for pedestrian travel where a public right-of-way exists or has existed.

Develop and define the different zones of a sidewalk: building frontage zone, street furniture zone, movement zone, and the curb.

Develop pedestrian access routes to supplement the public right-of-way system through superblocks or other large blocks.

B1.3 Articulating the building wall at the ground level.

B1.5 Incorporating pedestrian access routes through sites

B2 PROTECT THE PEDESTRIAN

Protect the pedestrian environment from vehicular movement.

Develop integrated identification, sign, and sidewalk oriented night-lighting systems that offer safety, interest, and diversity to the pedestrian.

B2.1. Emphasizing the protected pedestrian area.

B2.3. Building on an area's historic approach to the sidewalk and/or right-of-way.

B2.4. Incorporating an integrated sign and lighting system into the building's overall design.

B2.5. Integrating mechanical equipment into the overall building design when they are not at the roof or penthouse levels of the building.

B3 BRIDGE PEDESTRIAN OBSTACLES

Bridge across barriers and obstacles to pedestrian movement by connecting the pedestrian system with innovative, well-marked crossings and consistent sidewalk designs.

B3.1. Physically connecting separate areas.

B4 PROVIDE STOPPING AND VIEWING PLACES

Provide safe, comfortable places where people can stop, view, socialize, and rest. Ensure that these places do not conflict with other sidewalk uses.

B5 MAKE PLAZAS, PARKS AND OPEN SPACES SUCCESSFUL

B6 DEVELOP WEATHER PROTECTION

Develop integrated weather protection systems at the sidewalk-level of buildings to mitigate the effects of rain, wind, glare, shadow, reflection, and sunlight on the pedestrian environment.

B6.1. Incorporating comprehensive weather protection.

B6.2. Providing weather protection at and near building access points.

B6.7 Incorporating shading devices at upper building elevations.

B7 INTEGRATE BARRIER-FREE DESIGN

Integrate access systems for all people with the building's overall design concept.

C. PROJECT DESIGN

C1. ENHANCE VIEW OPPORTUNITIES

Orient windows, entrances, balconies, and other building elements to surrounding points of interest and activity. Size and place new buildings to protect existing views and view corridors.

C1.7 Enhancing views to significant features.

C2 PROMOTE QUALITY AND PERMANENCE

Use design principles and building materials that promote quality and permanence.

C3. RESPECT ARCHITECTURAL INTEGRITY

C4. COMPLEMENT THE CONTEXT OF EXISTING BUILDINGS

Complement the context of existing buildings by using and adding to the local design vocabulary.

C5. DESIGN FOR COHERENCY

Integrate the different building and design elements including, but not limited to, construction materials, roofs, entrances, as well as window, door, sign, and lighting systems, to achieve a coherent composition.

C5.4 Incorporating unifying elements.

C5.5 Integrating different building volumes with similar materials.

C5.6 Using a common system of building forms.

C6 DEVELOP TRANSITIONS BETWEEN BUILDINGS AND PUBLIC SPACES

Integrate roof function, shape, surface materials, and colors with the building's overall design concept.

Size and place rooftop mechanical equipment, penthouses, other components, and related screening elements to enhance views of the Central City's skyline, as well as views from other buildings or vantage points.

Develop rooftop terraces, gardens, and associated landscaped areas to be effective stormwater management tools.

C12. INTEGRATE EXTERIOR LIGHTING

Integrate exterior lighting and its staging or structural components with the building's overall design concept. Use exterior lighting to highlight the building's architecture, being sensitive to its impacts on the skyline at night.

C12.1. Using exterior lighting to enhance the pedestrian environment.

C12.7. Highlighting structural bays and/or important architectural elements of the building.

C13. INTEGRATE SIGNS

Integrate signs and their associated structural components with the building's overall design concept. Size, place, design, and light signs to not dominate the skyline. Signs should have only a minimal presence in the Portland skyline.

RESIDENCES AT SW 20th

SW 20TH AVENUE

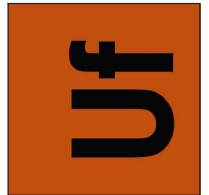
PORTLAND, OREGON

LAND USE CASE #: LU 15-118576 DZM

EXHIBIT C2

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PROJECT NUMBER: 1429	ISSUES: 05/18/15 TYPE II DESIGN REVIEW 06/25/15 TYPE III DR - COMMENT REVISIONS 09/10/15 FLS - COMMENT REVISIONS	Revisions Date # Description
DRAWING DATE: 10/09/2015		
DRAWING TITLE: GENERAL NOTES		
SHEET NUMBER: A.001		

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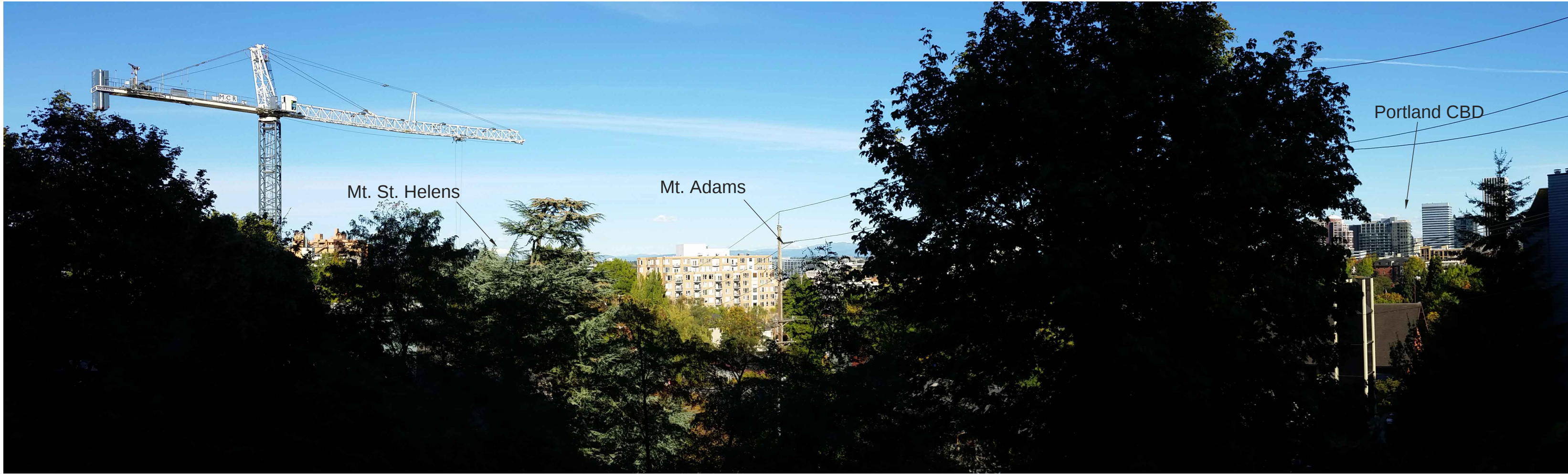


PHOTO 7: Looking South across site from SW Market St.



PHOTO 4: Looking South across site from SW Market St.

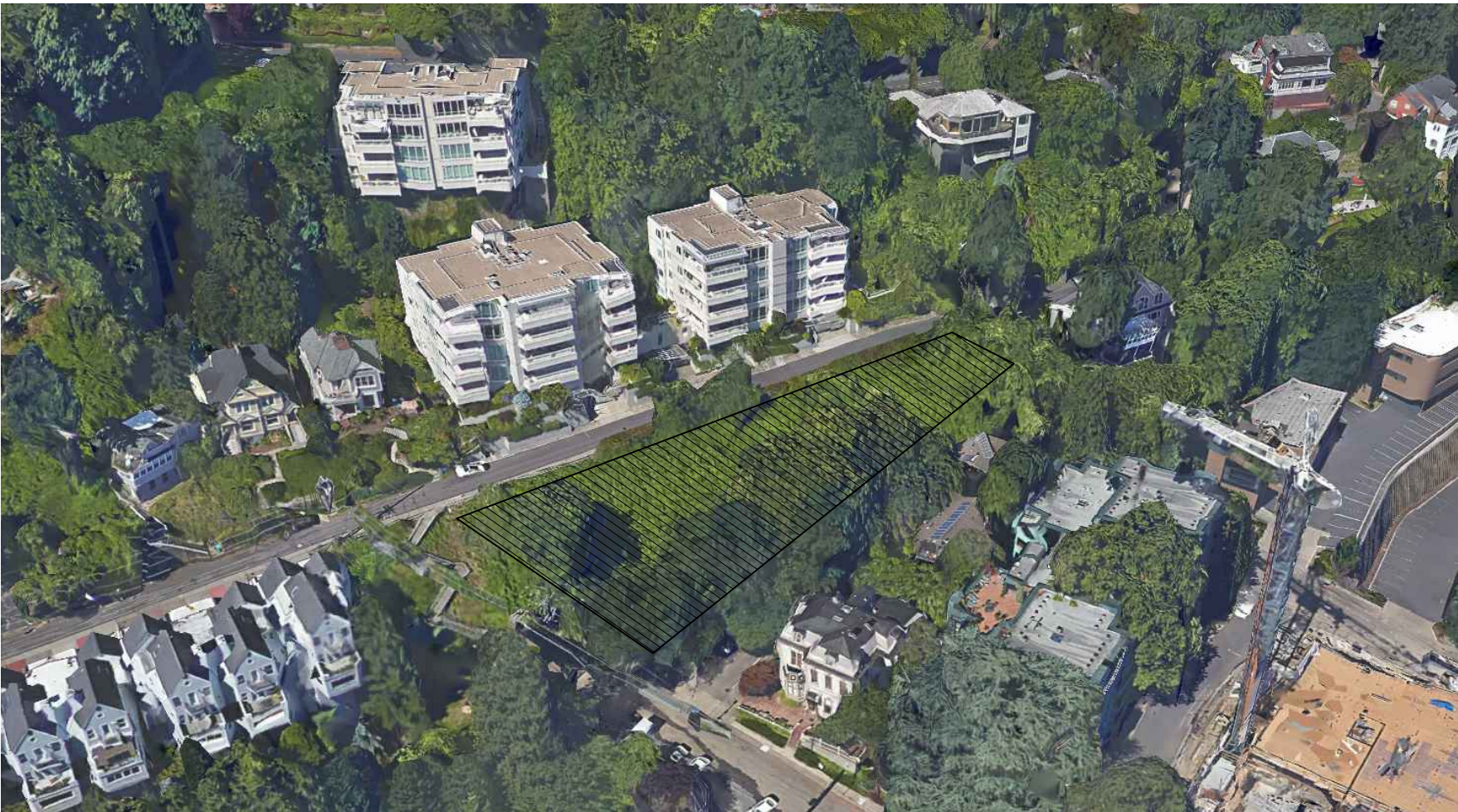


PHOTO 1: Aerial photograph of site. Image right of stair climb.



PHOTO 8: Looking West on SW Market St.



PHOTO 5: Looking East on SW Market St.

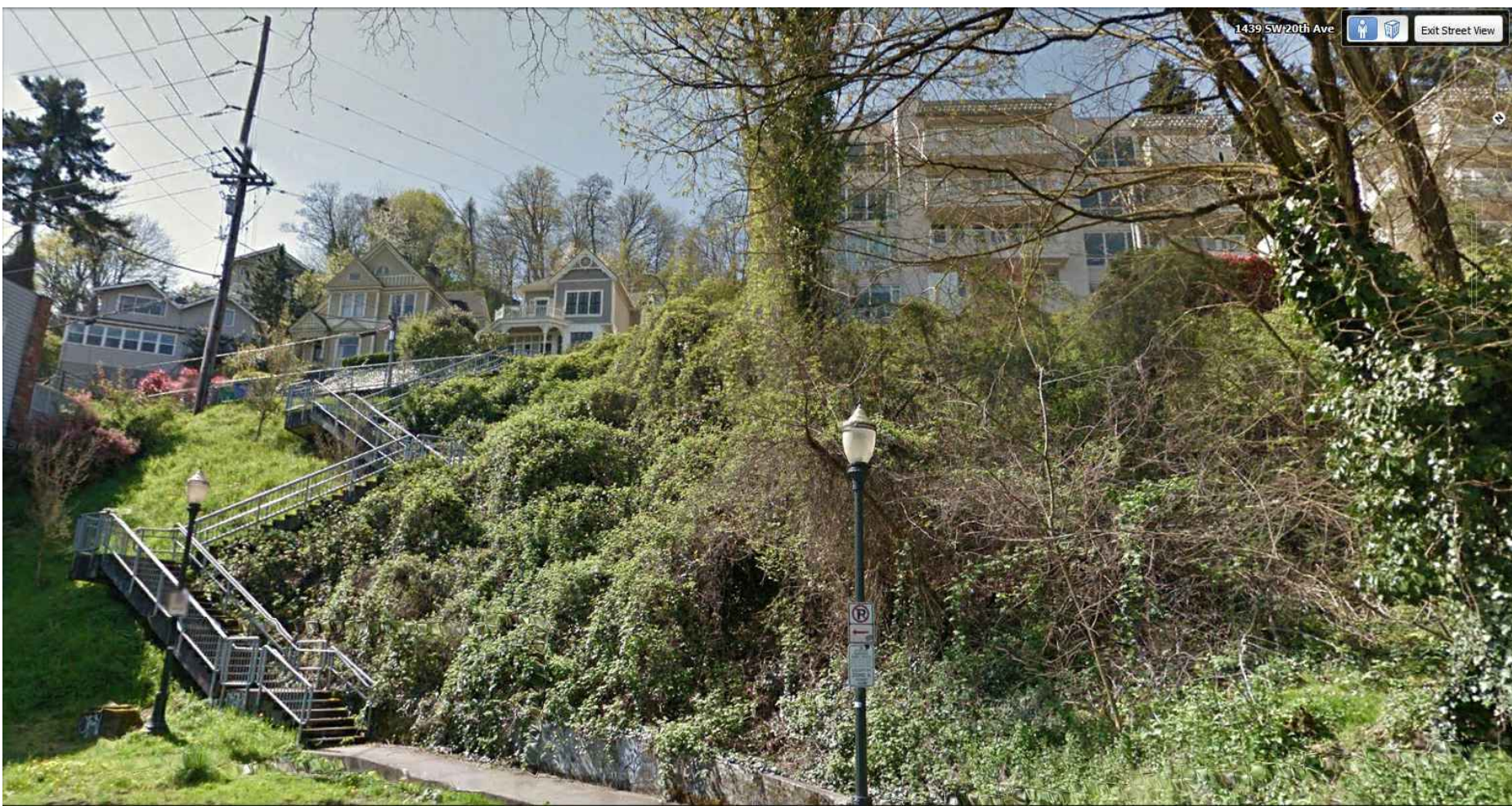


PHOTO 2: LookingSouth at Stair Connection from SW 20th to Market Hill.



PHOTO 9: Looking sout at termination of SW 20th Avenue. Site at image right

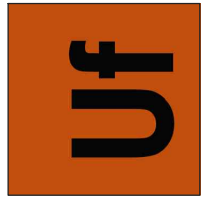


PHOTO 6: Looking South on SW 20th Avenue



PHOTO 3: Looking North on SW 20th Avenue

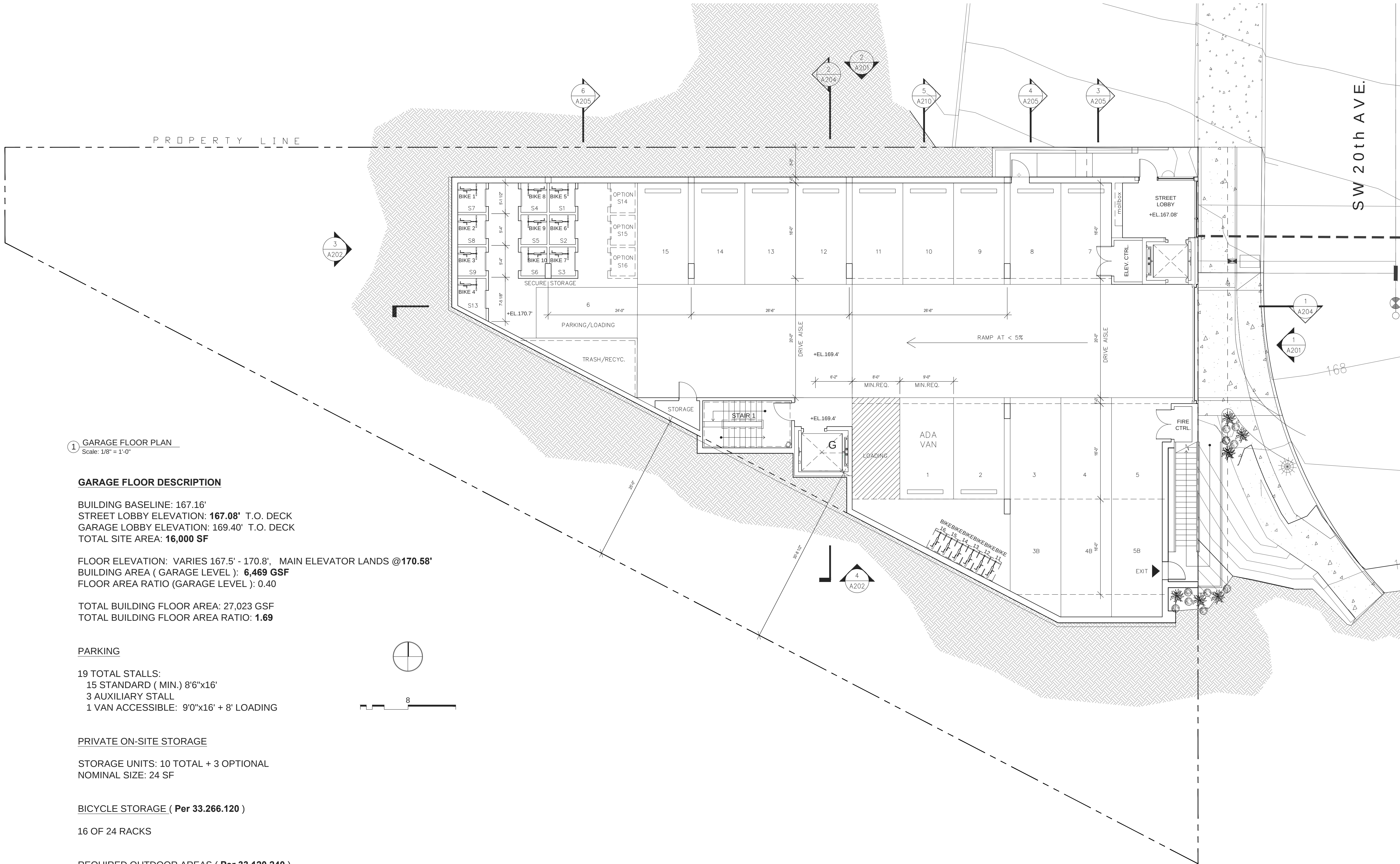
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RESIDENCES AT SW 20th
SW 20TH AVENUE
PORTLAND, OREGON
LAND USE CASE #: LU 15-118576 DZM
EXHIBIT C3

PROJECT NUMBER: 1429	ISSUES:		TYPE III DESIGN REVIEW	
	06/18/15		TYPE III DR - COMMENT REVISIONS	
	06/25/15		F.L.S. - COMMENT REVISIONS	
	09/10/15		F.L.S. - COMMENT REVISIONS	
DRAWING TITLE: SITE PHOTOS	SHEET NUMBER:		Revisions	
	A.002		Date	Description
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1 GARAGE FLOOR PLAN
Scale: 1/8" = 1'-0"

GARAGE FLOOR DESCRIPTION

BUILDING BASELINE: 167.16'
STREET LOBBY ELEVATION: **167.08'** T.O. DECK
GARAGE LOBBY ELEVATION: 169.40' T.O. DECK
TOTAL SITE AREA: **16,000 SF**

FLOOR ELEVATION: VARIES 167.5' - 170.8', MAIN ELEVATOR LANDS @**170.58'**
BUILDING AREA (GARAGE LEVEL): **6,469 GSF**
FLOOR AREA RATIO (GARAGE LEVEL): 0.40

TOTAL BUILDING FLOOR AREA: 27,023 GSF
TOTAL BUILDING FLOOR AREA RATIO: **1.69**

PARKING

19 TOTAL STALLS:
15 STANDARD (MIN.) 8'6"x16'
3 AUXILIARY STALL
1 VAN ACCESSIBLE: 9'0"x16' + 8' LOADING

PRIVATE ON-SITE STORAGE

STORAGE UNITS: 10 TOTAL + 3 OPTIONAL
NOMINAL SIZE: 24 SF

BICYCLE STORAGE (Per 33.266.120)

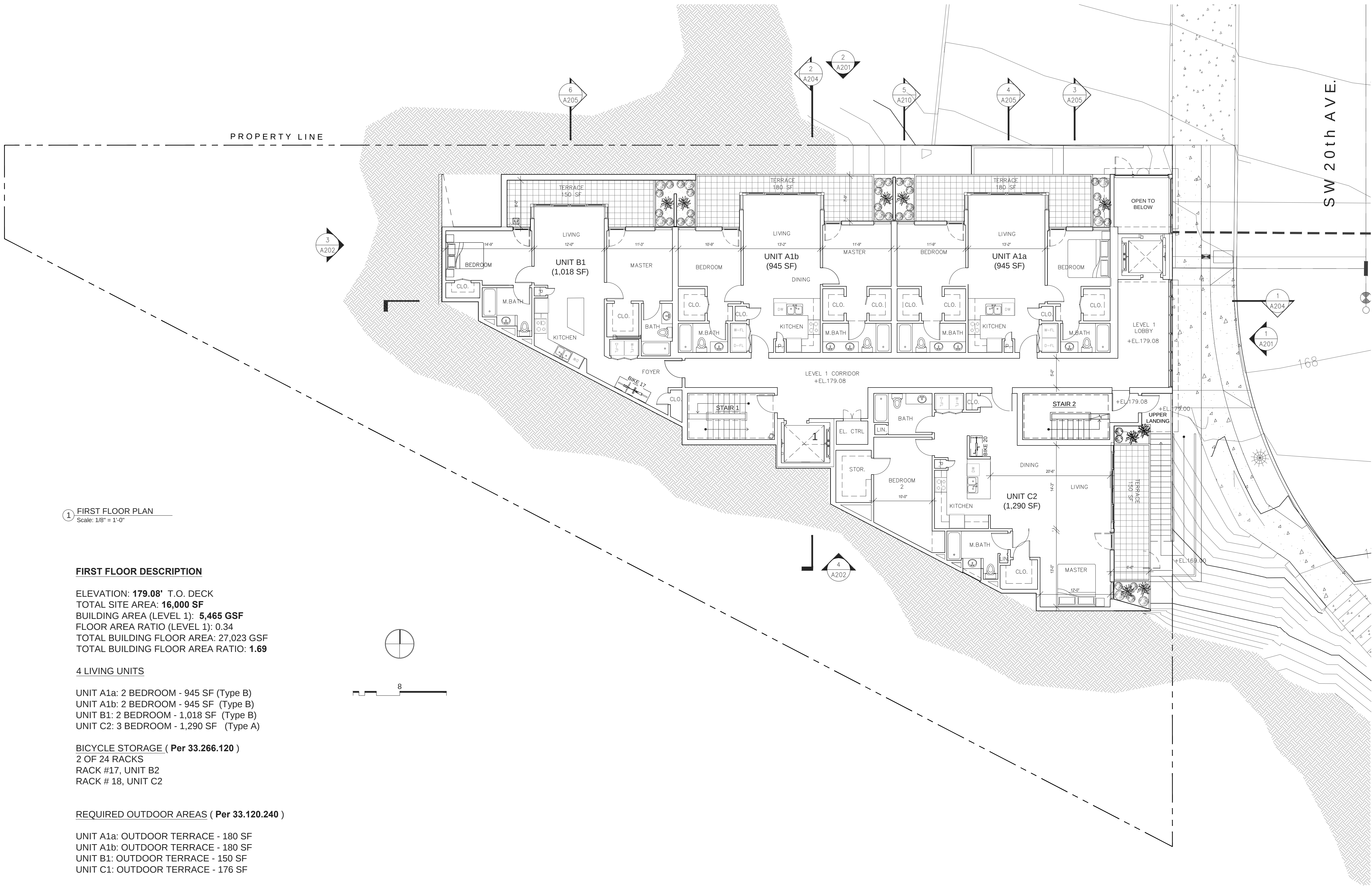
16 OF 24 RACKS

REQUIRED OUTDOOR AREAS (Per 33.120.240)

NA

PROJECT NUMBER: 1429	ISSUES:		
	05/18/15	TYPE III DESIGN REVIEW	
	06/25/15	TYPE III DR - COMMENT REVISIONS	
	09/10/15	FLS - COMMENT REVISIONS	
DRAWING DATE: 10/09/2015			
DRAWING TITLE: FLOOR PLANS			
SHEET NUMBER: A.101	Revisions		
	Date	#	Description

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1 FIRST FLOOR PLAN
Scale: 1/8" = 1'-0"

FIRST FLOOR DESCRIPTION

ELEVATION: 179.08' T.O. DECK
TOTAL SITE AREA: 16,000 SF
BUILDING AREA (LEVEL 1): 5,465 GSF
FLOOR AREA RATIO (LEVEL 1): 0.34
TOTAL BUILDING FLOOR AREA: 27,023 GSF
TOTAL BUILDING FLOOR AREA RATIO: 1.69

4 LIVING UNITS

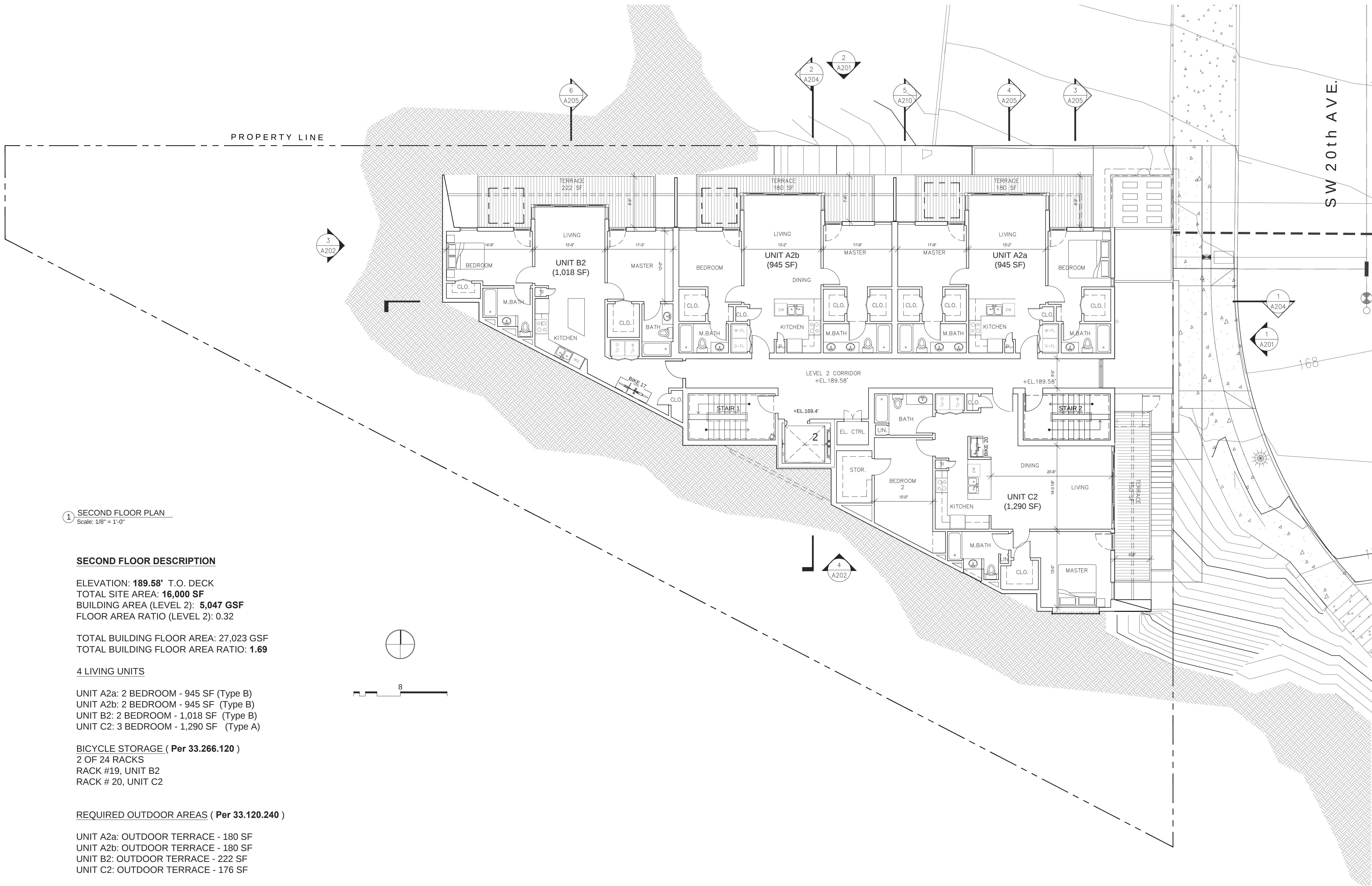
UNIT A1a: 2 BEDROOM - 945 SF (Type B)
UNIT A1b: 2 BEDROOM - 945 SF (Type B)
UNIT B1: 2 BEDROOM - 1,018 SF (Type B)
UNIT C2: 3 BEDROOM - 1,290 SF (Type A)

BICYCLE STORAGE (Per 33.266.120)
2 OF 24 RACKS
RACK #17, UNIT B2
RACK # 18, UNIT C2

REQUIRED OUTDOOR AREAS (Per 33.120.240)

UNIT A1a: OUTDOOR TERRACE - 180 SF
UNIT A1b: OUTDOOR TERRACE - 180 SF
UNIT B1: OUTDOOR TERRACE - 150 SF
UNIT C1: OUTDOOR TERRACE - 176 SF

PROJECT NUMBER:	ISSUES:	TYPE III DESIGN REVIEW	Revisions	FLOOR PLANS
1429	05/18/15	TYPE III DR - COMMENT REVISIONS	Date	SHEET NUMBER:
	06/25/15	TYPE III DR - COMMENT REVISIONS	#	A.102
	10/09/2015	F.L.S - COMMENT REVISIONS	Description	Copyright 2015, URBAN FOUNDRY ARCHITECTURE
DRAWING TITLE:				



1 SECOND FLOOR PLAN
Scale: 1/8" = 1'-0"

SECOND FLOOR DESCRIPTION

ELEVATION: **189.58'** T.O. DECK
TOTAL SITE AREA: **16,000 SF**
BUILDING AREA (LEVEL 2): **5,047 GSF**
FLOOR AREA RATIO (LEVEL 2): 0.32

TOTAL BUILDING FLOOR AREA: 27,023 GSF
TOTAL BUILDING FLOOR AREA RATIO: **1.69**

4 LIVING UNITS

UNIT A2a: 2 BEDROOM - 945 SF (Type B)
UNIT A2b: 2 BEDROOM - 945 SF (Type B)
UNIT B2: 2 BEDROOM - 1,018 SF (Type B)
UNIT C2: 3 BEDROOM - 1,290 SF (Type A)

BICYCLE STORAGE (Per **33.266.120**)
2 OF 24 RACKS
RACK #19, UNIT B2
RACK # 20, UNIT C2

REQUIRED OUTDOOR AREAS (Per **33.120.240**)

UNIT A2a: OUTDOOR TERRACE - 180 SF
UNIT A2b: OUTDOOR TERRACE - 180 SF
UNIT B2: OUTDOOR TERRACE - 222 SF
UNIT C2: OUTDOOR TERRACE - 176 SF

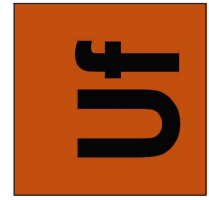
RESIDENCES AT SW 20th

SW 20TH AVENUE

PORTLAND, OREGON

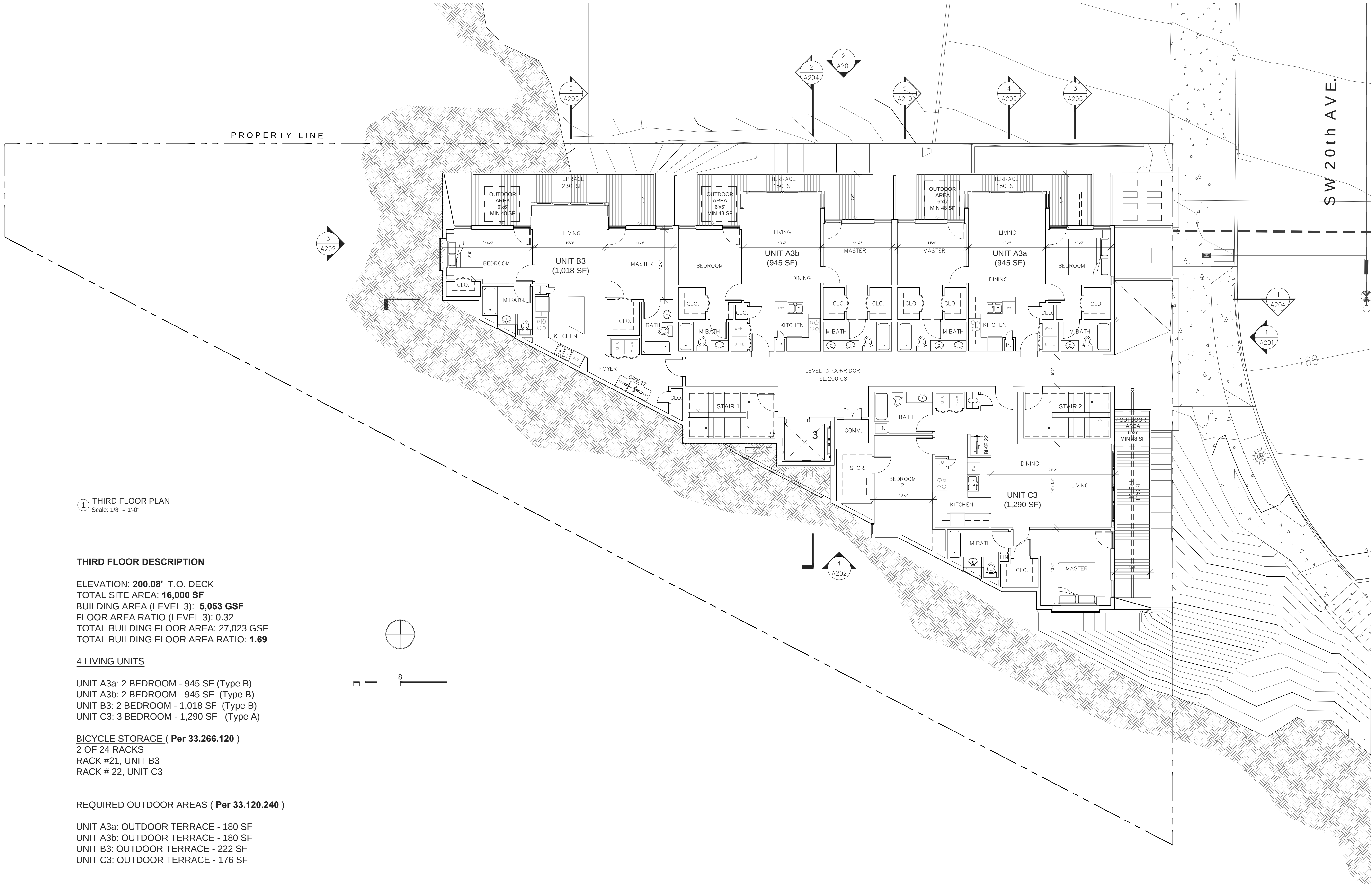
LAND USE CASE #: LU 15-118576 DZM
EXHIBIT C6

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	06/25/15	TYPE III DR - COMMENT REVISIONS		
	09/10/15	F.L.S. - COMMENT REVISIONS		
DRAWING DATE: 10/09/2015				
DRAWING TITLE: FLOOR PLANS				
SHEET NUMBER: A.103	Date	#	Description	
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1 THIRD FLOOR PLAN
Scale: 1/8" = 1'-0"

THIRD FLOOR DESCRIPTION

ELEVATION: 200.08' T.O. DECK
TOTAL SITE AREA: 16,000 SF
BUILDING AREA (LEVEL 3): 5,053 GSF
FLOOR AREA RATIO (LEVEL 3): 0.32
TOTAL BUILDING FLOOR AREA: 27,023 GSF
TOTAL BUILDING FLOOR AREA RATIO: 1.69

4 LIVING UNITS

UNIT A3a: 2 BEDROOM - 945 SF (Type B)
UNIT A3b: 2 BEDROOM - 945 SF (Type B)
UNIT B3: 2 BEDROOM - 1,018 SF (Type B)
UNIT C3: 3 BEDROOM - 1,290 SF (Type A)

BICYCLE STORAGE (Per 33.266.120)
2 OF 24 RACKS
RACK #21, UNIT B3
RACK # 22, UNIT C3

REQUIRED OUTDOOR AREAS (Per 33.120.240)

UNIT A3a: OUTDOOR TERRACE - 180 SF
UNIT A3b: OUTDOOR TERRACE - 180 SF
UNIT B3: OUTDOOR TERRACE - 222 SF
UNIT C3: OUTDOOR TERRACE - 176 SF

RESIDENCES AT SW 20th

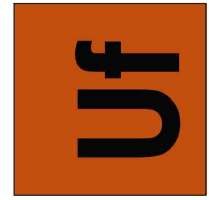
SW 20TH AVENUE

PORTLAND, OREGON

LAND USE CASE #: LU 15-118576 DZM

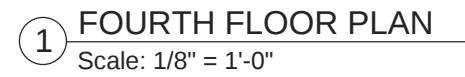
EXHIBIT C7

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PROJECT NUMBER:	ISSUES:	TYPE III DESIGN REVIEW	Revisions	FLOOR PLANS
1429	05/18/15	TYPE III DR - COMMENT REVISIONS	Date	SHEET NUMBER
	06/25/15	TYPE III DR - COMMENT REVISIONS	#	
	09/10/15	F.L.S. - COMMENT REVISIONS		
DRAWING DATE:				
10/09/2015				
DRAWING TITLE:				
FLOOR PLANS				
A.104				
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ELEVATION: **210.58'** T.O. DECK
TOTAL SITE AREA: **16,000 SF**
BUILDING AREA (LEVEL 4): **4,989 GSF**
FLOOR AREA RATIO (LEVEL 4): 0.31
TOTAL BUILDING FLOOR AREA: 27,023 GSF
TOTAL BUILDING FLOOR AREA RATIO: **1.69**

UNIT A4a: 2 BEDROOM - 945 SF (Type B)
UNIT A4b: 2 BEDROOM - 945 SF (Type B)
UNIT B4: 2 BEDROOM - 1,018 SF (Type B)
UNIT C4: 3 BEDROOM - 1,240 SF (Type B)

BICYCLE STORAGE (Per 33.266.120)
2 OF 24 RACKS
RACK #23, UNIT B4
RACK # 24, UNIT C4

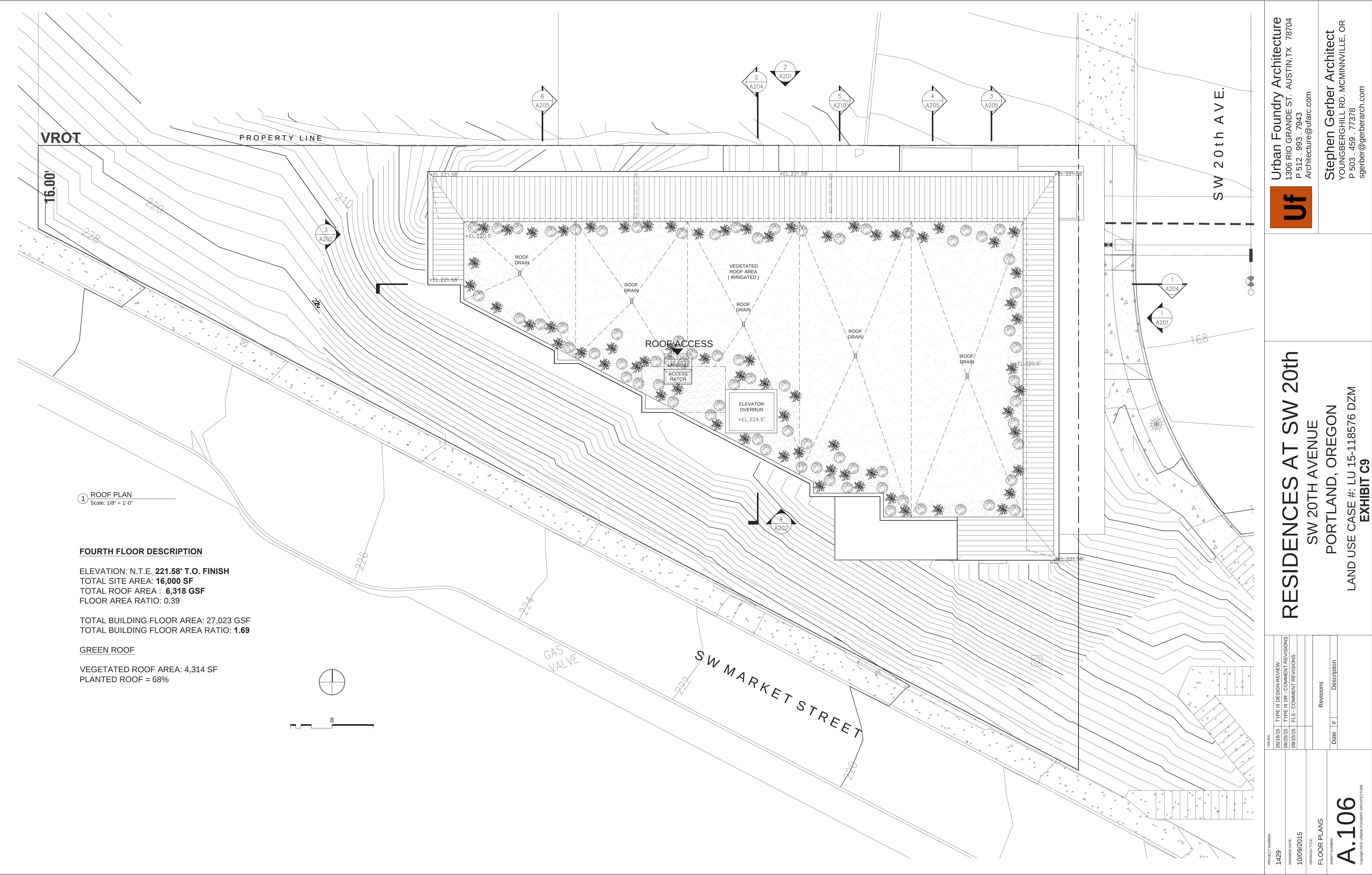
REQUIRED OUTDOOR AREAS (Per 33.120.240)

UNIT A4a: OUTDOOR TERRACE - 180 SF
UNIT A4b: OUTDOOR TERRACE - 180 SF
UNIT B4: OUTDOOR TERRACE - 222 SF
UNIT C4: OUTDOOR TERRACE - 228 SF

RESIDENCES AT SW 20th
SW 20TH AVENUE
PORTLAND, OREGON
LAND USE CASE #: LU 15-118576 DZM
EXHIBIT C8

PROJECT NUMBER: 1429		ISSUES:	
DRAWING TITLE: FLOOR PLANS		05/18/15 TYPE III DESIGN REVIEW	
		06/25/15 TYPE III DR - COMMENT REVISIONS	
		09/10/15 FLS - COMMENT REVISIONS	
DRAWING NUMBER: A.105		Revisions	
		Date	#

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1 ROOF PLAN
Scale: 1/8" = 1'-0"

FOURTH FLOOR DESCRIPTION

ELEVATION: N.T.E. 221.58' T.O. FINISH
TOTAL SITE AREA: 16,000 SF
TOTAL ROOF AREA : 6,318 GSF
FLOOR AREA RATIO: 0.39

TOTAL BUILDING FLOOR AREA: 27,023 GSF
TOTAL BUILDING FLOOR AREA RATIO: 1.69

GREEN ROOF

VEGETATED ROOF AREA: 4,314 SF
PLANTED ROOF = 68%

PROJECT NUMBER:
1429

DRAWING DATE:
10/09/2015

DRAWING TITLE:
FLOOR PLANS

SHEET NUMBER:
A.106

ISSUES:

05/18/15	TYPE III DESIGN REVIEW
06/25/15	TYPE III DR - COMMENT REVISIONS
09/10/15	FLS - COMMENT REVISIONS

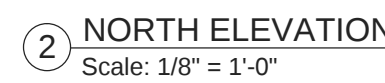
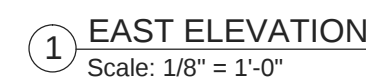
Revisions

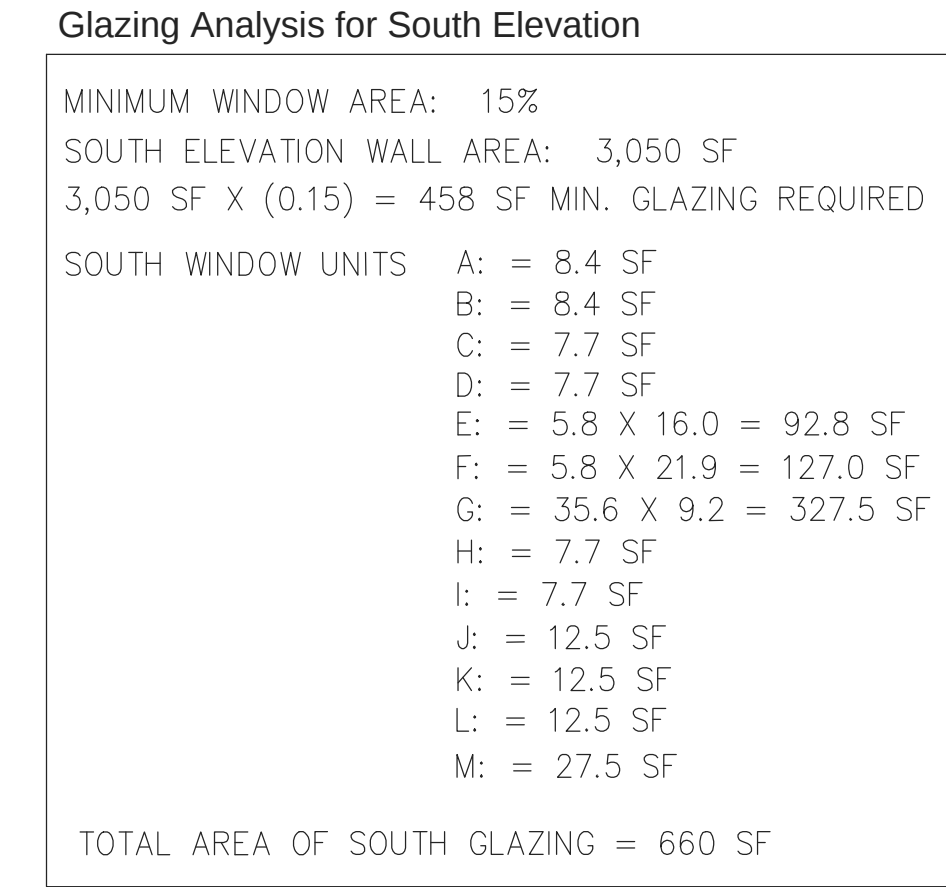
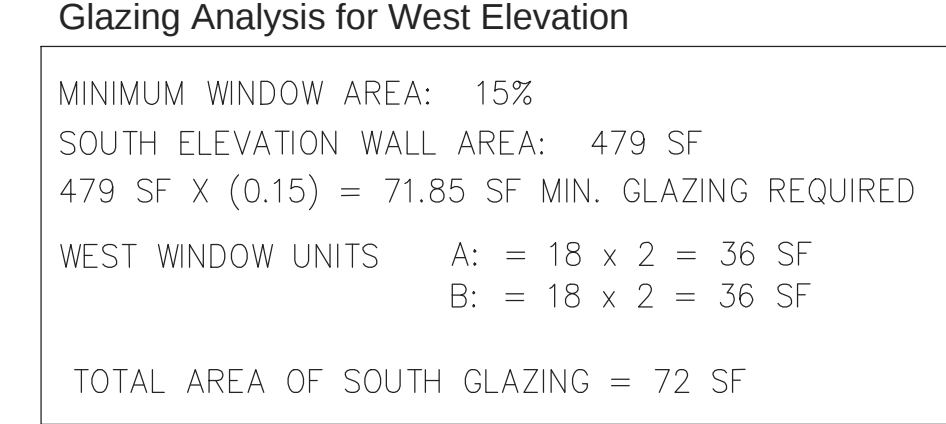
Date	#	Description

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RESIDENCES AT SW 20th
SW 20TH AVENUE
PORTLAND, OREGON
LAND USE CASE #: LU 15-118576 DZM
EXHIBIT C9





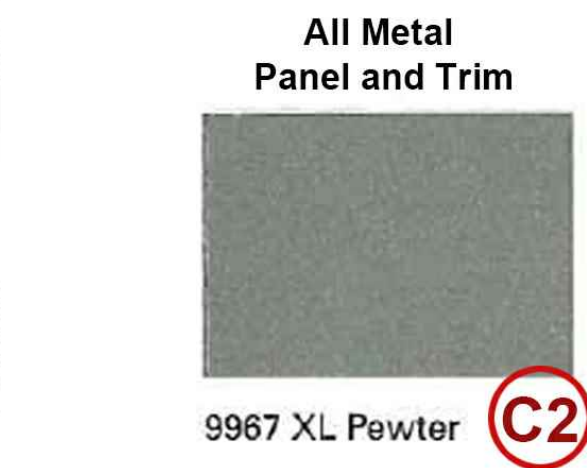
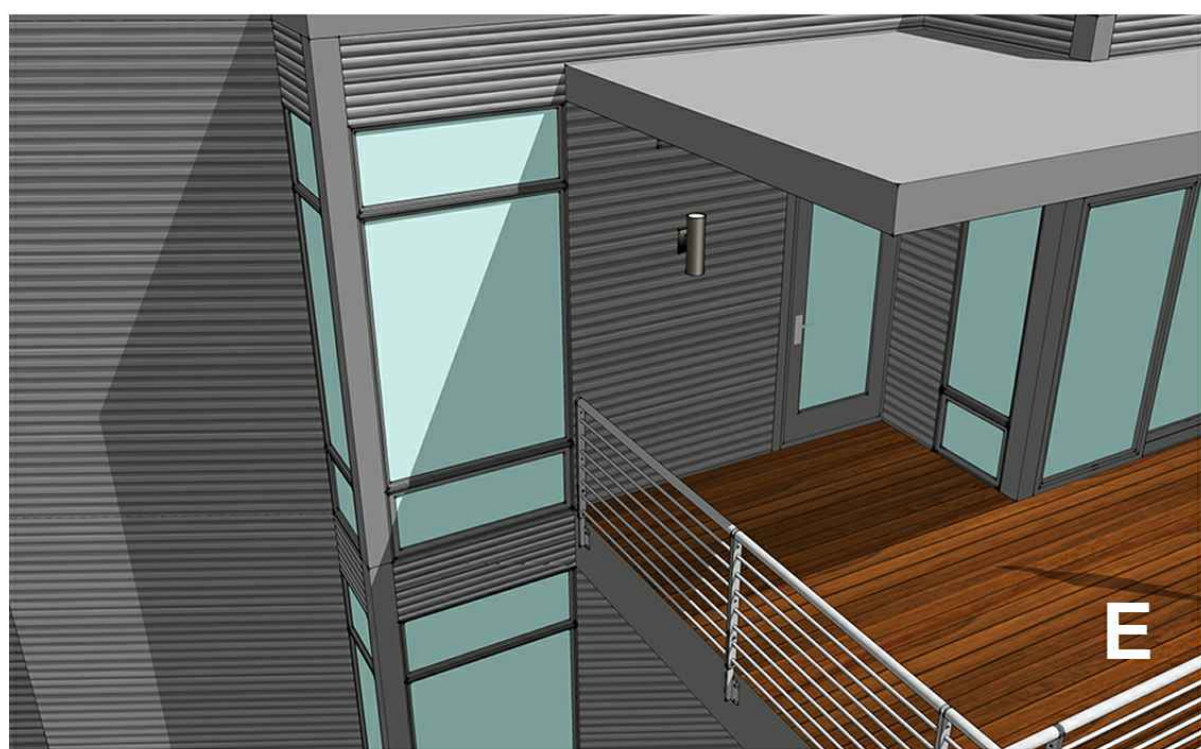
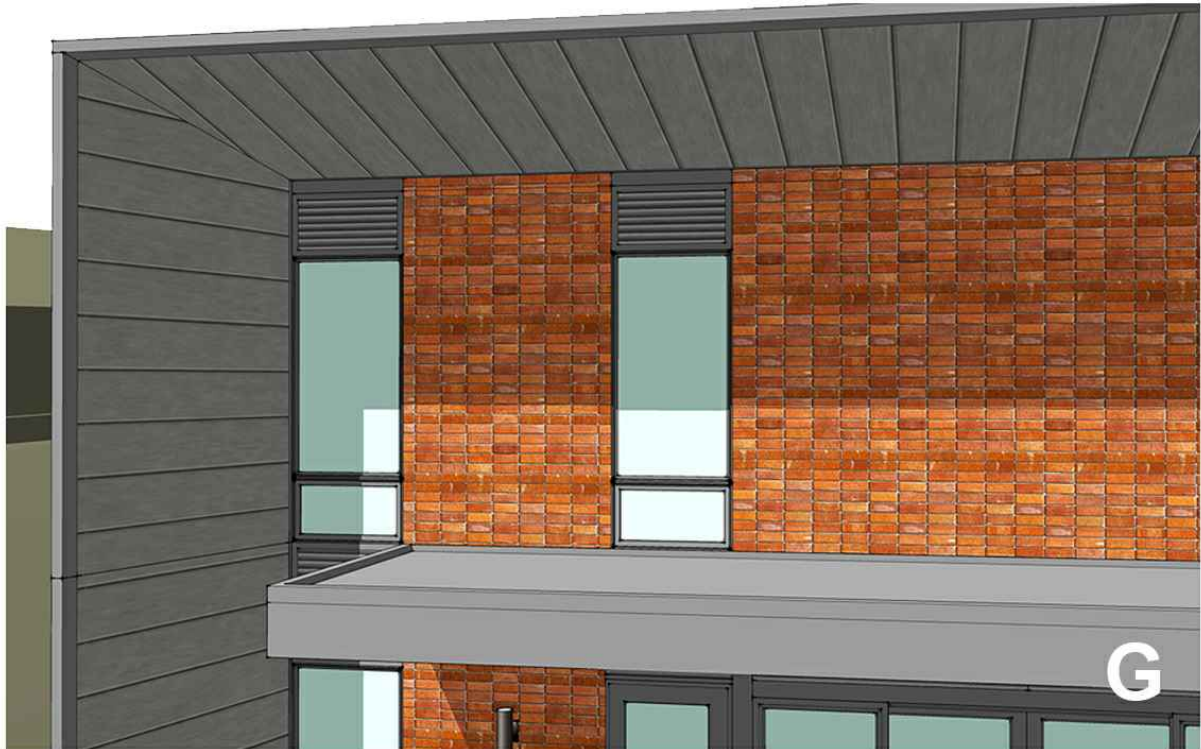
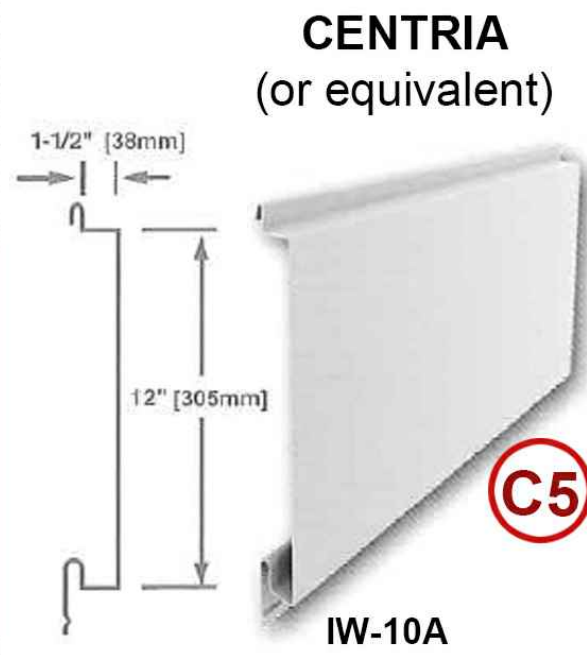
NOTE: SOUTH ELEVATION AS DEPICTED IS PROJECTED PERPENDICULAR TO THE SOUTH PROPERTY LINE AND IS SEEN PARALLEL TO SW MARKET ST

② SOUTH ELEVATION
Scale: 1/8" = 1'-0"

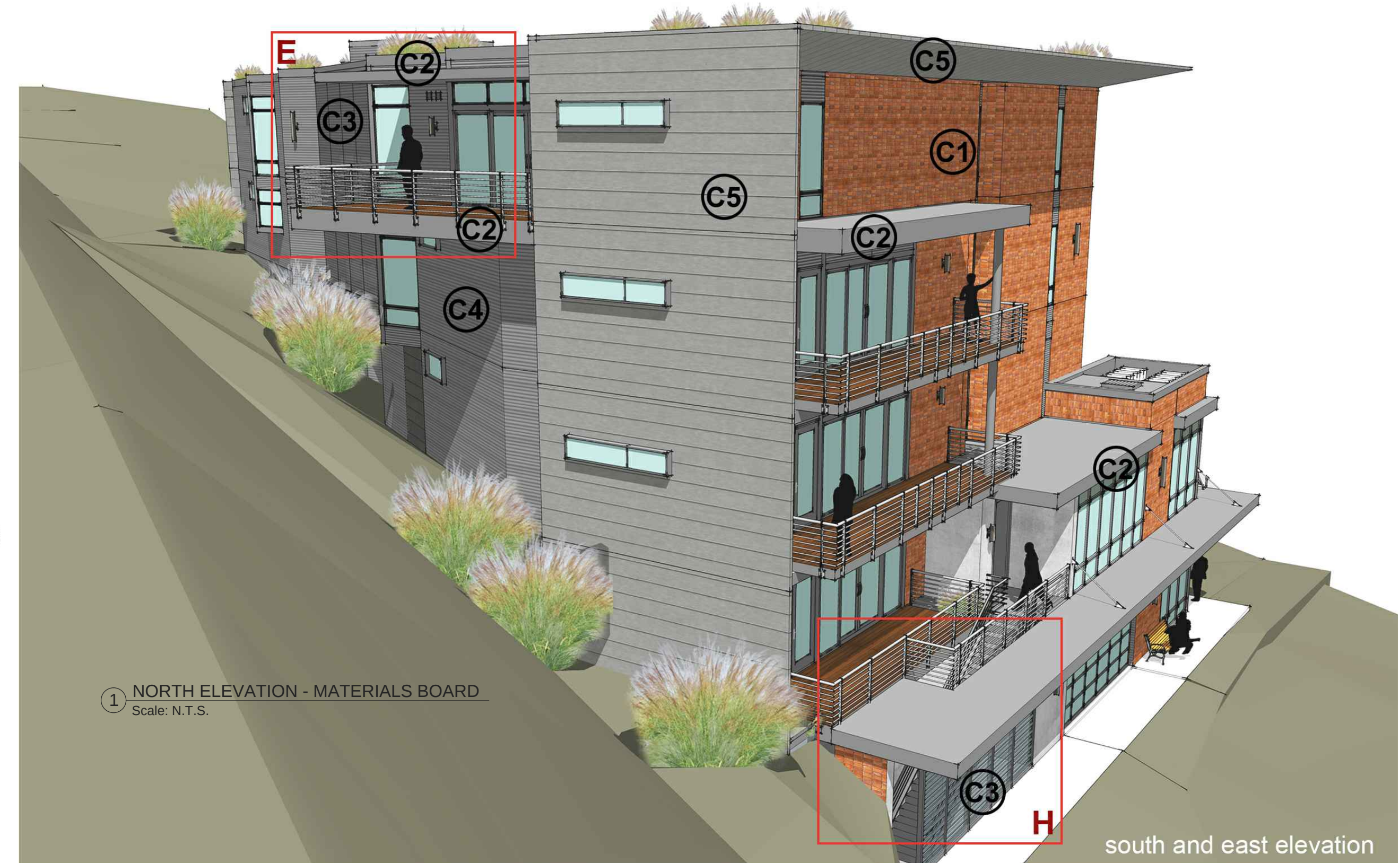
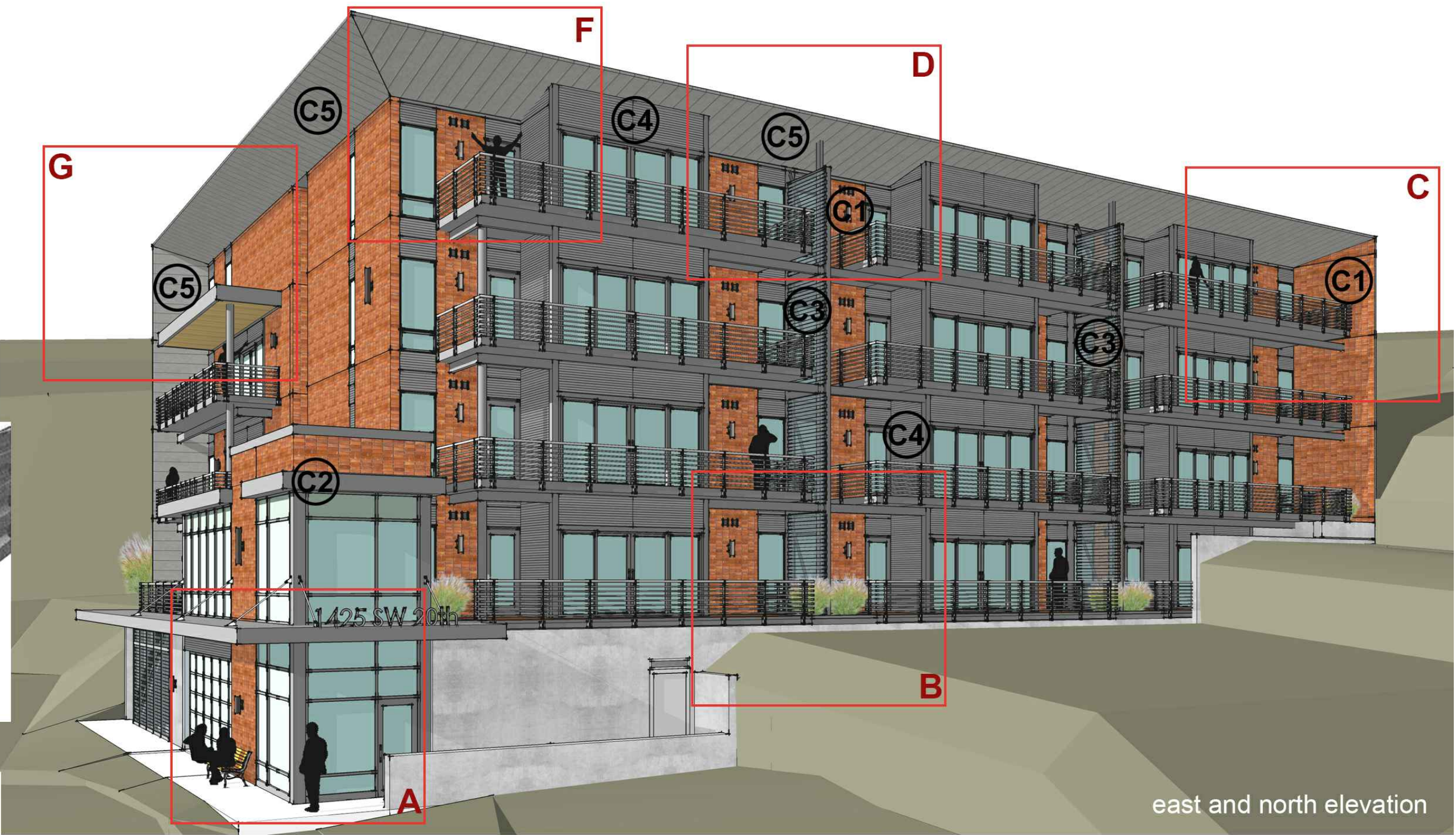
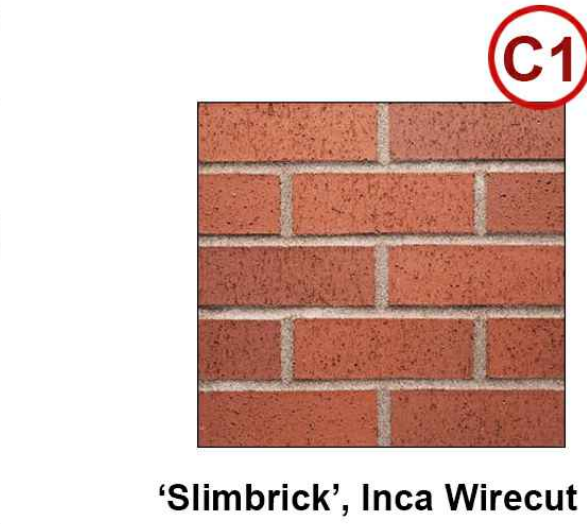
RESIDENCES AT SW 20th
SW 20TH AVENUE
PORTLAND, OREGON
LAND USE CASE #: LU 15-118576 DZM
EXHIBIT C11

PROJECT NUMBER:		1429	
DRAWING DATE:		10/09/2015	
DRAWING TITLE:		BUILDING ELEVATIONS	
SHEET NUMBER:		A.202	
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ISSUES:	
05/18/15	TYPE III DESIGN REVIEW
08/23/15	TYPE III DR - COMMENT REVISIONS
09/10/15	FLS - COMMENT REVISIONS
Revisions	
Date	Description



MUTUAL MATERIALS
(or Equivalent)



1 NORTH ELEVATION - MATERIALS BOARD
Scale: N.T.S.

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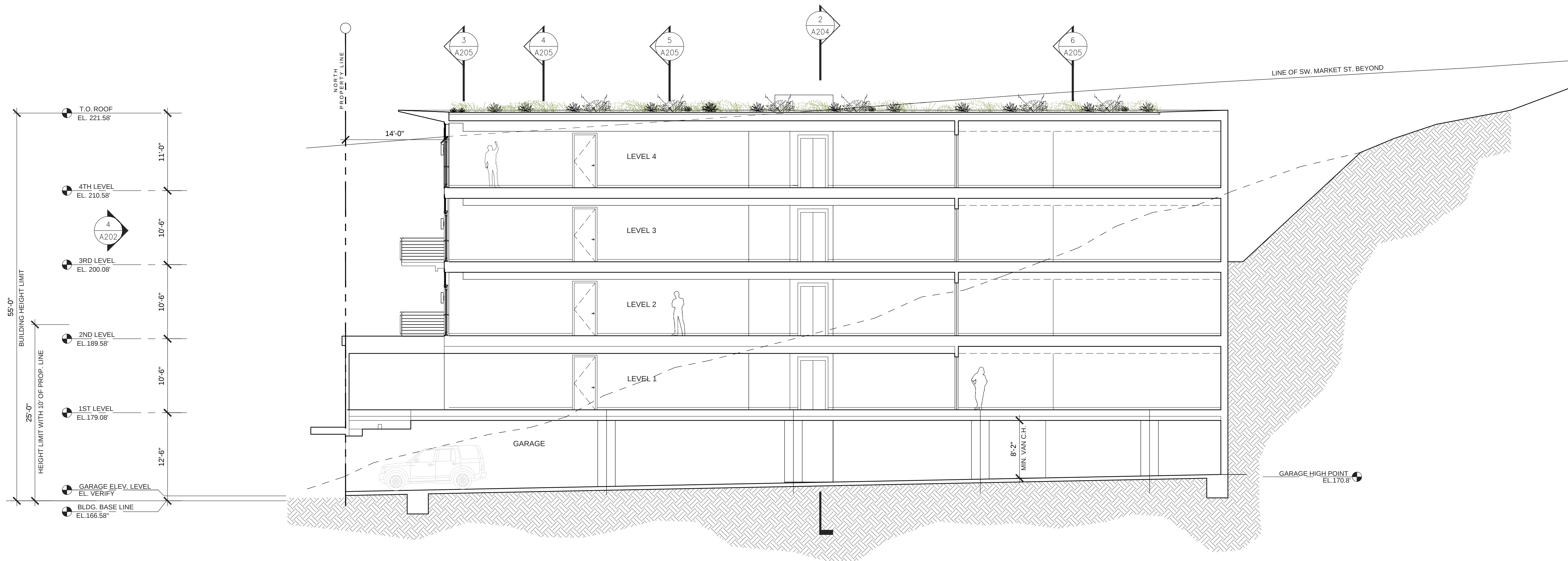
Stephen Gerber Architect
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sgerber@gerberarch.com

RESIDENCES AT SW 20th

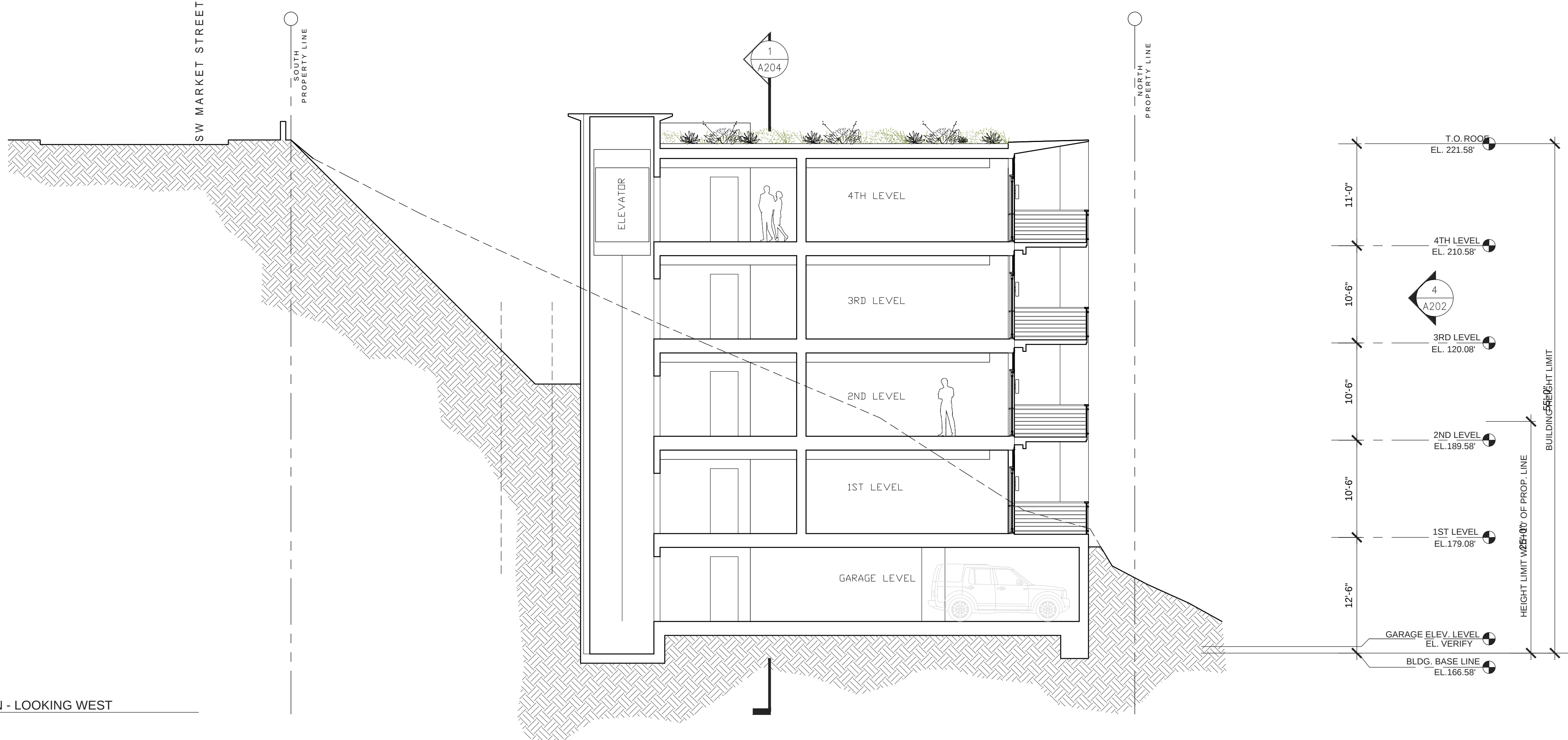
SW 20TH AVENUE
PORTLAND, OREGON
LAND USE CASE #: LU 15-118576 DZM
EXHIBIT C12

1429	DRAWING DATE: 10/09/2015	DRAWING TITLE: MATERIALS BOARD	Revisions		
SHEET NUMBER: A.203			Date	#	Description
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① BUILDING SECTION - LOOKING SOUTH
SCALE: 1/8" = 1'-0"

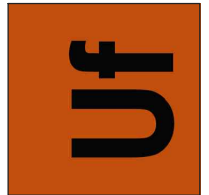


② BUILDING SECTION - LOOKING WEST
SCALE: 1/8" = 1'-0"

RESIDENCES AT SW 20th

SW 20TH AVENUE
PORTLAND, OREGON
LAND USE CASE #: LU 15-118576 DZM
EXHIBIT C13

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PROJECT NUMBER: 1429	ISSUES:		TYPE III DESIGN REVIEW	
	DRAWING DATE:		06/25/15	
	DRAWING TITLE:		09/10/15	
BUILDING SECTIONS	SHEET NUMBER:		Revisions	
	Date		#	Description
	A.204			

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Area Calculations for North Elevations

SURFACE PLANE	(A)	(B)	(C)	(D)
AREAS	27 sf 28 sf 28 sf 381 sf 173 sf	607 sf 607 sf — — —	558 sf — — — —	478 sf 478 sf 175 sf — —
AREA OF THE PLANE	637 sf	1214 sf	558 sf	1131 sf

Zoning Analysis for North Elevation

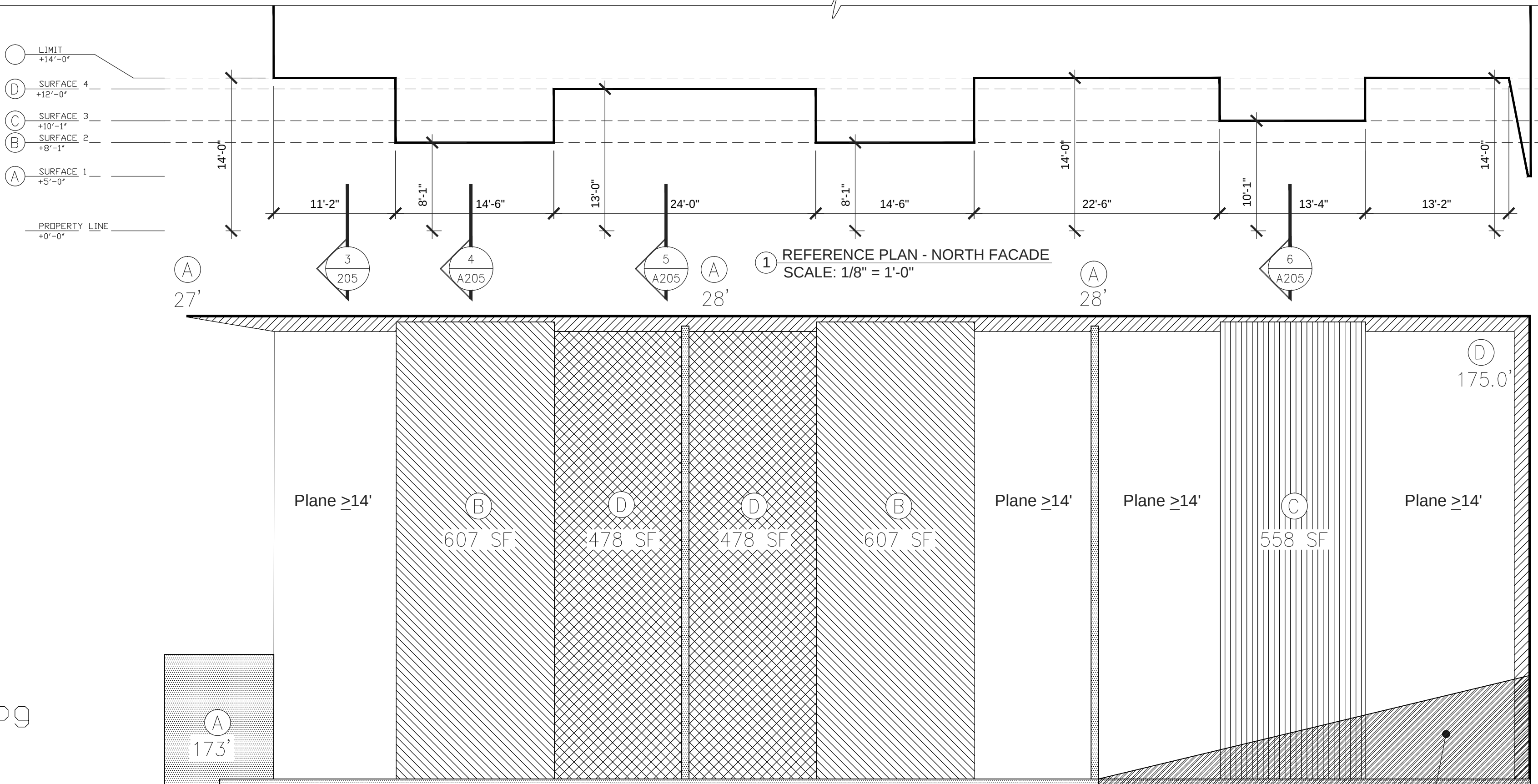
SURFACE AREA	CUMULATIVE AREA	ZONING LIMIT
SURFACE A (0–5’): 637	637	(MAX. 1,000 SF)
SURFACE B (8’1’’: 1214	1851	(MAX. 2,200 SF)
SURFACE C (10’1’’: 558	2409	(MAX. 2,800 SF)
SURFACE D (12’–13’11’): 1131	3540	(MAX. 3,400 SF)
TOTAL (0’–14’): 3,540 SF (–208 SF*) =		3,332 SF

(* less area eliminated by site grade, 208 SF)

Table 120-4

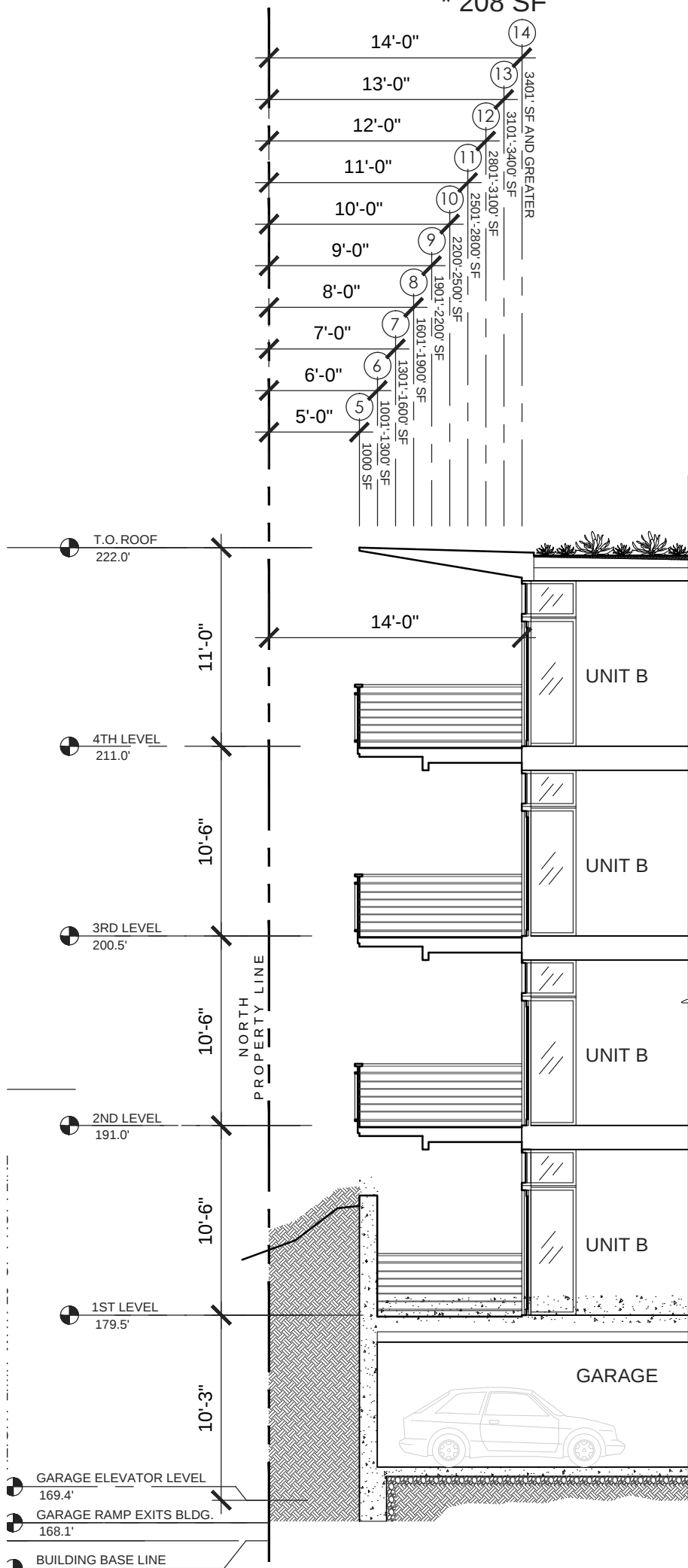
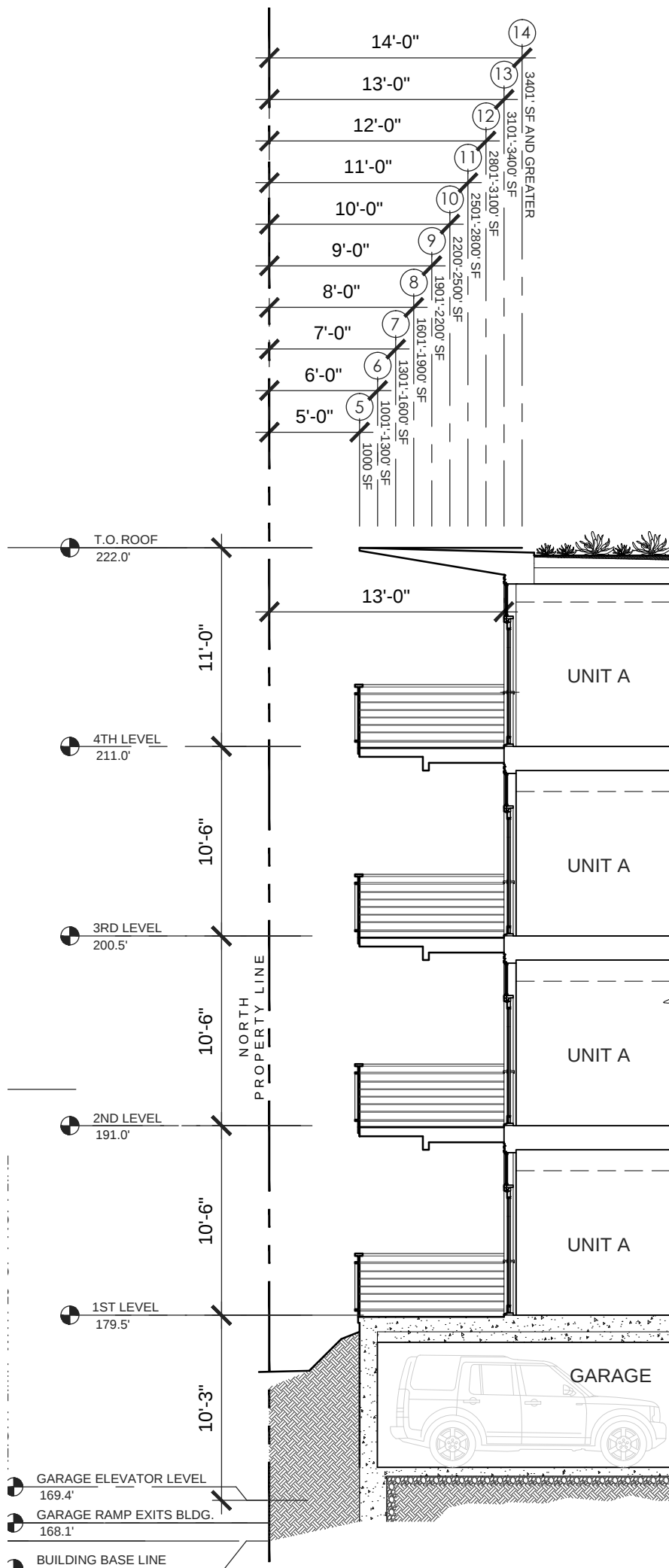
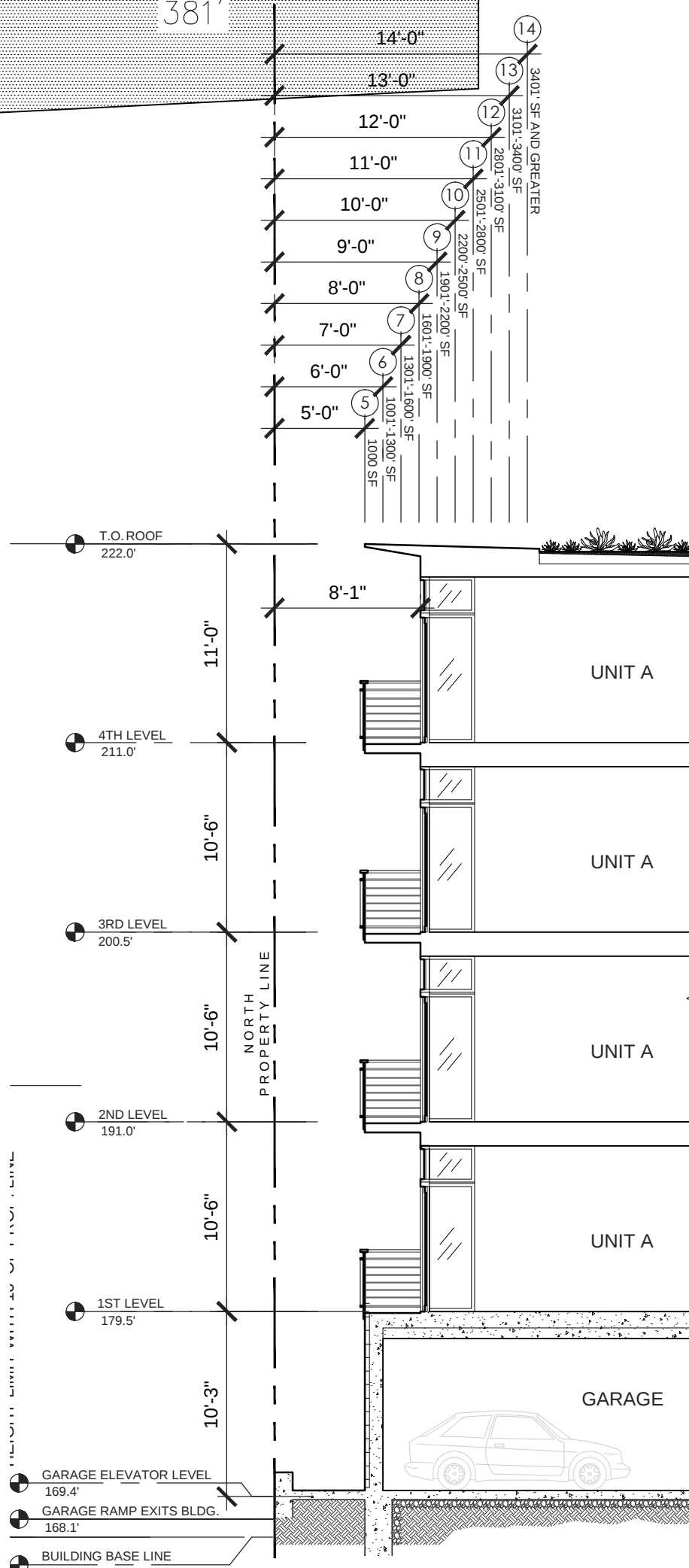
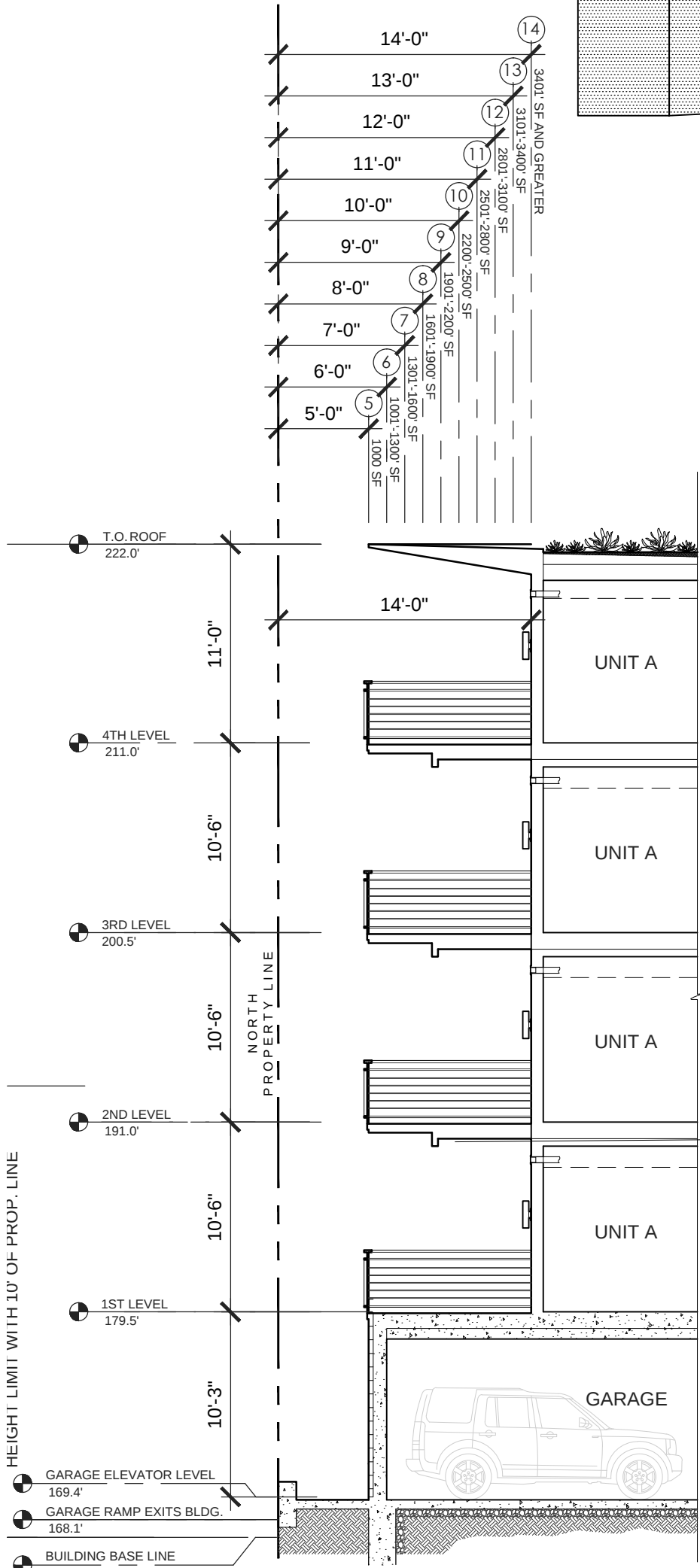
(A)
(B)
(C)
(D)

E:\Market Hill\Table 120-4.jpg



2 PLANE DIAGRAM - NORTH FACADE SCALE: 1/8" = 1'-0"

Area Hidden by Site Grade
* 208 SF



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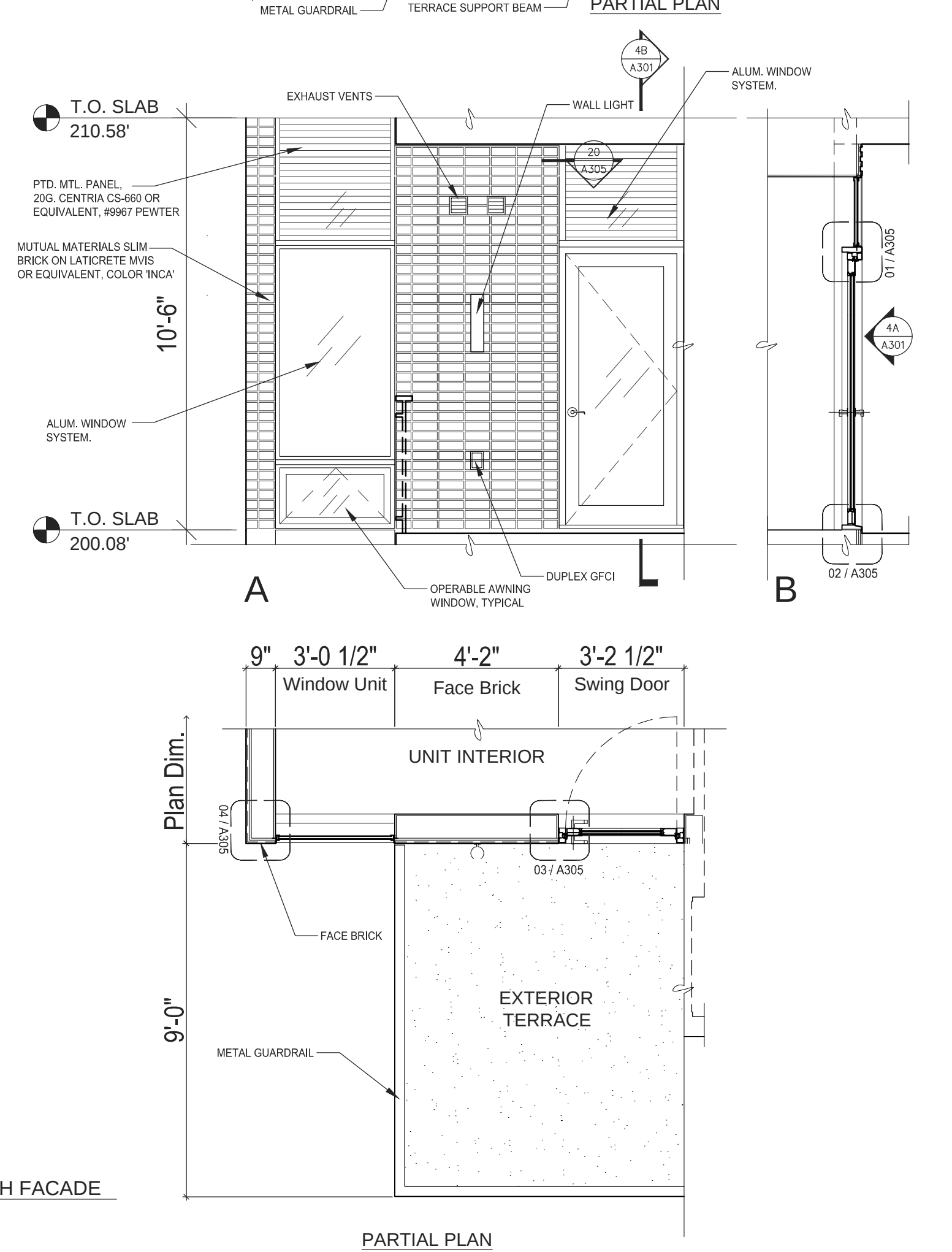
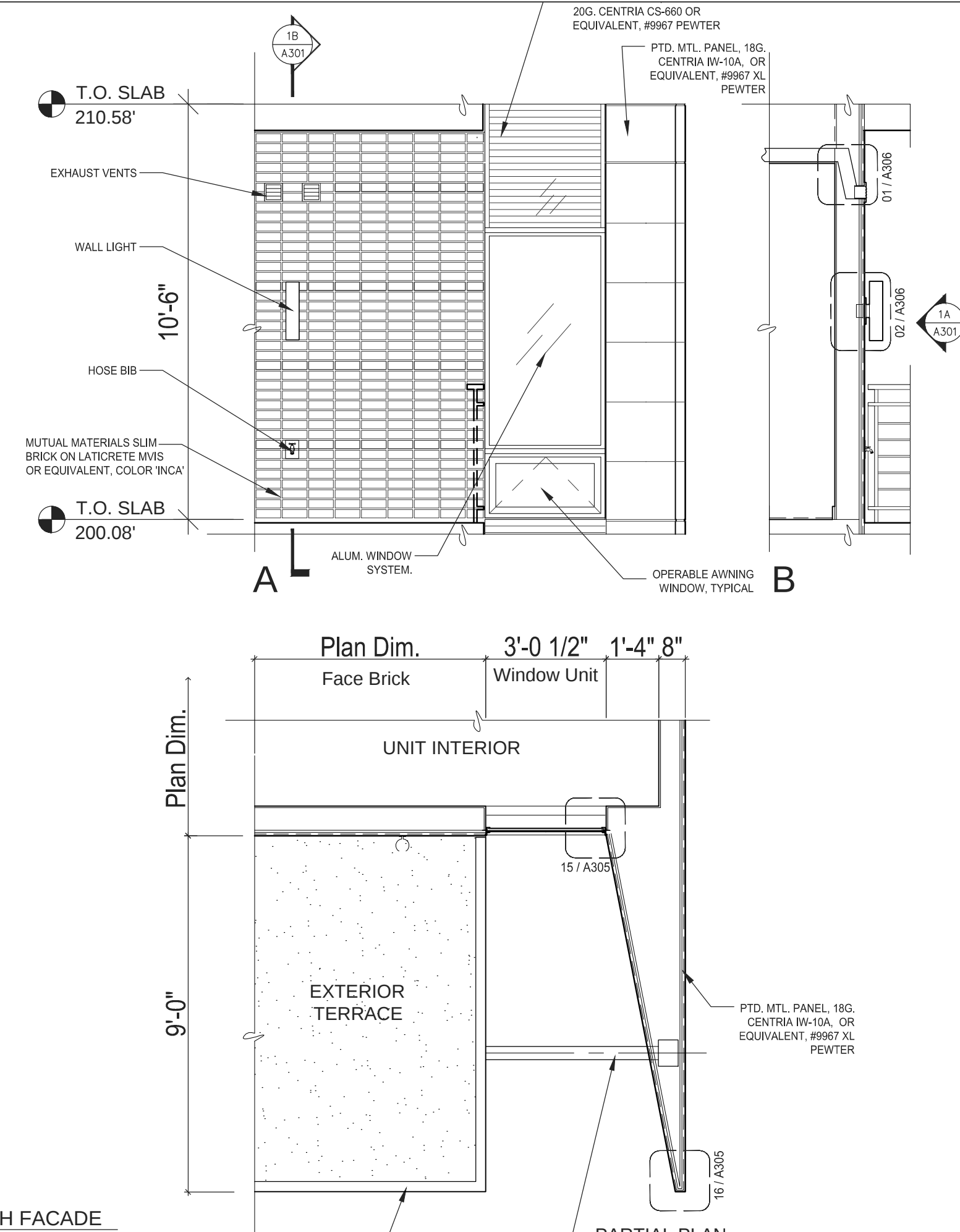
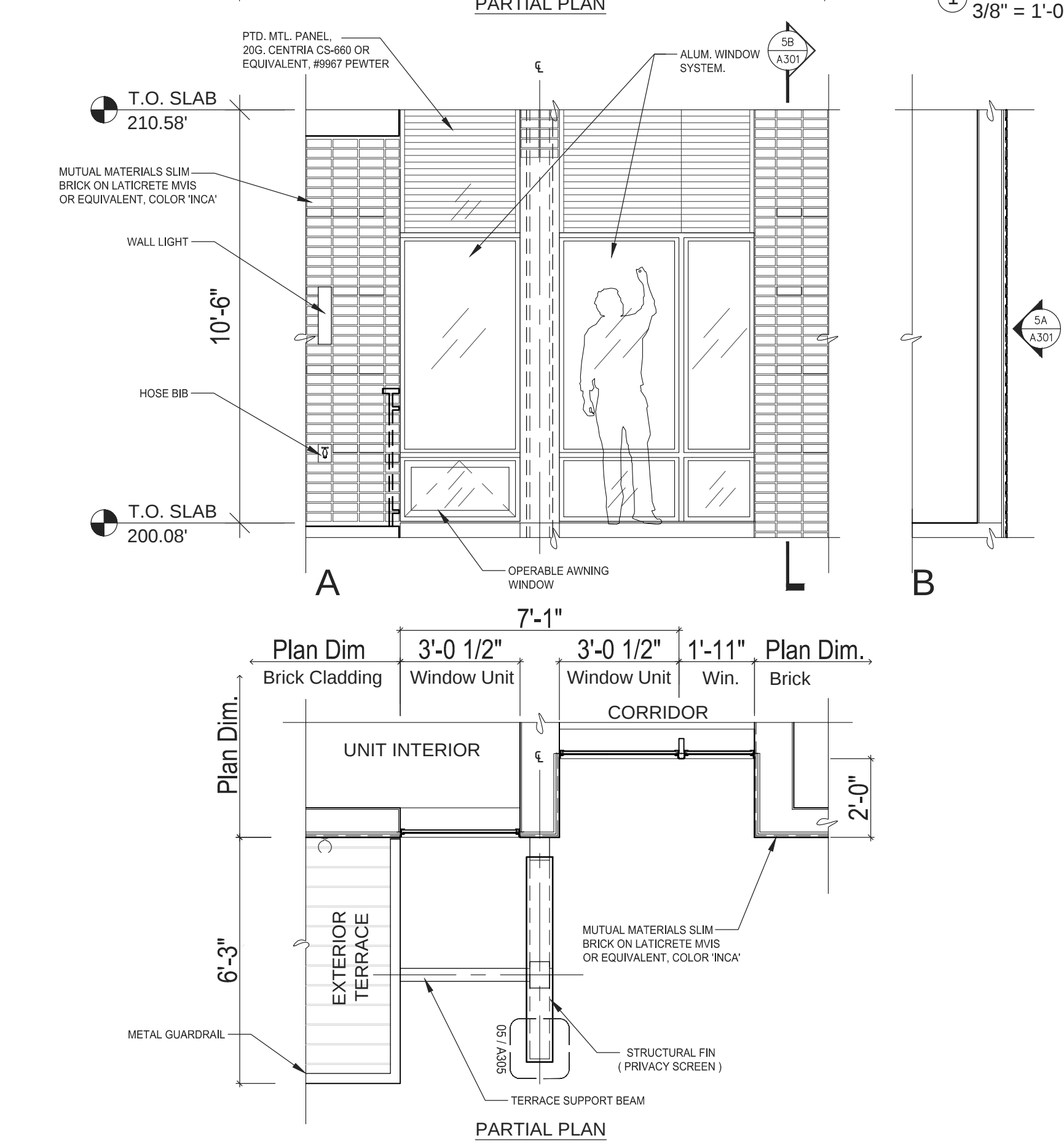
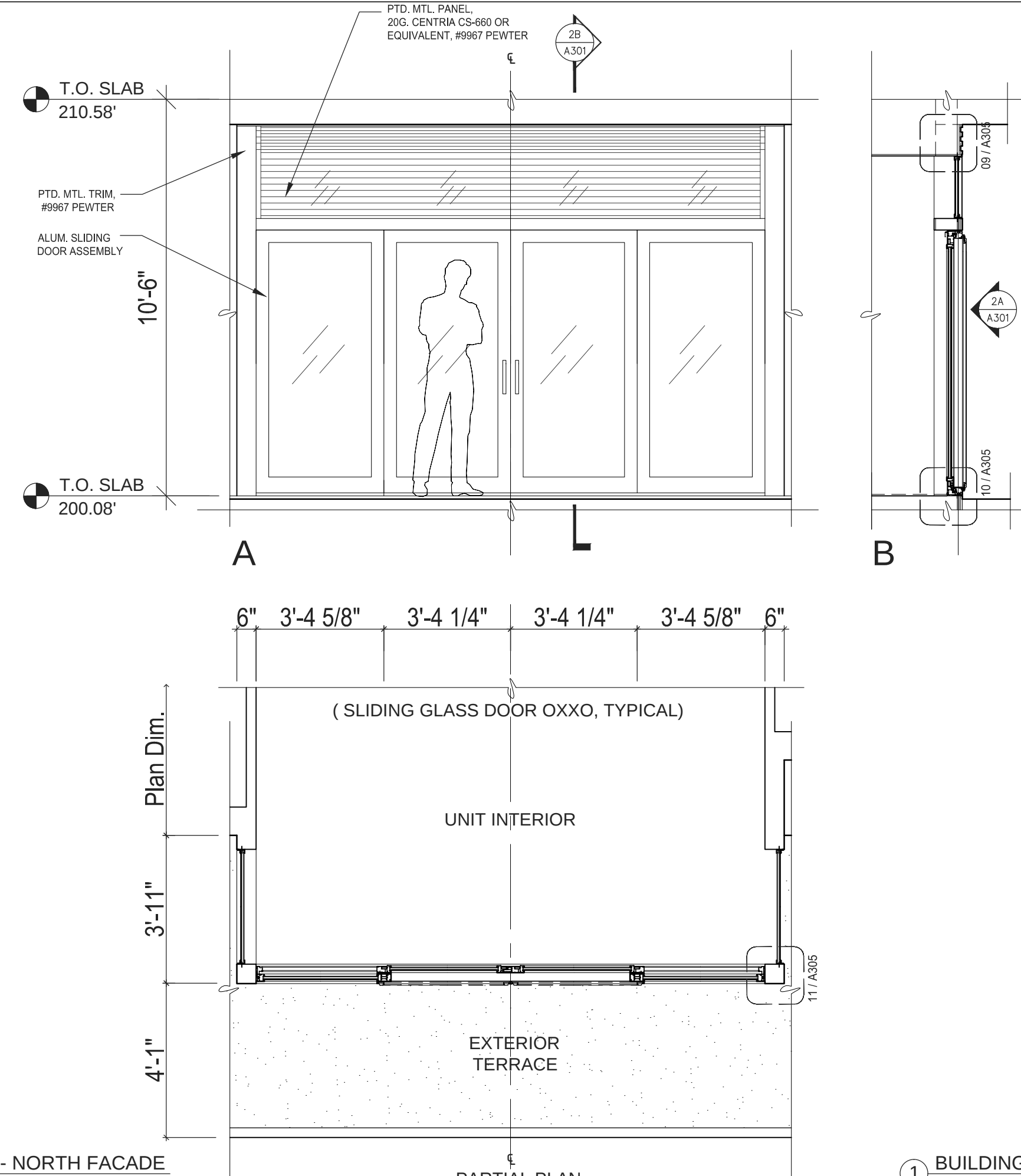
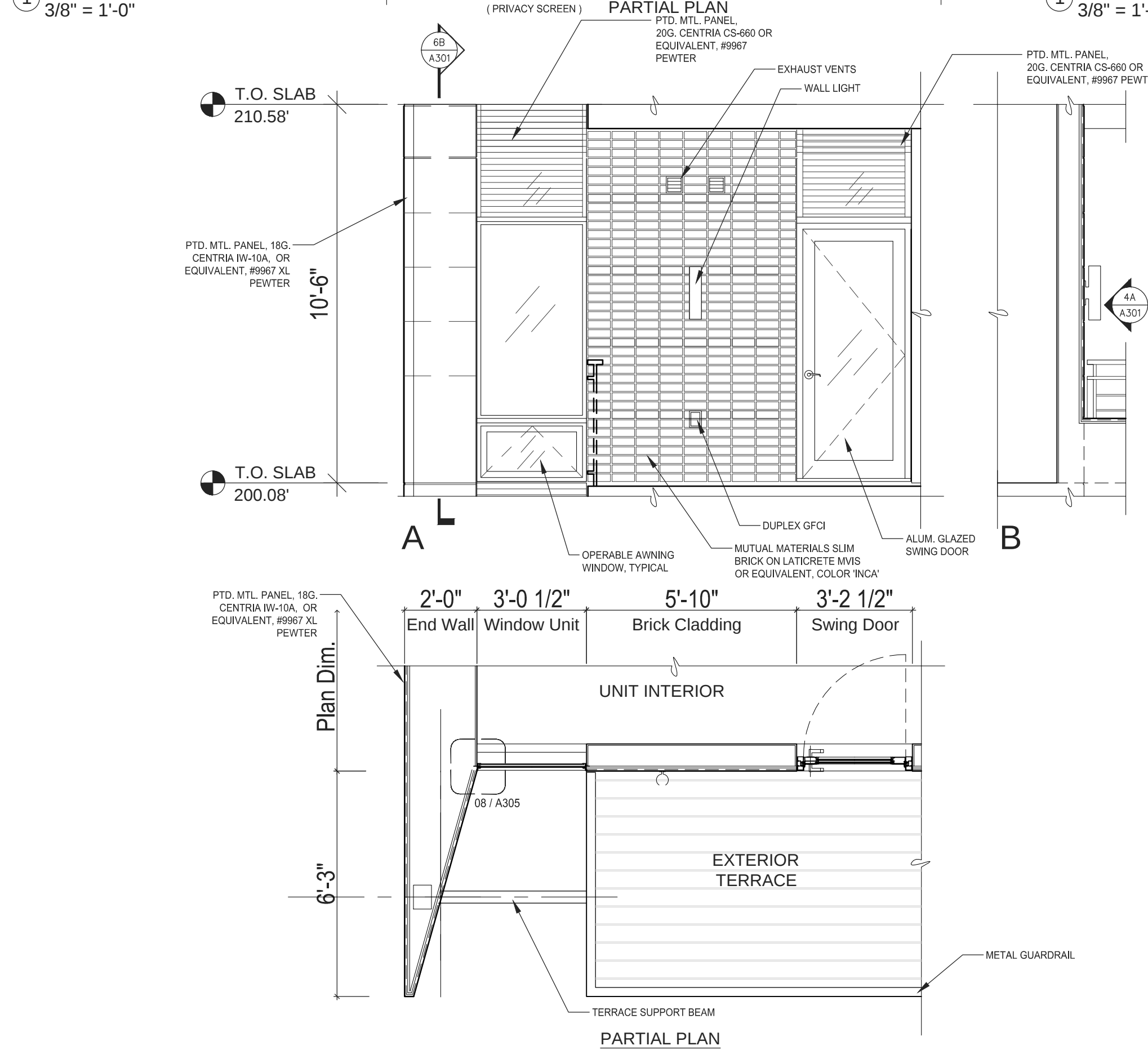
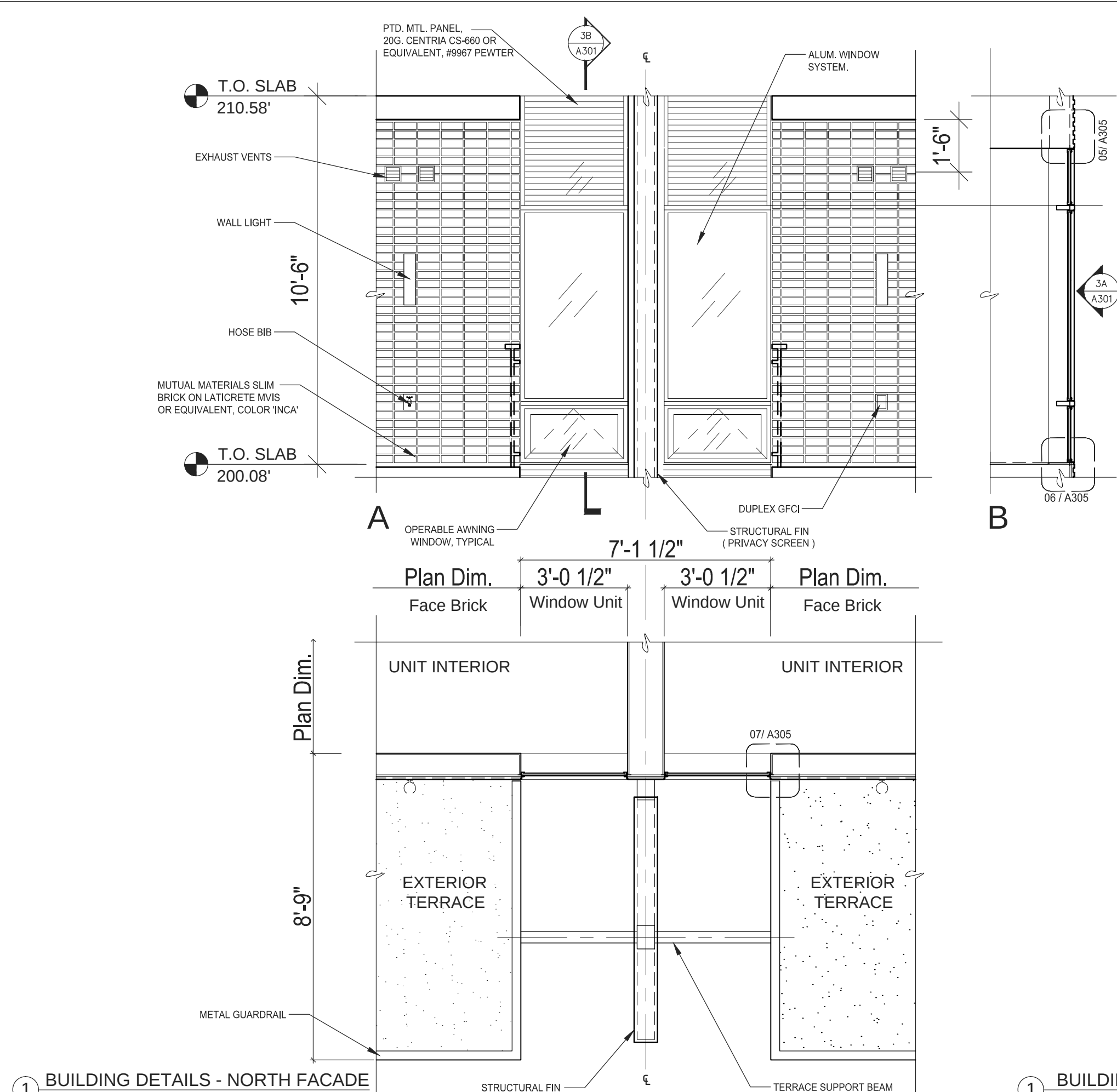


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RESIDENCES AT SW 20th

SW 20TH AVENUE
PORTLAND, OREGON
LAND USE CASE #: LU 15-118576 DZM
EXHIBIT C14

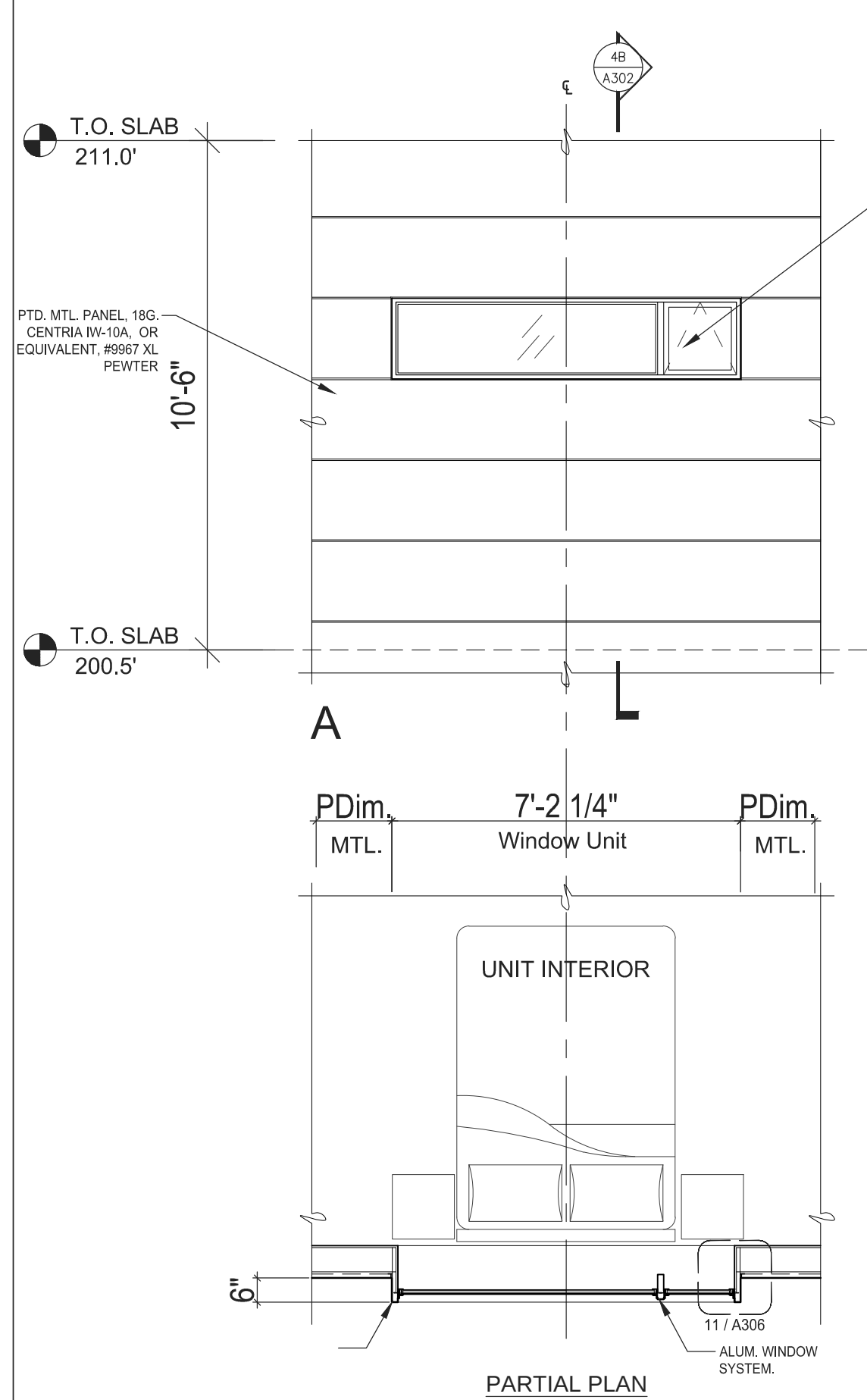
PROJECT NUMBER:	ISSUES:	TYPE III DESIGN REVIEW	TYPE III DR - COMMENT REVISIONS	FLS - COMMENT REVISIONS	Revisions	Date	Description
1429	05/18/15	06/25/15	09/10/15				
10/09/2015							
NORTH FACADE PLANE ANALYSIS							
SHEET NUMBER:							
A.205							
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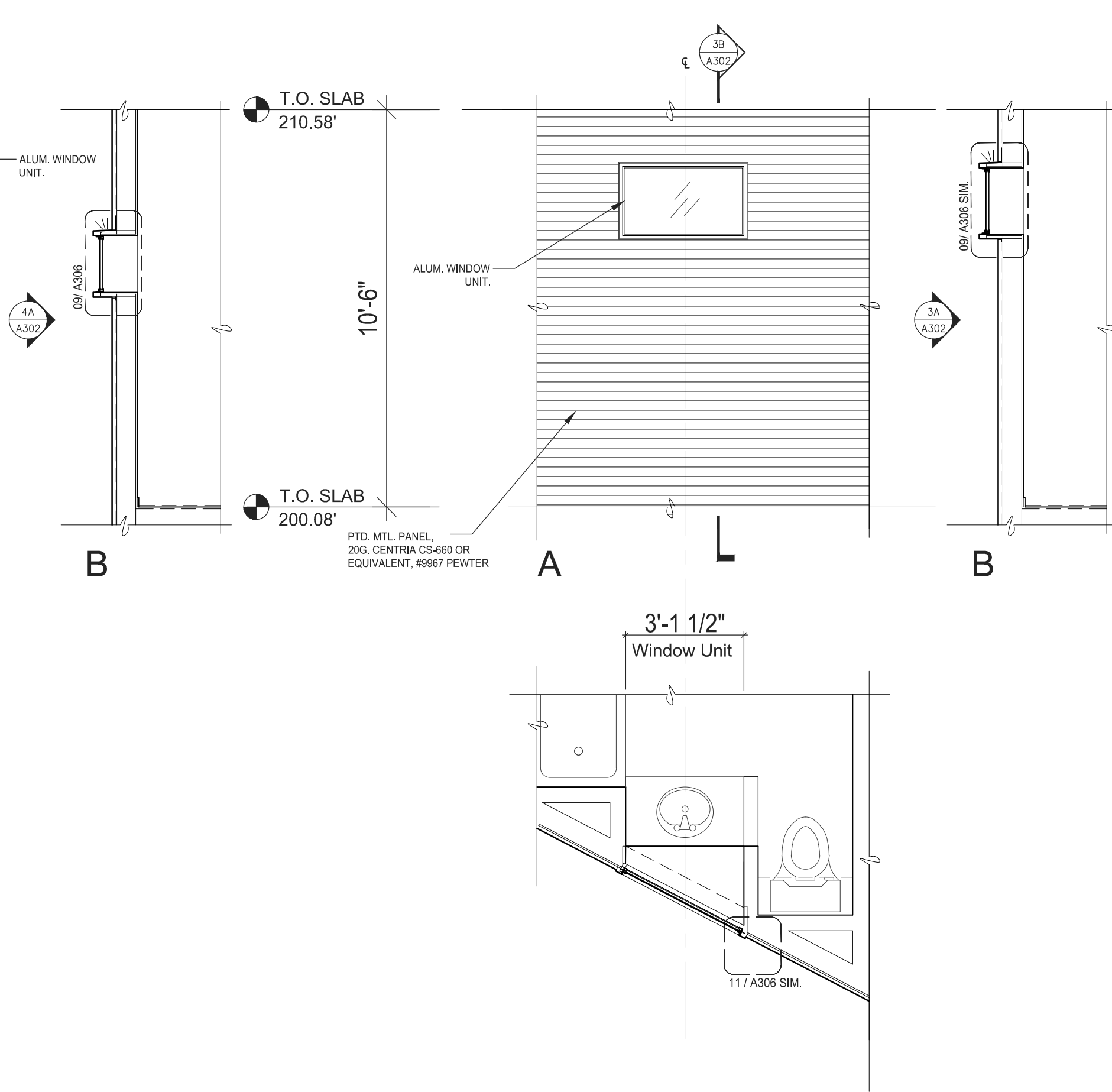
PROJECT NUMBER: 1429	ISSUES:			
	05/18/15	TYPE III DESIGN REVIEW		
	06/25/15	TYPE III DR - COMMENT REVISIONS		
	09/10/15	FLS - COMMENT REVISIONS		
DRAWING DATE: 10/09/2015				
	DRAWING TITLE PARTIAL ELEVATIONS / PLANS			
SHEET NUMBER:	A.301			
	Date	#	Description	

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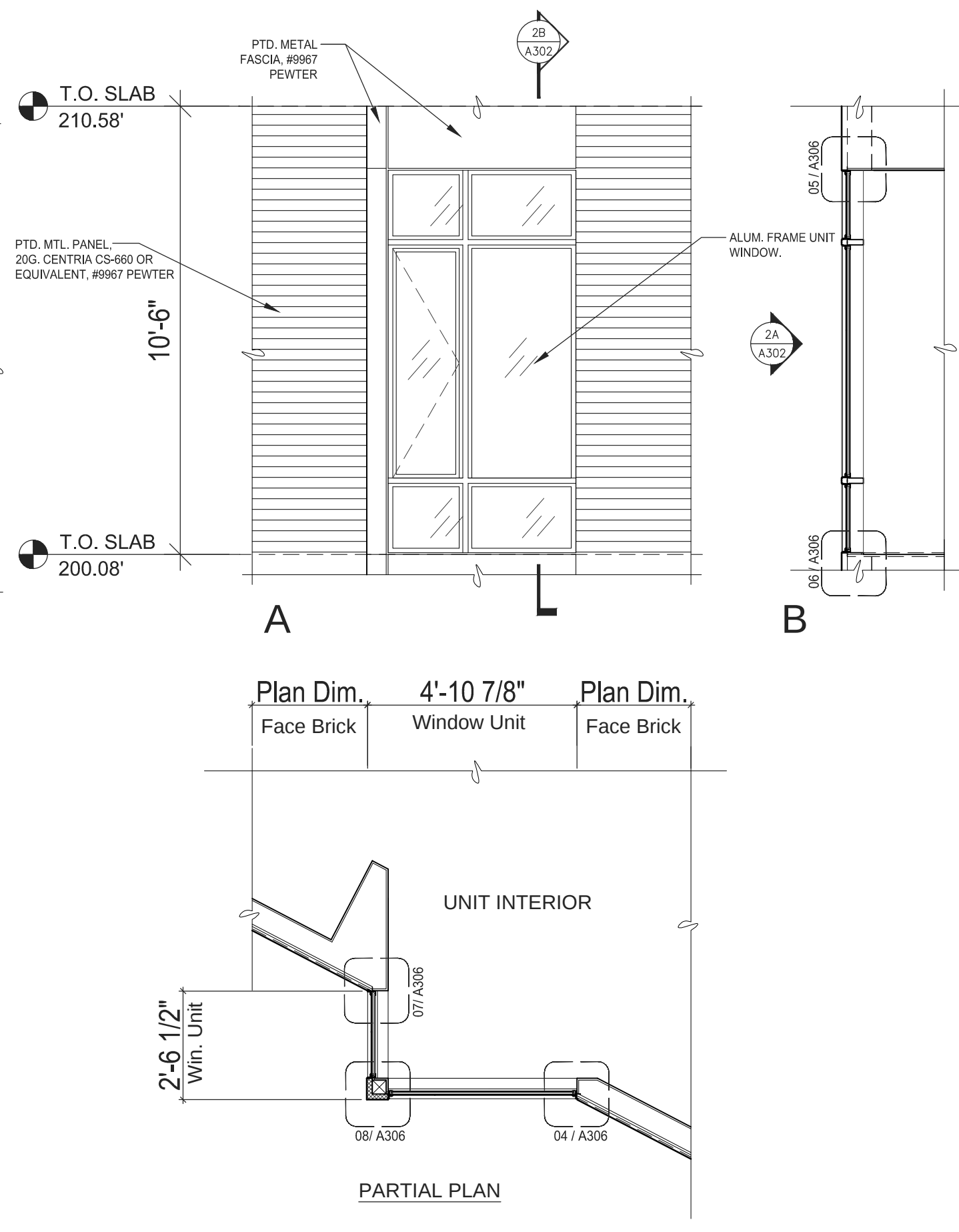
ISSUES	
05/18/15	TYPE III DESIGN REVIEW
06/25/15	TYPE III DR - COMMENT REVISIONS
09/10/15	FLS - COMMENT REVISIONS
Revisions	
Date	# Description



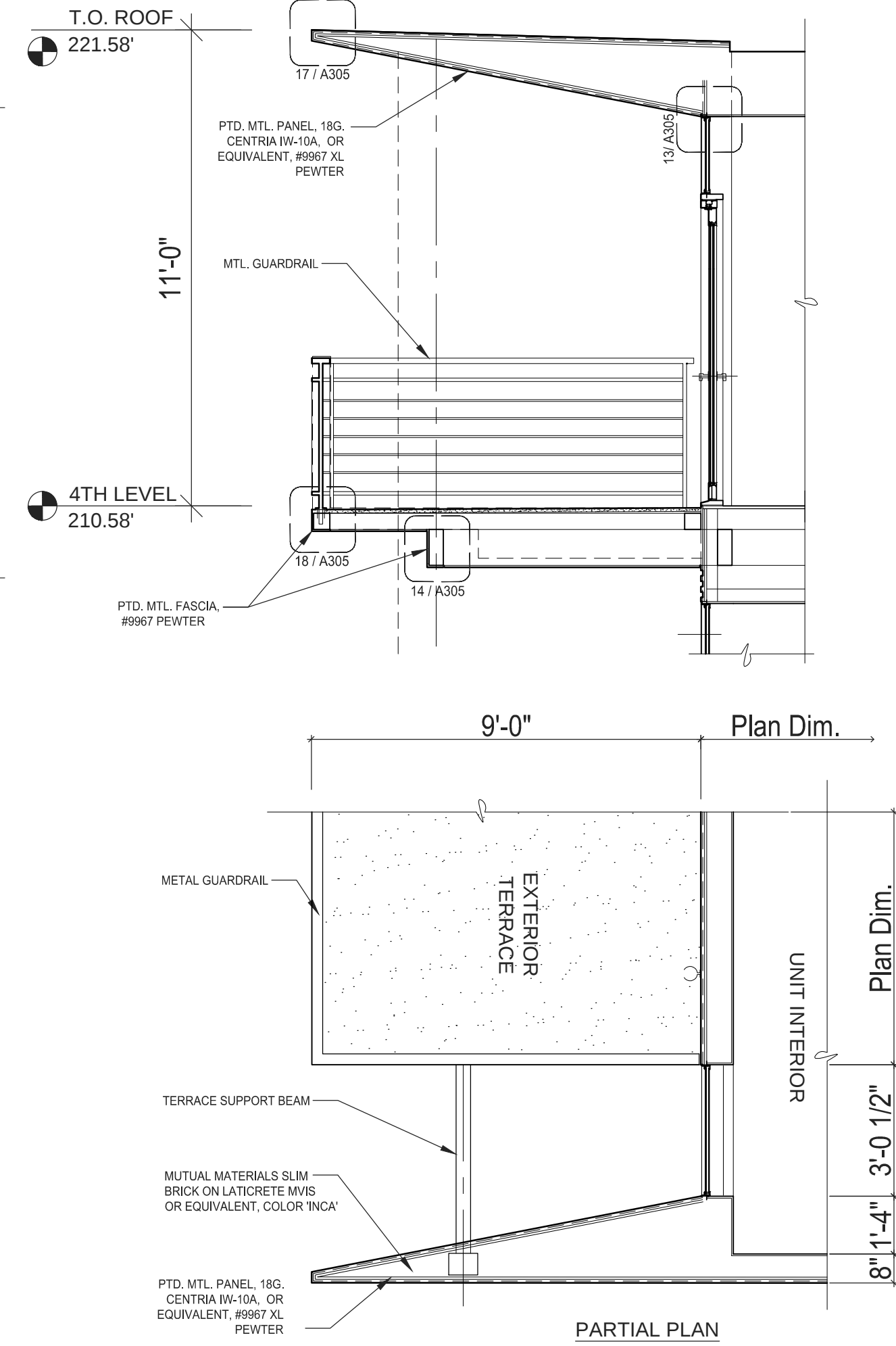
④ PARTIAL ELEVATION / PLAN
3/8" = 1'-0"



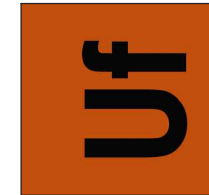
③ PARTIAL ELEVATION / PLAN
3/8" = 1'-0"



② PARTIAL ELEVATION / PLAN
3/8" = 1'-0"



① PARTIAL ELEVATION / PLAN
3/8" = 1'-0"



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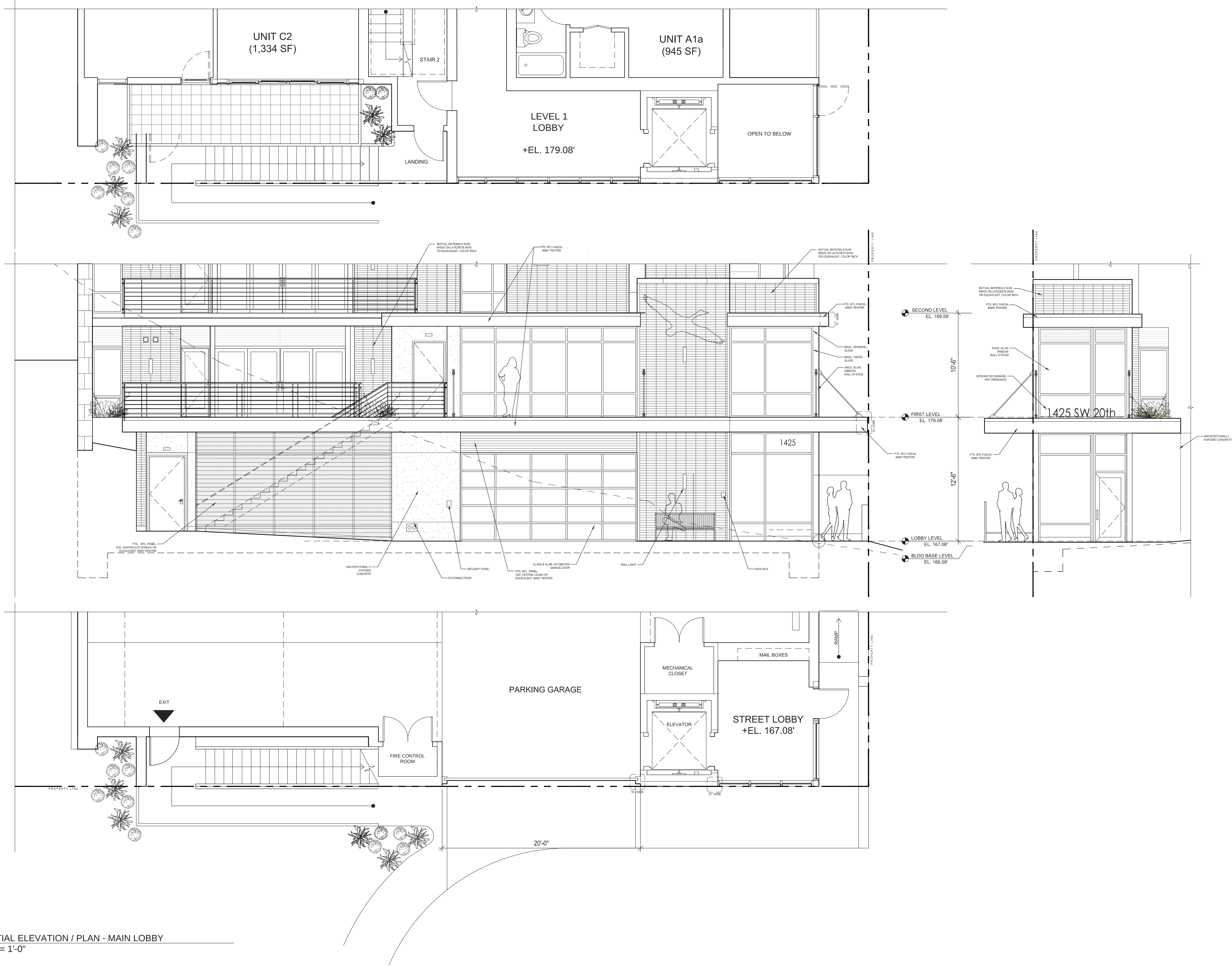
RESIDENCES AT SW 20th

SW 20TH AVENUE
PORTLAND, OREGON
LAND USE CASE #: LU 15-118576 DZM
EXHIBIT C16

PROJECT NUMBER: 1429	ISSUES:		TYPE III DESIGN REVIEW	
	05/08/15		TYPE III DR - COMMENT REVISIONS	
	06/25/15			
	09/10/15		FLS - COMMENT REVISIONS	
DRAWING TITLE: PARTIAL ELEVATIONS / PLANS	DRAWING TITLE		Revisions	
SHEET NUMBER: A.302	DATE		Description	

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1 PARTIAL ELEVATION / PLAN - MAIN LOBBY
3/16" = 1'-0"

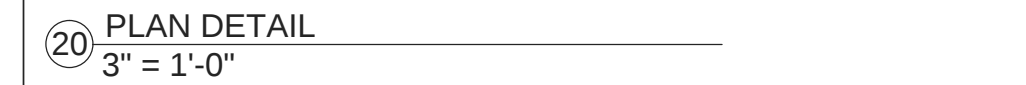


RESIDENCES AT SW 20th
SW 20TH AVENUE
PORTLAND, OREGON
LAND USE CASE #: LU 15-118576 DZM
EXHIBIT C17

PROJECT NUMBER: 1429	REVISIONS		Revisions	
	DATE	DESCRIPTION	DATE	DESCRIPTION
	05/18/15	TYPE II DESIGN REVIEW		
DRAWING DATE: 10/09/2015	TYPE III DR - COMMENT REVISIONS			
	F.L.S. - COMMENT REVISIONS			
DRAWING TITLE: PARTIAL ELEVATIONS / PLANS				
SHEET NUMBER: A.303				

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PROJECT NUMBER:	1429	ISSUES:	05/18/15	TYPE III DESIGN REVIEW
DRAWING DATE:	10/09/2015		06/25/15	TYPE III DR - COMMENT REVISIONS
			09/10/15	FLS - COMMENT REVISIONS
DRAWING TITLE:				
ENLARGED DETAILS		Revisions		
SHEET NUMBER:	A.305	Date	#	Description
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Rendering 4: North Facade, looking South



Rendering 5: East Facade, looking West.



Rendering 6: Northeast Corner at SW 20th Ave., looking Southwest



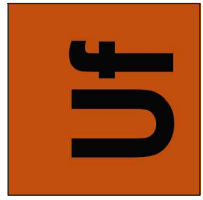
Rendering 1: South Facade, looking North



Rendering 2: West Facade, looking East



Rendering 3: Northwest Corner, Looking Southeast



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RESIDENCES AT SW 20th
SW 20TH AVENUE
PORTLAND, OREGON
LAND USE CASE #: LU 15-118576 DZM
EXHIBIT C21

PROJECT NUMBER: 1429	ISSUES:		TYPE III DESIGN REVIEW	
	DRAWING DATE:		06/25/15 TYPE III DR - COMMENT REVISIONS	
	10/09/2015		09/10/15 FLS - COMMENT REVISIONS	
	DRAWING TITLE: RENDERINGS			
SHEET NUMBER: A.401	Revisions			
	Date	#	Description	

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Rendering 1: DAY VIEW, from SW 20th looking south and up toward SW Market Street



Rendering 2: NIGHT VIEW, from SW 20th looking south and up toward SW Market Street

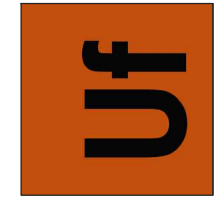
RESIDENCES AT SW 20th

SW 20TH AVENUE

PORTLAND, OREGON

LAND USE CASE #: LU 15-118576 DZM

EXHIBIT C22



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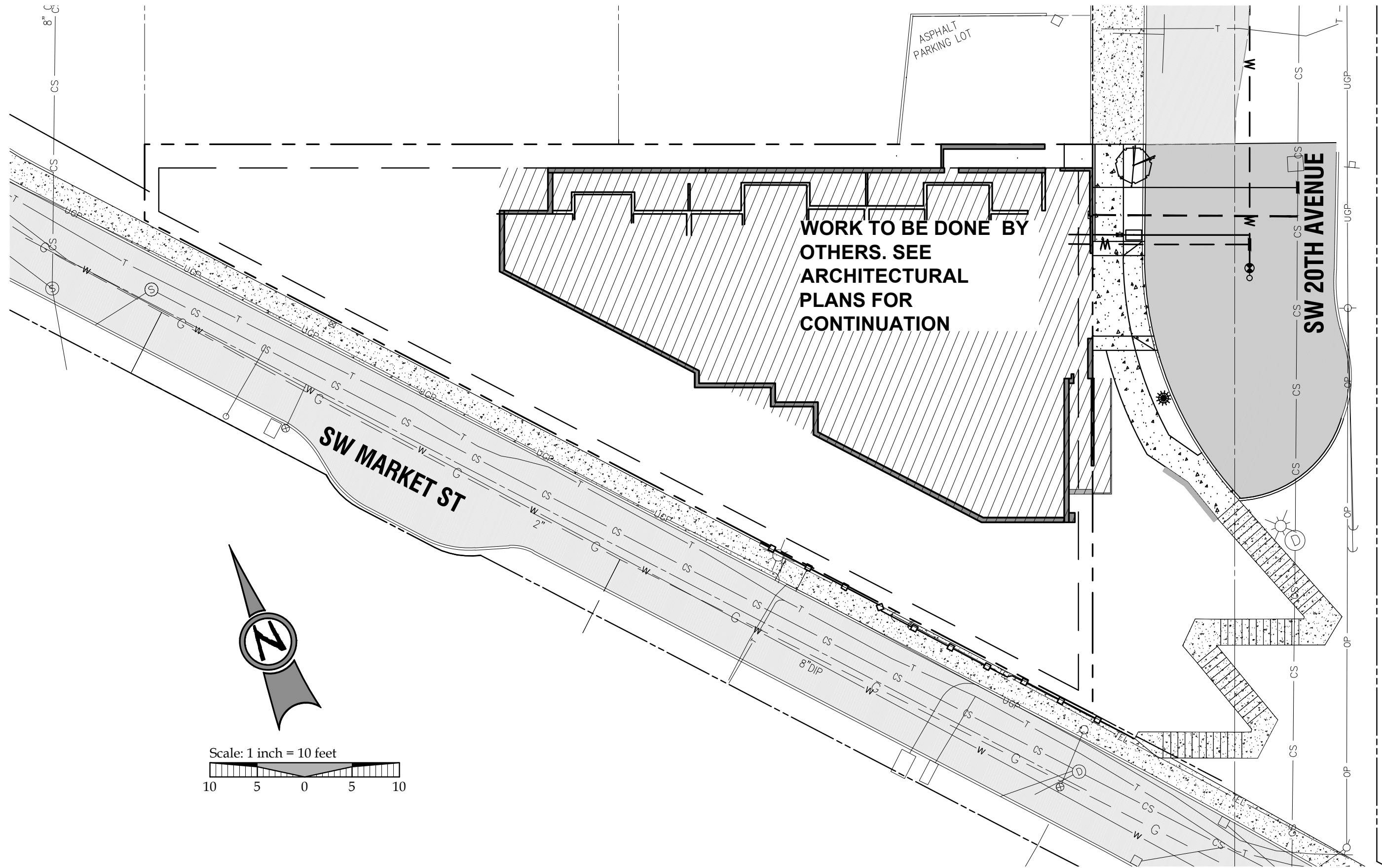
LAND USE DOCUMENTS

FOR

MARKET HILL COMMONS

PREPARED FOR:
SCOTIA WESTERN STATES HOUSING, LLC

SHEET INDEX	
Sheet Number	Sheet Title
GCS	GENERAL COVER SHEET
C100	EXISTING CONDITIONS AND DEMO PLAN
C120	PRELIMINARY SITE PLAN
C130	PRELIMINARY GRADING PLAN
C300	PRELIMINARY UTILITY PLAN
L100	PRELIMINARY PLANTING PLAN
L101	PRELIMINARY PLANTING PLAN DETAILS & NOTES



VICINITY MAP



LOCATION MAP

N.T.S.

SYMBOL AND LINETYPE LEGEND

	BOUNDARY LINE		EROSION CONTROL: FESCUE STRAW WATTLE		GUARDRAIL
	EXISTING RIGHT-OF-WAY		EROSION CONTROL: CONSTRUCTION ENTRANCE		COMBINATION SEWER DRAIN LINE
	EXISTING CENTERLINE		SURFACE RUN-OFF FLOW ARROW		SANITARY SEWER LINE
	EXISTING EASEMENT LINE		EROSION CONTROL: INLET PROTECTION		WATER LINE
	EXISTING LOT LINE		TREE PROTECTION FENCING		UNDERGROUND POWER LINE
	EXISTING CURB AND GUTTER		EXISTING LIGHT POLE		OVERHEAD POWER LINE
	EXISTING SIDEWALK		EXISTING TRAFFIC SIGN		TELEPHONE LINE
	EXISTING TREES TO REMAIN		EXISTING FIRE HYDRANT		ASPHALT PAVEMENT
	EXISTING 1FT CONTOUR		EXISTING WATER METER		EXISTING ASPHALT PAVEMENT
	EXISTING 5FT INDEX CONTOUR		EXISTING SANITARY MANHOLE		CONCRETE PAVEMENT
	PROPOSED LOT LINE		EXISTING STORM MANHOLE		STORM CURB INLET
	PROPOSED CURB AND GUTTER		EXISTING CATCHBASIN		STORM SEWER MANHOLE
	PROPOSED CONCRETE		PROPOSED DOMESTIC WATER SERVICE & METER		SANITARY SEWER MANHOLE
	PROPOSED RETAINING WALL		PROPOSED WATER MAIN		WATER METER
	PROPOSED STREET FRONTAGE TREE		PROPOSED STORM SEWER LATERAL AS NOTED		WATER VALVE
	PROPOSED 1FT CONTOUR		PROPOSED SANITARY SEWER LATERAL AS NOTED		FIRE HYDRANT
	PROPOSED 5FT INDEX CONTOUR		PROPOSED STREET LIGHT		STREET LIGHT
	EROSION CONTROL: SILT FENCING (BLACK)		PROPOSED UTILITY/ACCESS EASEMENT		

SITE INFORMATION

SITE ADDRESS
SW 20TH AVENUE & SW MARKET STREET
PORTLAND, OR

JURISDICTION
CITY OF PORTLAND

ZONING
RD1

FLOOD HAZARD
ZONE X (UNSHADED)

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LAND SURVEYOR
COMPASS ENGINEERING
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MILWAUKIE, OR 97222
PH: (503) 653-9083
EMAIL: don@compass-engineering.com

LANDSCAPE ARCHITECT
MEARS DESIGN GROUP, LLC
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PORTLAND, OR 97224
CONTACT: TROY MEARS
PHONE: (503) 601-4516
troy@mearsgroup.com

GENERAL COVER SHEET
MARKET HILL COMMONS
SW 20TH AVENUE
SCOTIA WESTERN STATES HOUSING, LLC
PORTLAND, OR

REGISTERED PROFESSIONAL ENGINEER
5803
JANUARY 15, 2023
PRELIMINARY
IAN K. FEENEY
EXPIRES: 12-31-15

3J CONSULTING, INC.
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LAND USE PLANNING
5075 SW GRIFFITH DRIVE, SUITE 150, BEAVERTON, OR 97005
PHONE & FAX: (503) 946-9365

3J JOB ID # | 14-178
LAND USE # | LU 15-118576 D2M
TAX LOT # | R128649
DESIGNED BY | BCH
CHECKED BY | BKF

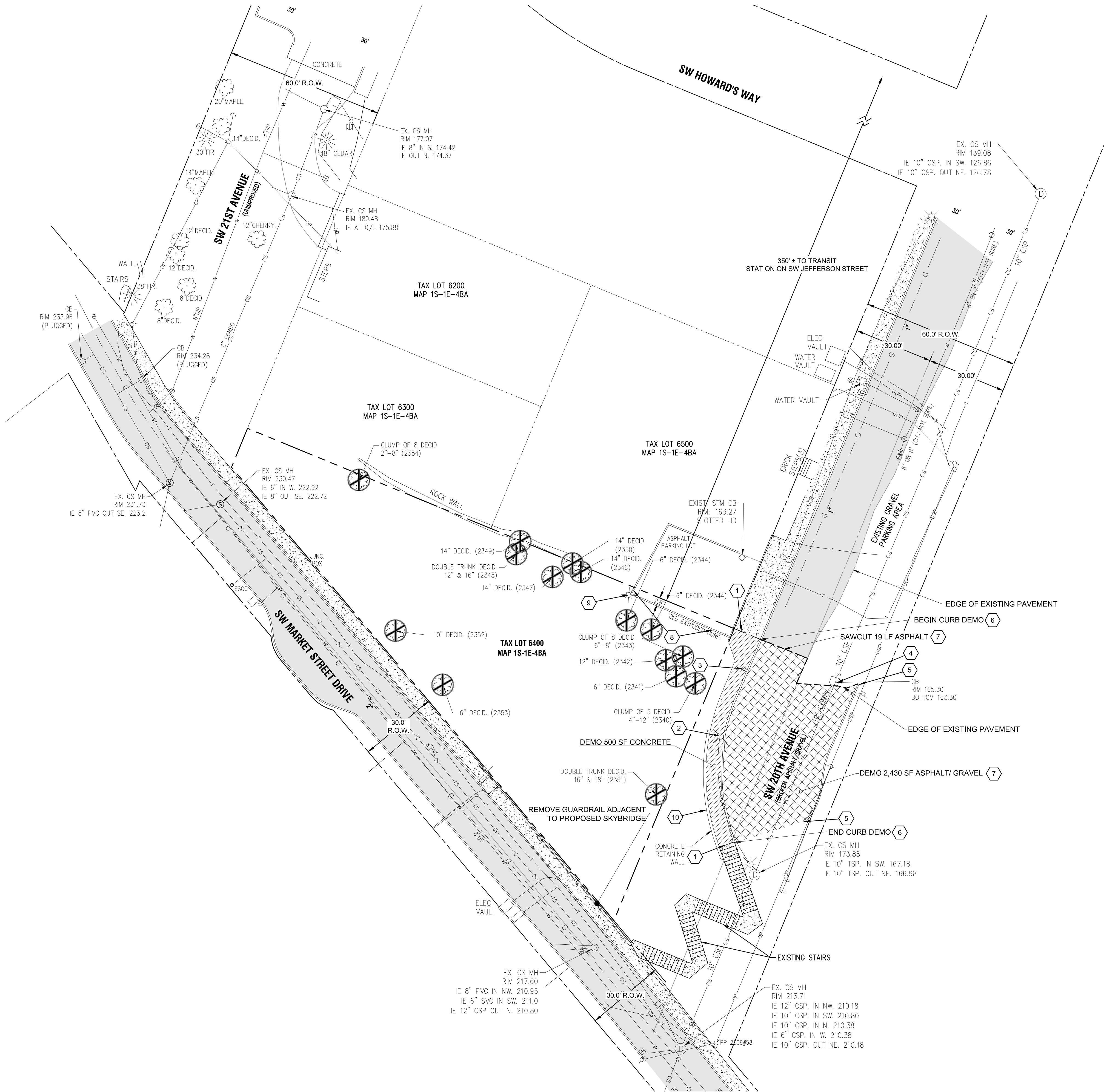
SHEET TITLE
COVER SHEET

SHEET NUMBER

GCS

LAND USE
10-09-15
BY
DATE

REVISION SUMMARY



NOTES

1. TOPOGRAPHIC SITE MAPPING INFORMATION SHOWN ON THIS MAP IS BASED UPON VARYING LEVELS OF UNDERLYING DENSITY FROM ORIGINAL SURVEY DATA AND RECENT SURVEY DATA AND IS LOCATION DEPENDENT. UTILITY INFORMATION IS BASED UPON A COMBINATION OF ASBUILTS AND TONE MARKS PROVIDED BY UTILITY LOCATORS FOR UNDERGROUND PUBLIC UTILITIES AND IS APPROXIMATE ONLY. ADDITIONAL UTILITIES MAY EXIST. INTERESTED PARTIES SHOULD VERIFY ALL UTILITY LOCATIONS PRIOR TO CONSTRUCTION. PROPERTY LINE INFORMATION AND LOCATIONS ARE BASED UPON SN 58030.
2. VERTICAL DATUM: CITY OF PORTLAND BENCHMARK NO. 2838, NORTHEAST CORNER OF SW MARKET STREET AT 18TH AVENUE, ELEVATION = 156.210.
3. THE SITE IS CURRENTLY COVERED WITH THICK BRUSH IN MANY AREAS. IT IS ADVISED THAT ADDITIONAL SURVEY DATA BE OBTAINED AFTER THE BRUSH HAS BEEN REMOVED IN THOSE AREAS WHERE A HIGHER DEGREE OF ACCURACY IS REQUIRED FOR SUBSEQUENT DESIGN AND CONSTRUCTION ACTIVITIES THAN IS CURRENTLY PRESENT. INTERESTED PARTIES WHO NEED ADDITIONAL INFORMATION REGARDING THIS ITEM SHOULD CONTACT COMPASS LAND SURVEYORS FOR ADDITIONAL INFORMATION.

LEGEND

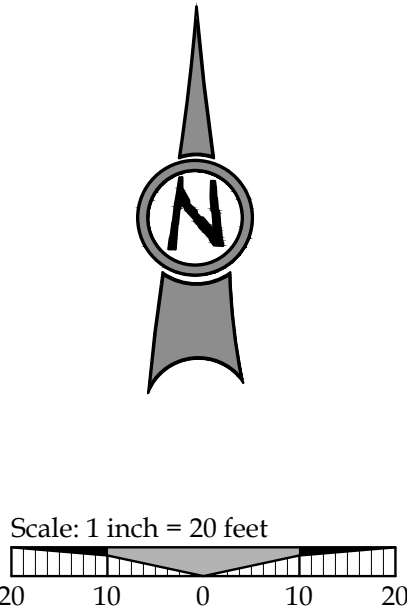
- PROJECT BOUNDARY
PROPERTY LINE
RIGHT OF WAY
RIGHT OF WAY CENTER LINE
1FT MINOR CONTOUR
5FT INDEX CONTOUR
GUARDRAIL
COMBINATION SEWER DRAIN LINE
SANITARY SEWER LINE
WATER LINE
UNDERGROUND POWER LINE
OVERHEAD POWER LINE
TELEPHONE LINE
ASPHALT PAVEMENT
CONCRETE PAVEMENT
STORM CURB INLET
STORM SEWER MANHOLE
SANITARY SEWER MANHOLE
WATER METER
WATER VALVE
FIRE HYDRANT
STREET LIGHT

DEMOLITION KEY NOTES

- 1 SAWCUT EXISTING CONCRETE AT LIMITS SHOWN. REMOVE EXISTING CONCRETE SURFACING AND DISPOSE OF RUBBLE OFFSITE.
- 2 EXISTING STREET LIGHT/DECORATIVE LIGHT POLE TO BE RELOCATED.
- 3 REMOVE EXISTING SIGNAGE AND SIGN POST.
- 4 PROTECT EXISTING STORM DRAIN INLET.
- 5 PROTECT EXISTING CURB TO REMAIN.
- 6 SAWCUT EXISTING CONCRETE CURBS AT LIMITS SHOWN. REMOVE EXISTING CONCRETE SURFACING AND DISPOSE OF RUBBLE OFFSITE.
- 7 SAWCUT EXISTING ASPHALT AT LIMITS SHOWN. REMOVE EXISTING ASPHALT SURFACING AND DISPOSE OF RUBBLE OFFSITE.
- 8 SAWCUT EXISTING CONCRETE RETAINING WALL AND REMOVE SECTIONS THAT ENCROACH BEYOND PROPERTY LINE. REMOVE AND DISPOSE OF RUBBLE OFFSITE.
- 9 REMOVE EXISTING LIGHT AND LIGHT POLE
- 10 SAWCUT EXISTING CONCRETE RETAINING WALL. REMOVE AND DISPOSE OF RUBBLE OFFSITE.

LEGEND: DEMOLITION

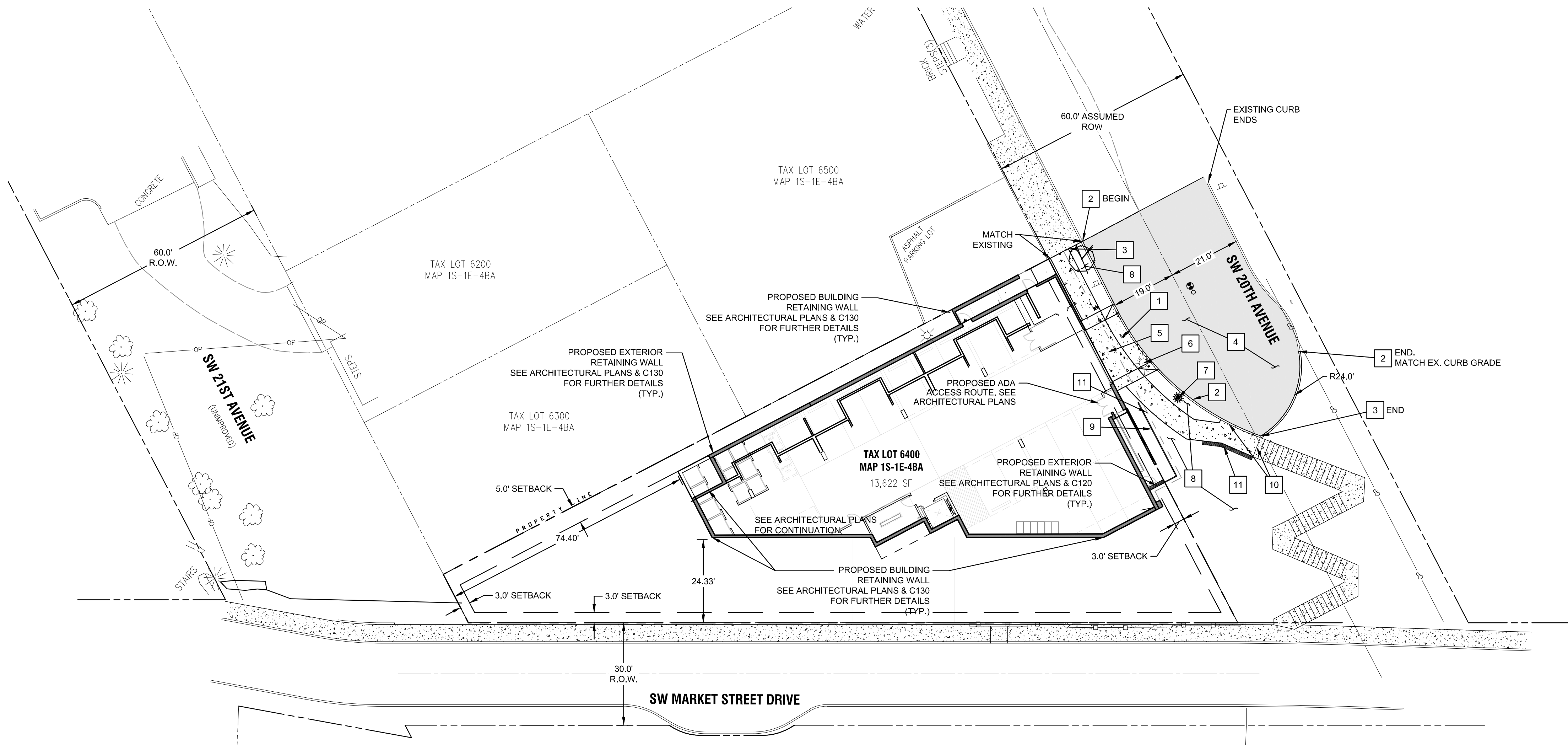
- TREE TO BE REMOVED
EXISTING ASPHALT/GRAVEL SURFACING TO BE REMOVED
EXISTING CONCRETE SURFACING TO BE REMOVED



EXISTING CONDITIONS AND DEMO PLAN
MARKET HILL COMMONS
SW 20TH AVENUE
SCOTIA WESTERN STATES HOUSING, LLC
PORTLAND, OR



3J JOB ID #	I 14-178
LAND USE #	I LU 15-118576 D2M
TAX LOT #	I R128649
DESIGNED BY	I BCH
CHECKED BY	I BKF
SHEET TITLE	EX COND & DEMO
SHEET NUMBER	C100



SITE CONSTRUCTION NOTES

- 1

PROPOSED 17-FT WIDE DRIVEWAY APRON. SEE CITY OF PORTLAND STANDARD DETAIL P-528 (TYPICAL SEPARATED SIDEWALK DRIVEWAY). SEE OFFSITE IMPROVEMENT PLANS.
- 2

CONSTRUCT "STANDARD CURB" PER CITY OF PORTLAND STANDARD DETAIL P-540 (CURBS). SEE OFFSITE IMPROVEMENT PLANS.
- 3

CONSTRUCT 6-FT WIDE SEPARATED SIDEWALK PER OREGON STANDARD DRAWING RD720 (SIDEWALKS). SEE OFFSITE IMPROVEMENT PLANS.
- 4

CONSTRUCT ASPHALT PAVING PER TYPICAL SECTION. SEE OFFSITE IMPROVEMENT PLANS.
- 5

CONSTRUCT 17-FT WIDE CONCRETE DRIVEWAY. SEE CITY OF PORTLAND STANDARD DETAIL P-528 FOR APRON CONNECTION. SEE OFFSITE IMPROVEMENT PLANS.
- 6

EXISTING POWER POLES AND UNDERGROUND POWER LINES TO BE REMOVED / RELOCATED OUT OF PORPOSED SIDEWALK AND DRIVEWAY.
- 7

RELOCATE EXISTING LIGHT POLE TO WITHIN NEW PLANTER STRIP.
- 8

SEE LANDSCAPE PLANS FOR ON-SITE AND OFF-SITE PLANTINGS
- 9

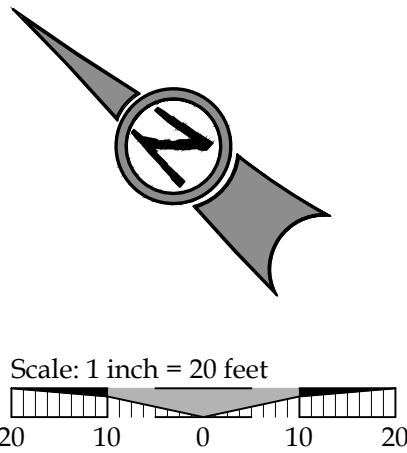
EXTERIOR BUILDING RETAINING WALL FOR STAIRWELL. SEE ARCHITECTURAL PLANS.
- 10

MATCH EXISTING GRADE AT BOTTOM OF STAIRS WITH PROPOSED 6-FT CURB-TIGHT SIDEWALK. SEE CITY OF PORTLAND STANDARD DETAIL RD-720 (SIDEWALKS). SEE OFFSITE IMPROVEMENT PLANS.
- 11

PROPOSED LANDSCAPE RETAINING WALL. SEE SHEET C120 FOR FURTHER DETAILS.

SYMBOL & LINETYPE LEGEND

- PROPOSED LOT LINE
- PROPOSED BUILDING SETBACK
- RIGHT-OF-WAY
- PROPOSED RETAINING WALL
- PROPOSED STANDARD CURB
- PROPOSED ACCESS / UTILITY EASEMENT
- PROPOSED ASPHALT PAVING
- PROPOSED CONCRETE PAVING
- PROPOSED STREET FRONTAGE TREE



LAND USE	10-09-15	
	BY	DATE
A	REVISION SUMMARY	

PRELIMINARY SITE PLAN
MARKET HILL COMMONS
SW 20TH AVENUE
SCOTIA WESTERN STATES HOUSING, LLC
PORTLAND, OR



3J CONSULTING, INC

3J

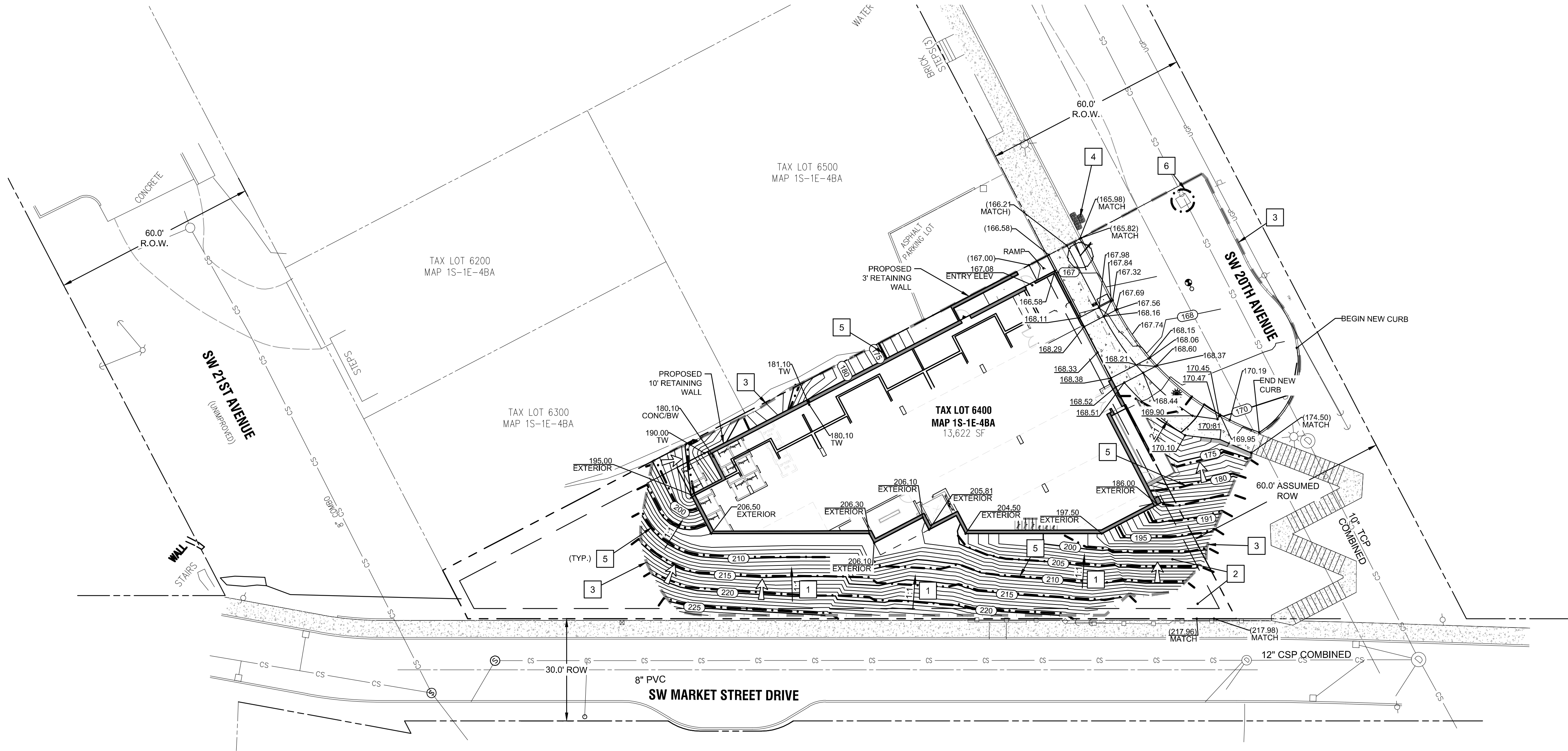
CIVIL ENGINEERING
WATER RESOURCES
LAND USE PLANNING

5075 SW GRIFFITH DRIVE, SUITE 150, BEAVERTON, OR 97005
PHONE & FAX: (503) 946-9365

3J JOB ID #	14-178
LAND USE #	LU 15-118576 D2M
TAX LOT #	R128649
DESIGNED BY	BCH
CHECKED BY	BKF

SHEET TITLE
SITE PLAN

SHEET NUMBER
C120



GRADING CONSTRUCTION NOTES

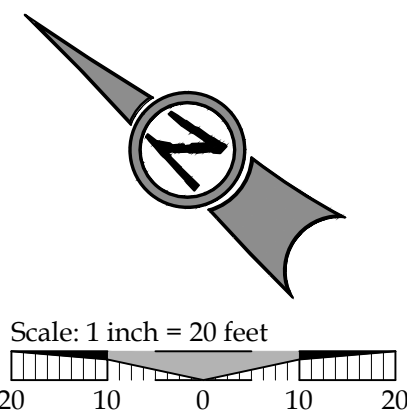
- 1 PROPOSED 1:1 SLOPE ON THE SOUTH SIDE OF THE BUILDING PER GEOTECHNICAL ENGINEER RECOMMENDATIONS STATED WITHIN THE GEOTECHNICAL REPORT.
- 2 MATCH PROPOSED AERIAL WALK-WAY TO EXISTING GRADES AT THE MARKET STREET SIDEWALK
- 3 PLACE SILT FENCING AT LIMITS OF GRADING AND CONSTRUCTION WHERE SHOWN.
- 4 PLACE BIO-BAG CHECK DAM FOR SEDIMENT CONTROL ADJACENT TO ALL NEW CONCRETE WORK WITHIN RIGHT OF WAY.
- 5 INSTALL STRAW WATTLES AS SHOWN.
- 6 INSTALL INLET PROTECTION AS SHOWN.

LEGEND

- | | |
|-----------|--|
| --- | BOUNDARY LINE |
| - - - - | EXISTING RIGHT-OF-WAY |
| - . - . - | EXISTING CENTERLINE |
| - - - - - | EXISTING EASEMENT LINE |
| - - - - - | EXISTING LOT LINE |
| ===== | EXISTING CURB AND GUTTER |
| ===== | EXISTING SIDEWALK |
| ----- | EXISTING TREES TO REMAIN |
| ----- | EXISTING 1FT CONTOUR |
| ----- | EXISTING 5FT INDEX CONTOUR |
| ----- | PROPOSED LOT LINE |
| ===== | PROPOSED CURB AND GUTTER |
| ===== | PROPOSED CONCRETE |
| ===== | PROPOSED RETAINING WALL |
| ----- | PROPOSED STREET FRONTAGE TREE |
| ----- | PROPOSED 1FT CONTOUR |
| ----- | PROPOSED 5FT INDEX CONTOUR |
| - x - x - | EROSION CONTROL: SILT FENCING (BLACK) |
| - x - x - | EROSION CONTROL: FESCUE STRAW WATTLE |
| ===== | EROSION CONTROL: CONSTRUCTION ENTRANCE |
| ===== | LIMITS OF GRADING/DISTURBANCE |
| ===== | EROSION CONTROL: BIO BAG CHECK DAM |
| ----- | SURFACE RUN-OFF FLOW ARROW |
| ----- | EROSION CONTROL: INLET PROTECTION |

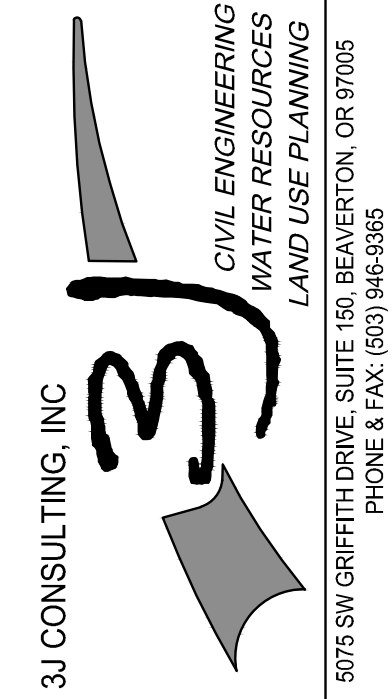
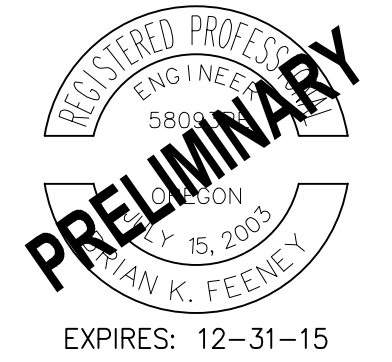
SPOT ELEVATION ABBREVIATION LIST

- | | |
|-------------|--------------------------------|
| (166.6) | EX. ELEVATION |
| ● PL | AT PROPERTY LINE |
| 17X=PARK FF | FINISHED GRADE AT GARAGE LEVEL |
| 175 | PROPOSED ELEVATION |
| BW | AT BOTTOM OF WALL |
| TW | AT TOP OF WALL |
| TBC | AT TOP OF CURB |
| CONC | AT FINISHED CONCRETE GRADE |
| TW | AT TOP OF WALL |

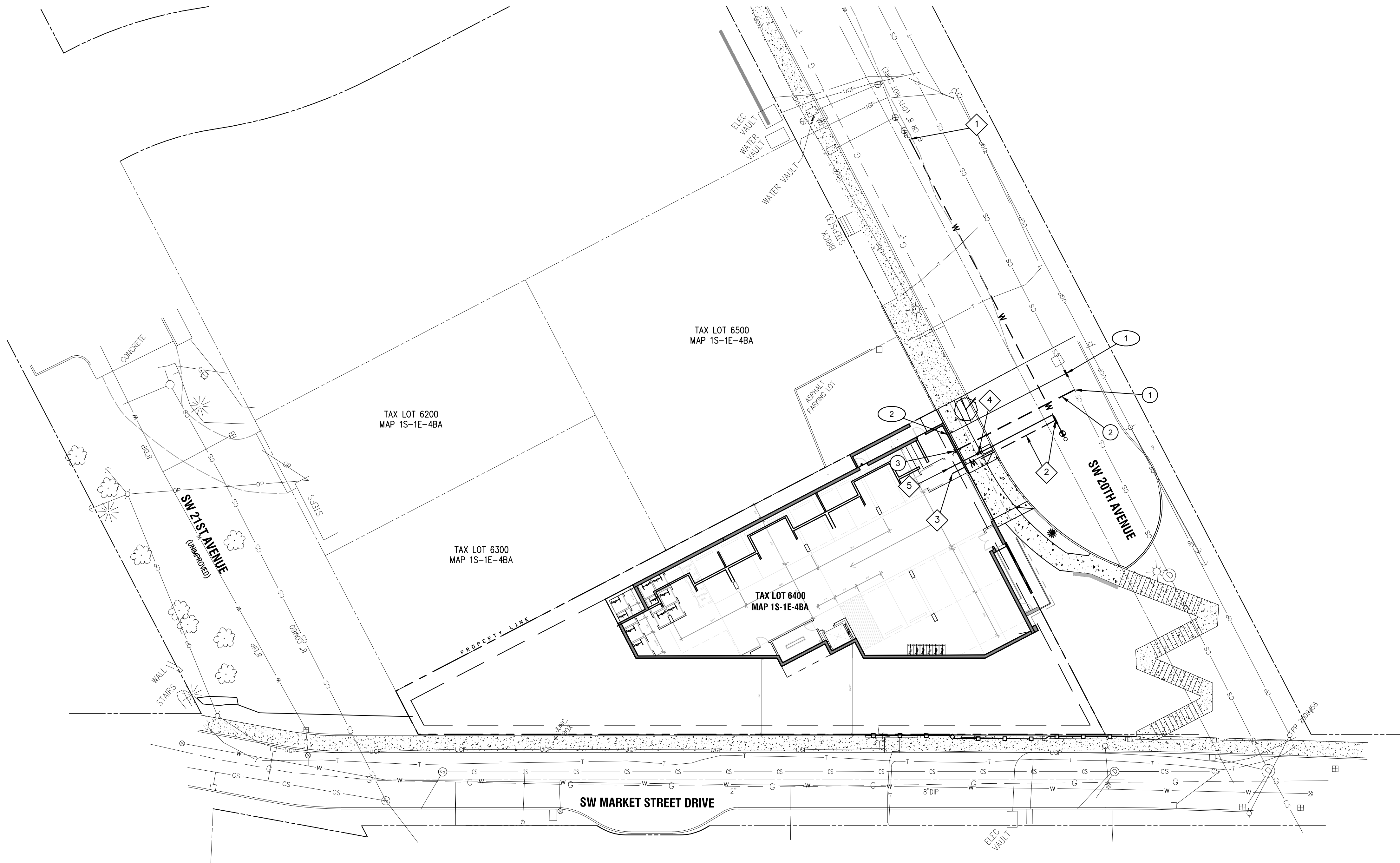


LAND USE	REVISION SUMMARY	BY	DATE
A			

PRELIMINARY GRADING PLAN
MARKET HILL COMMONS
SW 20TH AVENUE
SCOTIA WESTERN STATES HOUSING, LLC
PORTLAND, OR



3J JOB ID #	14-178
LAND USE #	LU 15-118576 D2M
TAX LOT #	R128649
DESIGNED BY	BCH
CHECKED BY	BKF
SHEET TITLE	PRELIM GRADING
SHEET NUMBER	C130

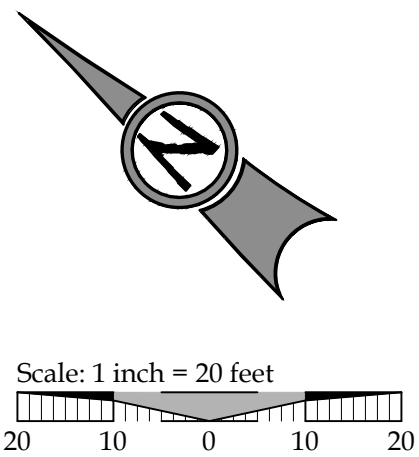


SITE CONSTRUCTION NOTES

- 1 CONNECT TO EXISTING 8" WATER MAIN AND EXTEND TO THE SOUTH APPROXIMATELY 110 FEET. INSTALL BLOWOFF AT END OF EXTENDED MAIN.
- 2 CITY OF PORTLAND WATER BUREAU TO PROVIDE NEW 6" TAP ON EXTENDED WATER MAIN FOR BUILDING FIRE SERVICE. INSTALL 38 LF 6" CLASS 52 DUCTILE IRON WATER LINE.
- 3 POINT OF CONNECTION, 6" BUILDING FIRE WATER SUPPLY LINE. DOUBLE CHECK EQUIPMENT TO BE LOCATED WITHIN BUILDING. SEE M.E.P. PLANS FOR CONTINUATION.
- 4 CITY OF PORTLAND WATER BUREAU TO PROVIDE NEW 4" (2EA 2") METERING DOMESTIC WATER METERING EQUIPMENT AT LOCATION SHOWN. EXTEND SERVICE AS SHOWN.
- 5 POINT OF CONNECTION, 4" DOMESTIC WATER SERVICE LINE. SEE M.E.P. PLANS FOR CONTINUATION.
- 1 CITY OF PORTLAND BUREAU OF ENVIRONMENTAL SERVICES TO PROVIDE CONNECTION TO EXISTING COMBINATION SEWER MAIN IN SW 20TH AVENUE. EXTEND PRIVATE SEWER LATERAL AS SHOWN.
- 2 POINT OF CONNECTION, SANITARY SEWER SERVICE LINE. SEE M.E.P. PLANS FOR CONTINUATION AND DESIGN.
- 1 CITY OF PORTLAND BUREAU OF ENVIRONMENTAL SERVICES TO PROVIDE CONNECTION TO EXISTING COMBINATION SEWER MAIN IN SW 20TH AVENUE. EXTEND PRIVATE STORM SEWER LATERAL AS SHOWN.
- 2 EXTEND 44 LF OF 10" STORM LATERAL TO LOCATION SHOWN.
- 3 CONNECT STORM WATER PLANTER UNDERDRAIN TO DISCHARGE PIPING AT LOCATION SHOWN. SLEEVE PIPE THROUGH WALL. SEE M.E.P. PLANS FOR ROOF DRAIN COLLECTION MANIFOLD LOCATION.

SYMBOL & LINETYPE LEGEND

- PROJECT BOUNDARY LINE
- - - ADJACENT PROPERTY BOUNDARY
- ⚡ EXISTING LIGHT POLE
- ⦿ EXISTING TRAFFIC SIGN
- ⦿ EXISTING FIRE HYDRANT
- ⦿ EXISTING WATER METER
- ⦿ EXISTING SANITARY MANHOLE
- ⦿ EXISTING STORM MANHOLE
- ⦿ EXISTING CATCHBASIN
- PROPOSED DOMESTIC WATER SERVICE & METER
- PROPOSED WATER MAIN
- PROPOSED STORM SEWER LATERAL AS NOTED
- PROPOSED SANITARY SEWER LATERAL AS NOTED
- ⦿ PROPOSED STREET LIGHT
- PROPOSED UTILITY/ACCESS EASEMENT



LAND USE	REVISION SUMMARY	BY	DATE
A			

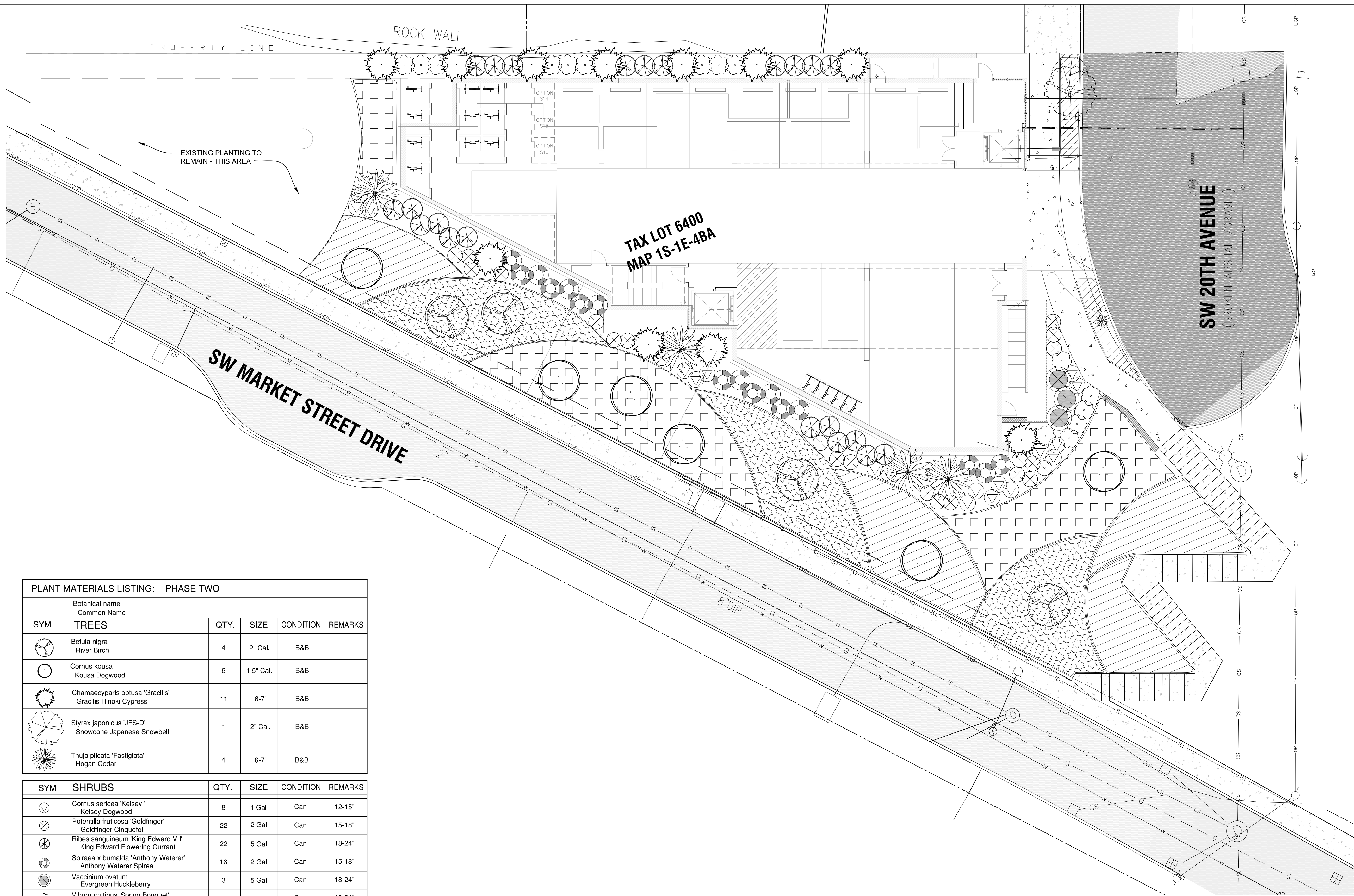
PRELIMINARY UTILITY PLAN
MARKET HILL COMMONS
SW 20TH AVENUE
SCOTIA WESTERN STATES HOUSING, LLC
PORTLAND, OR

REGISTERED PROFESSIONAL ENGINEER
5803
PRELIMINARY
JAN 15, 2023
JAN K. FEENEY
EXPIRES: 12-31-15

3J CONSULTING, INC
CIVIL ENGINEERING
WATER RESOURCES
LAND USE PLANNING
5075 SW GRIFFITH DRIVE, SUITE 150, BEAVERTON, OR 97005
PHONE & FAX: (503) 946-9365

3J JOB ID # | 14-178
LAND USE # | LU 15-118576 D2M
TAX LOT # | R128649
DESIGNED BY | BCH
CHECKED BY | BKF

SHEET TITLE
UTILITY PLAN
SHEET NUMBER
C300



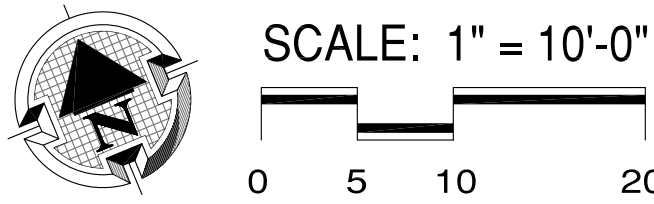
PLANT MATERIALS LISTING: PHASE TWO

Botanical name Common Name					
SYM	TREES	QTY.	SIZE	CONDITION	REMARKS
	Betula nigra River Birch	4	2" Cal.	B&B	
	Cornus kousa Kousa Dogwood	6	1.5" Cal.	B&B	
	Chamaecyparis obtusa 'Gracilis' Gracilis Hinoki Cypress	11	6-7"	B&B	
	Styrax japonicus 'JFS-D' Snowcone Japanese Snowbell	1	2" Cal.	B&B	
	Thuja plicata 'Fastigiata' Hogan Cedar	4	6-7"	B&B	

SYM	SHRUBS	QTY.	SIZE	CONDITION	REMARKS
	Cornus sericea 'Kelsey' Kelsey Dogwood	8	1 Gal.	Can	12-15"
	Potentilla fruticosa 'Goldfinger' Goldfinger Cinquefoil	22	2 Gal.	Can	15-18"
	Ribes sanguineum 'King Edward VII' King Edward Flowering Currant	22	5 Gal.	Can	18-24"
	Spiraea x bumalda 'Anthony Waterer' Anthony Waterer Spirea	16	2 Gal.	Can	15-18"
	Vaccinium ovatum Evergreen Huckleberry	3	5 Gal.	Can	18-24"
	Viburnum tinus 'Spring Bouquet' Spring Bouquet Viburnum	15	5 Gal.	Can	18-24"

SYM	GROUND COVER	QTY.	SIZE	CONDITION	REMARKS
	Arctostaphylos ura-ursi Kinnikinnick	66	4"	Pots	18" O.C.
	Fragaria chiloensis Coastal Strawberry	565	4"	Pots	18" O.C.
	Mahonia repens Creeping Oregon Grape	170	1 Gal.	Can	36" O.C.
	Polystichum munitum Sword Fern	148	1 Gal.	Can	36" O.C.

REFER TO SHEET L101 FOR
PLANTING DETAILS AND NOTES.



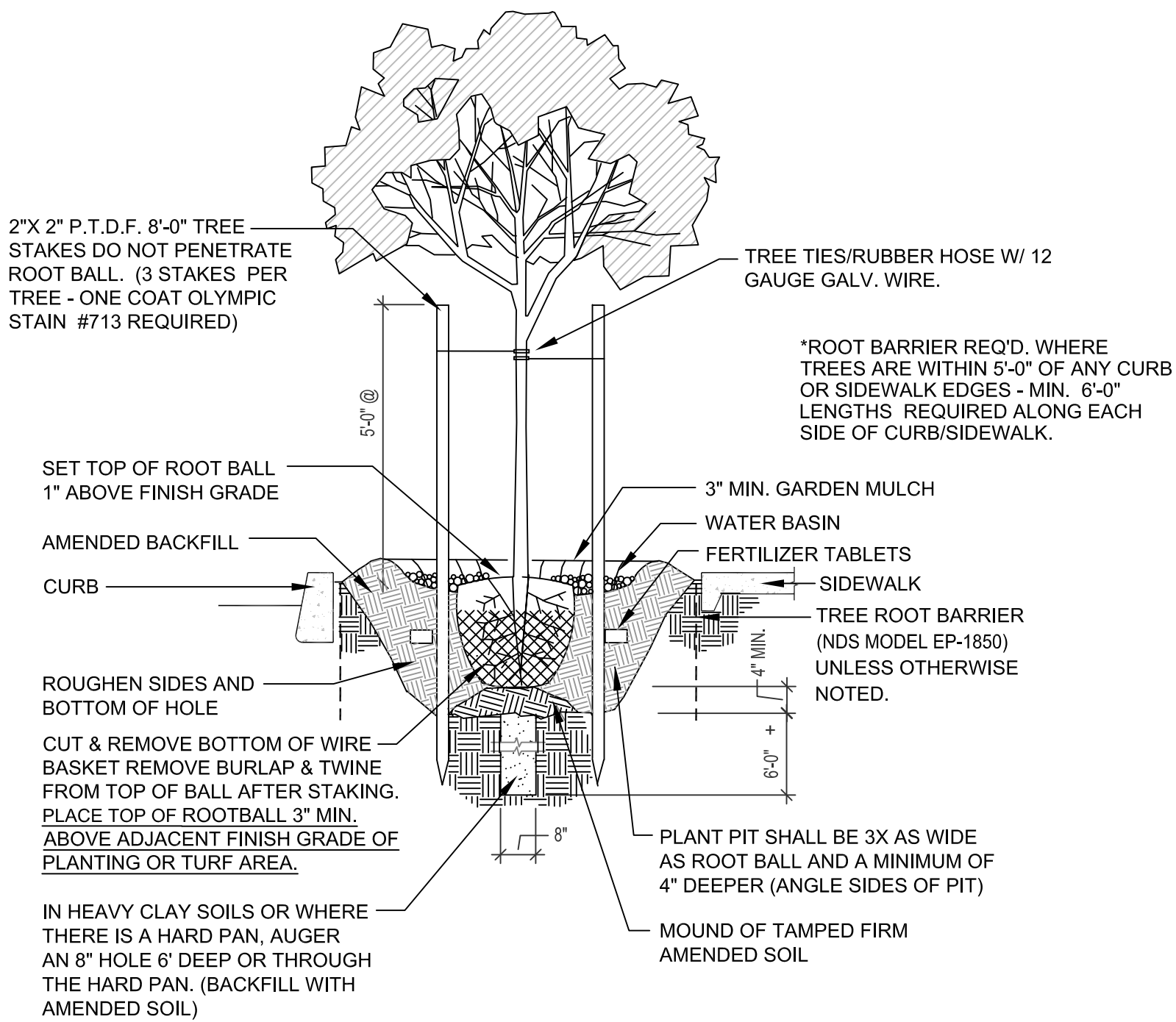
PRELIMINARY PLANTING PLAN
MARKET HILL CONDOMINIUMS
SW 20TH AVENUE
PORTLAND, OR 97201

REVISIONS		
REV.	DATE	DESCRIPTION

SHEET TITLE:
PLANTING PLAN

DRAWN BY: TAM
CHECKED BY: TAM
ISSUE DATE: 2/9/2015
JOB NO.: 1505

SHEET:
L100
OF 2

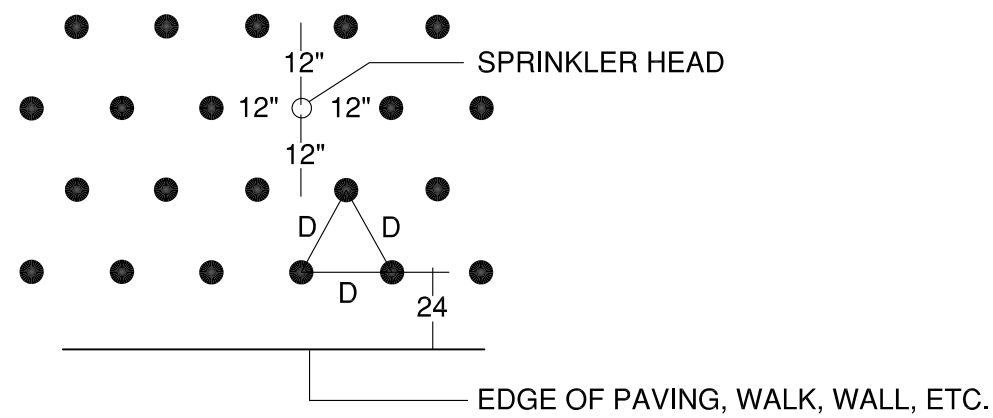


TREE PLANTING DETAIL

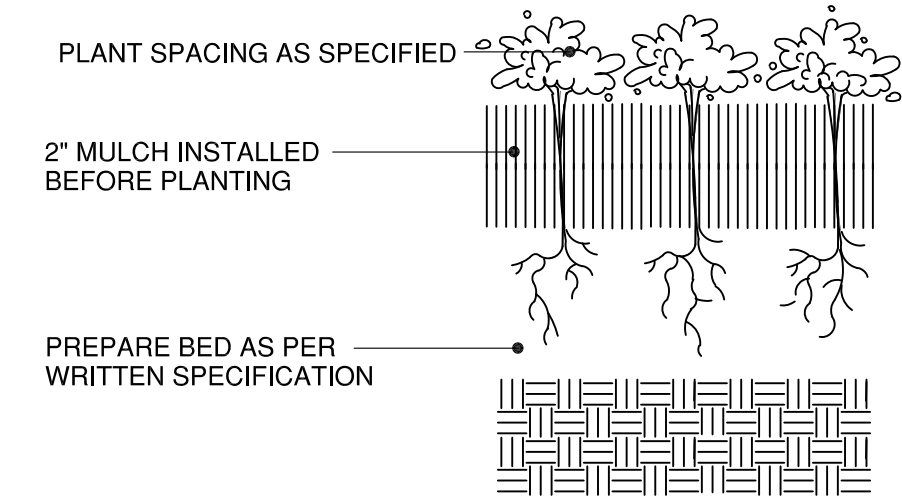
N.T.S.

TYPICAL PLANTING NOTES:

- B&B stock may be substituted with container stock of equal grade.
- Container stock may be substituted with B&B stock of equal grade.
- Plant material shall conform with American Standard for Nursery Stock, ANSI Z60.1, 2004 edition.
- All trees shall be branched.
- Refer to project technical specification for topsoil requirement. All planting beds shall have a minimum of 18 inches topsoil. Re-use of existing topsoil is recommended, but must meet specifications.
- Garden mulch all planting beds with 3" min. Layer of specified garden mulch.
- In the event of a discrepancy between this material listing and the drawings, the drawings shall govern the plant species and quantities required.
- In the event of question or lack of clarity on drawings, Landscape Contractor is to call Landscape Architect before proceeding.
- Landscape contractor is to notify Landscape Architect prior to installation of plant material to approve final placement.
- Landscape Contractor to verify plant material quantities.
- Contractor will provide a one year warranty on all provided & installed plant material from date of final approval by owner's representative.

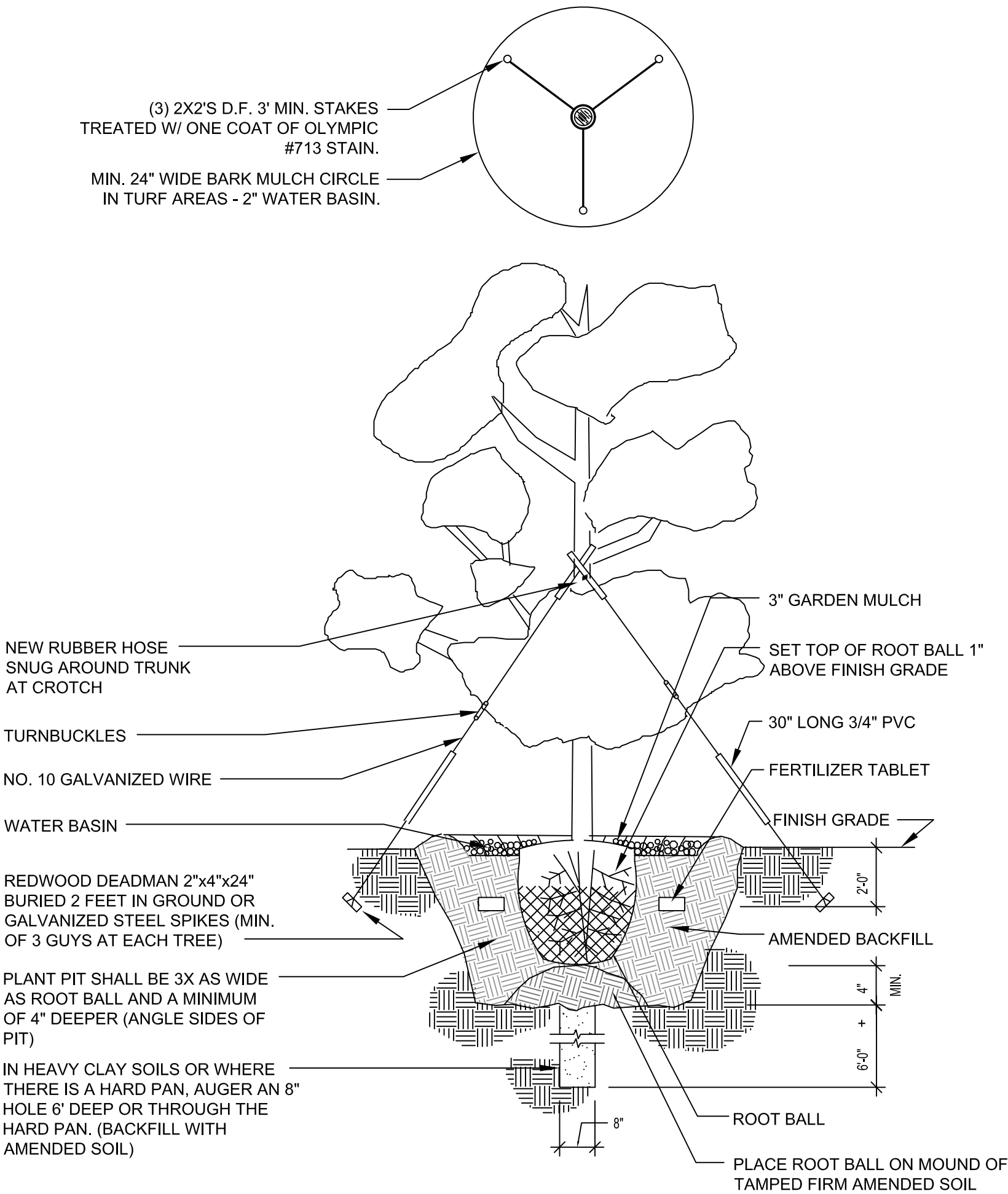


NOTE:
LOCATE PLANTS SPACED EQUAL DISTANT (D)
FROM EACH OTHER AS SPECIFIED AND
MINIMUM OF 12" FROM SPRINKLER HEAD



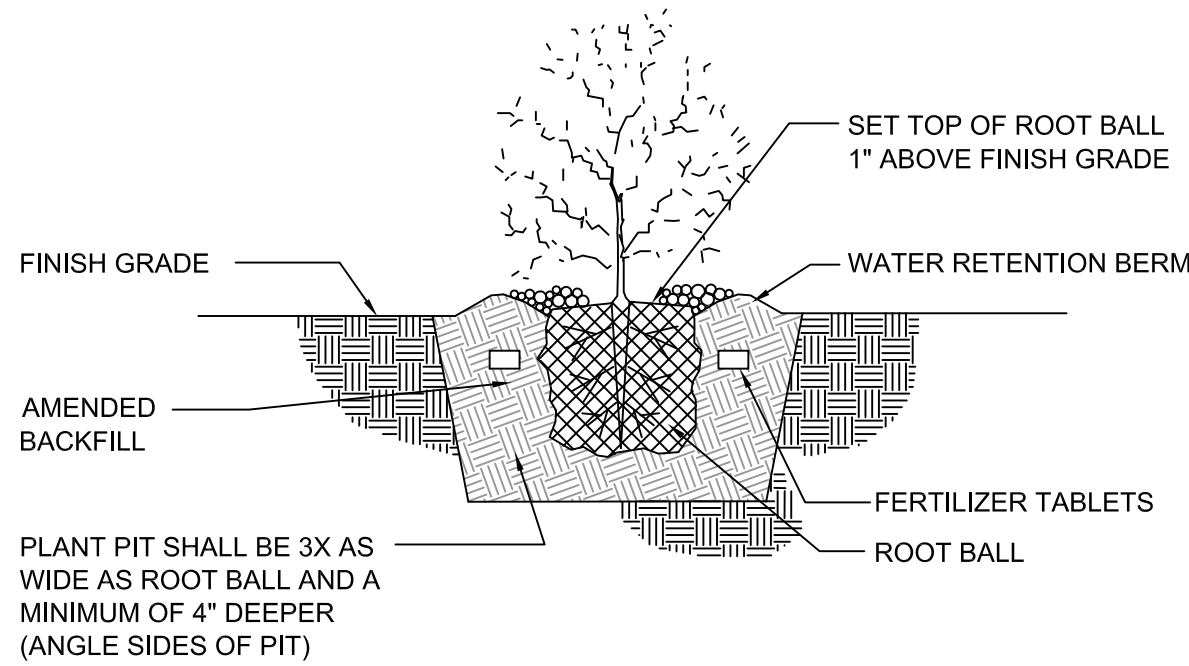
GROUNDCOVER PLANTING DETAIL

N.T.S.



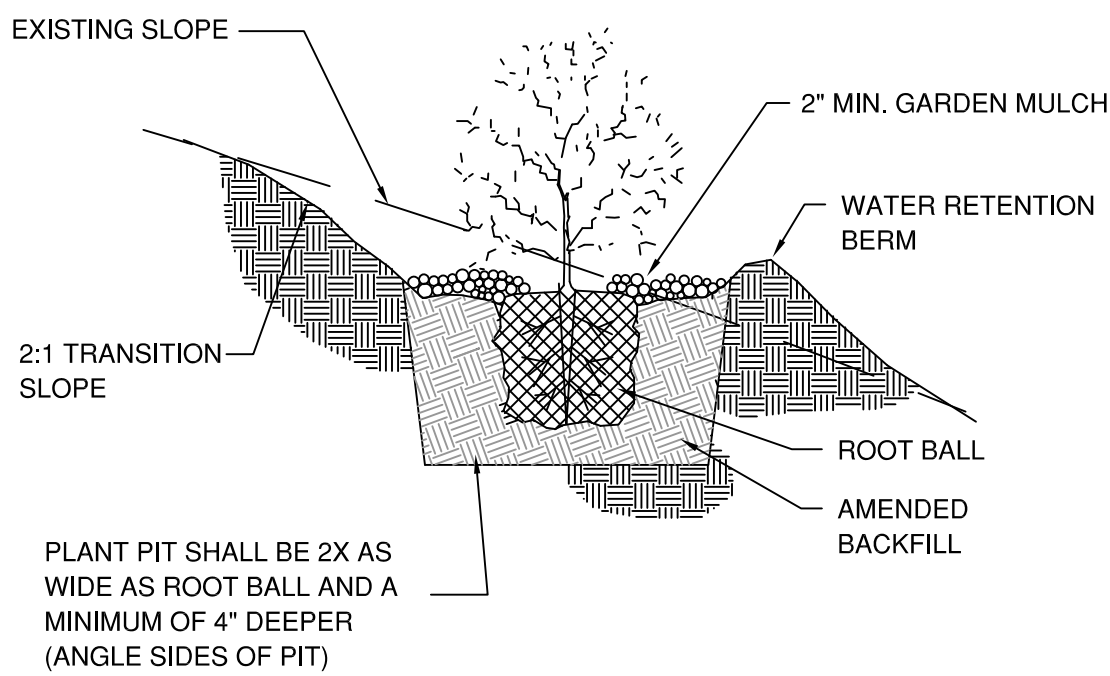
EVERGREEN TREE PLANTING DETAIL

N.T.S.



SHRUB PLANTING DETAIL

N.T.S.



SLOPE SHRUB PLANTING DETAIL

N.T.S.

NOT USED

NOT USED

NOT USED

REVISIONS		
REV.	DATE	DESCRIPTION
1	5/27/2015	City Comments
2	10/9/2015	City Comments

SHEET TITLE:
DETAILS & NOTES

DRAWN BY: TAM
CHECKED BY: TAM
ISSUE DATE: 2/9/2015
JOB NO.: 1505