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CITY OF PORTLAND, OREGON - BUREAU OF DEVELOPMENT SERVICES

1900 SW Fourth Avenue, Suite 5000 • Portland, Oregon 97201 • www.portlandonline.com/bds • Fax 503-823-7425



Facility Permit Plan Intake Form

FOR INTAKE, STAFF USE ONLY		Building/Mechanical <u>Burris</u>
Date Received <u>4/30/09</u>		Electrical _____
Building Registration # <u>08-146036-FC</u>		Plumbing _____
Fixed Bid <u>NO</u>		Fire <u>Flood</u>
Bin # <u>B2</u>		Planning _____
Building Permit # <u>09-125469-FA</u>		BES _____
Mechanical # _____		PDOT _____
Plumbing Permit # _____		Structural _____
Electrical Permit # _____		Other _____

5

APPLICANT: Complete all sections below that apply to the project. Please print legibly.

Print Name TRACY ORVIS Sign Name [Signature] 3024101
 Street Address 200 NE 20TH AVE, STE 200 Rm 004 LNDNG
 City PORTLAND State OR Zip Code 97232
 Day Phone 503 736 9979 FAX 503 736 9975 email torvis@diloretoarchitecture.com

Plans / permits available for pick up at 1900 SW 4th Avenue, 2nd floor between 8:00 am to 5:00 pm

Contact Name for plan/permit pick up TRACY ORVIS
 Day Phone 503 736 9979 email torvis@diloretoarchitecture.com

Project Building Name / # Leftbank
 Project Address or Location 240 North Broadway
 Project Name and Description Ste 004 - Storage Room - add landing and stair (3 treads, 4 risers, wood const.) with partial height wall #2
 Total Project Value \$300 Project Reference #/Billing ID # 08001.21
 Building Contractor Deutsch and Oliver CCB # 152784
 Mechanical Contractor Portland Mechanical CCB # 151807
 Electrical Contractor Three Phase Electric CCB# 128282 License # _____
 Plumbing Contractor Scott Anderson Plumbing CCB# 57718 License # _____

Building Permit Alarms Required
 No. of Stories 3+bsmt Smoke Det. Req'd
 Const. Type III B Sprinklers Req'd
sprinklers already installed Struct. Eng / Calcs Submitted

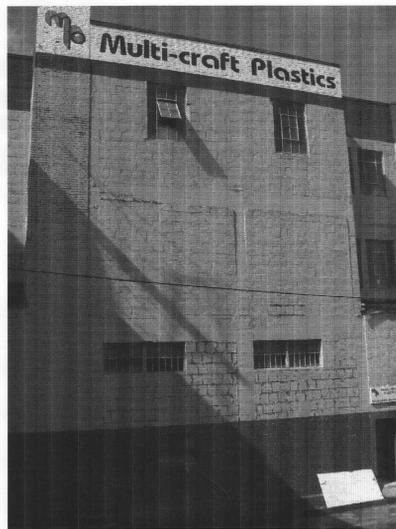
Electrical Permit
 Please provide a completed standard electrical permit application form. You may mail or deliver it to 1900 SW 4th Avenue, Portland, Oregon 97201 or FAX to 503-823-7425.

Mechanical Permit
 Mechanical Valuation _____
 Description _____

Plumbing Permit
 Number of Fixtures _____
 Back Flow Devices _____
 Water Service (# of Feet) _____
 Medical Gas _____
 Other _____

LEFTBANK ADAPTIVE RE-USE

SUITE 004 TENANT IMPROVEMENT



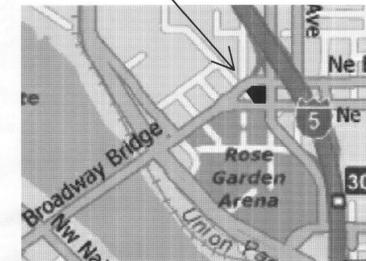
08001.21

SHEET INDEX

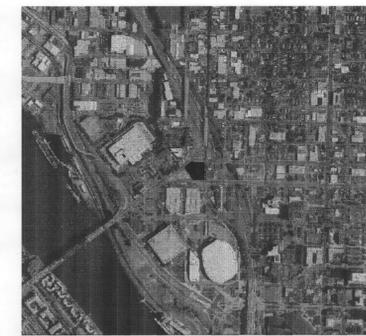
COVER SHEET CS

GENERAL INFO / CODE ANALYSIS / FLOOR PLAN A.1.1

PORTLAND, OREGON
PROJECT SITE



VICINITY MAP



AERIAL PHOTO

OWNER/GENERAL CONTRACTOR PROJECT MANAGER ARCHITECT

ALORA DEVELOPMENT
125 NE KILLINGSWORTH, #300
PORTLAND, OR 97211
503-248-6712

BRIAN KEICHER
1001 SE WATER AVENUE, SUITE 121
PORTLAND, OR 97214
503-740-4940

DILORETO ARCHITECTURE, ILC
200 NE TWENTIETH AVE., STE. 200
PORTLAND, OR 97232
503-736-9979

CONTACT: DANIEL DEUTSCH CONTACT: BRIAN KEICHER CONTACT: TRACY ORVIS

STRUCTURAL ENGINEER DESIGN CONSULTANT: MECHANICAL CONTRACTOR: ELECTRICAL CONTRACTOR: PLUMBING CONTRACTOR:

MILLER CONSULTING
9570 SW BARBUR BLVD., STE. 100
PORTLAND, OR 97219-5412
503-246-1250

gallopowell design build
332 N OLSEN AVENUE
TUCSON, AZ 85719
270-7581

PORTLAND MECHANICAL
2000 SE HANNA HARVESTER DR.
MILWAUKIE, OREGON 97222
503-656-7400

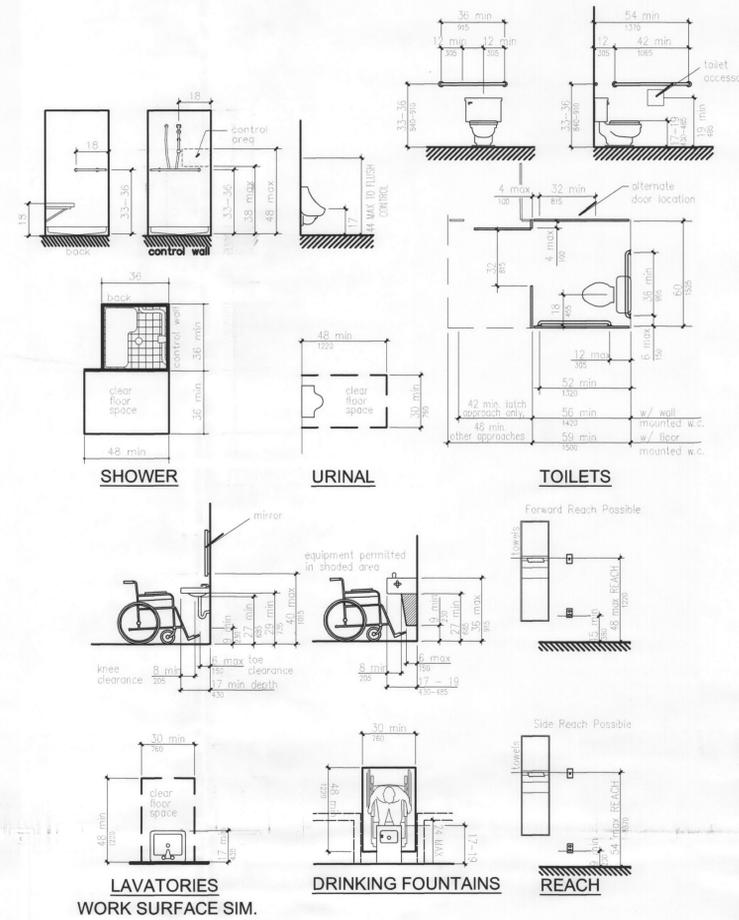
THREE PHASE ELECTRIC
493 NE 3RD AVE, STE B200
CANBY, OREGON 97013
503-557-1604

SCOTT ANDERSON PLUMBING
28 PRAKNES CT
LAKE OSWEGO, OREGON 97035
503-781-1377

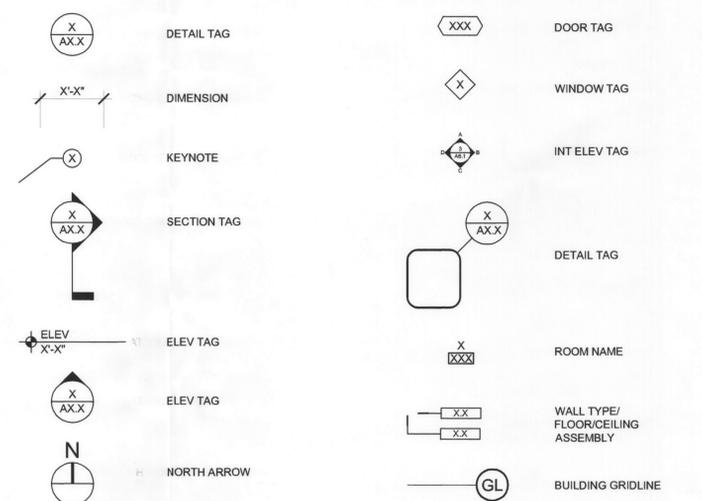
CONTACT: KENNETH SAFE, P.E. CONTACT: ANDY POWELL CONTACT: ERIC VAN ORDEN CONTACT: JOHN WOODWORTH CONTACT: SCOTT ANDERSON

di loreto ARCHITECTURE, ILC

ADA CLEARANCES



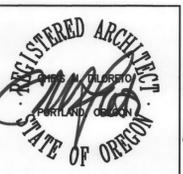
ARCHITECTURAL SYMBOL LEGEND



ABBREVIATIONS

A.F.F.	Above Finish Floor	MACH.	Machine
ACOUST.	Acoustical	M.B.	Machine Bolt
A.C.T.	Acoustical Clg. Tile	MH.	Manhole
ADJ.	Adjust, Adjustable	MFR.	Manufacturer
AGG.	Aggregate	M.O.	Masonry Opening
AL.	Aluminum	MAX.	Maximum
A.B.	Anchor Bolt	MECH.	Mechanical
APPROX.	Approximately	M.C.	Medicine Cabinet
ARCH.	Architectural	MDO.	Medium Density Overlay
A.D.	Area Drain	MEMB.	Membrane
ASPH.	Asphalt	MET.	Metal
A.C.	Asphaltic Concrete	MIN.	Minimum
BM.	Beam	MISC.	Miscellaneous
BITUM.	Bituminous	MT.	Mosaic Tile
BLK.	Block	MTD.	Mounted
BLKG.	Blocking	MUL.	Metal Mullion
BD.	Board	NOM.	Nominal
BOT./BTM.	Bottom	N.	North
B.C.	Bottom of Curb	N.I.C.	Not in Contract
B.W.	Bottom of Wall	N.T.S.	Not to Scale
BLDG.	Building	NO.	Number
CAB.	Cabinet	OBS.	Obscure
C.P.T.	Carpet	O.C.	On Center
C.I.	Cast Iron	OPNG.	Opening
C.I.P.	Cast in Place	OPP.	Opposite
C.B.	Catch Basin	O.H.	Opposite Hand
CLG.	Ceiling	O.C.S.A.	Occ. Safety & Health Administration
CEM.	Cement	OZ.	Ounce
CTR.	Center	O.D.	Outside Diameter (Dim.)
C.T.	Ceramic Tile	P.	Paint
CLR.	Clear	PR.	Pair
CLO.	Closet	P.T.D.	Paper Towel Dispenser
COL.	Column	P.T.D./R.	Paper Towel Disp & Recept
CONC.	Concrete	P.T.R.	Paper Towel Receptacle
CMU.	Conc. Masonry Units	PART.BD.	Particle Board
COND.	Condition	PTN.	Partition
CONSTR.	Construction	PERF.	Perforated
CONT.	Continuous	PLAS.	Plaster
CONTR.	Contractor	P.LAM.	Plastic Laminate
C.J.	Control Joint	PLT.	Plate
CORR.	Corridor	P.W.D.	Plywood
CNTR.	Counter	PT.	Point
CTSK.	Countersink	P.P.	Power Pole
DEPT.	Department	PRCST.	Precast
DET.	Detail	PREFIN.	Prefinished
DIA.	Diameter	P.P.	Pressure Treated
DIM.	Dimension	P/L	Property Line
D.W.	Dishwasher	Q.T.	Quarry Tile
DISP.	Disposal (Garbage)	R.O.RAD.	Radius
DR.	Door	REF.	Reference
DBL.	Double	REFR.	Refrigerator
DN.	Down	REINF.	Reinforced
DS.	Downspout	REQT.	Requirements
DWR.	Drawer	RES.	Resilient
DWG.	Drawing	R.	Riser(s)
D.F.	Drinking Fountain	R.D.	Room Drain
EA.	Each	RM.	Room
E.S.	Each Side	R.O.	Rough Opening
E.	East	S.GL.	Safety Glass
E.W.C.	Electric Water Cooler	S.N.D.	Sanitary Napkin Dispenser
ELEC.	Electrical	S.N.R.	Sanitary Napkin Receptacle
ELEV.	Elevation	SCHED.	Schedule
EMER.	Emergency	S.C.C.	Seat Cover Dispenser
ENCL.	Enclosure	SECT.	Section
EQ.	Equal	S.S.	Service Sink
EQUIP.	Equipment	SHG.	Sheathing
EXIST.	Existing	SHT.	Sheet
EXP.	Expansion	SH	Shelf
E.J.	Expansion Joint	SHR.	Shower
EXPO.	Exposed	SIM.	Similar
EXT.	Exterior	S.O.G.	Slab on Grade
E.I.F.S.	Exterior Insulation & Finish System	S.D.	Soap Dispenser
F.O.C.	Face of Concrete	S.C.	Solid Core
F.O.F.	Face of Finish	SQ.	Square
F.O.M.	Face of Masonry	S.F.	Square Feet
F.O.S.	Face of Studs	S.V.	Stain and Varnish
F.FIN.	Factory Finish	S.STL.	Stainless Steel
FIN.	Finish	STD.	Standard
F.F.	Finish Floor	STL.	Steel
F.F.E.	Finish Floor Elevation	STOR.	Storage
F.A.	Fire Alarm	STR.	Structural
F.E.	Fire Extinguisher	SURR.	Surrounding
F.E.C.	Fire Extinguisher Cab	SHT VNYL.	Sheet Vinyl
F.H.C.	Fire Hose Cabinet	SYMM.	Symmetrical
F.T.	Fire Retardant Treated	SYS.	System
FPRF.	Fireproof	TEL.	Telephone
FIXT.	Fixture	T.V.	Television
F.B.	Flat Bar	THK.	Thick
F.H.	Flat Head	TOIL.	Toilet
FL.	Floor	T.P.D.	Toilet Paper Dispenser
FLD.	Floor Drain	T&G	Tongue and Groove
FT.	Foot or Feet	T.C.	Top of Curb
FTG.	Footing	T.O.	Top Of
FDN.	Foundation	T.P.	Top of Pavement
F.S.	Full Size Scale	T.P.L.	Top of Plate
F.O.I.C.	Furnished by Owner, Installed by Contractor	T.W.	Top of Wall
FUR.	Furring	TR.	Treads
FUT.	Future	TYP.	Typical
GALV.	Galvanized	UNF.	Unfinished
G.I.	Galvanized Iron	U.O.N.	Unless Otherwise Noted
G.D.	Garbage Disposal	UR.	Urinal
GA.	Gauge	V.C.T.	Vinyl Composition Tile
GLU-LAM.	Glu-Laminated	VEST.	Vestibule
GL.	Glass	VFY.	Verify
GB.	Grab Bar	V.G.	Vertical Grain
GR.	Grade	V.I.F.	Verify in Field
GND.	Ground	V.P.	Veneer Plaster
GYP.BD.	Gypsum Wallboard	V.W.C.	Vinyl Wall Covering
GYP.	Gypsum	WSCT.	Wainscot
HDWE.	Hardware	WC.	Wallcovering
HT.	Height	W.C.	Water Closet
H.C.	Hollow Core	W.H.	Water Heater
H.C.P.	Hollow Core Plank	WP.	Waterproof
H.M.	Hollow Metal	WDW.	Window
HORIZ.	Horizontal		
H.B.	Hose Bibb		
HR.	Hour		
IN.	Inch(es)		
I.D.	Inside Diameter (Dim.)		
INSUL.	Insulation	W/	With
INT.	Interior	W/O	Without
JAN.	Janitor	WD.	Wood
JT.	Joint	W.W.F.	Woven Wire Fabric
K.D.	Kiln Dried		
KIT.	Kitchen	&	And
K.D.N.	Knock Down	<	Angle
		@	Centerline
		>	Diameter
		< @ >	Square/Square Foot
		>	Plate
LAV.	Lavatory		
L.P.	Low Point		
LT.	Light		
LKR.	Locker		

City of Portland
REVISIONS
MAY - 6 2009
09-125469-FA
Permit Number



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Portland, Oregon USA 97232-3021
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TENANT IMPROVEMENT PACKAGE - SUITE 004
LEFTBANK ADAPTIVE RE-USE
240 N BROADWAY
PORTLAND, OREGON
8. 09-125469-FA

REVISIONS:

COVER SHEET

A-CS



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LEFTBANK ADAPTIVE RE-USE
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REVISIONS:

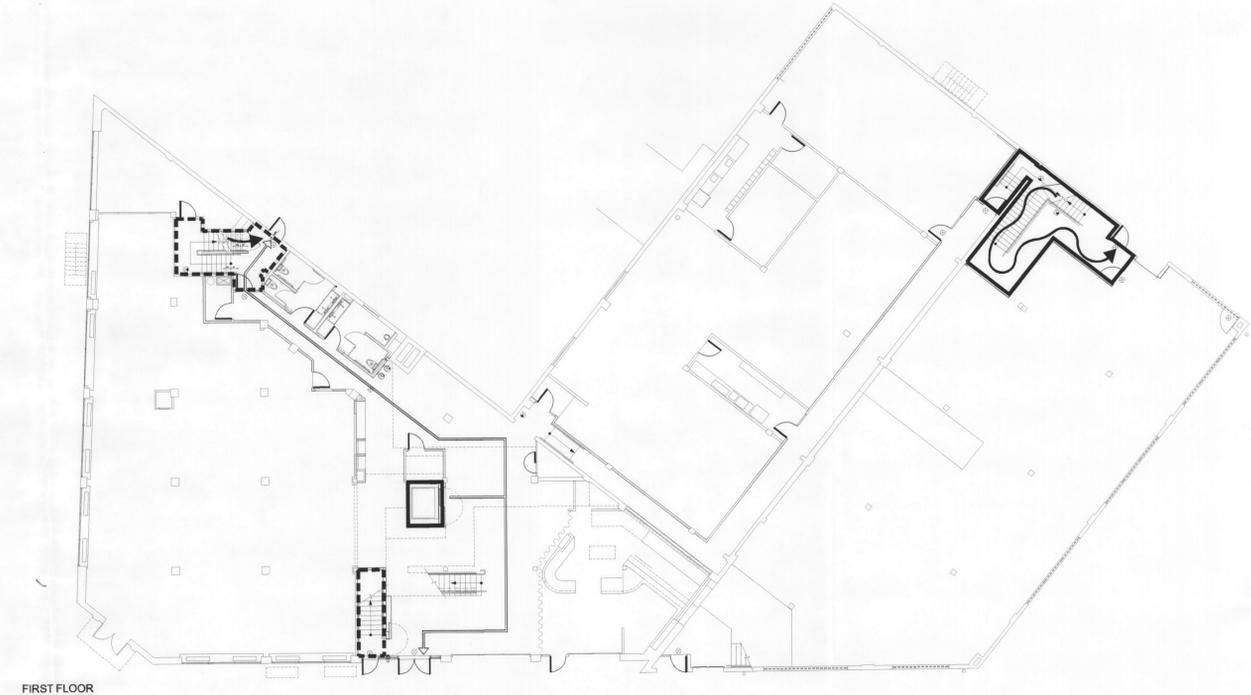
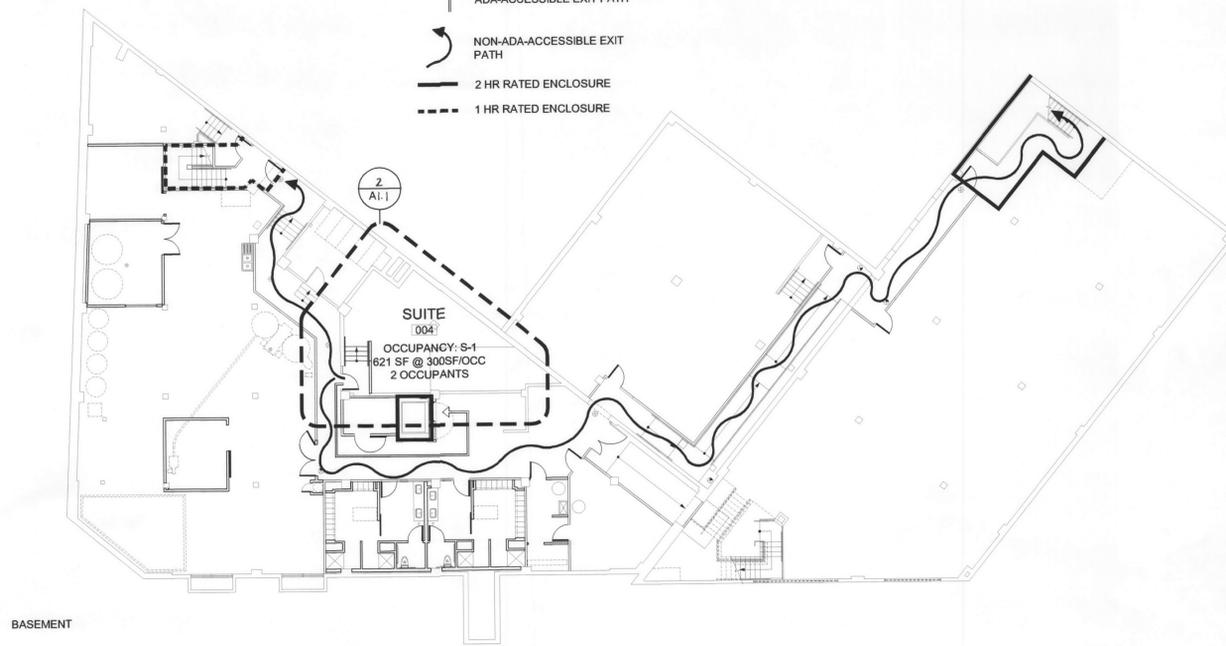
GENERAL INFO.,
 FLOOR PLAN

A1.1

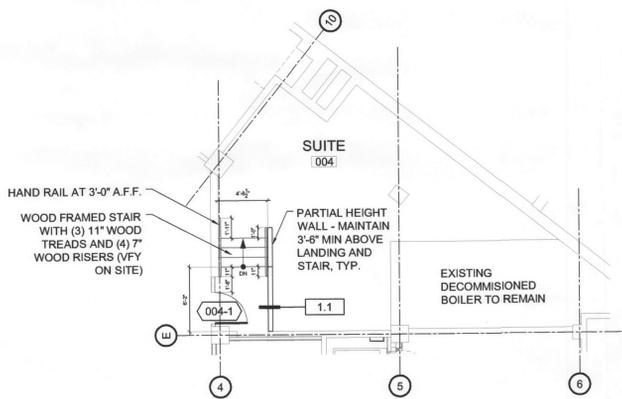
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EXITING PLAN LEGEND

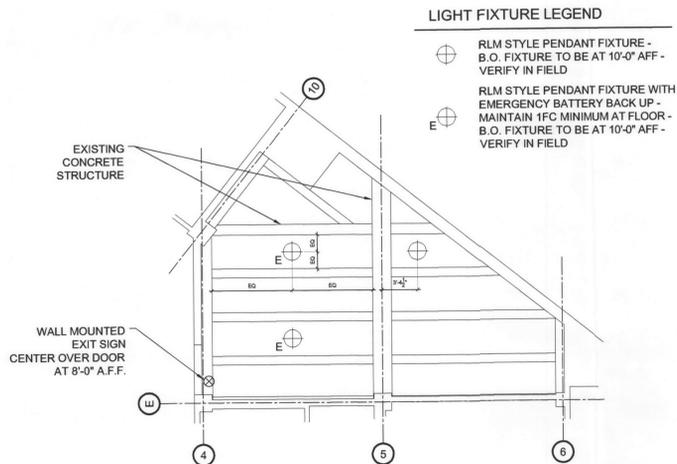
- ADA-ACCESSIBLE EXIT PATH
- NON-ADA-ACCESSIBLE EXIT PATH
- 2 HR RATED ENCLOSURE
- 1 HR RATED ENCLOSURE



1 EXITING PLAN
 A1.1 SCALE: 1/16"=1'-0"



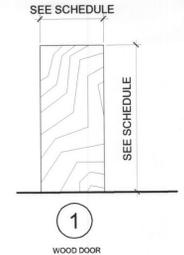
2 FLOOR PLAN - SUITE 004
 A1.1 SCALE: 1/8"=1'-0"



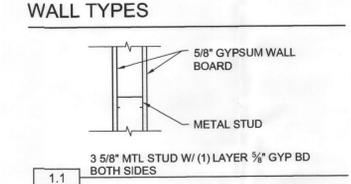
3 FLOOR PLAN - SUITE 004
 A1.1 SCALE: 1/8"=1'-0"

DOOR SCHEDULE - SUITE 004

DOOR NO.	HWDR GROUP	DOOR TYPE	WIDTH	HEIGHT	DOOR MATERIAL	DOOR FINISH	GLASS	FRAME TYPE	FRAME FINISH	NOTES
004-1	1	1	3'-0"	7'-0"	WD	CL		PFS	FF	A

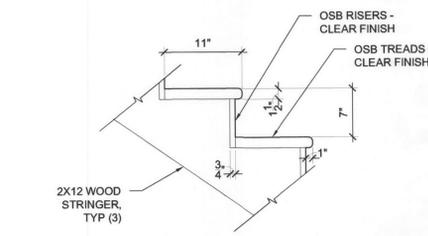


- DOOR LEGEND**
- WD WOOD
 - PFS PRE-FABRICATED STEEL
 - CL CLEAR LACQUER
 - FF FACTORY FINISH
- SECURITY NOTES:**
 A. KEYED ACCESS



HARDWARE SCHEDULE

Group	Item	Manufacturer	Manufacturer #	Finish
1	Butts (1.5pr) 4 1/2 x 4 1/2	PBB	BB81 450	652
	Office Latch	SCHLAGE	L9050 02A x 2-3/4" BS	652
	Closure	DORMA	8916PA	689



4 STAIR SECTION
 A1.1 SCALE: 1"=1'-0"

BUILDING INFORMATION :

ADDRESS 240 N BROADWAY, PORTLAND, OREGON
 STATE ID 1N1E27DC 1700
 PROPERTY ID R156099
 LEGAL ELIZABETH IRVINGS ADDITION, BLOCK 3, LOT 1-3,
 DESCRIPTION EXC PT IN ST LOTS 4-8

SCOPE OF WORK :

TENANT IMPROVEMENT - SUITE 004 - ADD CODE COMPLIANT LANDING AND STAIR TO STORAGE SPACE.

AREA OF BUILDING TO BE ALTERED: 621 SF

CODE SUMMARY :

CODE 2007 OREGON STRUCTURAL SPECIALTY CODE
 JURISDICTION CITY OF PORTLAND

BUILDING CONSTRUCTION :

CONSTRUCTION TYPE	IIIB
ALLOWABLE BUILDING HEIGHT (TABLE 503)	75' (504.2)
SPRINKLERS	YES
BASEMENT (SF)	16,990 SF

FIRE RESISTIVE REQUIREMENTS (TABLE 601) :

STRUCTURAL FRAME	RATING REQUIRED :
BEARING WALLS - EXTERIOR	0 HRS
BEARING WALLS - INTERIOR	2 HRS
FLOORS	0 HRS
ROOFS	0 HRS

EXTERIOR WALL PROTECTION BASED ON FIRE SEPERATION DISTANCE (TABLE 602) :
 ALL EXTERIOR WALLS >30' FROM STREET CL.
 0 HR FIRE RATING REQ.
 NO LIMIT FOR % OF WALL IN OPENINGS

OCCUPANCY THIS PERMIT :

S-1: 621 SF / 300 SF PER OCCUPANT = 2 OCCUPANTS
TOTAL OCCUPANTS: 2

EXISTING BUILDING OCCUPANCY :

USE & OCCUPANCY CLASSIFICATIONS
 B - BUSINESS
 S1 - STORAGE - MODERATE HAZARD
 M - MERCANTILE
 F1 - FACTORY - MODERATE HAZARD

OCCUPANCY SEPERATION RATINGS REQ. (TABLE 508.3.3) :
 B,M,S1,F1 TO B,M,S1,F1 - NONE

EXISTING OCCUPANCY LOAD :

SEE SHEET G1.2 AND G1.3 FROM PERMIT # 07-137441-REV-1-CO FOR OCCUPANCY AND USE INFORMATION

BUILDING AREA :

ALLOWABLE FLOOR AREA (TABLE 503)
 F1 - 12,000 SF + 24,000 SF (506.3) = 36,000 SF ALLOWED PER FLOOR
 36,000 SF X 2 STORIES = 72,000 SF ALLOWED FOR WHOLE BLDG

EXISTING FLOOR AREA
 67,100 SF

EXISTING FIXTURE COUNT (2902.1 - AS APPROVED IN CORE AND SHELL PERMIT) :

TOTAL FIXTURES PROVIDED :

WC - 12 (8 REQUIRED)	NEW FIXTURES THIS PERMIT :
URINAL - 3	0
LAV - 12 (6 REQUIRED)	
DF - 6 (4 REQUIRED)	
SS - 4 (3 REQUIRED)	
SHR - 2	
KIT, SINK - 1	

APPEALS (CORE AND SHELL):

ID#: 5054, CASE#: B-014, APPROVED: 4.9.08
 ID#: 5317, CASE#: B-014, APPROVED: 7.17.08

PERMITS (CORE AND SHELL):

RE-ROOF: PERMIT 07-119192-CO
 BATHROOMS: 06-175182-REV-1-CO
 INTERIOR IMPROVEMENTS: 07-137441-REV-1-CO
 2ND FLOOR TI: 08-139653-CO
 EXTERIOR IMPROVEMENTS: 07-150566-CO
 MECHANICAL: 08-142238-MT
 ELECTRICAL: 07-168632-ET, 08-142301-ET, 08-142811-ET
 PLUMBING: 07-156122-PT, 07-158133-PT
 SPRINKLER: 07-152759-FS

DEFERRED SUBMITTALS (THIS PERMIT):

ELECTRICAL, PLUMBING

GENERAL NOTES:

- THESE DRAWINGS, ALONG WITH THE SPECIFICATIONS, DESCRIBE THE BUILDING/SITE PROJECT EXCEPT AS NOTED. INFORMATION IS LOCATED ON DRAWINGS AND IN SPECIFICATION SECTIONS FOR THE CONTRACTORS CONVENIENCE AND IS NOT INTENDED TO DEFINE SPECIAL SUBCONTRACTORS SCOPE OF WORK.
- ALL WALLS INDICATED AS FIRERATED SHALL BE CONSTRUCTED TO MAINTAIN THE PROTECTION CONTINUOUSLY.
- THESE DRAWINGS HAVE BEEN ASSEMBLED FOR USE AT THEIR CURRENT SIZE. THE CONTRACTOR ASSUMES ALL RESPONSIBILITY FOR WORK NOT CONFORMING TO THESE DOCUMENTS BEING USED FOR ESTIMATING AND OR CONSTRUCTION PURPOSES.
- DIMENSIONS TO WALLS ARE FACE OF STUD, UNO, PRIOR TO SCHEDULING OF WORK AND COMMENCING OF CONSTRUCTION, CONTRACTOR SHALL FIELD VERIFY CONDITIONS AND DIMENSIONS SHOWN AND NOTIFY ARCHITECT OF ANY OMISSIONS OR DISCREPANCIES.
- SEPARATE PERMITS ARE REQUIRED FOR FIRE PROTECTION SYSTEM, FIRE ALARMS, AND DETECTION DEVICES WITH THE PORTLAND FIRE BUREAU
- THIS PERMIT IS A SINGLE TENANT IMPROVEMENT PERMIT ONLY - ALL OTHER FUTURE TENANT AREAS ARE NOT OCCUPIED PER THIS PERMIT. SEPARATE PERMITS ARE REQUIRED FOR EACH SPACE INCLUDING BUT NOT LIMITED TO THE FOLLOWING: FIRE / LIFE SAFETY SYSTEMS (EGRESS, EXIT SIGNS, EGRESS LIGHTING, FIRE ALARMS, DETECTION AND NOTIFICATION DEVICES), PLUMBING, MECHANICAL AND ELECTRICAL SYSTEMS AND PLUMBING FIXTURES.
- PROVIDE MINIMUM 1' FOOTCANDLE ACROSS WIDTH OF EGRESS PATH MEASURED AT FLOOR LEVEL.
- PROVIDE AND INSTALL CODE REQ'D EXIT LIGHT ON EMERGENCY POWER AT EVERY EXIT DOOR TO THE EXIT SYSTEM.