



City of Portland, Oregon
Bureau of Development Services
Land Use Services

FROM CONCEPT TO CONSTRUCTION

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Date: April 26, 2013

From: Mark Walhood, City Planner
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REQUEST FOR RESPONSE

Case File: LU 13-129180 DZ – SW 12th + Clay Apartments
Pre App: PC # 13-102319

This notice is being sent to all service and technical review agencies for their input on the proposal described below. Neighborhood Associations also receive this advance notice via e-mail. Your timely response, as indicated below, will help the assigned planner determine if applicable approval criteria can be met, or what conditions might be required.

- The approval criteria are listed below. Although we are interested in any comments you may have, please consider your response in terms of these criteria.
- All agencies are encouraged to use this as an opportunity to inform the applicant of any additional requirements that may be imposed by your agency during building permit phase – especially those that would significantly affect the proposal.
- Please note in your response which requirements are specifically associated with the applicable land use review approval criteria, and which requirements you have the independent authority to impose at time of building permits.
- Neighborhood Associations are encouraged to submit comments by the deadline noted below. To comment, you may write to Mark Walhood at 1900 SW Fourth Ave., Suite 4500, Portland, OR 97201. You can also fax your comments to me at (503) 823-5630. After the staff report is published, please submit your comments to the Hearings Officer at 1900 SW Fourth Ave., Suite 3100, Portland, OR 97201 and fax them to 503-823-4347.

The Bureau of Development Services recommendation will be published ten days before the scheduled hearing date. You will also receive a Notice of Public Hearing for this proposal, with hearing date and time confirmed, mailed twenty days prior to the hearing.

- **Please send your response to BDS no later than: Tues. May 21, 2103** (If I receive comments after this date, I may not have enough time to include them in the staff report).
- **We must publish our report by: Fri. May 24, 2013**
- **A public hearing before the Hearings Officer is tentatively scheduled for Thursday June 6, 2013 @ 1:30pm**

Applicant: Kurt Schultz (503) 445-7312
 SERA Architects
 338 NW 5th Ave.
 Portland, OR 97209

Purchaser: Michael Mckenna
 Mactrust, Llc C/O Summit Realty Group LLC
 3831 SW Barbur Blvd
 Portland, OR 97239

Owner: Clay Street Associates LLC
 5125 SW Macadam Ave #125
 Portland, OR 97239

Site Address: 1500-1520 SW 12TH AVE

Legal Description: BLOCK 266 LOT 7&8, PORTLAND
Tax Account No.: R667729640, R667729640
State ID No.: 1S1E04AD 04900, 1S1E04AD 04900
Quarter Section: 3128

Neighborhood: Portland Downtown, contact Jennifer Geske at 503-750-9843.
Business District: None
District Coalition: Neighbors West/Northwest, contact Mark Sieber at 503-823-4212.

Zoning: **RXd** (Central Residential base zone with Design overlay zone), **Central City plan district**

Case Type: **DZ** (Design Review)
Procedure: **Type III**, with a public hearing before the Hearings Officer. The decision of the Hearings Officer can be appealed to City Council.

Proposal: The applicant has proposed the development of a new eight-story apartment building on a quarter block downtown site at SW 12th and Clay, on the site of an existing two-story midcentury office building. The project would include 86 market-rate apartments with a rooftop deck amenity, single loading bay off of SW Clay Street, and a basement fitness room, common area, and outdoor courtyard.

The building has an L-shaped plan, with an interior light well/courtyard, and a prominent inset corner entry bay at SW 12th & Clay. A large glass canopy extends over the corner pedestrian entry, which itself is pulled back from the street lot lines with a chamfered corner door at the entry lobby. Residential units are found on the remainder of the first floor, two of which include recessed entry vestibules along SW 12th, except where a single loading bay and trash room are located along the eastern portion of the SW Clay Street frontage.

The exterior design takes design inspiration from the classic streetcar-era apartments in the neighborhood, with clear division of the facade into the classical base, shaft and attic/top elements. The primary exterior skin is a red brick, with an off-white brick used at the top two floor 'attic' story, and at the chamfered street corner bays above the entry. Rectangular panels under each window are made of painted fiber cement panel, and the upper-story windows are all fiberglass. Projecting shed-roofed fabric awnings are located at street level on both street facades, and a decorative metal railing encloses the entry vestibule for the two street-level units with access onto SW 12th Avenue. The building top is identified by a projecting metal cornice and stucco parapet, and stucco with metal roofing is also used on rooftop penthouse structure.

The project location and cost trigger a Type III Design Review. No concurrent modifications or adjustments are requested at this time.

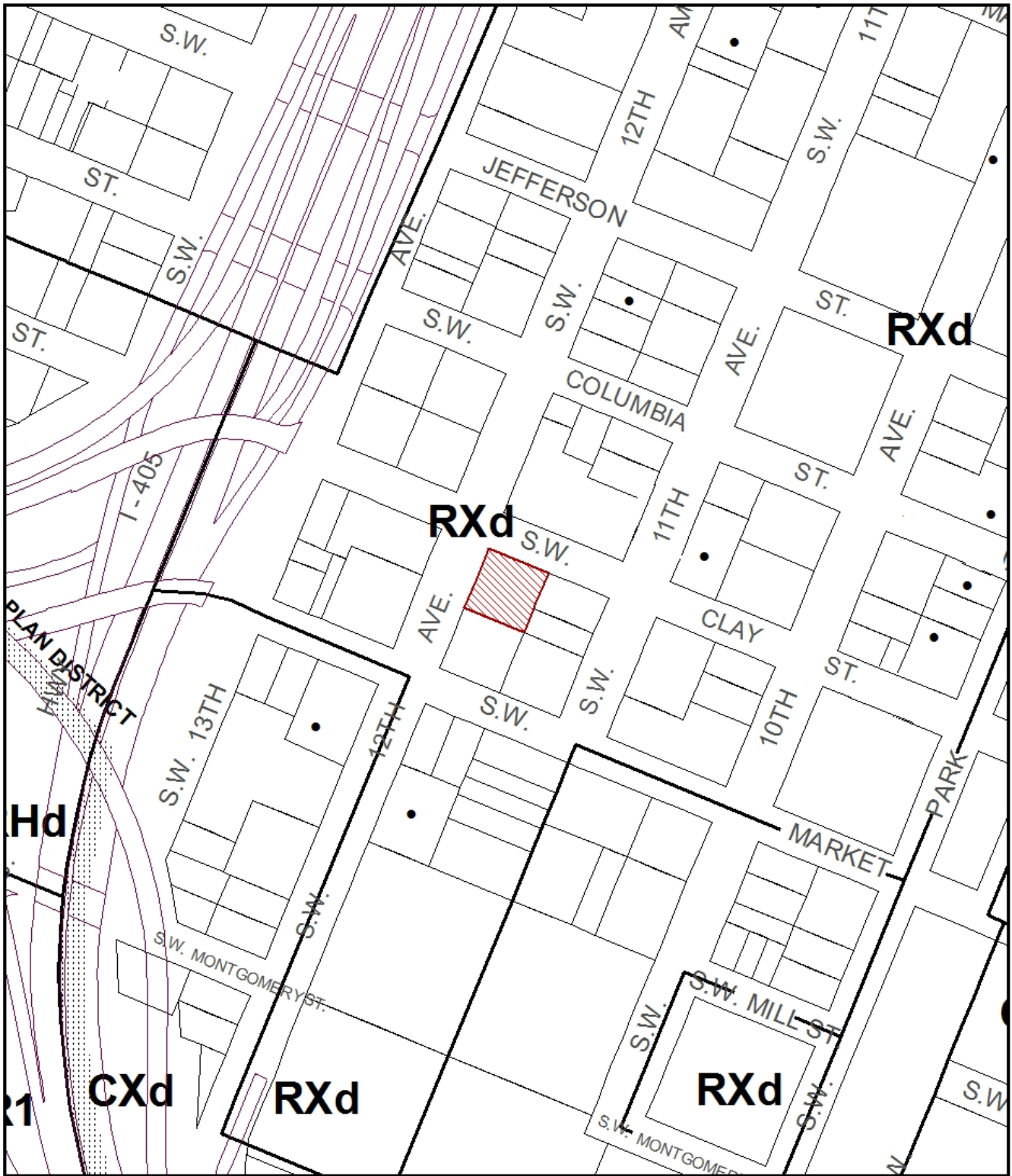
Approval Criteria: In order to be approved, this proposal must comply with the approval criteria of Title 33, Portland Zoning Code. The applicable approval criteria are:

- *The Central City Fundamental Design Guidelines*

Zoning Code Section 33.700.080 states that Land Use Review applications are reviewed under the regulations in effect at the time the application was filed, provided that the application is complete at the time of filing, or complete within 180 days. This application was filed on March 19, 2013 and determined to be complete on April 16, 2013.

It is important to submit all evidence to the Hearings Officer. City Council will not accept additional evidence if there is an appeal of this proposal.

Enclosures: Zoning Map, Ground Floor/Site Plan, West Elevation, North Elevation, View from Northwest



ZONING

 Site

 Historic Landmark



This site lies within the:
CENTRAL CITY PLAN DISTRICT
DOWNTOWN - WEST END

File No.	LU 13-129180 DZ
1/4 Section	3128
Scale	1 inch = 200 feet
State_Id	1S1E04AD 4900
Exhibit	B (Mar 21, 2013)

LV 13 129180DZ



12TH + CLAY
2013 MARCH 19 - EA 13--102319
DESIGN REVIEW APPLICATION





12TH + CLAY
 2013 MARCH 19 - EA 13-102319
 DESIGN REVIEW APPLICATION



LU 13 129180DZ

1
C18



STUCCO PARAPET
 PREFINISHED METAL
 CORNICE
 FIRE/RIGI ASS WINDOW UNIT
 PAINTED FIBER CEMENT
 PANELS & TRIMS
 BRICK TYPE 1
 PREFINISHED METAL
 CORNICE BAND
 BRICK TYPE 2
 PRECAST CONCRETE SILL & HEAD
 PREFINISHED METAL
 CORNICE BAND
 STEEL & GLASS
 CANOPY
 FABRIC AWNING
 SW 12TH AVE

PENTHOUSE ROOF 185'-0"
 ROOF LEVEL 183'-0"
 LEVEL 8 172'-0"
 LEVEL 7 162'-0"
 LEVEL 6 152'-0"
 LEVEL 5 142'-0"
 LEVEL 4 132'-0"
 LEVEL 3 122'-0"
 LEVEL 2 112'-0"
 LEVEL 1 100'-0"
 BASEMENT 90'-0"

0' 4' 8' 16' 24'
 NORTH ELEVATION C15

12TH + CLAY
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12TH + CLAY

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EXTERIOR VIEW FROM NORTHWEST CORNER C1