



City of Portland, Oregon
Bureau of Development Services
Land Use Services

FROM CONCEPT TO CONSTRUCTION

Charlie Hales, Mayor
Paul L. Scarlett, Director
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TTY: (503) 823-6868
www.portlandoregon.gov/bds

Date: April 9, 2013
To: Interested Person
From: Chris Caruso, Land Use Services

NOTICE OF A PUBLIC MEETING FOR POTENTIAL FUTURE DEVELOPMENT IN YOUR NEIGHBORHOOD

FILE: **13-132366 DA, DESIGN ADVICE REQUEST**
SEC of SW Market St and SW 11th Ave.
REVIEW BY: Portland Design Commission
WHEN: Thursday May 2, 2013 at 1:30 PM
WHERE: 1900 SW Fourth Ave, Ste. 2500A Portland, OR 97201

A Design Advice Request has been submitted by the applicants listed below regarding potential future development in your neighborhood. The proposal, process, and information on how to respond to this notice are described below. A copy of the site plan, building elevations and zoning map are attached. I am the staff person handling the Design Advice Request. Please call or email me if you have questions regarding this process at 503-823-5747 or Chris.Caruso@portlandoregon.gov. Please contact the applicant if you have questions regarding any future development on the site.

Applicant: Barry Smith/Barry R Smith PC Architect (503-295-6261)
715 SW Morrison St., Ste 909/Portland, OR 97205

Owner: Market View LLC
1075 Arrowsmith St./Eugene, OR 97402

Site Address: SEC of SW Market and SW 11th Ave
Legal Description: BLOCK 245 LOT 1-8 POTENTIAL ADDITIONAL TAX, PORTLAND; BLOCK 266 LOT 3&4, PORTLAND
Tax Account No.: R667727190, R667729600, R667727190
State ID No.: 1S1E04AA 06900, 1S1E04AD 05100, 1S1E04AA 06900
Quarter Section: 3128
Neighborhood: Portland Downtown, contact Jennifer Geske at 503-750-9843.
Business District: None
Plan District: Central City – Downtown Subdistrict
Zoning: RXd – Central Residential with design overlay
Design District: Central City – Downtown Subdistrict
Historic District: None
Case Type: DA, Design Advice Request
Procedure: A public meeting with the Design Commission to provide informal, advisory response for the applicants/owners to consider in preparation of a potential future land use review application.

Proposal:
The applicant seeks design advice on a potential development of an 11-story residential tower with 112 units on an existing surface parking lot bounded by SW Market Street and SW 11th Avenue.

Included in the proposal is one level of underground parking with a parking machine for 35 vehicles. The top floor has two outdoor decks, a common room and a partial eco-roof. There are also several interior light wells with units opening out onto them. Exterior materials include metal siding over a variety of shapes, glass balcony railing, metal roofing, an aluminum window walls system, fiberglass windows, horizontal wood slat siding on the first two levels, and a charcoal-colored concrete base.

An Exception to the width of one projecting bay along SW Market Street would be required. An adjustment to parking access from SW 11th Avenue will also be required.

Approval Criteria:

If a formal land use review application were submitted in the future for the proposed development, it would be reviewed in accordance with the relevant approval criteria of Title 33, Portland Zoning Code.

The applicable approval criteria could include some or all of the following: 33.120 Multi-Dwelling Zones; 33.420 Design Overlay Zone; 33.510 Central City Plan District; 33.825 Design Review; and the Central City Fundamental Design Guidelines.

If requested, Modifications would be reviewed against 33.825.040, Modifications That Will Better Meet Design Review Requirements.

If requested, Adjustments would be reviewed against 33.805.040, Adjustment Approval Criteria.

This application was submitted on March 26, 2013.

Purpose of a Design Advice Request

Design Advice Requests are not intended to substitute for other Code-required land use or legislative procedures. Purposes served by Design Advice Requests might include the following:

- Early feedback on atypical building types or configurations unable to draw on other prior project approvals to assess approval potential.
- Projects which, for various reasons, anticipate including elements that do not appear to conform to design guidelines, and which may require a waiver of one or more design guidelines.
- Unique urban design schemes for which interest or support is sought prior to approaching other agencies.

Process

The Portland Zoning Code affords the opportunity for parties interested in bringing matters before the Historic Landmarks Commission or Design Commission outside of other prescribed regulatory or legislative processes. The relevant Code chapter reads as follows:

33.730.050 F. Other pre-application advice.

An applicant may request advice from the Design Commission or Historical Landmarks Commission prior to submitting a land use request that would be heard by these commissions. These requests are known as "Design Advice Requests". These requests do not substitute for a required pre-application conference with the BDS staff and other City urban service or technical representatives.

The general order of appearance for those attending the meeting is as follows: Bureau of Development Services introduction, applicant presentation, clarifying questions about the proposal by the Commission, public comment, informal discussion about the proposal between the Commission and the applicants, and Historic Landmarks Commission or Design Commission final comment. There will be no final decision about this proposal during this Design Advice Request process.

At the request of the Commission, a submittal for a Design Advice Request may be continued to a future date for further discussion.

Opportunity for Public Comment

The neighborhood association, listed on the first page of this notice, may take a position on the proposed development and may have scheduled an open meeting prior to providing comment to the Design Commission. Please contact the person listed as the neighborhood contact to determine the time and date of this meeting.

The public meeting with the Design Commission will provide an opportunity for parties to submit oral and written comment on this matter. To comment, you may write to the Design Commission, 1900 SW Fourth Ave., Suite 5000 or FAX your comments to 503-823-5630; or you may attend the meeting to provide comment. Please refer to the file number when seeking information or submitting comment.

A Design Advice Request file is available for your review by appointment. Please contact the file review at 503-823-7617 to schedule a time. I can provide some information over the phone. Copies of all information in the file can be obtained for a fee equal to the cost for such services. You may also find additional information about the City of Portland and City Bureaus as well as a digital copy of the Portland Zoning Code, by visiting the City's homepage on the Internet at www.ci.portland.or.us.

Design Advice Request Results

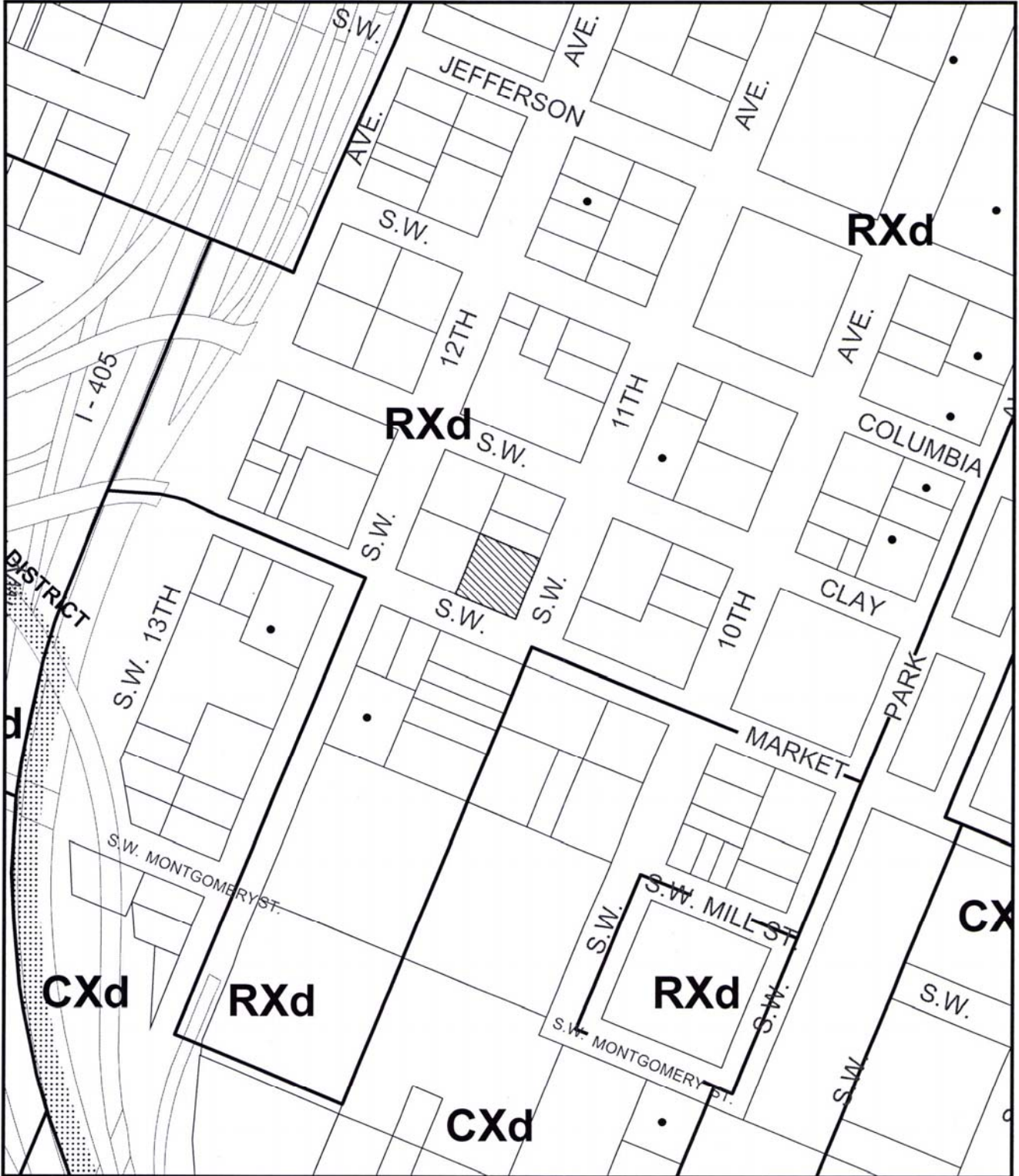
Design Advice Requests will provide informal, advisory response only. Responses received at the meeting may inform City staff when processing future land use reviews, but will not be considered a formal directive from the Commission. The Commission may offer future procedural or design direction, and may also offer a preliminary assessment against approval criteria that would apply were the proposal to be reviewed formally through the land use review process. Comment provided at the meeting will be documented by City staff, and will be available for further and future reference.

Meeting Cancellation

This public meeting will be cancelled if Portland Public Schools close due to inclement weather or other similar emergency. Check local television and radio reports for school closures. The meeting will be rescheduled for the earliest possible date. A renotification notice will not be sent. Please call the Bureau of Development Services at 503-823-7617, for immediate information regarding cancellations or rescheduling. To attend the meeting, public transportation is available. Tri-Met buses stop near the BDS building at SW Fifth or Sixth Ave. at SW Hall St. and SW Harrison St. Call Tri-Met at 503-238-7433 (or www.tri-met.org/routes_times.htm) for routes and times. Hourly rated public parking is available a half block south of the building on Fourth Ave.

The Bureau of Development Services is committed to providing equal access to information and hearings. Please notify us no less than five business days prior to the event if you need special accommodations. Call 503-823-7300 (TTY 503-823-6868).

Enclosures: Zoning Map, Site Plan, Elevations



ZONING



Site



Historic Landmark



NORTH

This site lies within the:
CENTRAL CITY PLAN DISTRICT
DOWNTOWN

File No. EA 13-132366 DAR

1/4 Section 3128

Scale 1 inch = 200 feet

State_Id 1S1E04AD 5100

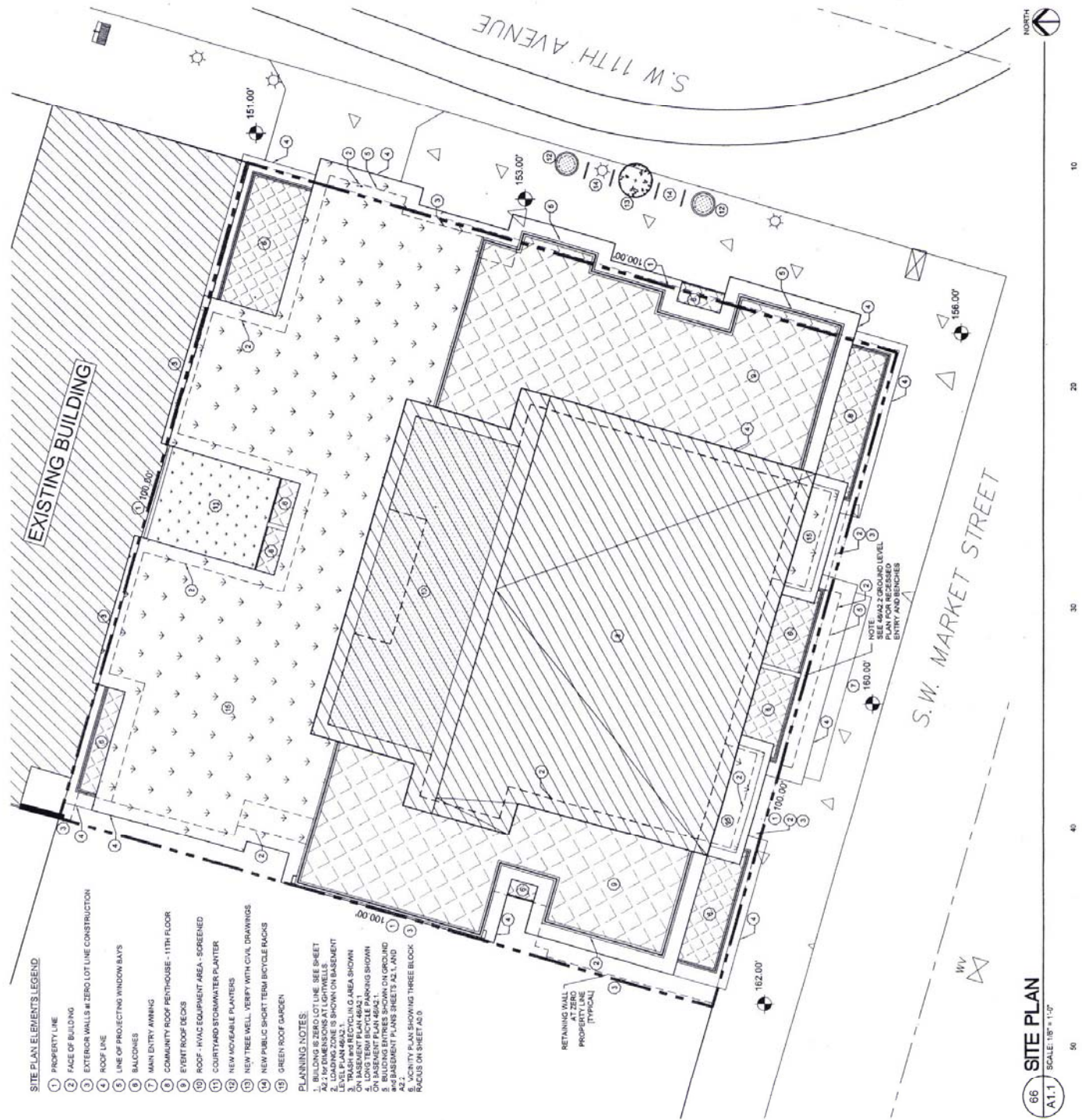
Exhibit B (Mar 28, 2013)



BARRY R SMITH, PC Architect
 715 SW MORRISON STREET SUITE 909
 PORTLAND OR 97205 503.295.6251 www.brrtyrsmith.com

MARKET VIEW APARTMENTS
 MARKET VIEW LLC - MASTER DEVELOPMENT
 PORTLAND OR
 SITE PLAN

MVA-HR-DD-01
A1.1
 03.26.2013



- SITE PLAN ELEMENTS LEGEND**
- 1 PROPERTY LINE
 - 2 FACE OF BUILDING
 - 3 EXTERIOR WALLS AT ZERO LOT LINE CONSTRUCTION
 - 4 ROOF LINE
 - 5 LINE OF PROJECTING WINDOW BAYS
 - 6 BALCONIES
 - 7 MAIN ENTRY AWNING
 - 8 COMMUNITY ROOF PENTHOUSE - 11TH FLOOR
 - 9 EVENT ROOF DECKS
 - 10 ROOF - HVAC EQUIPMENT AREA - SCREENED
 - 11 COURTYARD STORMWATER PLANTER
 - 12 NEW MOVEABLE PLANTERS
 - 13 NEW TREE WELL, VERIFY WITH CIVIL DRAWINGS
 - 14 NEW PUBLIC SHORT TERM BICYCLE RACKS
 - 15 GREEN ROOF GARDEN
- PLANNING NOTES:**
1. BUILDING SETBACK LOT LINE, SEE SHEET A2.1 FOR DIMENSIONS AT LIGHTWELLS
 2. LOADING ZONE IS SHOWN ON BASEMENT
 3. TRASH AND RECYCLING AREA SHOWN ON BASEMENT PLAN 489A2.1
 4. BUILDING ENTRYES SHOWN ON GROUND AND BASEMENT PLANS SHEETS A1.1 AND A2.1
 5. VICINITY PLAN SHOWING THREE BLOCK RADIUS ON SHEET A2.0

66 **SITE PLAN**
 A1.1 SCALE: 1/8" = 1'-0"



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PORTLAND OR

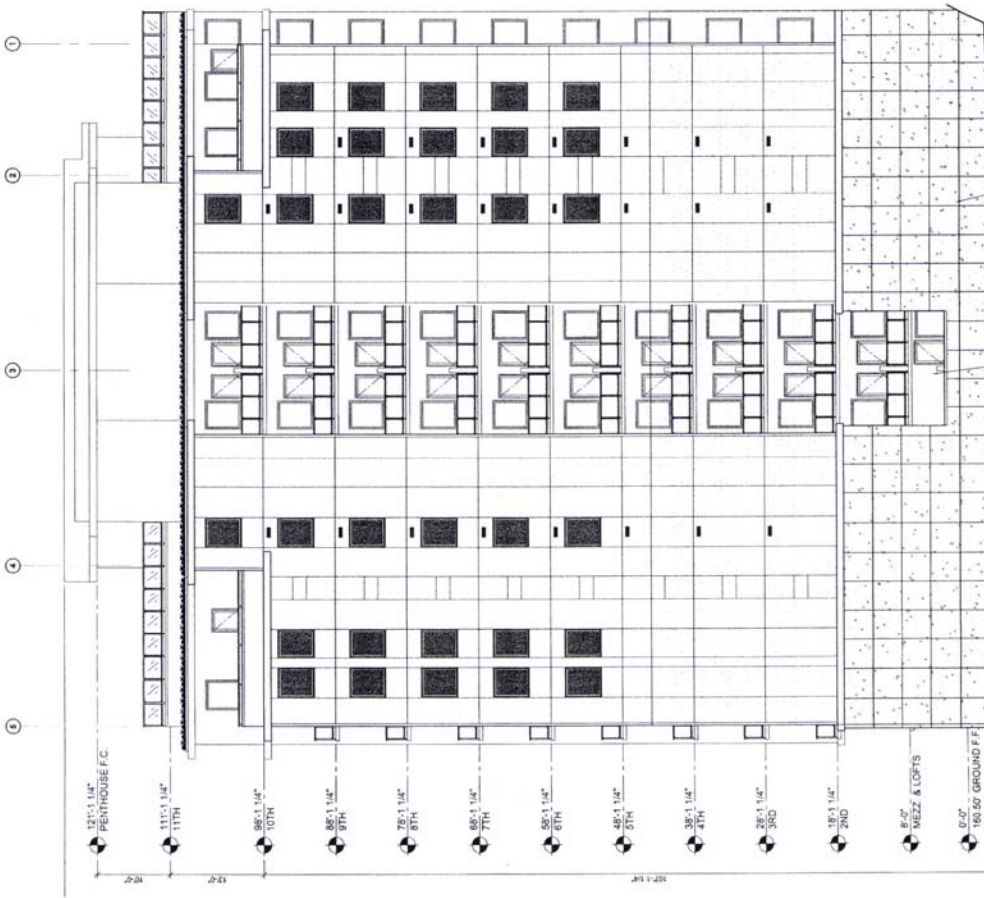
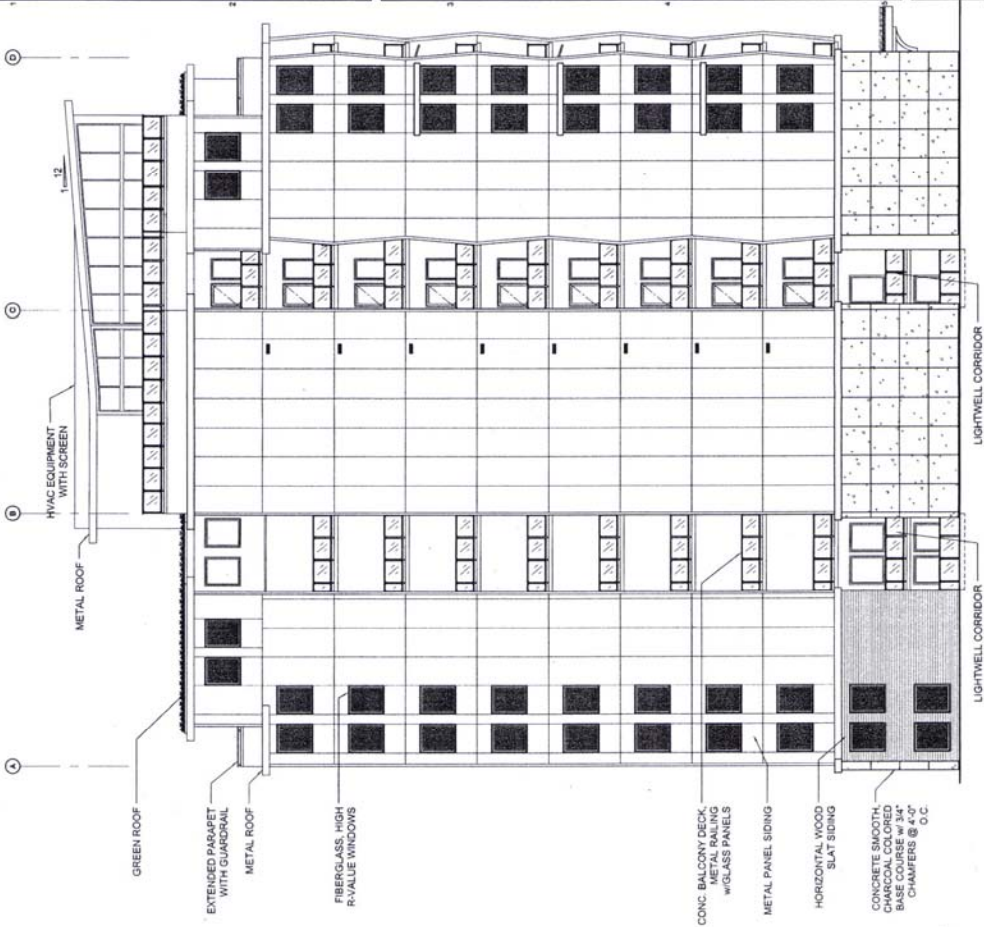
MARKET VIEW APARTMENTS
 MARKET VIEW LLC - MASTER DEVELOPMENT

EXTERIOR ELEVATIONS

MVA-HR-DD-05

A5.2

03.19.19



45 WEST ELEVATION
 A5.2 SCALE: 1/8" = 1'-0"

36 NORTH ELEVATION
 5.2 SCALE: 1/8" = 1'-0"



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MARKET VIEW APARTMENTS
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BUILDING SECTION

MVA-HR DD 06

