



**City of Portland, Oregon**  
**Bureau of Development Services**  
**Plan Review / Permitting Services**

FROM CONCEPT TO CONSTRUCTION

Dan Saltzman, Commissioner  
 Paul L. Scarlett, Director  
 Phone: (503) 823-7310  
 Fax: (503) 823-4172  
 TTY: (503) 823-6868  
 www.portlandoregon.gov/bds

**BUILDING CODE AND CITY OF PORTLAND CODE GUIDE REQUIREMENTS  
 FOR  
 CONVERTING A BASEMENT, ATTIC OR GARAGE TO HABITABLE SPACE**

Date : December 7, 2012  
 Project Address: 5004 SE 63RD AVE

Folder number: 12-212736-000-00-RS

The following "Building Code and City of Portland Code Guide Requirements" are now part of your approved plans.

- It is the responsibility of the contractor to comply with these requirements during construction.
- Where there is a conflict between these requirements and the plans, the more restrictive shall apply.

<b>Code Guide (CG)</b>	Minimum ceiling height shall be 6'-8". Ceiling projections may be as low as 6'-0" where they are located within 2 feet from the wall; or ceiling projections may be as low as 6'-2" where they do not take up more than 10% of the floor area in the room that they are located. Doors must be at least 2'-6" wide and 6'-2" tall.
<b>CG</b>	The perimeter of the heated space must be insulated with R-13, with double-glazed windows and/or storm windows.
<b>R319.1.1</b>	All wood in direct contact with concrete is to be preservative-treated for ground contact or of natural resistance to decay.
<b>R303.1</b>	Every habitable room must have glass area equal to not less than 6.8% of the floor area, or be provided with permanent artificial light (average of 6 footcandles over the area of the room). Natural ventilation equivalent to 2.5% of the room's floor area or mechanical ventilation (.35 air changes per hour) is required.
<b>R310.1</b>	Emergency Egress: Basements with living space shall have at least one egress opening. All sleeping rooms shall have at least one egress opening. An egress opening is an openable window or door with a net clear opening of 5.7 square feet (5 for grade floor windows), with a minimum clear opening height of 24" OR minimum opening width of 20". Maximum sill height above finished floor is 44", except that a step no higher than 12" may be installed under an existing window with a sill not more than 56" high, as long as headroom is at least 6' from the top of the step. Sill height is not limited for an exterior door for egress that is at least 2'-6" wide and 6'-2" tall. Window wells shall be at least 3' wide and at least 3' clear from the wall of the house. Window wells deeper than 44" require a fixed ladder.
<b>CG</b>	New or replaced stairs must comply with current code requirements. Existing stairs may comply with the following: <ul style="list-style-type: none"> <li>• 30" minimum width. 6'-2" headroom height measured vertically from the plane of the nosings of the treads.</li> <li>• Maximum 9" rise and minimum 9" run, with no variation greater than 3/8" between risers or between treads.</li> <li>• Existing triangular-shaped winder stairs are allowed.</li> </ul>
<b>R311.5.6</b>	• Stair handrail height shall be not less than 30" and not more than 38" above the tread nosing.
<b>R311.5.6.3</b>	• Handrails must comply with either Type I or Type II requirements. Type I: circular cross section with minimum outside diameter of 1 1/4" and a maximum cross section dimension of 2 1/4". Type II: handrails are shaped and shall provide a graspable finger recess area on both side of the profile. The minimum width of the handrail above the recess shall be 1 1/4" to a maximum of 2 3/4".
<b>R312</b>	Open sides of landings more than 30" above the adjacent floor shall have guards not less than 36" in height. Open sides of stairs shall have guards 34" in height measured vertically from the tread nosing. Guards at landings and open sides of stairs shall have intermediate rails spaced such that a sphere, 4" and 5" respectively, cannot pass through.
<b>ELECTRICAL</b>	
<b>R303.6</b>	Interior stairways shall have permanent lighting near the top and bottom landings, controlled from the top and bottom.
<b>R313.1</b>	Smoke alarms are required in each sleeping room, outside of each separate sleeping area in the immediate vicinity of the bedrooms, and on each additional story. These shall be 110V interconnected alarms with battery backup, although battery powered alarms are allowed in rooms where finishes are not removed during construction.
<b>R313.2</b>	
<b>R326</b>	Carbon monoxide alarms shall be installed in each sleeping room or within 15 feet outside each sleeping room door. CO alarms may be hard-wired or battery-powered. CO alarms may be combination smoke/CO alarms when installed as required for smoke alarms.
<b>E35-210.12</b>	Arc-Fault Circuit Interrupter circuits are required at all sleeping areas. When an existing dwelling unit bedroom circuit is extended and the AFCI circuit breakers are not available for the existing panelboard, the use of an AFCI receptacle installed in the first receptacle location on the branch circuit shall be permitted.
<b>MECHANICAL</b>	
<b>R303.3</b>	All rooms with bathing or spa facilities shall be provided with a mechanical ventilation system controlled by a dehumidistat or timer and shall exhaust a minimum of 80 cfm intermittent or 20 cfm continuous, directly to the outside.
<b>M1507.4</b>	
<b>M1701.1</b>	Fuel burning appliances shall be provided with combustion air as specified by the appliance manufacturer. Combustion air cannot be drawn from a sleeping room or bathroom.
<b>PLUMBING</b>	
<b>R602.8</b>	Wood or mineral wool fireblocking in furred walls shall be provided at the top and horizontally at 10' maximum intervals.
<b>P3003.1</b>	If added plumbing brings the toilet count to 4 or more on a single line, a 4" drain pipe is required.
<b>P3010.1</b>	Drainage piping serving fixtures below the elevation of the next upstream sewer manhole cover shall be protected by a backwater valve.



**Building Permit Application**  
**City of Portland, Oregon - Bureau of Development Services**

1900 SW 4th Avenue, Portland, Oregon 97201 • 503-823-7310 • TTY 503-823-6868 • www.portlandoregon.gov/bds

12-212736-RS

**Type of work**

New construction  
 Addition/alteration/replacement  
 Demolition  
 Other:

**Category of construction**

1 & 2 family dwelling  
 Commercial/industrial  
 Accessory building  
 Multifamily  
 Master builder  
 Other:

**Job site information and location**

Job no.:  
 Job address: **5804 SE 63rd St**  
 City/State/ZIP: **Portland, OR 97206**  
 Suite/bldg./apt. no.:  
 Project name: **63rd ~~Ave~~ Basement Conversion**  
 Cross street/directions to job site: **RAYMOND ST**  
 Subdivision: Lot no. Tax map/parcel no.

**Description of work**

**- BASEMENT CONVERSION**  
**- ADD Bedrm**  
**- ADD BATHRM**

Provide RS Permit no.

**Property owner**  **Tenant**

Name: **Federal Home Loan Mortg Corp** E-mail:  
 Address: **400 NATIONAL WAY**  
 City/State/ZIP: **SIMI VALLEY, CALIFORNIA 90365**  
 Phone: FAX:

**Owner installation:** This installation is being made on property that I own, which is not intended for sale, lease, rent, or exchange.

Owner signature: *[Signature]* Date: **12.06.12**

**Contractor**

Business name: **CKW Const. LLC** E-mail: **Solidgroundprops@gmail.com**  
 Address: **8725 SE Spencer Dr**  
 City/State/ZIP: **Happy Valley, OR 97086**  
 Phone: **503.737.7387** FAX:

CCB lic. no. **198076**

Authorized signature: *[Signature]*

Print name: **Terry Helten** Date: **12.06.12**

**Applicant**  **Contact Person**

Business name: **CKW Const. LLC**  
 Contact name: **BRIAN WILLIAMS**  
 Address: **8725 SE Spencer Dr.**  
 City/State/ZIP: **Happy Valley, OR 97086**  
 Phone: **503.737.7387** FAX:

E-mail: **Solidgroundprops@gmail.com**

Authorized signature: *[Signature]*

Print name: **Terry Helten** Date: **12.06.12**

This permit application expires if a permit is not obtained within 180 days after it has been accepted as complete.

**Office Use Only**

Permit no:  
 Date received: **12/07/12**  
 By: *[Signature]*

**Required Data: One and Two Family Dwelling**

Permit fees\* are based on the value of the work performed. Indicate the value (rounded to the nearest dollar) of all equipment, materials, labor, overhead, and the profit for the work indicated on this application.

Valuation:	<b>12,000</b>
Number of bedrooms:	<b>1</b>
Number of bathrooms:	<b>1</b>
Total number of floors:	
New dwelling area:	<b>152</b> square feet
Garage/carport area:	square feet
Covered porch area:	square feet
Deck area:	square feet
Other structure area:	square feet

**Required Data: Commercial Use**

Permit fees\* are based on the value of the work performed. Indicate the value (rounded to the nearest dollar) of all equipment, materials, labor, overhead, and the profit for the work indicated on this application.

Valuation:	
Existing building area:	square feet
New building area:	square feet
Number of stories:	
Type of construction:	
Occupancy groups	
Existing:	
New:	

**Notice**

All contractors and subcontractors are required to be licensed with the Oregon Construction Contractors Board under ORS 701 and may be required to be licensed in the jurisdiction in which work is being performed.

**Statement of Fact:** I certify that the facts and information set forth in this application are true and complete to the best of my knowledge. I understand that any falsification, misrepresentation or omission of fact (whether intentional or not) in this application or any other required document, as well as any misleading statement or omission, may be cause for revocation of permit and/or certificate of occupancy, regardless of how or when discovered.

I acknowledge that work related to this Building Permit Application may be subject to regulations governing the handling, removal and/or disposal of asbestos and/or lead-based paint. \_\_\_\_\_ (initials)

**Building Permit Fees\***

Please refer to fee schedule

Fees due upon application	
Amount received	
Date received	

Residential Combo permit subcontractor submittals only can be faxed to 503-823-7693 or e-mailed to [BDSCombInspSec@portlandoregon.gov](mailto:BDSCombInspSec@portlandoregon.gov).

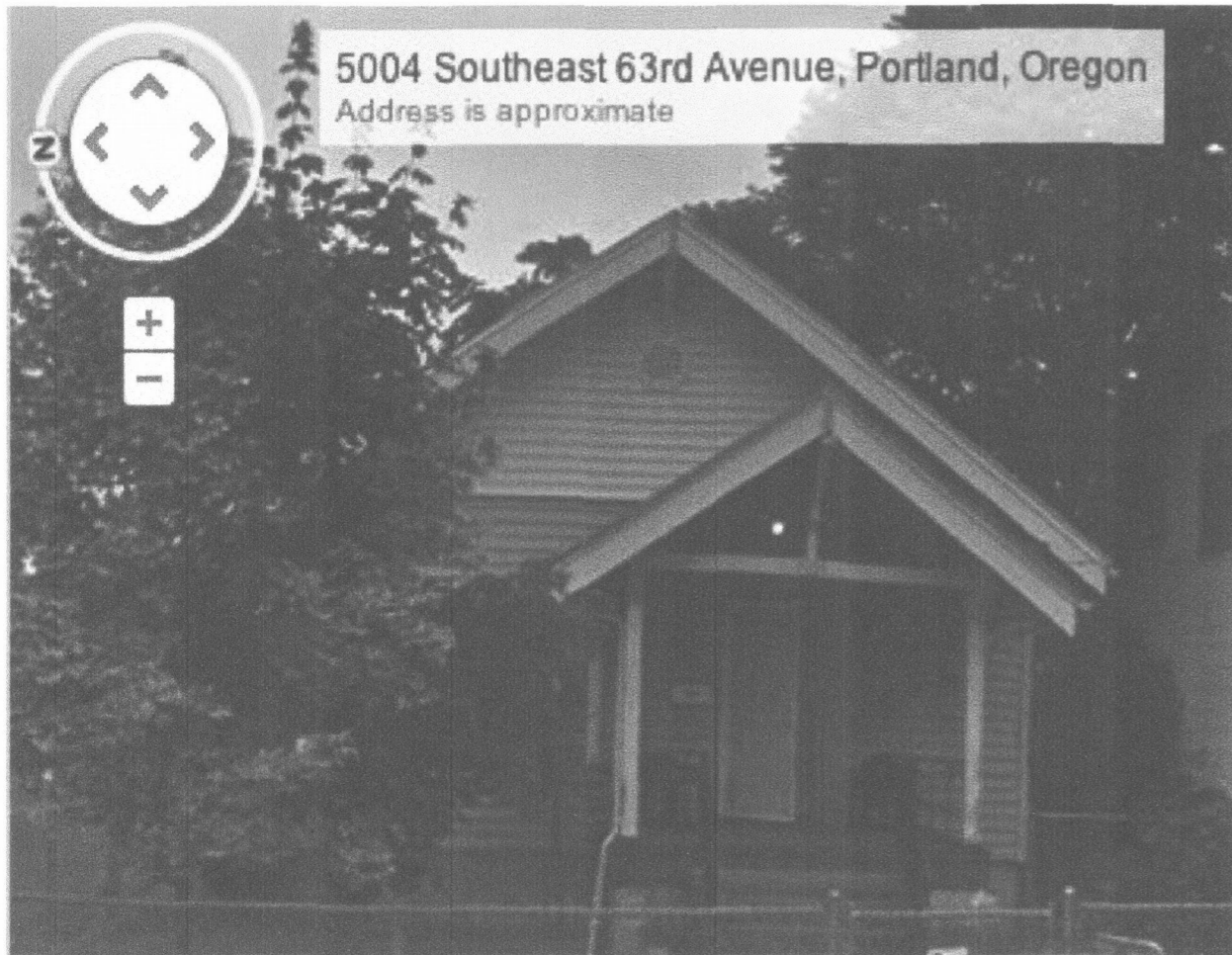
Property ID R143111  
 County MULTNOMAH  
 State ID 1S2E17BC 3600  
 Alt Account # R188200410  
 Map Number 3537 OLD  
 Site Info  
 Site Address 5004 SE 63RD AVE  
 City/State/Zip PORTLAND OR 97206  
 Owner Info (Privacy)  
 Owner(s) Name FEDERAL HOME LOAN  
 MORTGAGE CORPORATION  
 % RECONTRUST COMPANY NA  
 Owner Address 400 NATIONAL WAY  
 City/State/Zip SIMI VALLEY CA 93065-6414

Building Class 1 STY W/BSMT  
 Actual Year Built 1912 Effective Year Built 1912  
 Number of Segments 4 Construction Style Other  
 Foundation Type Concrete Interior Finish  
 Roof Style Roof Cover Type Composition  
 Flooring Type Heating/AC Type Forced Air  
 Plumbing One Full Bath Fireplace Type  
 Improvement Details

#	Segment Type	Class	Total Area
1	Main 3.0	960	
2	Unfinished Basement	3.0	400
3	Concrete	3.0	600
4	Detached Garage 3.0		

Building Summary:  
 1 story w/ half basement  
 garage - detached  
 Bedrooms - 2  
 Baths - 1

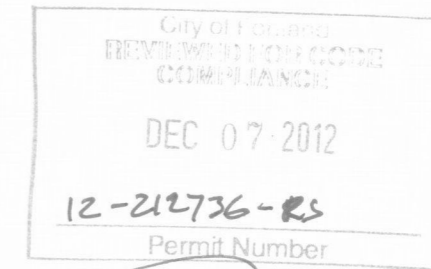
Project Summary:  
 - Basement conversion  
 - Add bathrm  
 - add bedrm  
 - New heated space area: 152' sf  
 - (E) heated space: 960' sf  
 - Convert existing exterior conc. door well, to egress window well.



Front elevation 3/16:1-0

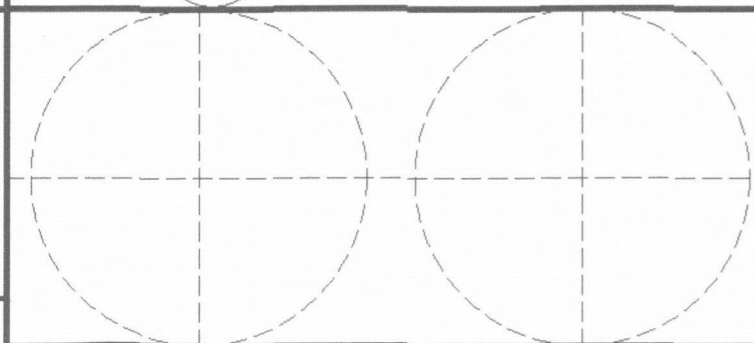


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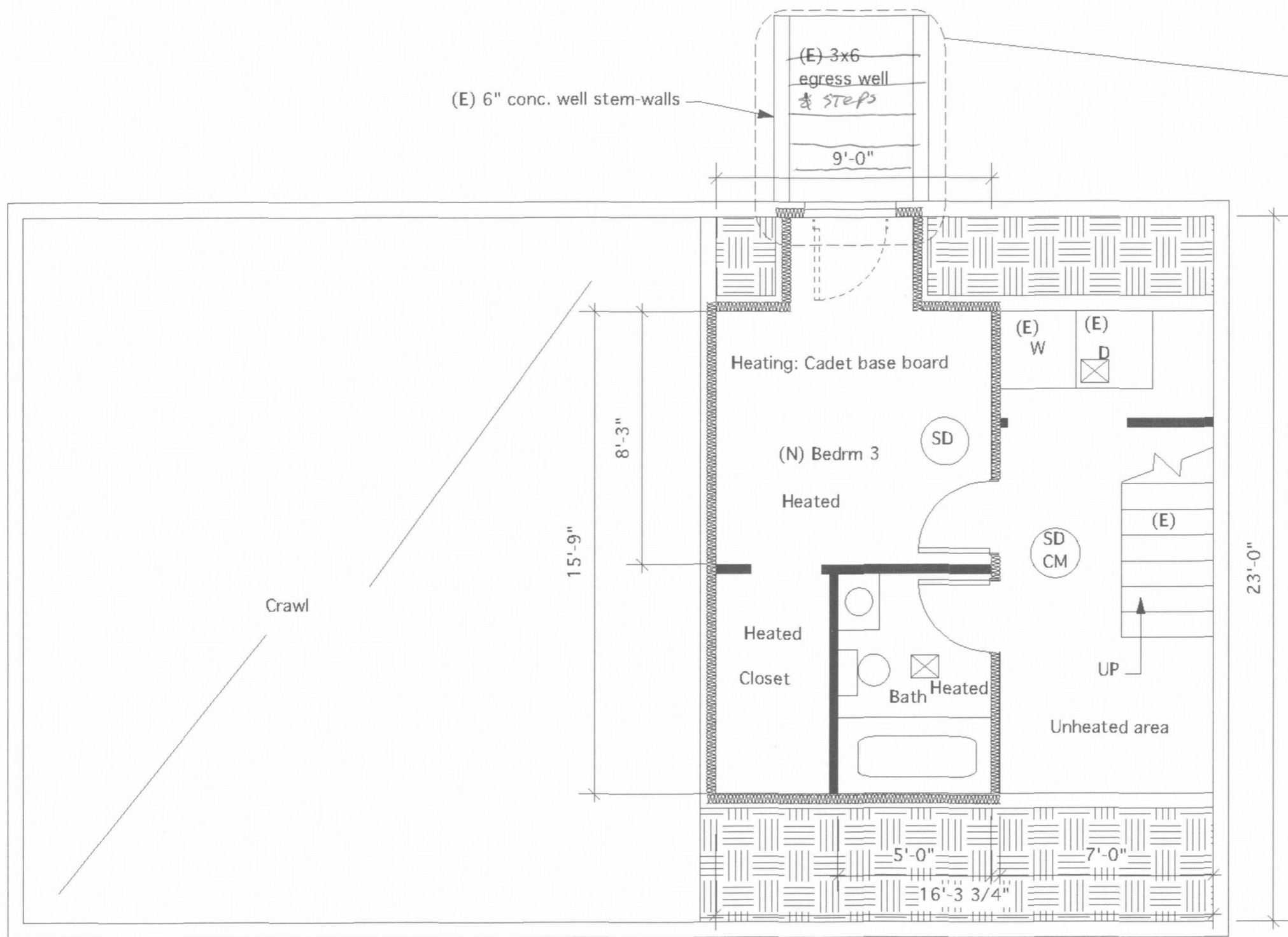


Pg 1 - Site plan/Cover notes  
 Pg 2 - Floor plan  
 Pg 3 - Cross section/Details

12-212736-RS



Design Firm	Projective Bldg Design Consultants & Asso. PO Box 6542 Beaverton, Or. 97007 email: probuild101@gmail.com	Project Title	5004 SE 63rd st Remodel		Project Manager	Project ID
			Consultant	Terry Hellem	Drawn By	TH
Drawing Title	Cover	Date	12.06.12	Reviewed By	CAD File Name	Scale
						Drawing No.






Basement conversion notes:  
 Replace (E) exterior door w/  
 egress window 3x4 SH, w/ sill ht  
 max. 44".

New heated area added: 152' sf

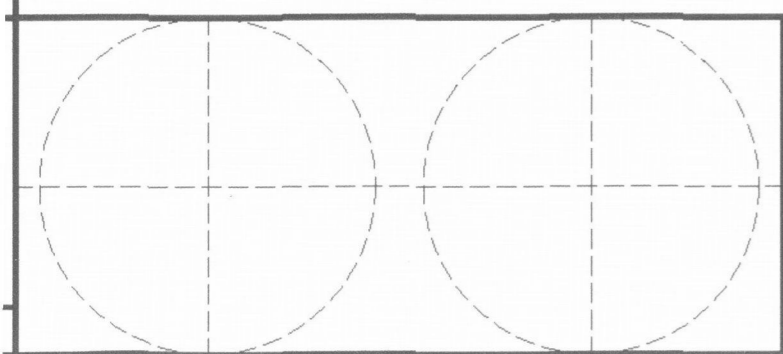
☒ 75 CFM mech vent

○ SD SD - interconnected smoke detectors  
 w/ battery back up  
 ○ SD  
 CM CD - Carbon-monoxide detector w/  
 battery back up.

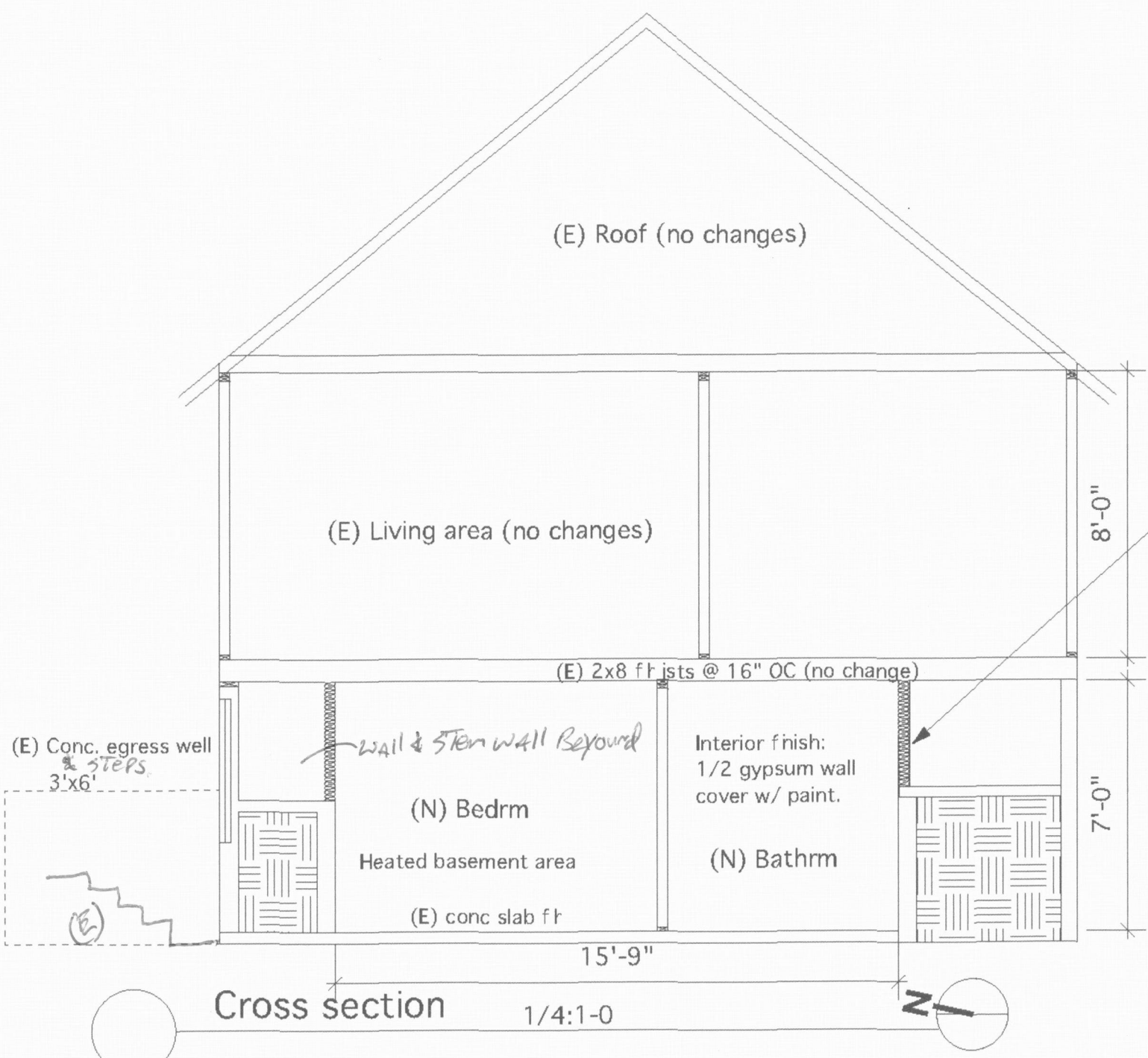
(E) wall   
 (N) Wall   
 (R) wall 

Thermal wall barrier: R15  
 (N) Windows: U-0.30  
 (N) Ext. doors: U-0.20  
 Heating: Elec. Baseboard cadet

City of Portland  
 REVIEWED FOR CODE  
 COMPLIANCE  
 DEC 07 2012  
 Permit Number



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	Consultant		Terry Hellem	Drawing Title	Floor plan	63rd street basement conversion
					Drawn By	Scale
					Reviewed By	Drawing No.
					Date	2 of
					CAD File Name	



Wall detail: 2x4 stud wall @ 16" OC, w/ pressure treated bottom plate connected w/ powder actuated 12d conc nails @ 24" OC staggard. Top plates connected to bottom of (E) fl jsts above w/ (2) 12d @ max. 24" OC.

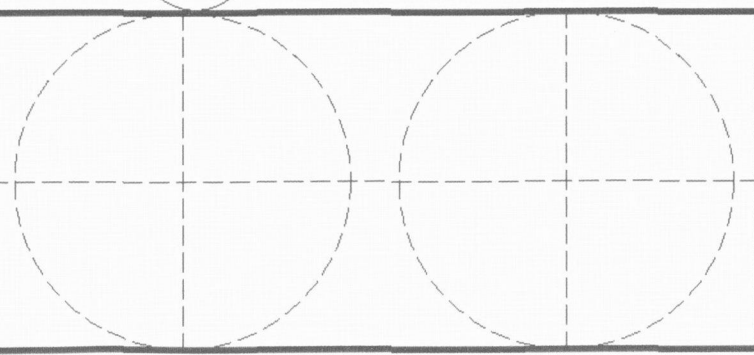
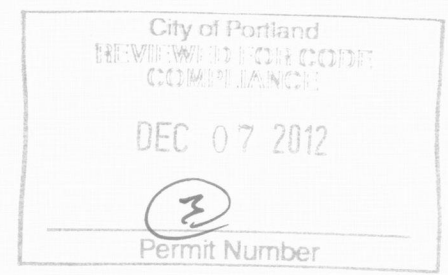
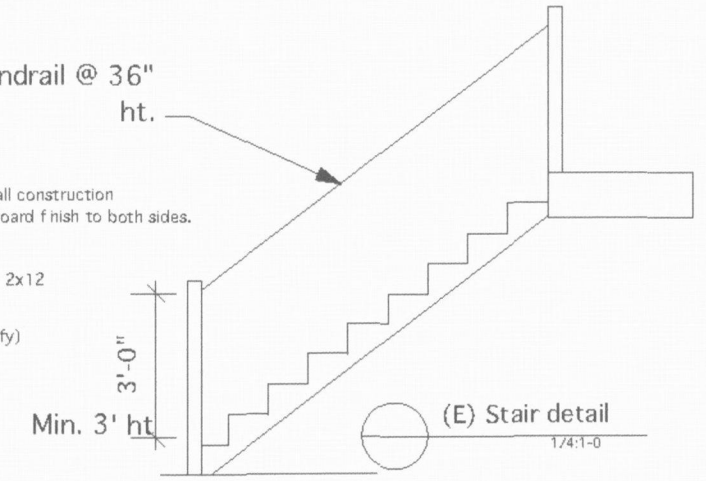
Basement conversion notes:  
Thermal wall barrier: R15  
(N) Windows: U-0.30  
(N) Ext. doors: U-0.20  
Heating: Elec. Baseboard cadet

Contin. 2" handrail @ 36" ht.

guard rail:  
Full ht 2x4 wall construction  
w/ 1/2 gyp board finish to both sides.

Stair Detail:  
Stringers: (3) 2x12

Rise: 8" (verify)  
Tread: 11"



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				Drawn By	TH	Scale
				Reviewed By		Drawing No.
				Date	12.06.12	3 of
				CAD File Name		