



Building Permit Application

City of Portland, Oregon - Bureau of Development Services

1900 SW 4th Avenue, Portland, Oregon 97201 • 503-823-7310 • TTY 503-823-6868 • www.portlandoregon.gov/bds

This permit application expires if a permit is not obtained within 180 days after it has been accepted as complete.

Office Use Only

Permit no:

Date received:

By:

Required Data: One and Two Family Dwelling

Permit fees* are based on the value of the work performed. Indicate the value (rounded to the nearest dollar) of all equipment, materials, labor, overhead, and the profit for the work indicated on this application.

Valuation:	
Number of bedrooms:	
Number of bathrooms:	
Total number of floors:	
New dwelling area:	square feet
Garage/carport area:	square feet
Covered porch area:	square feet
Deck area:	square feet
Other structure area:	square feet

Required Data: Commercial Use

Permit fees* are based on the value of the work performed. Indicate the value (rounded to the nearest dollar) of all equipment, materials, labor, overhead, and the profit for the work indicated on this application.

Valuation:	\$ 80,000
Existing building area:	square feet
New building area:	0 square feet
Number of stories:	6
Type of construction:	III A
Occupancy groups	
Existing:	B M A
New:	N/A

Notice

All contractors and subcontractors are required to be licensed with the Oregon Construction Contractors Board under ORS 701 and may be required to be licensed in the jurisdiction in which work is being performed. If the applicant is exempt from licensing, the following reasons apply.

Statement of Fact: I certify that the facts and information set forth in this application are true and complete to the best of my knowledge. I understand that any falsification, misrepresentation or omission of fact (whether intentional or not) in this application or any other required document, as well as any misleading statement or omission, may be cause for revocation of permit and/or certificate of occupancy, regardless of how or when discovered.

Building Permit Fees*

Please refer to fee schedule

Fees due upon application	
Amount received	
Date received	

Sub-contractor information can be faxed to 503-823-7693.

Type of work

New construction Addition/alteration/replacement

Demolition Other:

Category of construction

1 & 2 family dwelling Commercial/industrial Accessory building

Multifamily Master builder Other:

Job site information and location

Job no.: Job address: 409 SW 3rd Ave

City/State/ZIP: PDX OR 97204

Suite/bldg./apt. no.: Project name: OREGON PIONEER SKYLIGHT REPLACEMENT

Cross street/directions to job site: SW 3rd & SW Stark

Subdivision: Block 47 Lot no. 1, 2, 8 Tax map/parcel no.

Description of work

REPLACEMENT OF EXISTING SKYLIGHT IN KIND.

Reference RS / Combination MNGR. Permit no.

Property owner Tenant

Name: MELYNDA PETALAK - REDSIDE

Address: PO BOX 42310

City/State/ZIP: PORTLAND OR 97242

Phone: 503- FAX:

Owner installation: This installation is being made on property that I own, which is not intended for sale, lease, rent, or exchange.

Owner signature: Date:

Contractor

Business name: BARTEL CONTRACTING INC

Address: 135 E. HERFORD ST

City/State/ZIP: GLADSTONE OR

Phone: 503 658 4089 FAX:

CCB lic. no. 186872

Authorized signature: Date:

Print name: Date:

Applicant Contact Person

Business name: REDSIDE

Contact name: MELYNDA PETALAK

Address: PO BOX 42310

City/State/ZIP: PORTLAND OR 97242

Phone: 503-239-2000 FAX:

E-mail: mel@redsidecre.com

Authorized signature: Date: 9/18/2012

Print name: MELYNDA PETALAK

OREGON PIONEER BUILDING EXTERIOR SKYLIGHT REPLACEMENT

REGULATORY REQUIREMENTS

ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE FOLLOWING GOVERNING CODES:
2009 INTERNATIONAL BUILDING CODE
2010 OREGON STRUCTURAL SPECIALTY CODE
2007 OREGON FIRE CODE

PROJECT INFORMATION

PROJECT DESCRIPTION: REPLACEMENT IN KIND OF EXISTING EXTERIOR SKYLIGHT OVER TENANT SPACE. EXISTING DECORATIVE SKYLIGHT TO REMAIN.

STORIES: 6

ZONING: CXd

CONSTRUCTION TYPE: IIIA, FULLY SPRINKLERED

OCCUPANCY GROUP: S1, A2 (RESTAURANT), M AND B

PROPERTY ID: R246074

TAX ROLL: PORTLAND, BLOCK 47, LOT 1 AND 2 AND 8

DRAWING INDEX

CS PROJECT INFORMATION AND VICINITY MAP
A1.00 SITE PLAN
A2.00 ROOF PLAN AND SECTION
G1 NEW SKYLIGHT PLAN AND DETAILS
G2 NEW SKYLIGHT SECTION

GENERAL NOTES

A. VERIFY AND CONFIRM ALL DIMENSIONS AND CONDITIONS. NOTIFY ARCHITECT OF ANY DISCREPANCIES PRIOR TO START OF WORK.
B. FULL FIRE SPRINKLER COVERAGE TO BE MAINTAINED (BY SEPARATE PERMIT).



SITE LOCATION

VICINITY MAP
SCALE: N.T.S.

SYMBOL AND LINE LEGEND

XX / X.XX SECTION REFERENCE / SHEET NUMBER

2 / A8.2 DETAIL REFERENCE / SHEET NUMBER

1 ELEVATION VIEW

4 2 / A3.2 INTERIOR ELEVATION REFERENCE / SHEET NUMBER

101 DOOR NUMBER

A WINDOW TYPE

2 REVISION NUMBER / REVISION CLOUD

+X" CHANGE IN FLOOR ELEVATION, REFERENCED FROM 0.0"

ELEVATION MARK

PROPERTY LINE

OBJECTS BELOW OR BEHIND

OBJECTS OVERHEAD

CENTER LINE

FENCE LINE

ABBREVIATIONS

(E)	EXISTING	F.F.	FINISH FLOOR	PLYWD	PLYWOOD
(N)	NEW	FL., FLR.	FLOOR	PT	PRESSURE TREATED
ADD.	ADDITIONAL	FTG.	FOOTING	PSF	POUNDS PER SQUARE FOOT
ADJ.	ADJACENT			REFER	REFRIGERATOR
A.F.F.	ABOVE FINISHED FLOOR	GYP BD	GYPSUM WALLBOARD	RB	RUBBER BASE
ALIGN	ALIGN FINISHES	HM	HOLLOW METAL DOOR/FRAME	REQ'D	REQUIRED
BLKG.	BLOCKING	HT	HEIGHT	SC.	SOLID CORE
CAB.	CABINET	INSUL.	INSULATION	SCHED.	SCHEDULE
CLNG.	CEILING	MIN.	MINIMUM	S.F.	SQUARE FEET
CLR.	CLEAR	MAX.	MAXIMUM	SOG	SLAB ON GRADE
CONC.	CONCRETE	MTL.	METAL	SS	STAINLESS STEEL
CONT.	CONTINUOUS	N.T.S.	NOT TO SCALE	STD.	STANDARD
COORD.	COORDINATE	O.C., O/C	ON CENTER	T&G	TONGUE AND GROOVE
CPT.	CARPET	O.F.C.I.	OWNER FURNISHED, CONTRACTOR INSTALLED	TEMP	TEMPERED GLASS
DIMS	DIMENSIONS	O.F.O.I.	OWNER FURNISHED, OWNER INSTALLED	TYP	TYPICAL
D.S.	DOWNSPOUT	OPP.	OPPOSITE	U.O.N.	UNLESS OTHERWISE NOTED
EL., ELEV.	ELEVATION	PLAM	PLASTIC LAMINATE	VERT.	VERTICAL
ELEC.	ELECTRICAL	P.L.F.	POUNDS PER LINEAR FOOT	W/	WITH
EQ.	EQUAL			WD	WOOD
EQUIP.	EQUIPMENT			WH	WATER HEATER
EXT.	EXTERIOR				



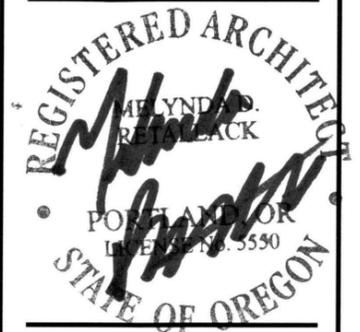
SITE ADDRESS

OREGON PIONEER BUILDING
409 SW THIRD AVENUE
PORTLAND, OREGON 97204

CONTRACTOR

BARTEL CONTRACTING INC.
CCB#186872
KEVIN BARTEL
135 E HEREFORD STREET
GLADSTONE, OREGON
503-650-4084

MELYNDA RETALLACK
ARCHITECT
221 MOLILLA AVENUE SUITE 220
OREGON CITY, OREGON 97046
503.239.2000



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PERMIT SUBMITTAL

SKYLIGHT REPLACE. OREGON PIONEER

JOB REF. SKYLIGHT REP.
DRAWN MR
DATE 09/19/2012

DRAWING TITLE

PROJECT INFO AND VICINITY MAP

SCALE AS NOTED

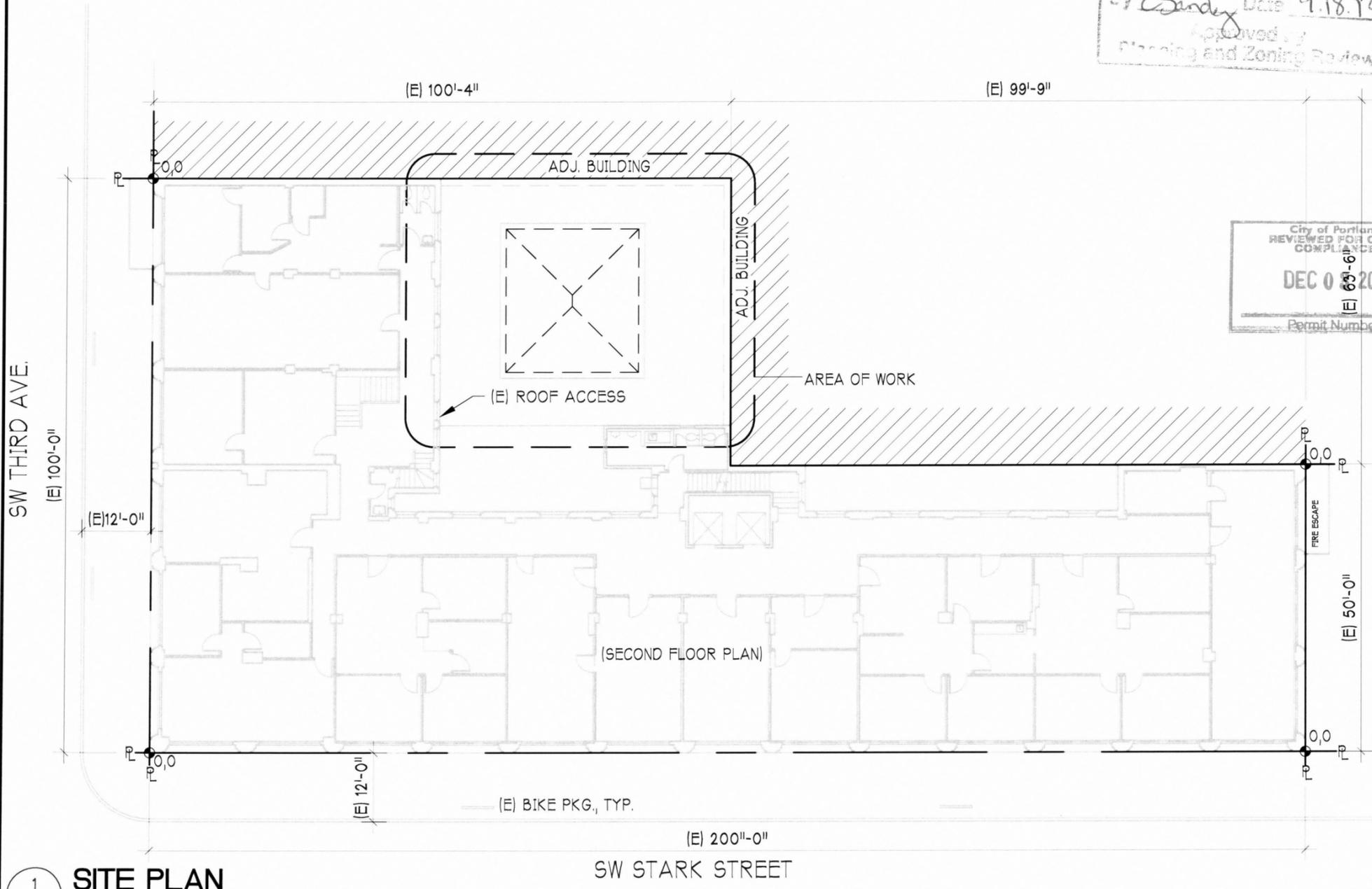
CS

SITE INFORMATION

LOT AREA: 15,000 SF
 (E) BUILDING COVERAGE: 15,000 SF - 100%
 (E) LANDSCAPE AREA: NONE
 (E) PARKING SPACES: NONE
 (E) BIKE PARKING: 8
 (E) BUILDING AREA: 95,000 SF, 6 STORIES W/ BASEMENT
 AREA OF SKYLIGHT: 675 +/- SF

City of Portland
 Bureau of
 Development Services
 By *E. Sandy* Date *9.18.12*
 Approved by
 Planning and Zoning Review

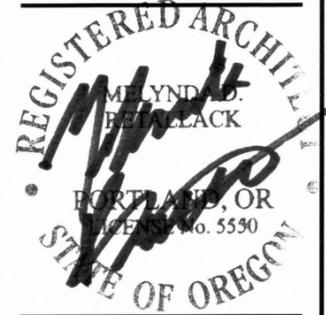
City of Portland
 REVIEWED FOR CODE
 COMPLIANCE
 DEC 0 6 2012
 (E) 63-6
 Permit Number



1
SITE PLAN
 SCALE: 1" = 20'



MELYNDA RETALLACK
 ARCHITECT
 221 MOLLALA AVENUE SUITE 220
 OREGON CITY, OREGON 97045
 503.239.2000



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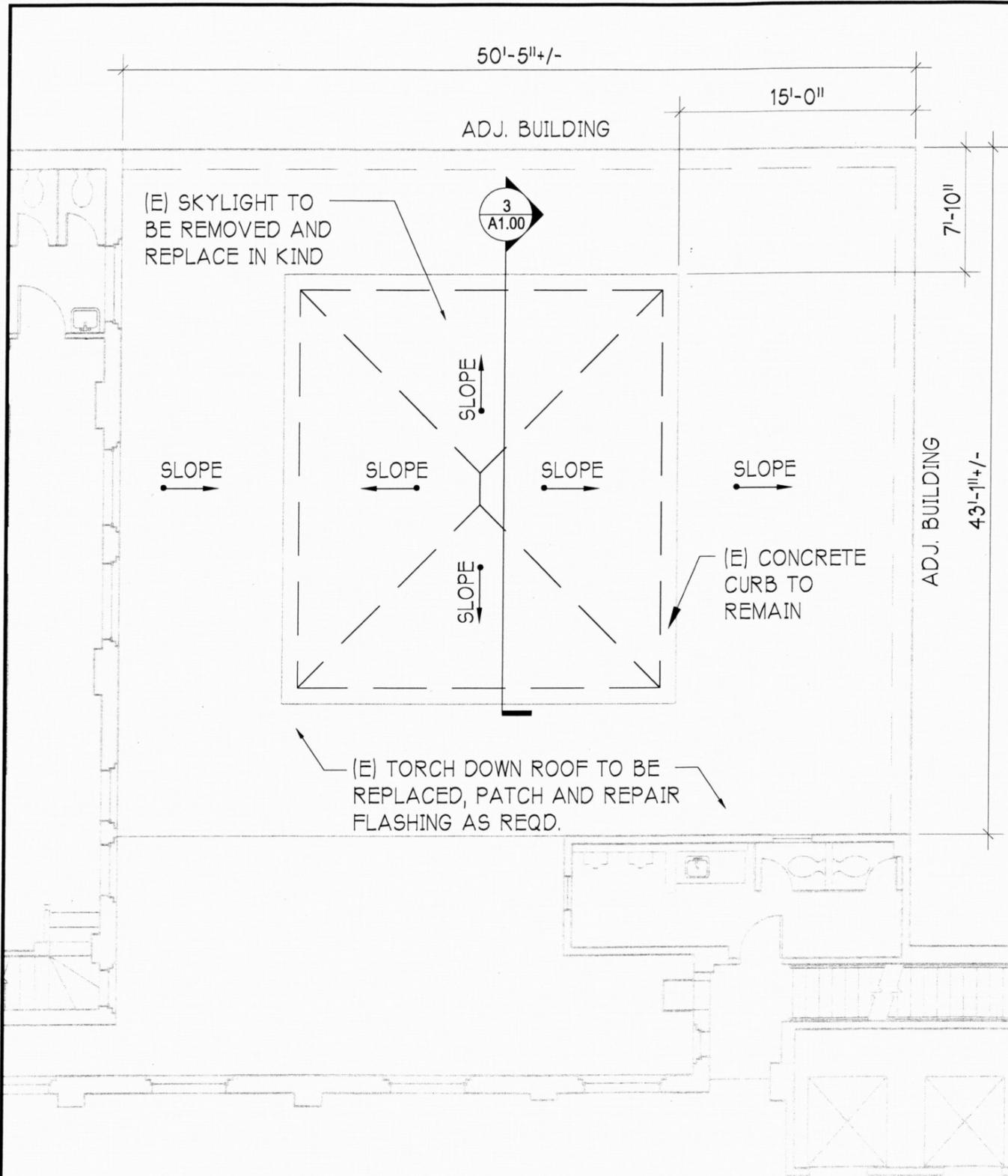
PERMIT SUBMITTAL
SKYLIGHT REPLACE
OREGON PIONEER

JOB REF. SKYLIGHT REP.
 DRAWN MR
 DATE 09/19/2012

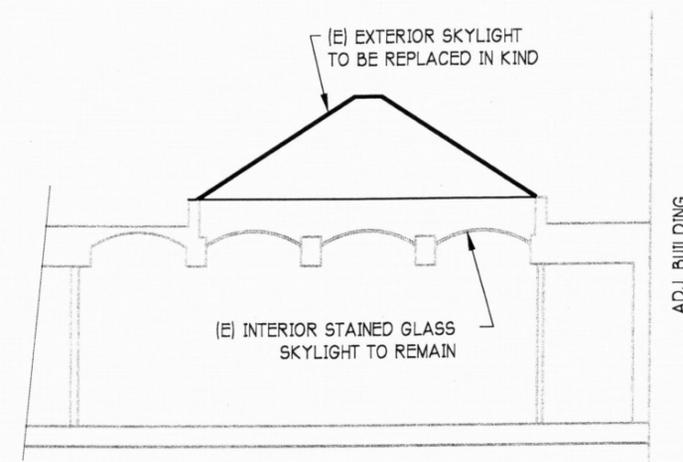
DRAWING TITLE
SITE PLAN

SCALE AS NOTED

A1.00



1 EXISTING ROOF PLAN
SCALE: 1/8" = 1'-0"



2 EXISTING SKYLIGHT SECTION
SCALE: 1/8" = 1'-0"

City of Portland
REVIEWED FOR CODE
COMPLIANCE
DEC 03 2012
Permit Number

MELYNDA RETALLACK
ARCHITECT
221 MOLALLA AVENUE SUITE 220
OREGON CITY, OREGON 97046
503.239.2000



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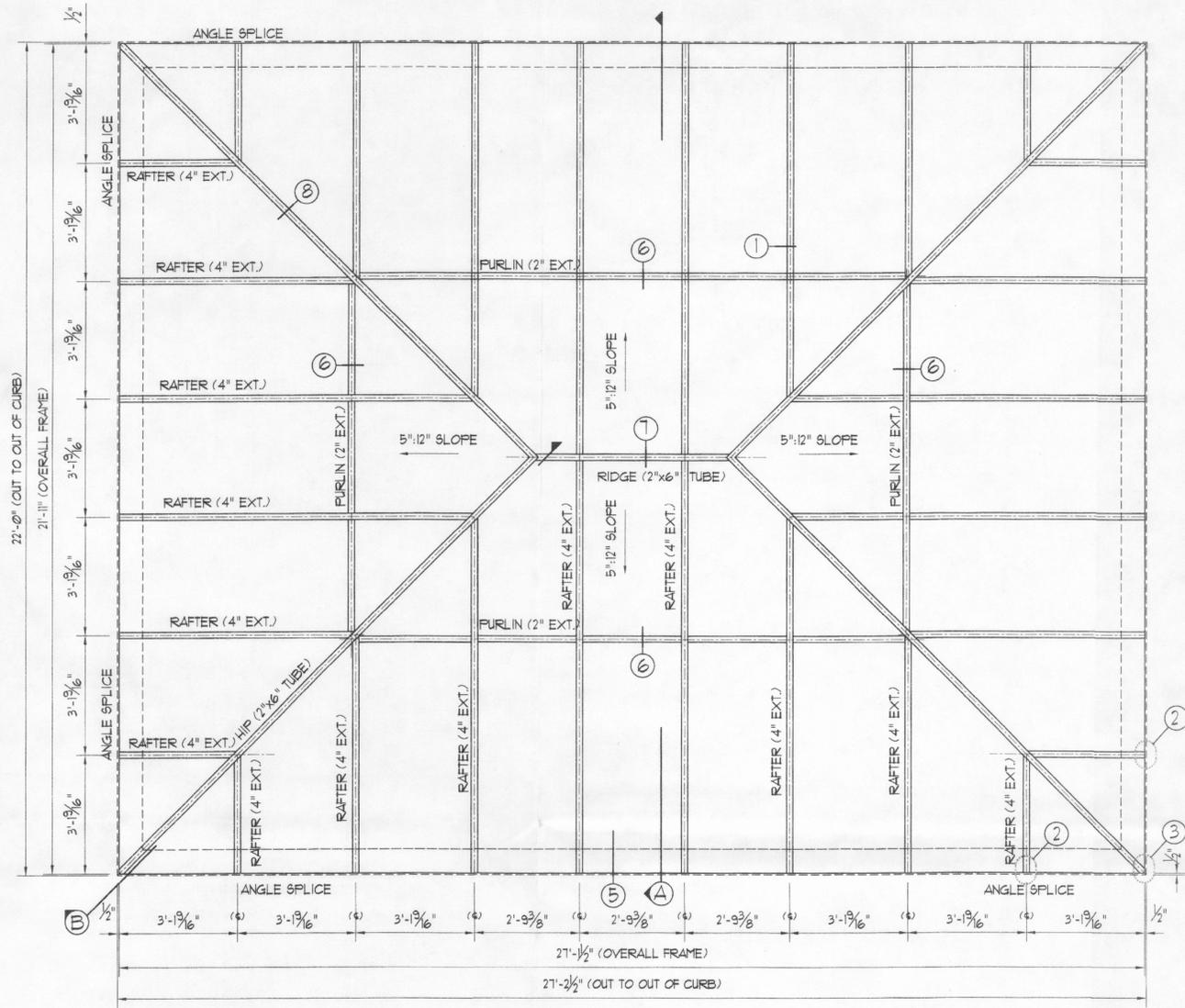
PERMIT SUBMITTAL
SKYLIGHT REPLACE.
OREGON PIONEER

JOB REF. SKYLIGHT REP.
DRAWN MR
DATE 09/19/2012

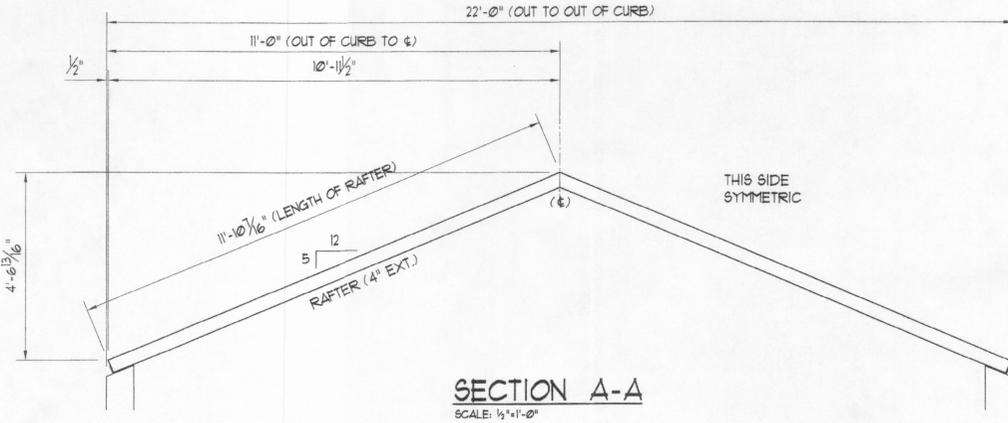
DRAWING TITLE
ROOF PLAN AND
SECTION

SCALE AS NOTED
A2.00

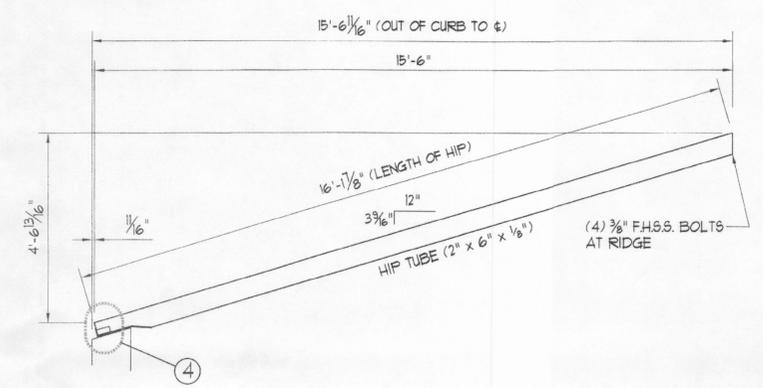




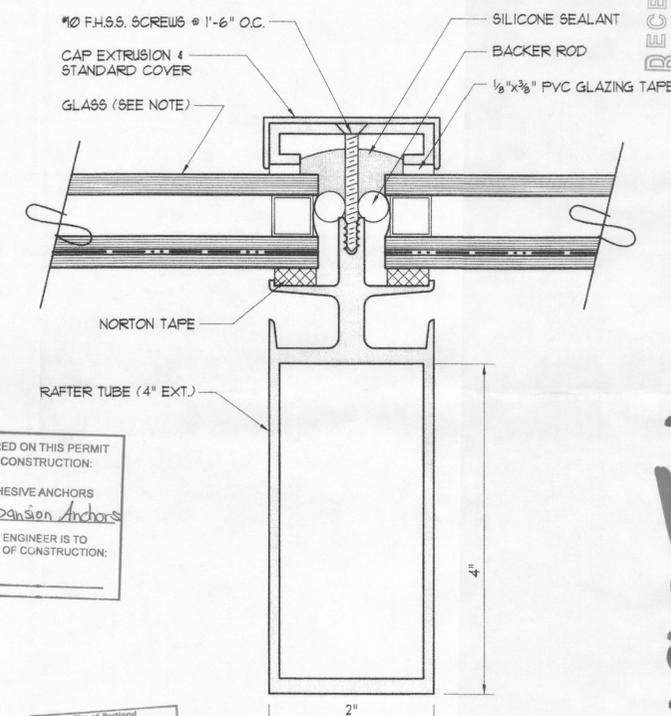
SKYLIGHT PLAN
SCALE: 1/4"=1'-0"



SECTION A-A
SCALE: 1/2"=1'-0"



SECTION B-B
SCALE: 1/2"=1'-0"

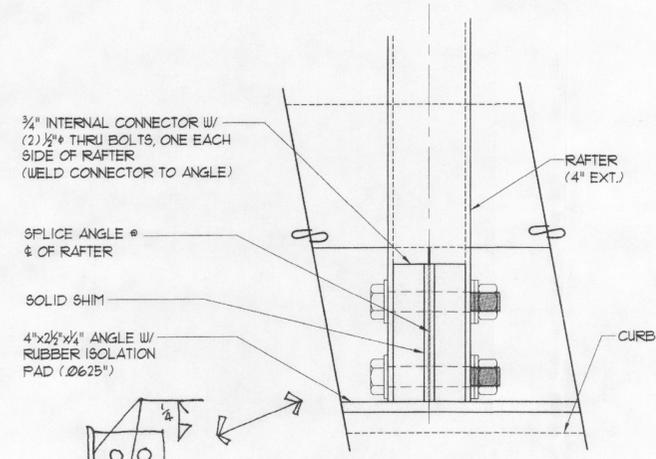


1 RAFTER DETAIL
SCALE: FULL

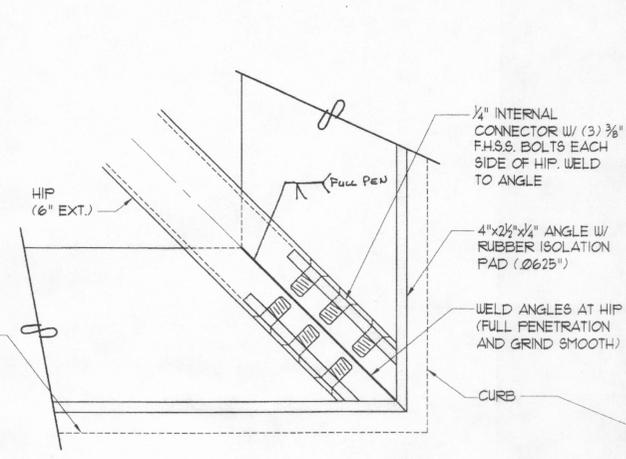
- SPECIAL INSPECTIONS ARE REQUIRED ON THIS PERMIT FOR THE FOLLOWING AREAS OF CONSTRUCTION:
- STRUCTURAL STEEL
 - REINFORCED CONCRETE
 - STRUCTURAL OBSERVATION BY THE ENGINEER IS TO OCCUR AT THE FOLLOWING STAGES OF CONSTRUCTION:
 - ADHESIVE ANCHORS
 - Expansion Anchors

City of Portland
REVIEWED PER LOCAL CODES
CONTRACTOR
DEC 03 2012
Permit Number

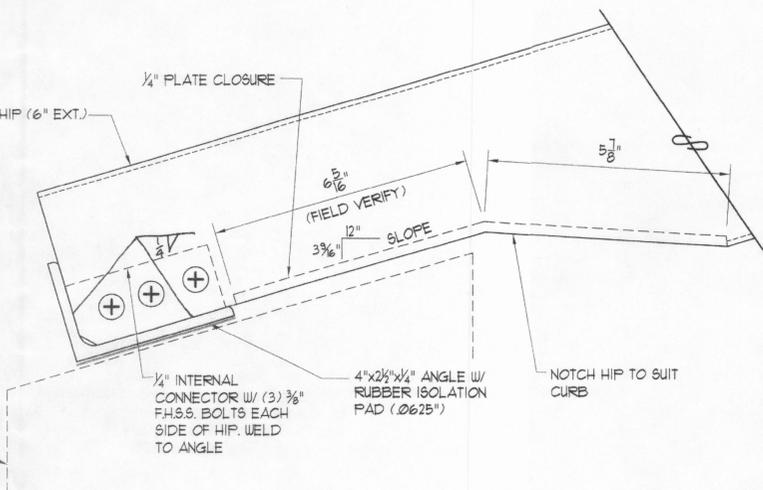
NOTE:
Rafter Framing: Aluminum Spec 6005-T5
Other Framing: Aluminum Spec 6063-T5
Aluminum Finish: Factory-applied oven-baked Kynar Paint (Color by Arch - Please Provide Sample)
Canopy Glazing: 1/2" Clear Tempered w/ PFG Solar Ban 60 Low E / 1/2" Air Space / 3/8" Clear Heat Strengthened Laminated w/ 030 Clear PVB Interlayer.



2 ANGLE SPLICE DETAIL
SCALE: 6"=1'



3 ANGLE AT CORNER
SCALE: 6"=1'



4 HIP CONNECTION
SCALE: 6"=1'

REGISTERED PROFESSIONAL
ENGINEER
DALE E. KAEMING
EXPIRES 6/30/13

ALL DIM'S TO BE FIELD VERIFIED PRIOR TO FABRICATION

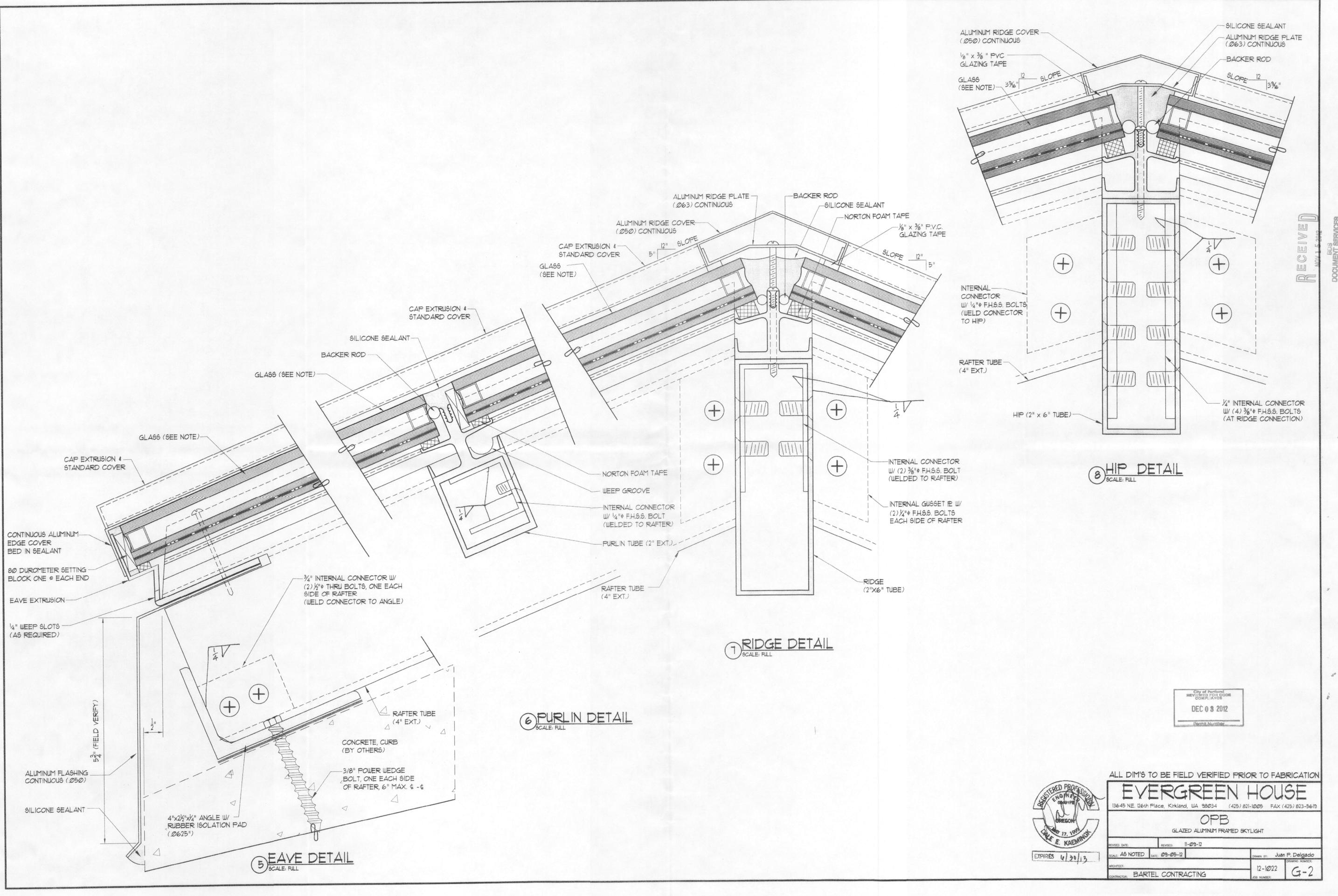
EVERGREEN HOUSE
13645 NE 126th Place, Kirkland, WA 98034 (425) 821-1025 FAX (425) 823-5619

OPB
GLAZED ALUMINUM FRAMED SKYLIGHT

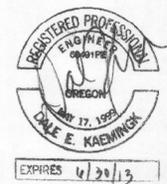
REVISED DATE:	REVISED: 11-09-12	DRAWN BY: Juan P. Delgado
SCALE: AS NOTED	DATE: 9-25-12	DRAWING NUMBER: 12-1022
PROJECT: BARTHEL CONTRACTING	CONTRACTOR: BARTHEL CONTRACTING	JOB NUMBER: G-1

RECEIVED NOV 15 2012
 12-183521-60
 SCANNED

RECEIVED
NOV 15 2012
DOCUMENT SERVICES



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COMPLIANCE
DEC 08 2012
Permit Number



ALL DIM'S TO BE FIELD VERIFIED PRIOR TO FABRICATION

EVERGREEN HOUSE
13645 NE 126th Place, Kirkland, WA 98034 (425) 821-1005 FAX (425) 823-5619

OPB
GLAZED ALUMINUM FRAMED SKYLIGHT

REVISED DATE:	REVISED:	11-09-12
SCALE: AS NOTED	DATE: 09-05-12	DRAWN BY: Juan P. Delgado
ARCHITECT:	CONTRACTOR: BARTEL CONTRACTING	DWG NUMBER: 12-1022
		JOB NUMBER: G-2