

Jefferson Plaza Apartments Basement Units

1515 SW Jefferson, Portland, Oregon

PROJECT INFORMATION

THE JEFFERSON PLAZA APARTMENTS, LOCATED AT 1515 SOUTHWEST JEFFERSON STREET IN PORTLAND, OREGON, IS A THREE-STORY PLUS BASEMENT, UNREINFORCED MASONRY AND WOOD-FRAMED BUILDING THAT WAS BUILT IN 1910. THE SCOPE OF THIS PROJECT IS TO CREATE TWO TWO-BEDROOM APARTMENT UNITS THAT ARE 520 AND 580 SQUARE FEET. THE APARTMENT UNITS WILL BE LOCATED ON THE NORTH SIDE OF THE BASEMENT. CONSTRUCTION OF THE UNITS WILL REQUIRE THE DEMOLITION OF A PORTION OF EXTERIOR WALL BELOW TWO WINDOWS ON THE WEST AND EAST SIDES OF THE BUILDING. THE SILLS AT THESE WINDOWS WILL BE LOWERED TO ACCOMMODATE EXTERIOR EGRESS DOORS FROM THE NEW UNITS. FIRE SPINKLERS WILL BE INSTALLED IN THE AREA OF WORK.

THIS PROJECT HAS RECEIVED LAND USE APPROVAL THROUGH A TYPE II DESIGN REVIEW (LU 12-177622 DZ) ON OCTOBER 29, 2012 AND WAS GRANTED A BUILDING CODE APPEAL (APPEAL ID: 8898) ON AUGUST 15, 2012.

LEGAL DESCRIPTION: TL 2300 0.13 ACRES, SECTION 04 1S 1E

(E) CONSTRUCTION TYPE: IIIB, NON-SPRINKLERED (NFA 13R SPRINKLERED BASEMENT)

TAX LOT NO.: R991040110

(E) BUILDING AREA: 14,260 SQ. FT.

SITE AREA: 5,700 SQ. FT. (0.13 ACRES)

(E) NUMBER OF STORIES: 3 (PLUS BASEMENT)

ZONING: CXd, CENTRAL COMMERCIAL

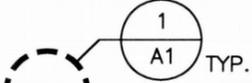
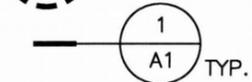
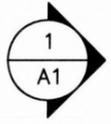
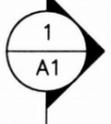
(E) HEIGHT: 34'-0"

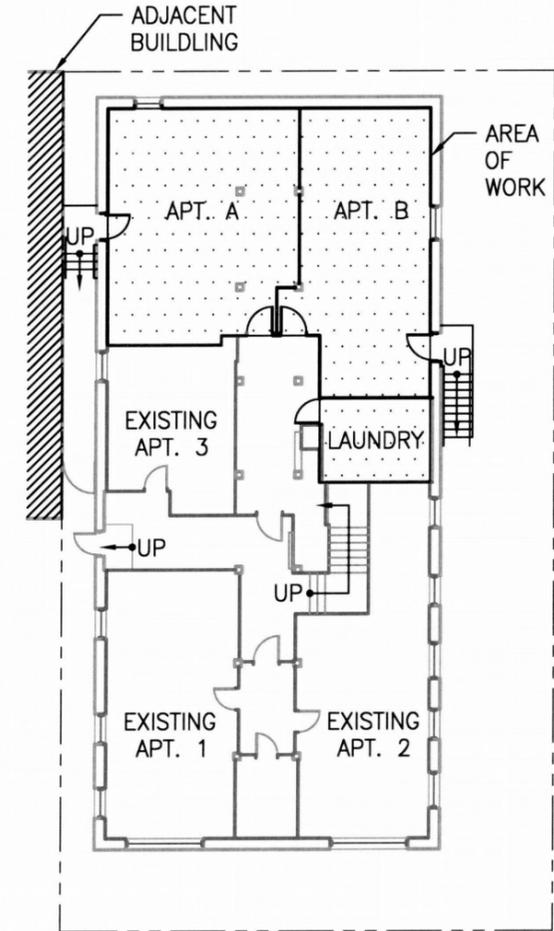
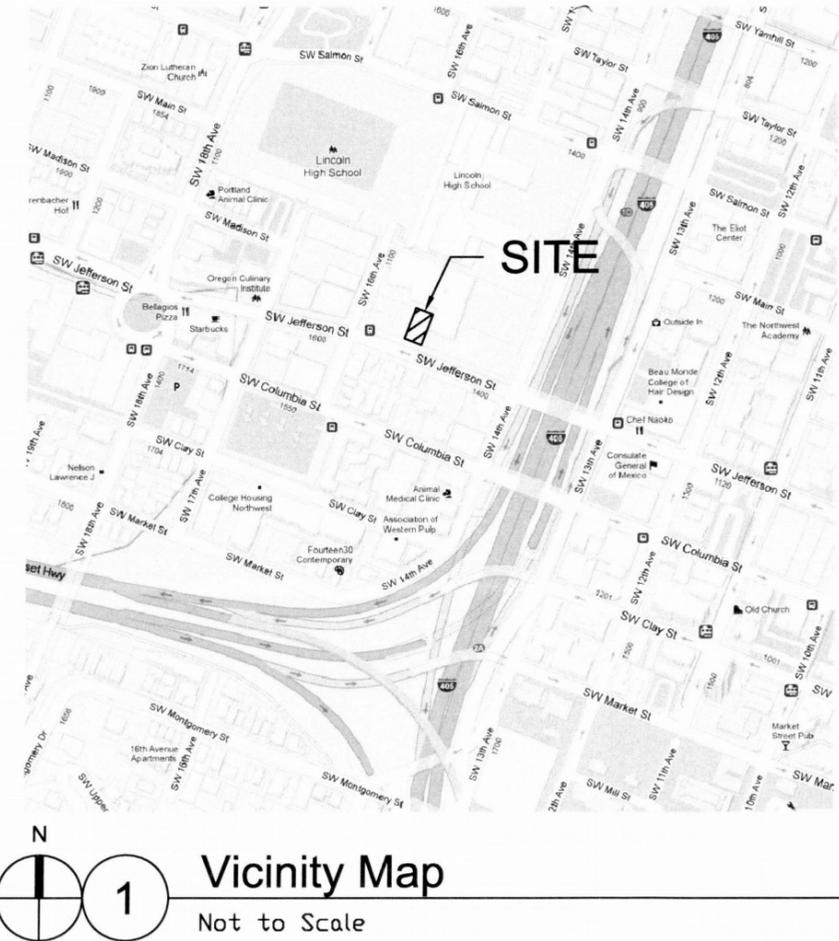
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- A2 Floor Plan

- A3 Elevation
- A4 Elevation
- A5 Details

SYMBOL LEGEND

-  NORTH ARROW
-  DETAIL TAG
-  DETAIL TAG
-  ELEVATION TAG
-  SECTION TAG
-  DATUM



SW Jefferson St.

 **1** Site Plan
1" = 20'-0"

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**Jefferson Plaza
Basement
Remodel**
1515 SW Jefferson St.
Portland, Oregon

KASA Proj #: 1206
Date: November 14, 2012

CITY OF PORTLAND
REVIEWED FOR BUILDING
COMPLIANCE
DATE: 11/14/12
Permit Number

Cover Sheet

CS1

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12-208903 CO

ABBREVIATIONS

(NOTE: NOT ALL ABBREVIATIONS ARE USED)

@	At
A.B.	Anchor Bolt
ADA	American with Disabilities Act
A.F.F.	Above Finish Floor
B.O.	Bottom of
BD.	Board
C.L./C	Center Line
CLG.	Ceiling
CLR.	Clear
CONC.	Concrete
CONT.	Continuous
COORD.	Coordinate/Coordination
CPT.	Carpet
CT	Ceramic Tile
DEMO	Demolish
DIA.	Diameter
DIM.	Dimension
DN	Down
DTL.	Detail
DW	Dishwasher
DWG.	Drawing
(E)	Existing
EA.	Each
EQ.	Equal
EQUIP.	Equipment
E.W.	Each Way
F.D.	Floor Drain
FIN.	Finish
FIXT.	Fixture
FLR.	Floor
F.O.	Face of
GA.	Gauge
GALV.	Galvanized (Hot Dipped)
GYP.	Gypsum
LAM.	Laminated
LAV.	Lavatory
MFR.	Manufacturer
MATL.	Material
MAX.	Maximum
MECH.	Mechanical
MIN.	Minimum
MTL.	Metal
N	North
NFPA	National Fire Protection Association
N.I.C.	Not in Contract
NO.	Number
N.T.S.	Not to Scale

O.C.	On Center
OC.	Occupants/Occupancy
O.D.	Outside Diameter
OPP.	Opposite
P	Paint
PF.	Prefinished
P.L.	Property Line
PLAM.	Plastic Laminate
PLWD.	Plywood
PSI	Pounds Per Square Inch
P.T.	Preservative Treated
R.D.	Roof Drain
REF.	Reference
REINF.	Reinforced
REQ'D	Required
RM.	Room
R.O.	Rough Opening
S	South
SC	Solid Core
S.F.	Square Feet
SHT.	Sheet
SHTG.	Sheathing
SIM.	Similar
S.O.G.	Slab on Grade
SQ.	Square
S/R	Shelf and Rod
S.S.	Stainless Steel
STL.	Steel
STOR.	Storage
SUSP.	Suspended
SV	Sheet Vinyl
TBL.	Table
TEMP.	Temporary
T.G.	Tempered Glass
T&G	Tongue and Groove
T.O.	Top of
T.S.	Tube Steel
TSTAT	Thermostat
TYP.	Typical
U.O.N.	Unless Otherwise Noted
VCT	Vinyl Composition Tile
V.I.F.	Verify in Field
W	Wide/West
W.C.	Water Closet
WD.	Wood
W.H.	Water Heater
W/	With
W/O	Without

GENERAL NOTES

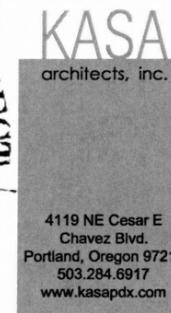
- ALL WORK SHALL COMPLY WITH THE REQUIREMENTS OF THE 2010 OREGON STRUCTURAL SPECIALTY CODE, BASED ON THE 2009 INTERNATIONAL BUILDING CODE WITH CURRENT AMENDMENTS, CITY AND COUNTY ORDINANCES, AND APPLICABLE PLUMBING, MECHANICAL, FIRE AND ELECTRICAL CODES.
- IN PERFORMING PROFESSIONAL SERVICES FOR THIS PROJECT, KASA ARCHITECTS, INC. ISSUES, EXPRESSES OR IMPLIES NO WARRANTIES OR CERTIFICATIONS.
- THE DRAWINGS & INFORMATION CONTAINED HEREIN ARE BASED ON DRAWINGS PREPARED BY OTHERS AND INFORMATION GATHERED DURING SITE VISITATIONS. VERIFY ACCURACY OF EXISTING BUILDING CONDITIONS & NOTIFY KASA ARCHITECTS, INC. OF ANY DISCREPANCIES PRIOR TO COMMENCEMENT OF WORK. A MINIMUM OF FIVE (5) WORKING DAYS SHALL BE ALLOWED FOR A RESPONSE TO THE DISCREPANCY WITH MODIFIED DESIGN INFORMATION.
- DIMENSIONS TAKE PRECEDENCE OVER DRAWINGS. DO NOT SCALE DRAWINGS TO DETERMINE ANY LOCATIONS. NOTIFY KASA ARCHITECTS, INC. OF ANY DISCREPANCIES PRIOR TO COMMENCEMENT OF WORK.
- MAINTAIN RATED CONSTRUCTION AT ALL PENETRATIONS OF RATED ASSEMBLIES AS REQUIRED.
- PROVIDE SHORING, BRACING, SUPPORT AND PROTECTION AS REQUIRED TO MAINTAIN STRUCTURAL INTEGRITY OF THE BUILDING.
- COORDINATE EQUIPMENT LOCATIONS WITH OWNER PRIOR TO FINAL ROUGH-IN.
- PROVIDE FIRE EXTINGUISHERS IN LOCATIONS REQUIRED BY THE FIRE MARSHALL. WHERE FIRE EXTINGUISHERS ARE SHOWN ON THE DRAWINGS, VERIFY LAYOUT WITH THE FIRE MARSHALL PRIOR TO INSTALLATION.
- PROVIDE PERMANENT LABELS AT ALL ELECTRICAL PANELS AND CONTROLS, MECHANICAL EQUIPMENT, SHUTOFF VALVES, AND FIRE CONTROL EQUIPMENT.

DESIGN BUILD NOTES

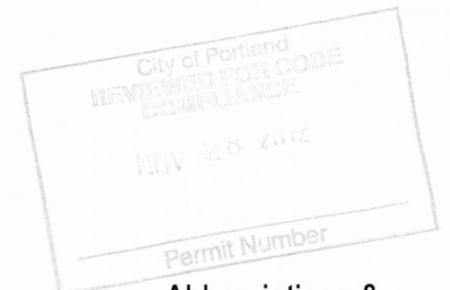
- DESIGN BUILD SERVICES TO INCLUDE BUT NOT BE LIMITED TO THE FOLLOWING:
 - FIRE ALARM SYSTEMS
 - FIRE SPRINKLER SYSTEMS
 - PLUMBING SYSTEMS
 - MECHANICAL SYSTEMS
 - ELECTRICAL SYSTEMS
- DESIGN-BUILD SERVICES, DOCUMENTS AND PERMIT ACQUISITION SHALL BE PROVIDED ON A DESIGN-BUILD BASIS. DESIGN-BUILD SERVICES SHALL INCLUDE ALL REQUIRED DESIGN WORK TO IMPLEMENT THE ENTIRE DESIGN-BUILD SYSTEM.
- VERIFY CAPACITY OF ALL UTILITIES AND COORDINATE NEW EQUIPMENT REQUIREMENTS AND LOCATIONS.

DEMOLITION NOTES

- ALL DEMOLITION DEBRIS SHALL BE REMOVED FROM THE SITE AND DISPOSED OF IN COMPLIANCE WITH GOVERNING REGULATIONS. COORDINATE WITH THE OWNER TO IDENTIFY ITEMS TO BE SALVAGED, STORED, REUSED, RELOCATED, OR RECYCLED.
- REMOVE ALL ABANDONED CONDUIT, CABLE, AND WIRE.
- COORDINATE SEQUENCING OF ALL REQUIRED UTILITY SHUTDOWNS.
- MAINTAIN FIRE RATED ASSEMBLIES.
- THE DEMOLITION NOTES IN THE DRAWINGS REQUIRE THE REMOVAL OF A BUILDING ELEMENT OR SYSTEM OR A COMPLETE COMPONENT COMPRISED OF MULTIPLE ELEMENTS. DISASSEMBLE AND REMOVE FROM THE SITE EACH ITEM IN ITS ENTIRETY SO AS TO ACCOMMODATE THE INSTALLATION OF THE NEW WORK TO FOLLOW.
- CONDUITS, DUCTS, PANELS, BRACKETS, PIPES, AND OTHER EQUIPMENT LOCATED ON OR IN ELEMENTS SCHEDULED FOR DEMOLITION SHALL BE REMOVED AS PART OF THE WORK SCOPE OF REMOVING THE ELEMENT UNLESS SPECIFICALLY NOTED OTHERWISE.
- ALTHOUGH THE NOTES CAREFULLY LIST THE EXISTING ELEMENTS TO BE DEMOLISHED, THE CONTRACTOR IS OBLIGATED WITHIN THIS WORK SCOPE TO REMOVE ANY OTHER EXISTING NON-STRUCTURAL MATERIALS FOUND TO BE IN THE WAY OF INSTALLING THE MATERIALS AND SYSTEMS INCORPORATED IN THE IMPROVEMENT DESIGN.
- CLEAN, PLUG, PATCH AND REPAIR ALL MATERIALS, SURFACES, AND ELEMENTS AND PREPARE THEM FOR NEW WORK.
- KASA ARCHITECTS, INC. IS NOT RESPONSIBLE FOR LOCATING, IDENTIFYING, OR SPECIFYING MEANS OF REMOVAL OF ANY HAZARDOUS MATERIALS.
- SOLID WOOD BLOCKING SECURED TO WALL FRAMING SHALL BE INSTALLED IN PARTITIONS AT ALL GRAB BARS, PLUMBING FIXTURES, CABINETS, HARDWARE, AND ANY WALL MOUNTED ACCESSORIES REQUIRING SUPPORT.
- CONTRACTOR SHALL PROVIDE FOR DUST CONTROL THROUGHOUT. PROVIDE TEMPORARY MEASURES TO VENTILATE AREAS DURING ALL PHASES OF DEMOLITION AND CONSTRUCTION TO ERADICATE BUILDUP OF FUMES FROM FINISH MATERIALS AND CONSTRUCTION ACTIVITIES.
- TAKE ALL NECESSARY PRECAUTIONS TO ENSURE THE SAFETY OF THE BUILDING OCCUPANTS AND WORKERS AT ALL TIMES.

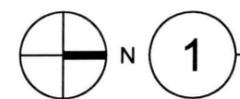
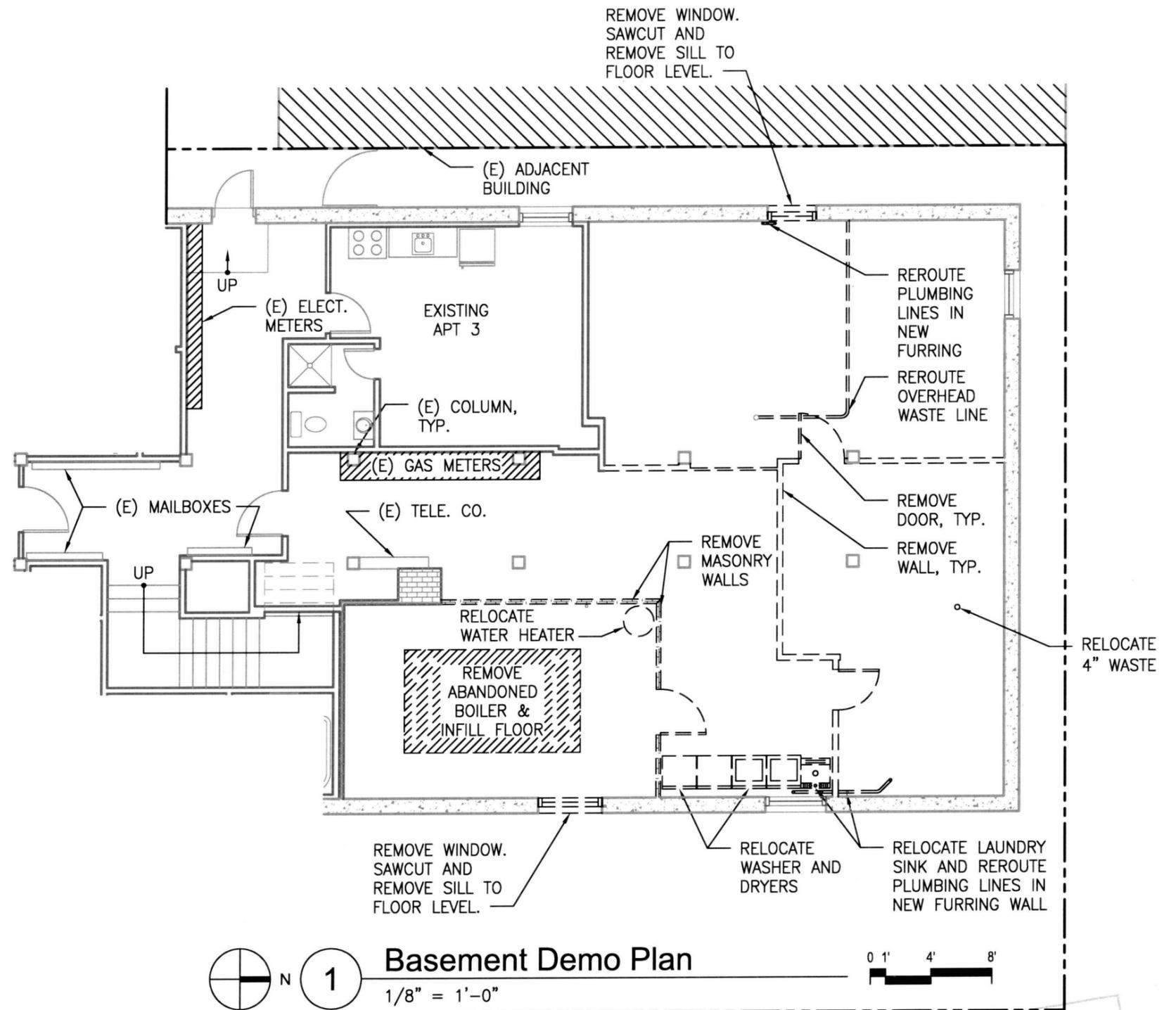


Jefferson Plaza
 Basement
 Remodel
 1515 SW Jefferson St.
 Portland, Oregon
 KASA Proj #: 1206
 Date: November 14, 2012



Abbreviations & General Notes

G1



Basement Demo Plan

1/8" = 1'-0"

REGISTERED ARCHITECT
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 NOV 28 2012
 Per [Signature]

Demolition Plan

A1

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Legend

- DOOR
- LAUNDRY: 2₁₀/6₈ 20" MIN. SOLID CORE
- ENTRY: 3₀/6₈ 20" MIN. SOLID CORE
- BEDROOM: 2₁₀/6₈
- BATH: 2₁₀/6₈
- EXTERIOR: 2₁₀/6₈ WOOD FULL LITE

POCKET DOOR 3₀/6₈

BI-PASS DOOR, 6₈ TALL SEE PLAN FOR WIDTH

NEW WOOD STUD WALL/FURRING WALL. 2x4 @ 16" O.C. WITH 5/8" GYP. BD. EACH FACE EXCEPT AT FURRING WALL. INSTALL R-15 BATT INSULATION AT FURRING WALL & DEMISING WALL. INSTALL RESILIENT CHANNELS @ 16" O.C. AT DEMISING WALL PER GA FILE NO. WP 3242.

DIAGRAMMATIC PATH OF EGRESS

This Drawing is approved for Construction; Errors and Omissions Excepted.

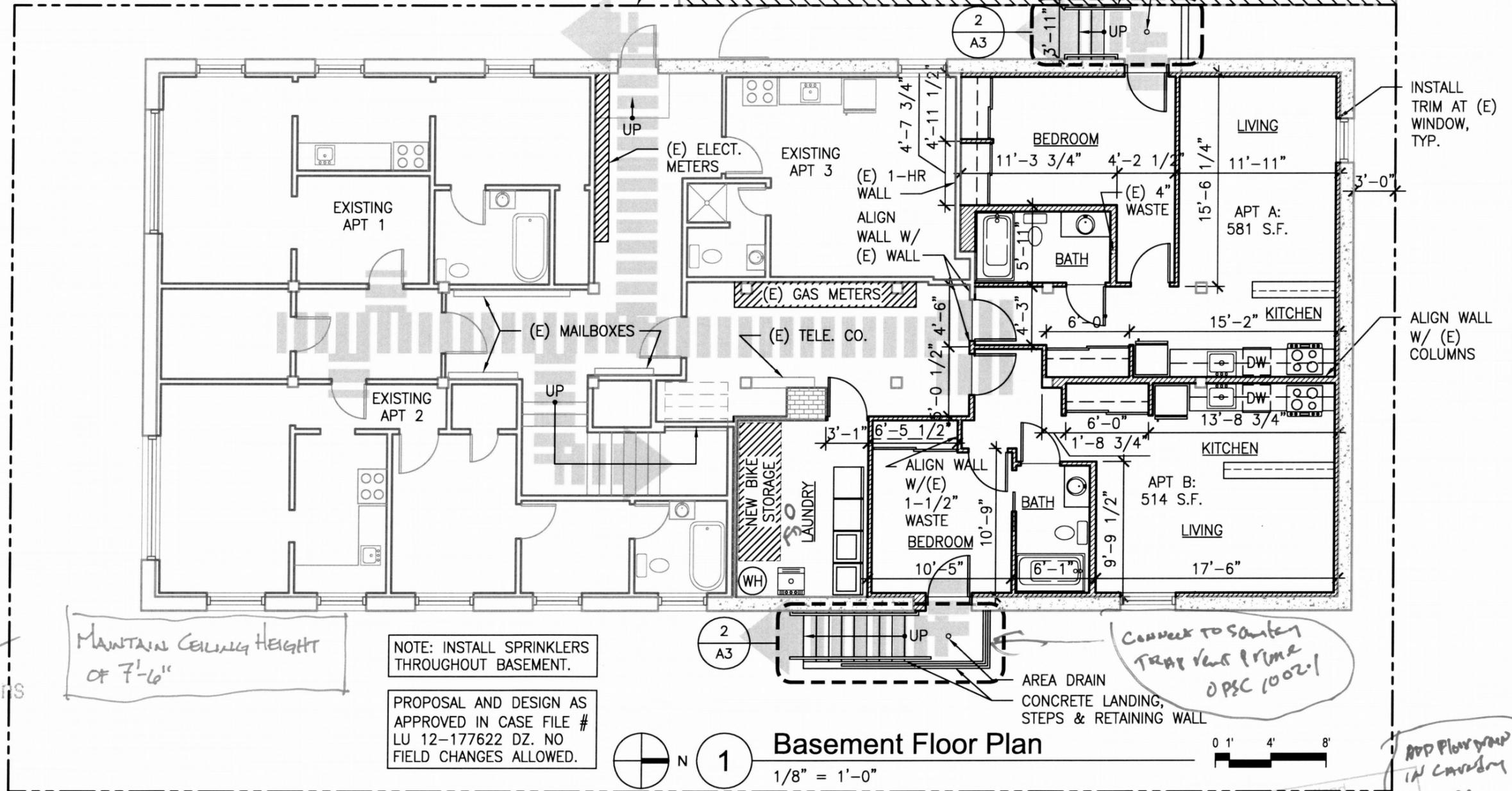
Date 11-20-12

Per [Signature]

These Plans and Specifications shall be kept on the Work Under Construction.

2011
Oregon Plumbing Specialty Code
City of Portland ~ BDS

Plumbing Permit Required
City of Portland
Bureau of Development Services



City of Portland
Bureau of
Development Services
By [Signature] Date 11/27/12
Approved by
Planning & Zoning Review

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Permit Number
Floor Plan

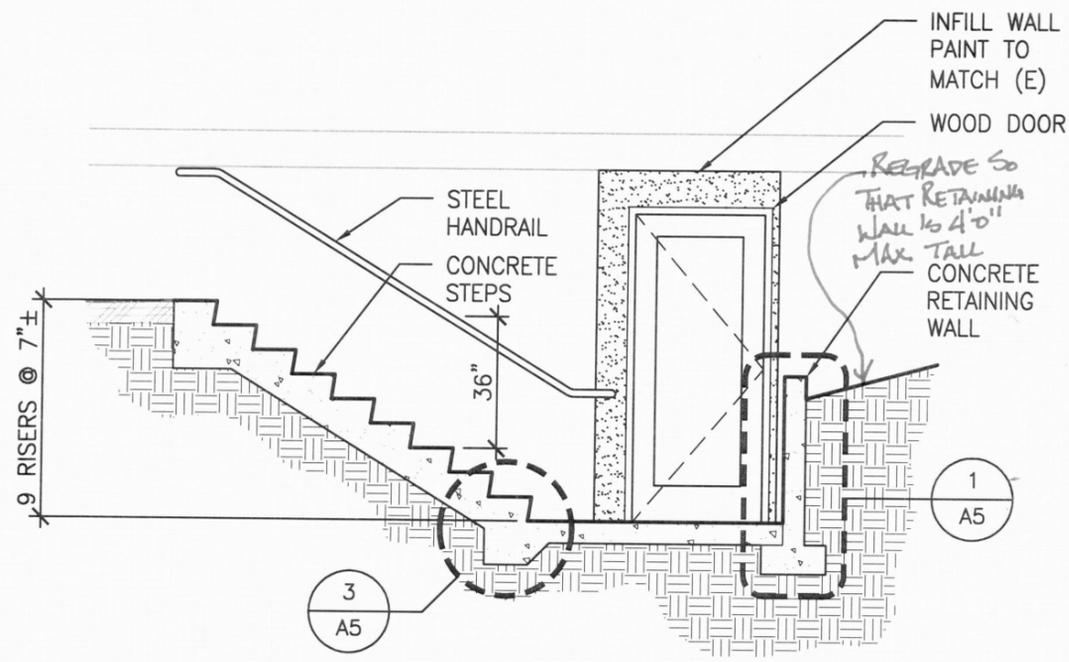
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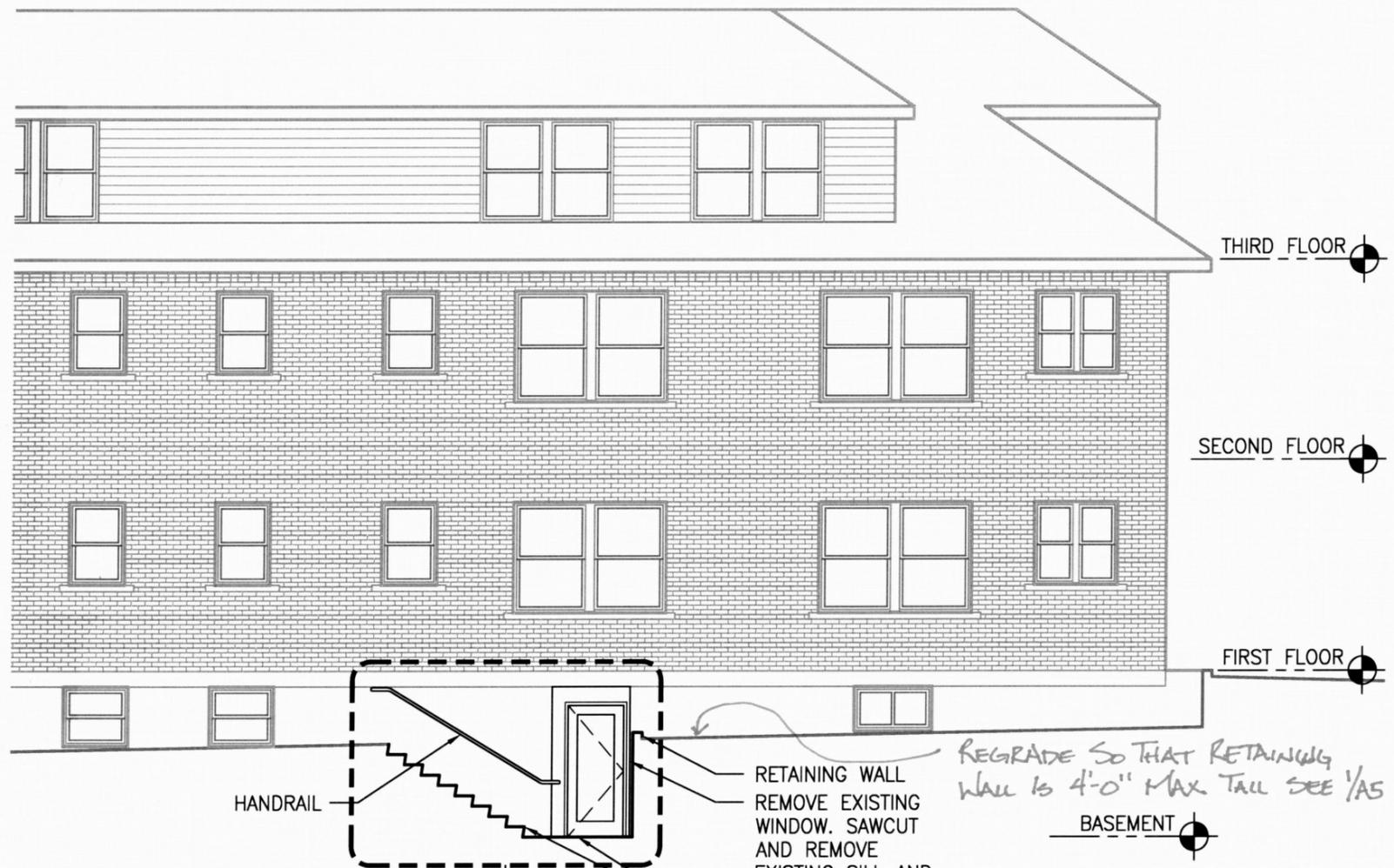
ADD PLUMBING IN CLOSET LOW PER OSPC 44622

Connect to Sanitary TRAP Vent Prime OPSC 1002.1

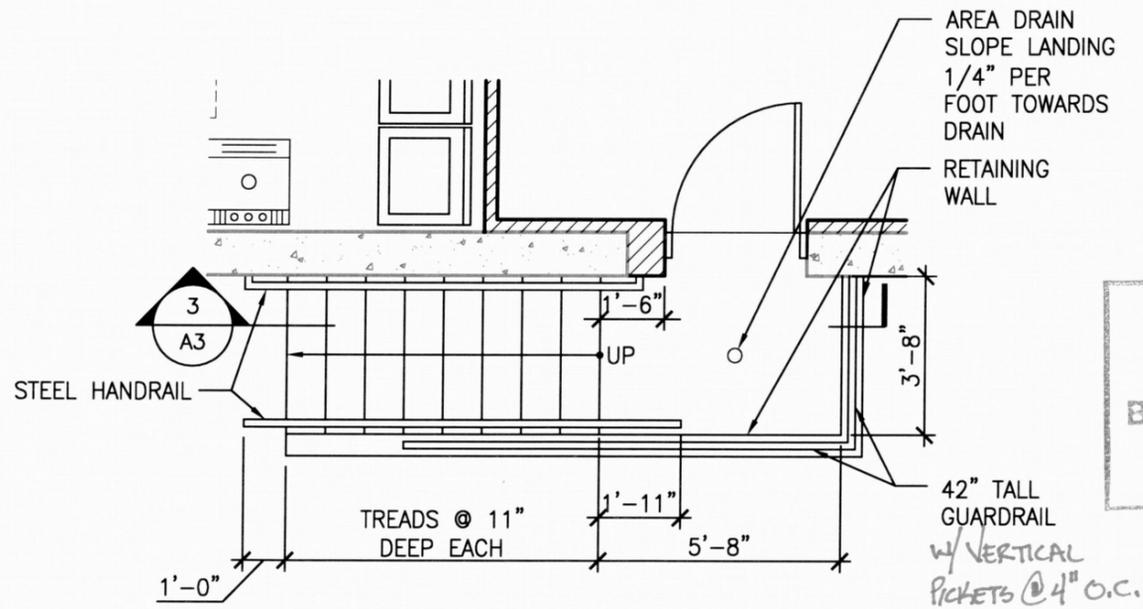
PROPOSAL AND DESIGN AS APPROVED IN CASE FILE # LU 12-177622 DZ. NO FIELD CHANGES ALLOWED.



3 East Stair Section
1/4" = 1'-0"
0 1' 2' 4'



1 East Elevation
1/8" = 1'-0"
0 1' 4' 8'



2 Enlarged East Stair Plan
1/4" = 1'-0"
0 1' 2' 4'

City of Portland
Bureau of
Development Services
By *KAF* Date *11/20/12*
Approved by
Planning & Zoning Review

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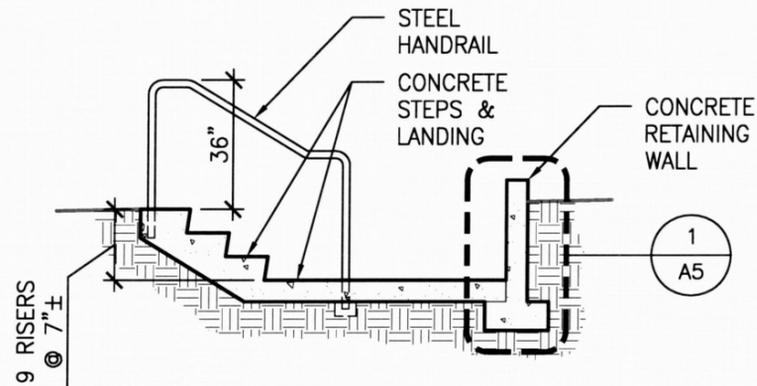
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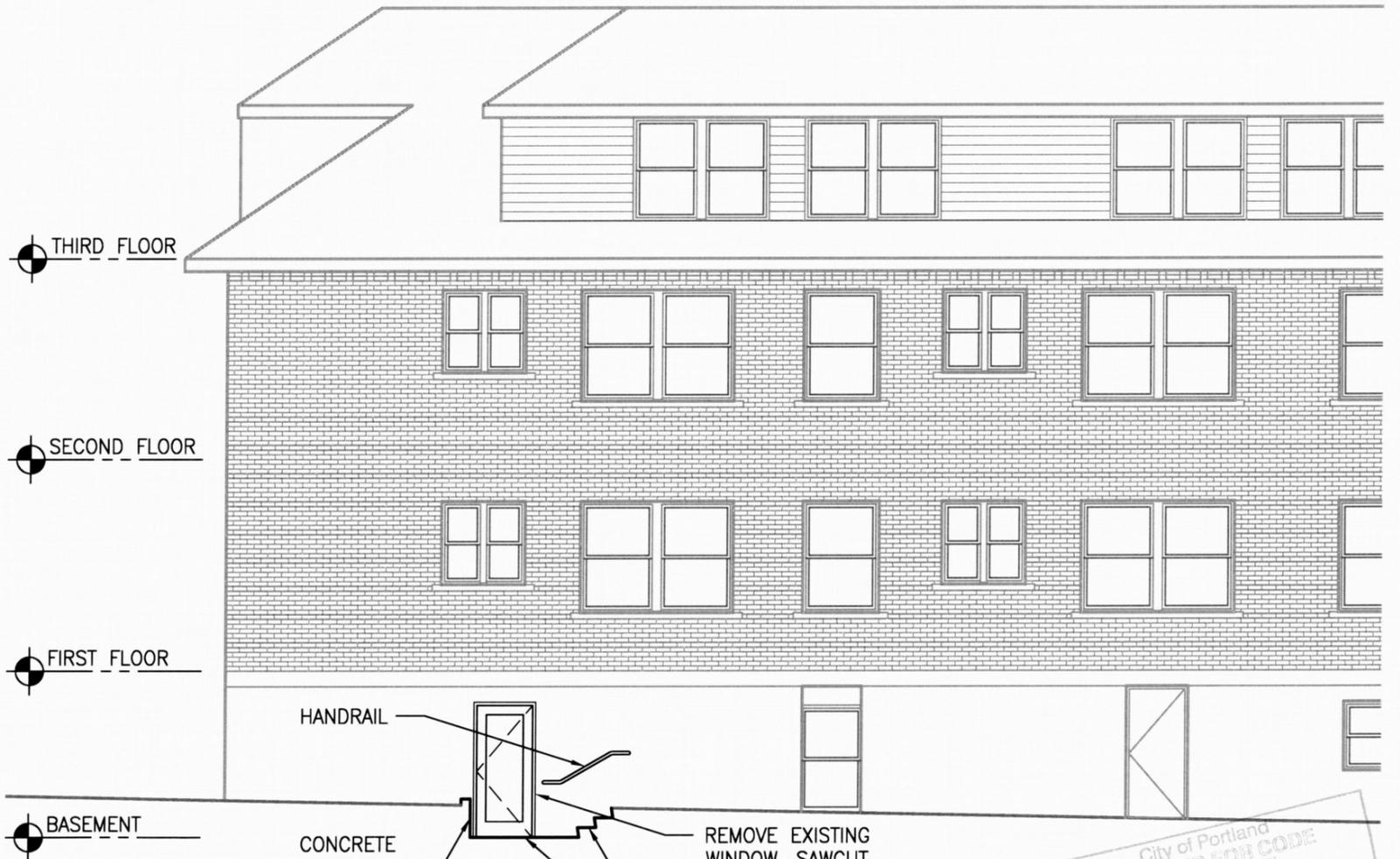
East Elevation
& Details
A3

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PROPOSAL AND DESIGN AS
 APPROVED IN CASE FILE #
 LU 12-177622 DZ. NO
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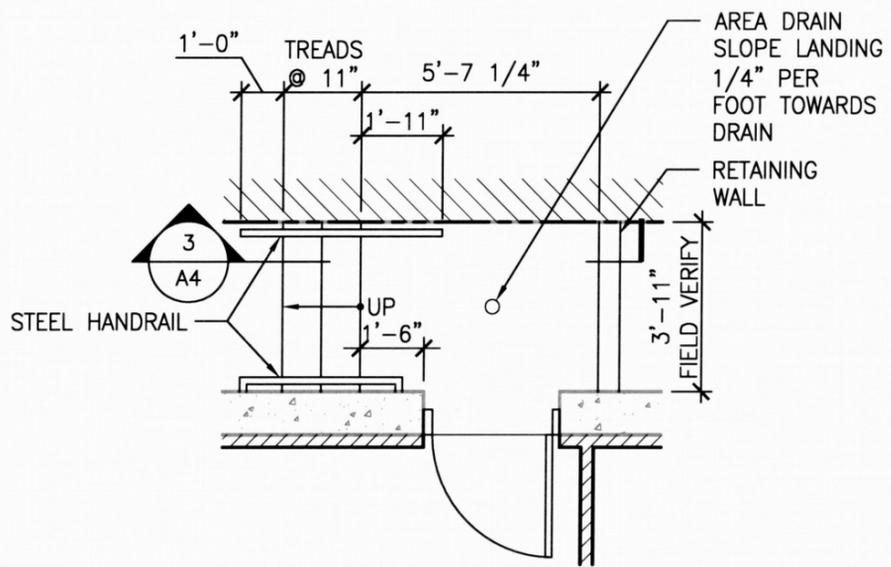
3 West Stair Section
 1/4" = 1'-0"



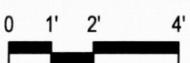
1 West Elevation
 1/8" = 1'-0"



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2 Enlarged West Stair Plan
 1/4" = 1'-0"



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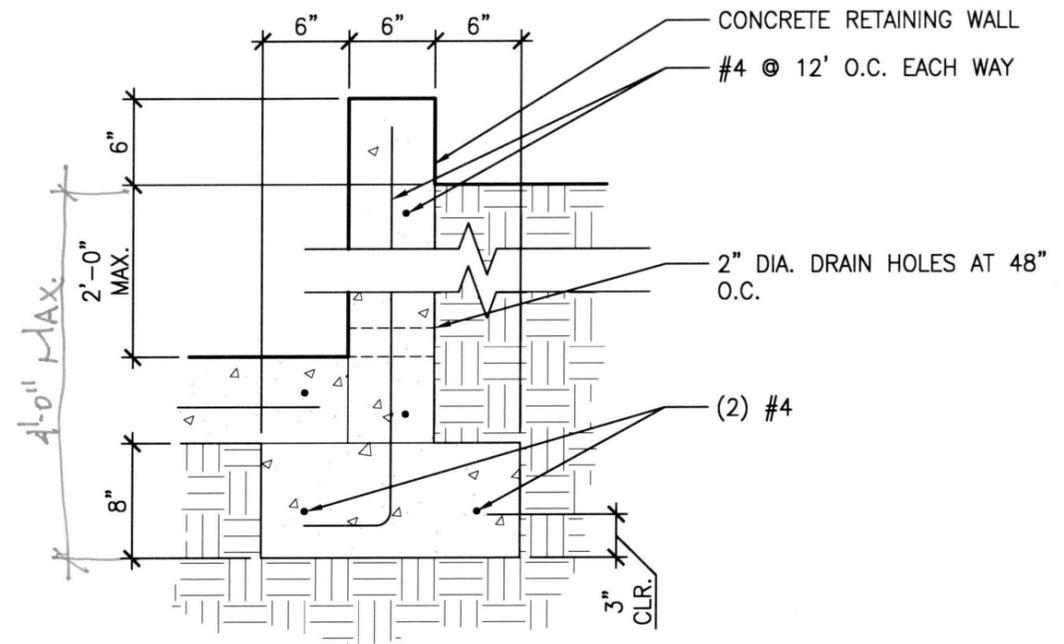
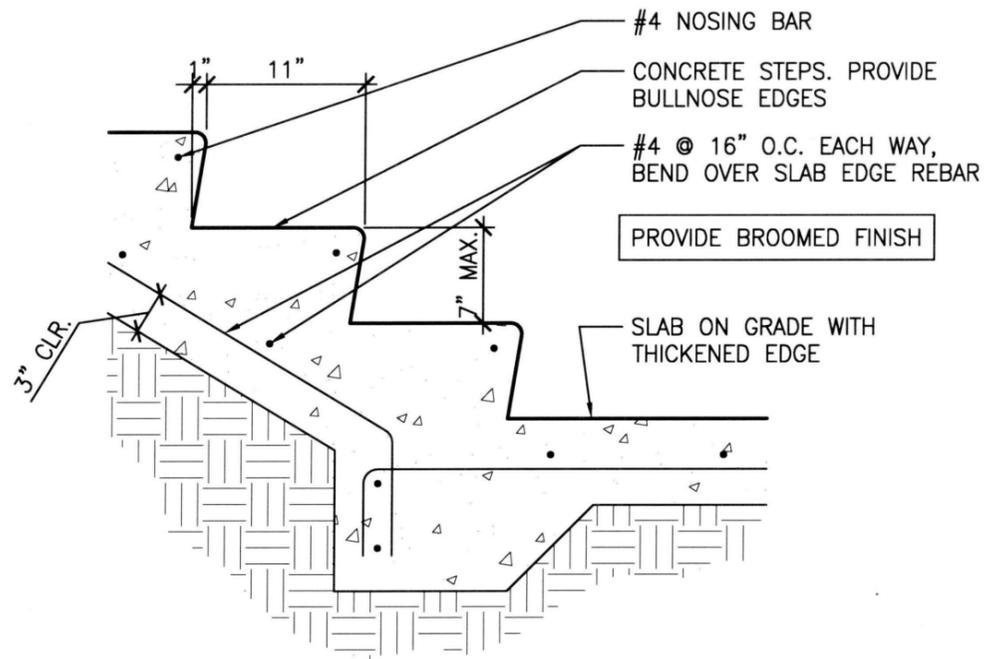
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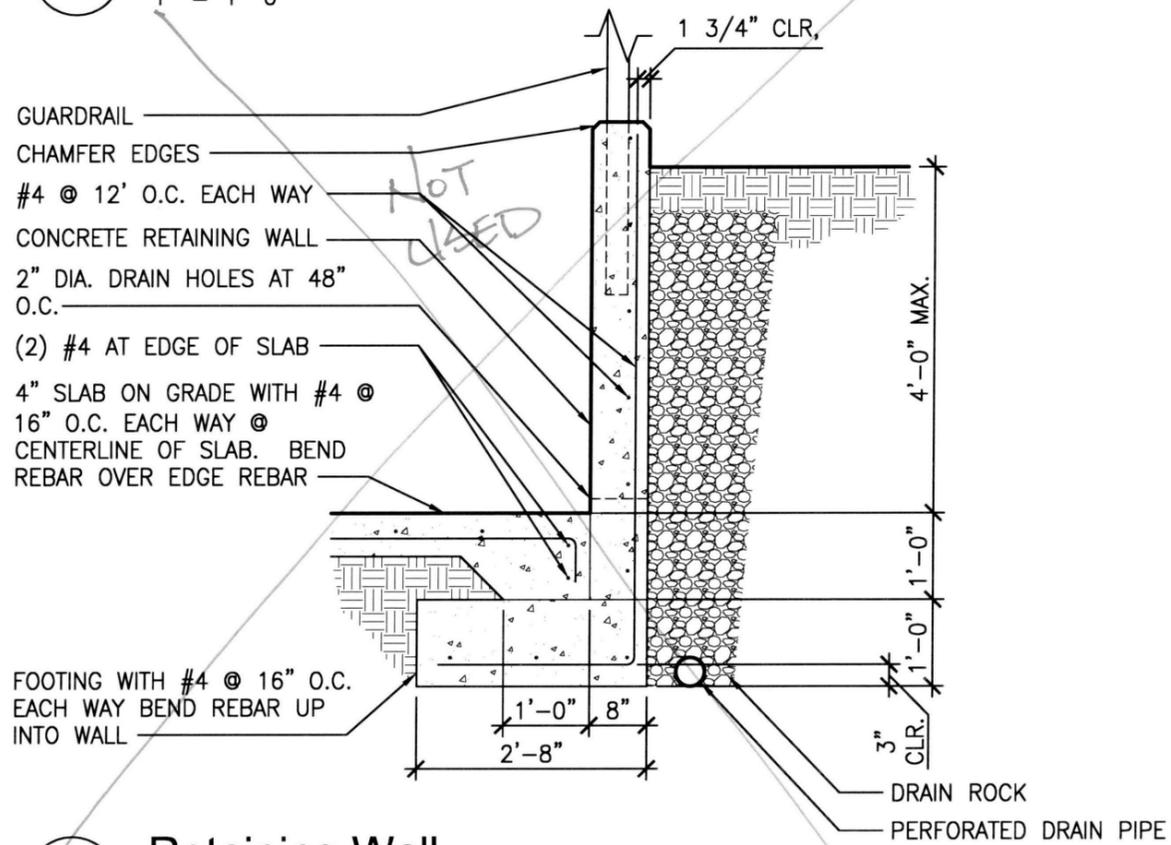
West Elevation
 & Details

A4

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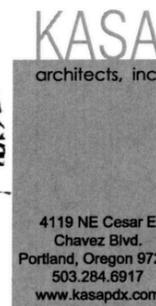


3 Fence Section
 1" = 1'-0"



2 Retaining Wall
 1/2" = 1'-0"

1 Retaining Wall Section
 1" = 1'-0"



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A5