



CITY OF PORTLAND, OREGON - BUREAU OF DEVELOPMENT SERVICES

1900 SW Fourth Avenue • Portland, Oregon 97201 • 503-823-7300 • www.portlandoregon.gov/bds



**Application for New Single Family Residential Construction
(One or Two Units)**

What type of home(s) are you building?

- Single family residence
 Duplex
 2-unit rowhouse
 2-unit townhouse
 Floating home
 Manufactured home on its own lot
 Detached accessory dwelling unit (ADU)
 Other: 5/17 @ 1:45

If your project includes 3 or more structures built to the Oregon Residential Speciality Code or International Residential Code and are either located on a single tax lot or attached to each other, you will apply through the Batch Submittal and Review Process. Please contact Permitting Services at 503-823-7357 for more information.

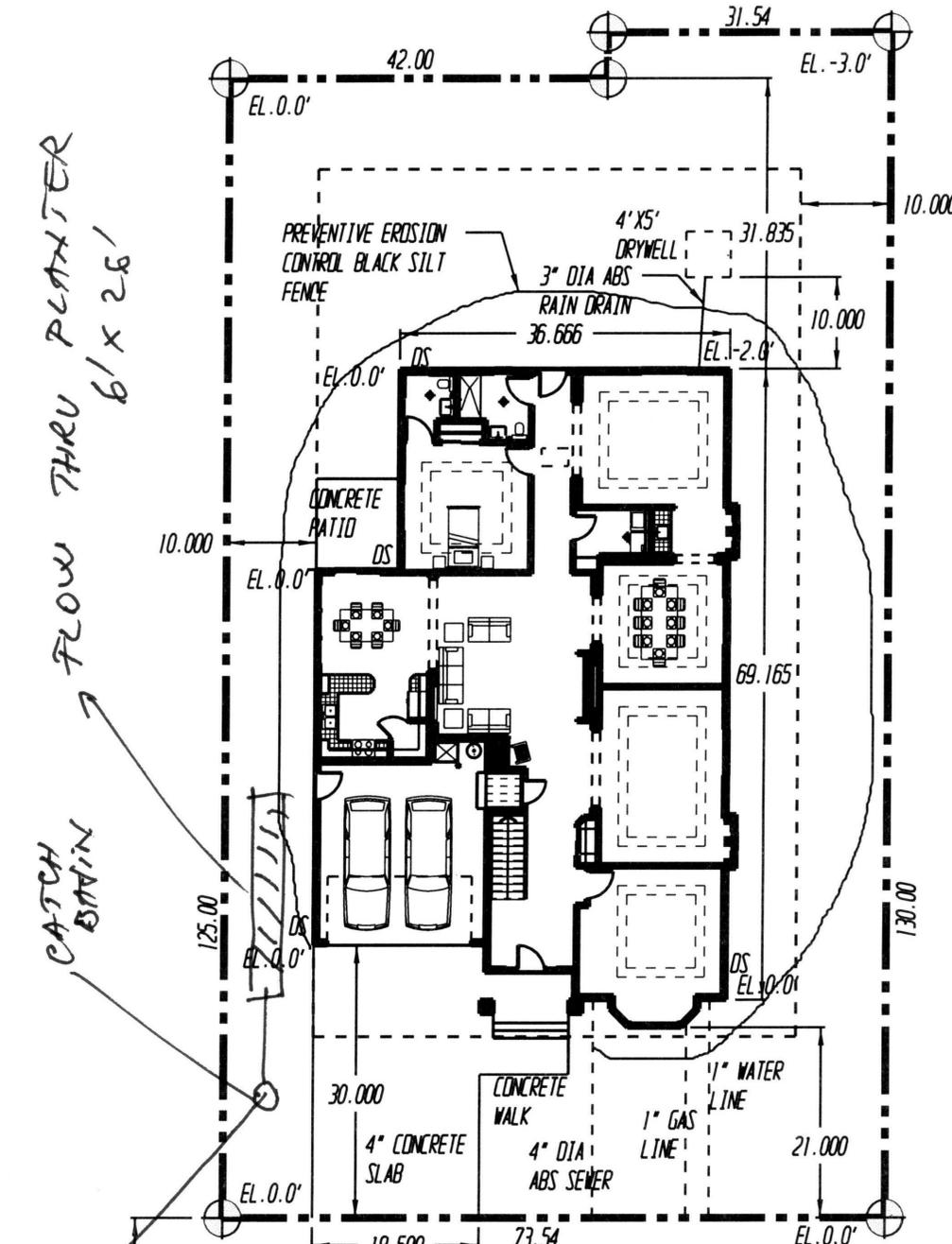
Applicant Information

Company Name PR DESIGN & GENERAL CONTRACTOR . LLC
 Contact Person PETER RADULESCU
 Mailing Address 825 NE 20th SUITE # 202
 City PORTLAND State OR Zip Code 97232
 Office Phone 503-265-8461 Cell Phone 503-680-1791 FAX 503-265-8462
 Email PRARCHITECTS@COMCAST.NET
 Lot Owner Name PISICA JOTHA MAGDALENA
 Mailing Address 6248 SW HAMILTON ST
 City PORTLAND State OR Zip Code 97221
 Contractor Name owner doing work CCB# _____

Project Information

Tax account number: R <u>645528</u>		If you do not know the tax account number, call Multnomah County at 503-988-3326	
Cross streets: <u>Bridlemile & SW Hamilton</u>		Tax lot number:	
Plat name/number <u>2011-56</u>	Block/lot: <u>LOT 2 BLD 1</u>	Qtr section #: <u>18</u>	
Living area: <u>4035.0</u> sq.ft.	Basement: <u>NA</u> sq.ft.	Garage/carport: <u>411.0</u> sq.ft.	
Is there a detached garage/carport or other accessory structure being built?		<input type="checkbox"/> yes	<input checked="" type="checkbox"/> no
Is there an existing house on the lot that will be demolished?		<input type="checkbox"/> yes	<input type="checkbox"/> no
Land Use Review case numbers: <u>PR DESIGN & GEN. CONTRACTOR LLC</u>			
Plan designer/architect name: <u>PETER RADULESCU</u>		Plan #	
Has BDS permitted this design previously?		<input type="checkbox"/> yes	<input type="checkbox"/> no
Do you plan on building the same house plan again?		<input type="checkbox"/> yes	<input checked="" type="checkbox"/> no
Is this a Master House Plan?		<input type="checkbox"/> yes	<input checked="" type="checkbox"/> no

12-136799RS



2669
 1577
 5026

ZONING CODES: ZONED R-10
 BUILDING FRONT SET BACK=20 FT.
 GARAGE SET BACK=18 FT.
 REAR SET BACK=10 FT.
 SIDE SET BACK=10 FT.
 MAX. BLDG HT=30 FT.
 LOT COVERAGE: LOT AREA= 9350 SF.
 2250 SF FOR FIRST 5000 SF
 15% OF LOT OVER 5000 SF =TOTAL ALLOWED LOT COVERAGE=2250 SF + 652.5SF=2902.50 SF
 BUILDING AREA @ FOUNDATION W/FRONT PORCH=2880 SF < 2902.50 SF

LOT SIZE=9350 SF.
 IMPERVIOUS AREA:
 PATIO=90 SF
 ROOF AREA W/OVERHANG=3253.00 SF
 DRIVEWAY=555 SF
 WALK=40 SF
 TOTAL=3938.00 SF

6248 SW HAMILTON
SITE PLAN
 SCALE: 1"= 20'-0"





Residential Water Service Application

W-3

Why complete this form?
 The Portland Water Bureau uses this form to determine size of meter and service branch, installation fees, and meter location. Complete details help expedite your request for water service permit and service installation. You must complete pages 1 and 2.

Who should use this form?
 Applicants upgrading residential plumbing, or building an accessory dwelling unit or new home.

What do I do with the completed form?

Mail it to:
 Portland Water Bureau
 Development Services
 1120 SW 5th Ave, Rm 600
 Portland, OR 97204

Bring it to our office:
 1900 SW 4th Avenue
 1st floor DSC
 Portland, OR 97201

Email it to:
 devrev@portlandoregon.gov

Fax it to:
 503-823-7743

Questions?

Portland Water Bureau
 Development Services
 Phone 503-823-7368
 FAX 503-823-7743

Sewer connection questions:

Bureau of Environmental
 Services Sewer Hotline
 Phone 503-823-7761

Today's date 5-1-2012	Building Permit Number 12-136799 RS
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Service Installation Information

Applicant Name PETER RADULESCU		Daytime Telephone Number 503-265-8461
Site Address, City, State, ZIP Code 6248 SW HAMILTON		
Multnomah County legal number R	Legal description (lot & block)	
Dwelling type (check one)	<input checked="" type="checkbox"/> Single-family <input type="checkbox"/> Rowhouse <input type="checkbox"/> Duplex <input type="checkbox"/> Townhouse <input type="checkbox"/> Accessory Dwelling Unit (ADU)	
	If a duplex, townhouse, or ADU, do you want individual meters? <input type="checkbox"/> Yes <input type="checkbox"/> No	
Does the lot currently have water service?		<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
Is the service to be installed in a paved street?		<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
Will the service branch cross a stormwater facility – either a landscaped swale or concrete planter?		<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
Will you install a fire sprinkler system?		<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
If yes, what are the flow needs (gallons per minute - GPM)?		GPM _____
Will the meter be installed in the driveway area? (Avoid driveway if possible.)		<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
Is there a Public Works Improvement Project?		<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No # _____

Complete the Water Meter Sizing Worksheet (Residential) on page 2.

Scheduling and Installing Water Services

Call Portland Water Bureau Scheduling Services at 503-823-1526 when you are ready to install the service.

- **Provide the address, building permit number or IVR number, and a PDOT-approved Street Improvement Plan number, if known.**
- **Indicate whether or not the supply line on private property will be metallic or plastic.**
- Service will be installed within 15 working days from date of scheduling.

See "Water at Your Service" for information about new and upgraded services, how to complete this form, determine water service size, fees, scheduling and installing water services.

How do I know my water meter is the right size?

You'll want a water meter and service branch that adequately serves your household water needs. The Portland Water Bureau uses American Water Works Association and Uniform Plumbing Code guidelines to establish meter size.

How to compute values
Column A describes fixture types.

Column B
Enter the number of fixtures in single family dwelling or housing unit 1.

Column C
If a duplex or ADU, enter the number of fixtures in the second housing unit. *ADU fixtures must be entered separately in this column.*

Column D
Add columns B and C. Enter the sum in this column.

Column E
Contains the fixture value. This value is based on the volume capacity of typical plumbing fixtures.

Column F
Multiply Column D (sum) times the values in Column E (D x E).

Enter the results for each fixture in Column F.

Add numbers in Column F to determine Grand Total Fixture Value (GTF Value).

Refer to the chart for meter size and costs.

*If your structure requires a fire sprinkler system, it may trigger an additional review for proper meter size.

Water Meter Sizing Worksheet (Residential)

Include existing and planned plumbing fixtures

A Fixture Type	B Unit 1 Fixtures	C If a Duplex or ADU, Unit 2 Fixtures	D Add B+C	E Fixture Value	F Total Fixture Value	For Office Use
	Enter Qty	Enter Qty	Sum		D (sum) x E	
Bathroom or Bar Sink	7		7	1.0	7	
Bathtub or Tub/Shower	1		1	4.0	4	
Clothes Washer	1		1	4.0	4	
Dishwasher	1		1	1.5	1.5	
Hose Bib, first	2		2	2.5	5	
Hose Bibs, each additional				1.0		
Kitchen Sink	1		1	1.5	1.5	
Laundry or Service Sink				1.5		
Shower, Standalone	2		2	2.0	4	
Toilet	4		4	2.5	10	
Grand Total Fixture Value (GTF Value)					37	
Meter Size Required*					3/4"	

Applicant's Authorization ✓

92-1.0"

Name of Authorized Signer PETER PADULESCU	Building Permit Number
Signature <i>[Signature]</i>	
Company Name PR DESIGN	Date 5-1-2012

GTF Value, Meter Sizes & Typical Water Service Permit Costs
July 1, 2011 – June 30, 2012

GTF Value	Meter Size	System Development Charge	Installation with Paving	Total
0 - 22	5/8"	\$1,732	\$4,895	\$6,627
22.5 - 37	3/4"	\$2,599		\$7,494
37.5 - 89	1"	\$4,331		\$9,226



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Residential Fixtures Worksheet

Please list the mechanical, electrical and plumbing fixtures you are planning to install for your new single family residential construction project.

Mechanical Fixture	Quantity
Heating and Cooling	
Air conditioner (site plan required)	
Furnace/burner including ductwork/vent/liner	1
Heat pump (site plan required)	/
Air handling unit	/
Hydronic hot water system	/
Residential boiler (radiator or hydronic)	/
Unit heaters (fuel type, not electric): in-wall, in-duct, suspended, etc.	/
Vent for appliance other than furnace	
Gas fireplace	N/A
Flue vent for water heater or gas fireplace	1
Wood/pellet stove	/
Chimney/liner/flue/vent	/
Range hood/other kitchen equipment	1
Clothes dryer exhaust	1
Single duct exhaust fans (bathrooms, toilet compartments, utility rooms)	5
Attic/crawl space fans	/
Other: _____	
Gas Fuel Piping: indicate number of outlets	
Furnace	1 ✓
Wall/suspended/unit heater	
Water heater/boiler	1 ✓
Fireplace	
Range	1 ✓
Barbecue	
Clothes dryer	1 ✓
Other:	

Plumbing Fixture	Quantity
Bathrooms (full or partial)	4
Kitchens*	1
Laundry/utility sinks*	1
Bar sinks	1
Water heaters/boilers*	1
Clothes washers*	1
Rain drain: # of feet around perimeter of house	240 FT
Sanitary sewer: # of feet from house to property line	32 FT
Storm sewer: # of feet from house to property line or disposal system	32
Water line: # of feet from house to property line	32
Fire sprinklers: # of sq. ft. of house to be sprinklered (include basement, exclude garage)	/
Other:	

* The first kitchen, water heater, clothes washer and laundry/utility sink are included in the basic plumbing package

Electrical Fixture	Quantity
Area of house in sq. ft. to be wired (including basement and attached garage)	4040
Additional circuits for detached garage	
Limited energy electrical wiring (check yes if you are installing any of the following: telephone, cable TV, security systems, doorbell, computer network cables, thermostat, vacuum system)	<input checked="" type="checkbox"/> yes <input checked="" type="checkbox"/> no
Temporary electrical service	<input type="checkbox"/> yes <input checked="" type="checkbox"/> no
Other:	



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Simple Site Erosion Control Requirements Form

Project or Permit Number _____

Project Address 6248 SW HAMILTON

Name of Responsible Party (print) PETER RADULESCU

Day Phone 503-265-8461 FAX 503-265-8461 email PRARCHITECT@COMCAST.NET

Erosion control inspections are required and it is your responsibility to request these inspections.

Erosion control measures are required on this site. Because of the size and slope, a drawn plan is not required. Erosion Control Measures and inspections are required prior to beginning foundation excavation. This form may only be used for simple sites:

- 1. Flat (less than 10% slope before development)
- 2. More than 50 feet from a wetland or waterbody
- 3. Outside an environmental or greenway zone
- 4. Less than 10,000 sq. ft. of ground disturbance
- 5. Not a land division of 10,000 sq. ft. or more

This is an agreement that the applicant and/or responsible parties will use erosion control during this project as required. The applicant and/or responsible party must sign this form to comply with Section 10.40.020 of the Code. Details for the measures outlined below are located in the City of Portland Erosion Control Manual, available at either the Development Services Center or on our Web site at www.portlandonline.com/bds

Minimum Erosion Control Requirements	Additional Requirements
1. Temporary sediment control (silt fences, bio-filter bags or fiber rolls, storm drain inlet protection) ✓	Prevent the transport of sediment from the site (Manual Sections 2-2 and 4-2) Call for #200 inspection. These items must be provided even with undisturbed vegetative buffers as allowed by manual.
2. Stabilize access points by installing a gravel construction entrance. Do not use rock or dirt ramps in the gutter, use a wood ramp if needed to get over curb.	Limit construction vehicle access, whenever possible, to one route. Stabilize access points. Provide street cleaning by sweeping or shoveling any sediment that may have been tracked out. Place sediment in a suitable disposal area where it will not erode again. (Manual Sections 2-2 and 4-1)
3. Stabilize all soils, including stockpiles that are temporarily exposed. Use one or more of the temporary soil stabilization Best Management Practices (BMP's): temporary grasses, mulch applications, erosion blankets, plastic sheeting, plus dust control measures.	Soil Stabilization (Manual Sections 2-2 and 4-4)
4. Maintain erosion controls identified in requirements 1 through 3 above according to specifications prescribed in manual.	Inspect and maintain required erosion and sediment controls to ensure continued performance of their intended function. (Manual Chapters 4 and 5)
5. Comply with the necessary development activity controls, including controls for fuel spill control, waste removal, concrete waste management or painting preparation.	During construction, prevent the introduction of pollutants in addition to sediment into stormwater. (Manual Section 5)
6. Use one or more of the following to permanently stabilize soils before final building inspection: Permanent vegetative cover, mulch applications or application of sod.	After construction but before project completion, permanently stabilize all exposed soils that have been disturbed during construction. (Manual Sections 4-4)
7. Prevent sediment from entering all storm drains, including ditches, which receive runoff from the disturbed area	Remove temporary drain inlet protection measures after final site clean-up. Call for #210 inspection.
8. Post signage on-site that identifies the City's Erosion Control complaint number	The sign will be provided upon approval of the pre-construction inspection. It must be maintained on-site until the final inspection.

You must request a preconstruction erosion control inspection prior to construction. Call 503-823-7000 and request a #200 inspection using your IVR number.

I agree to meet each requirement and use appropriate erosion control measures as outlined above to prevent erosion and sedimentation from leaving the site of project/permit number referenced. I understand that all inspections are still required, and that failure to install or maintain adequate measures may result in a re-inspection fees or additional fines. A permanent erosion control inspection #210 will be required prior to a final building inspection.

Signature of Responsible Party *[Signature]* Date 5-1-2012
 Property Owner or Owner's Agent _____



New Single Family Residential Minimum Submittal Checklist and Sample Site Plan

Folder number:	Date:
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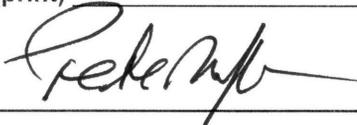
The information listed below is the minimum information required for a complete submittal package. If items are missing or incomplete, we will not accept your project for review. The completeness and complexity of the plans will determine how quickly they are reviewed.

Documents required for all submittals	checkbox	staff use
1 Application Form Including applicant contact information, lot owner, contractor, and property identification details (Tax ID Number, R Number, and Legal Description)	<input checked="" type="checkbox"/>	provided
2 This Submittal Checklist Completed with all attachments as needed clearly indicated	<input checked="" type="checkbox"/>	provided
3 Fixtures Worksheet Completed worksheet outlining all electrical, mechanical, and plumbing fixtures	<input checked="" type="checkbox"/>	provided
4 Residential Water Service Application Completed form detailing plumbing fixtures to be installed and authorization to create Water Bureau account	<input checked="" type="checkbox"/>	provided
5 Erosion Control Plan (4 copies) Provide an erosion control plan or, if eligible, complete and sign the Simple Site Erosion Control Requirement form.	<input checked="" type="checkbox"/>	provided
6 Energy Efficiency Additional Measures Form Check the boxes next to the measures you have selected. Note that the building plans must also indicate the additional measure you have chosen.	<input type="checkbox"/>	provided
7 Radon Control Method(s) Check the box or boxes next to the radon mitigation method you have selected.	<input checked="" type="checkbox"/>	provided
8 Stormwater Management Simplified Approach (SIM) Form Completed form with stormwater facility, discharge point, and infiltration tests indicated. Please refer to Appendix D3 of the BES Stormwater Management Manual at www.portlandonline.com/bes/2008swmm	<input type="checkbox"/>	provided
Documents that may be required for your submittal		
<i>(Text in italics describe the circumstances for which these items are typically required)</i>		
9 Fire Sprinklers (2 copies) <i>if the proposed structure is more than 3 stories OR if required as a condition of applicable Land Use Review.</i> Fire sprinklers must be reviewed by the BDS Plumbing Division. Fire sprinkler submittals must include hydraulic calculations, the manufacturer's cut sheets for the sprinkler heads, and a floor plan showing the location of all sprinkler equipment. <u>Fire sprinklers may be submitted as a "deferred submittal" item for a \$100 charge. Please advise intake staff if you want to use this option.</u>	<input checked="" type="checkbox"/>	n/a provided
10 Building Maintenance Agreement for 2-unit rowhouse applications. Include a completed and signed but unrecorded Building Maintenance Agreement – a sample template can be found on the BDS website at http://www.portlandoregon.gov/bds/	<input checked="" type="checkbox"/>	n/a provided
11 Geotechnical/soils report (2 copies) <i>for sites with slopes in excess of 20%, within soils hazard areas, or where a special foundation system relying on lateral soil bearing is employed.</i> Provide geotechnical or soils report from a geotechnical engineer licensed in Oregon.	<input checked="" type="checkbox"/>	n/a provided
12 Manufactured roof truss design details (2 sets) <i>for buildings using manufactured roof trusses.</i> Provide roof truss drawings and layout stamped by an engineer licensed in Oregon. <u>Roof trusses may be submitted as a deferred submittal item for a \$117. Please advise intake staff if you want to use this option.</u>	<input type="checkbox"/>	n/a provided

13	Manufactured floor truss design details (2 sets) for buildings using manufactured floor trusses. Provide floor truss drawings and layout stamped by an engineer licensed in Oregon. Manufactured floor system designs/calculations <u>must be provided at time of submittal</u> .	<input type="checkbox"/> n/a <input type="checkbox"/> provided
14	Engineer's calculations (1 set) for buildings using engineered lateral systems. Engineering calculations shall be prepared and stamped by an architect or engineer licensed in Oregon as applicable to the project under review. Lateral design details and connections must be incorporated into the plans or on a separate full size sheet attached to the plans with cross-references between plan location and details.	<input type="checkbox"/> n/a <input checked="" type="checkbox"/> provided
15	Beam calculations (1 set) for buildings with beams and/or multiple joists over ten feet in length and/or any beam/joist carrying a non-uniform load or for cantilever conditions. Calculations stamped by an engineer are required for beams supporting loads from more than one level or beams supporting overturning loads from discontinuous shear walls.	<input type="checkbox"/> n/a <input checked="" type="checkbox"/> provided
16	Residential Structural Plan Review Exemption Form if this option is selected by the owner and engineer. The exemption form must have original signatures from both the owner and the engineer. Faxes and photocopies are not acceptable. If the structural exemption form is signed, no formal structural review will be conducted on the submitted plans and the building owner is responsible for any field corrections that may be necessary as a result of the inspection process; however, this does not exempt a project from other required reviews (Life Safety, Planning, etc).	<input checked="" type="checkbox"/> n/a <input type="checkbox"/> provided
Plans required for all submittals		
17	Building Plans (4 copies) Plans must be legible, drawn to scale, and show conformance to the applicable local and state building codes. Each set should include the following:	<input checked="" type="checkbox"/> provided
17a	Foundation Plan Show dimensions, anchor bolts, any hold-down types and locations, connection details, vent size and location, location and size of crawl space access.	<input checked="" type="checkbox"/> provided
17b	Floor Plans Show all dimensions, room identification, window type and size, location of smoke detectors, water heater, furnace, ventilation fans, plumbing fixtures, balconies and decks, location and construction details for stairs and handrails.	<input checked="" type="checkbox"/> provided
17c	Cross Sections and Details Show sizes and spacing for all framing members, such as floor beams, headers, joists, sub-floor, wall construction, roof construction. More than one cross section may be required to clearly portray construction. Show details of all wall and roof sheathing, roofing, roof slope, ceiling height, siding material, footings and foundation, stairs, fireplace construction, thermal insulation.	<input checked="" type="checkbox"/> provided
17d	Building Elevation Views Provide exterior elevations for all sides showing materials, doors, windows, and both existing and proposed finished grades. Building elevations must match the finished grades shown on the site plan.	<input checked="" type="checkbox"/> provided
17e	Energy Code Compliance Identify the prescriptive energy path or provide energy calculations.	<input type="checkbox"/> provided
17f	Bracing/Lateral Load System Details and locations of lateral load resisting elements must be shown on the plans. The lateral system may be prescriptive per requirements of the Oregon Residential Specialty Code OR may be engineered to the requirements of the Oregon Residential Specialty Code. If engineered, all building drawings and calculations must be stamped by an engineer or architect licensed in Oregon. Drawings must be complete with all required engineered details included on full-size sheets attached to every set of plans.	<input checked="" type="checkbox"/> provided
17g	Floor/Roof Framing Plans Show member sizing, spacing, bearing locations. Show location of attic ventilation, size and location of attic access.	<input checked="" type="checkbox"/> provided
17h	Basement and Retaining Wall Cross-Sections and Details Show reinforcement sizes and locations, footing sizes, etc. Retaining walls greater than 4 ft or basement walls greater than 10 ft in height must be engineered with calculations stamped by an engineer. Retaining walls must be shown on the site plan.	<input checked="" type="checkbox"/> n/a <input type="checkbox"/> provided
17i	Deck Plans Deck framing plans, guardrail details, and deck connection details must be included in building plans.	<input checked="" type="checkbox"/> n/a <input type="checkbox"/> provided

18	Site/Plot plans (4 copies) Site plans must be drawn to scale. Minimum scale requirement is 1"=10'. Minimum paper size is 11"x17", with sufficient white space provided for reviewers' notes and stamps.	<input type="checkbox"/>	provided
Your site plan must include all of the following elements:			
18a	North arrow	<input checked="" type="checkbox"/>	
18b	Property and building corner elevations [see "J" on sample site plan]	<input checked="" type="checkbox"/>	
18c	If there is more than a 4 foot elevation differential, the site plan must show existing and proposed elevation contours at 2' intervals [see "L" and "M" on sample site plan]	<input type="checkbox"/>	
18d	Footprint of new & existing structures, including decks and retaining walls [see "K" on sample site plan]	<input checked="" type="checkbox"/>	
18e	Lot & building dimensions	<input checked="" type="checkbox"/>	
18f	Setbacks dimensions for the following - building(s) to property line, building to building, front door to property line, garage door to property line [see "H" and "I" on sample site plan]	<input checked="" type="checkbox"/>	
18g	Lot area	<input checked="" type="checkbox"/>	
18h	Building area (not including eaves)	<input checked="" type="checkbox"/>	
18i	Building coverage % (building area/lot area = % coverage)	<input checked="" type="checkbox"/>	
18j	Impervious area (include structures, paving, and roof overhangs)	<input type="checkbox"/>	
18k	Stormwater facility - location, type, size, and setbacks from buildings and property lines [see "O" on sample site plan]	<input type="checkbox"/>	
18l	Stormwater discharge point - location and type of discharge point (e.g. drywell, trench, storm or combo sewer, drainageway, ditch etc) - a separate discharge point is not needed if the primary stormwater facility is a drywell or soakage trench	<input type="checkbox"/>	
18m	Utilities - location, size, and type of pipe for water, sewer, storm, and gas [see "G" on sample site plan]	<input checked="" type="checkbox"/>	
18n	Septic system and/or well locations, types, and sizes (if applicable)	<input type="checkbox"/>	
18o	Driveway location, size, and material	<input checked="" type="checkbox"/>	
18p	Street & right-of-way configuration, including curb, planting strip, sidewalk, and buffer [see "F" on sample site plan]	<input type="checkbox"/>	
18q	Location and dimensions of all easements on property [see "N" on sample site plan]	<input type="checkbox"/>	
18r	Landscaping - show the location, size, and species of proposed trees [see "C" on sample site plan] AND/OR root protection for existing trees to be preserved on lot [see "A" and "B" on sample site plan]	<input type="checkbox"/>	
18s	Street trees - show existing street trees to be removed or preserved [see "D" on sample site plan] AND/OR provide room for new street trees in public right-of-way [see "E" on sample site plan]	<input type="checkbox"/>	

Applicant name (print) PETER RADULESCU

Signature  Date 4-25-2012



City of Portland, Oregon - Bureau of Development Services

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2011 Energy Efficiency Additional Measures Requirements

New dwellings shall meet the envelope requirements of ORSC Table N1101.1(1) and a minimum of 50% of permanently installed lighting fixtures shall have high efficacy lamps. Additionally, new heated buildings and additions of more than 600 SF or more than 40% of the original heated floor area shall have at least two of the Additional Measures from ORSC Table N1101.1(2), one from Envelope Enhancement and one from Conservation (see below). All Energy Efficiency components must be reflected on the plans.

Envelope Enhancement Measure (Select One)

1 High efficiency walls & windows:

- Exterior walls – R-19+5 (insulation sheathing)/SIPS, and one of the following options:
- Windows – Max 15% of conditioned area, **or**
- Windows – U-0.30

2 High efficiency envelope:

- Exterior walls – R-21 Intermediate framing, **and**
- Vaulted ceilings – R-30 Advanced framing, **and**
- Flat ceilings – R-49, **and**
- Framed floors – R-38, **and** - OR
- Windows – U-0.30; **and one of the following:** OR
 - Doors – All doors U-0.20, **or**
 - Additional 15% of permanently installed lighting fixtures as high-efficacy lamps **or** Conservation Measure D and E

3 High efficiency ceiling, windows and duct sealing:

(Cannot be used with Conservation Measure E)

- Vaulted ceilings – R-30 Advanced framing (not more than 50% of the heated floor area), **and**
- Flat ceilings – R-49, **and**
- Windows – U-0.30, **and**
- Performance tested duct systems (ODOE documentation to be submitted to building inspector prior to final inspection)

4 High efficiency thermal envelope UA:

- Proposed UA is 15% lower than the Code UA when calculated in Table N1104.1(1)

5 Building tightness testing, ventilation and duct sealing:

- Mechanical system providing whole-building ventilation per Table N1101.1(3), or ASHRAE 62.2, **and**
- Performance tested duct systems (ODOE documentation to be submitted to building inspector prior to final inspection), **and**
- Blower door test report submitted to building inspector prior to final inspection showing ≤ 6.0 air changes per hour, or ≤ 5.0 air changes per hour when used with Conservation Measure E

6 Ducted HVAC systems within conditioned space:

(Cannot be used with Conservation Measure B or C)

- All ducts and air handler are contained within heated building envelope

(Continued on back)

Conservation Measure (Select One)

- A High efficiency HVAC system:**
- Gas-fired furnace or boiler with 90% minimum AFUE (sealed combustion air ducted directly from outdoors if furnace or boiler is within conditioned space), **or**
 - Air-source heat pump 8.5 minimum HSPF, **or**
 - Closed-loop ground source heat pump with 3.0 minimum COP
- B Ducted HVAC systems within conditioned space:**
- All ducts and air handlers are within heated building envelope
- C Ductless heat pump:**
- Replace electric resistance heating in at least the primary zone with at least one ductless mini-split heat pump with 8.5 minimum HSPF
- D High efficiency water heating and lighting:**
- Natural gas/propane, on-demand water heating with 0.80 minimum EF, **and**
 - Minimum 75% of permanently installed lighting fixtures as CFL or linear fluorescent or minimum 40 lumens per watt
- E Energy management device & duct sealing:**
- Whole building energy management device capable of monitoring or controlling energy consumption, **and**
 - Performance tested duct systems (ODOE documentation to be submitted to building inspector prior to final inspection), **and**
 - 75% of permanently installed lighting fixtures as high-efficacy lamps
- F Solar voltaic:**
- Minimum 1 watt per square foot of conditioned floor space with Total Solar Resource Fraction \leq 75%
- G Solar water heating:**
- 40 square feet minimum gross collector area with Total Solar Resource Fraction \leq 75%



Radon Control Methods

2011 Oregon Residential Specialty Code, Appendix F

New habitable residential structures shall have radon gas mitigation. Indicate the method(s) of radon gas mitigation to be installed in the structure:

Crawl space construction:

- Mechanically ventilated (detailed on plans); or
- Passive sub-membrane depressurization; or
- Permanently open foundation ventilation per R408.1 and a blower-door building tightness test. Test results to be provided to the building inspector prior to final inspection approval.

Slab-on-grade or basement construction:

- Passive depressurization system, with 4" thick layer of gas-permeable aggregate below slab.

**CITY OF PORTLAND, OREGON – BUREAU OF DEVELOPMENT SERVICES**

1900 SW Fourth Avenue, Suite 5000 • Portland, Oregon 97201 • www.portlandonline.com/bds

**LIFE SAFETY CHECKSHEET**

Review Date: May 30, 2012

Application #: **12-136799-000-00-RS**IVR #: **3175071**

To:	APPLICANT	PETER RADULESCU 825 NE 20TH AVE, SUITE 202 PORTLAND, OR	Work: (503) 265-8461 Cellular: (503) 680-1791 Email: PRARCHITECTS@COMCAST.NET
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From:	LIFE SAFETY PLANS EXAMINER	JERRY ENGELHARDT	Phone: (503) 823-7534 Email: Jerry.Engelhardt@portlandoregon.gov
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cc:	OWNER	MAGDALENA PISICA 6248 SW HAMILTON ST PORTLAND, OR 97221-1238	
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PROJECT INFORMATION

Street Address:	6232 SW HAMILTON ST	
Description of Work:	NEW SINGLE FAMILY RESIDENCE/ 2 STORY/ ATTACHED GARAGE/ FLAT LOT/ COMPLEX	
The following assumptions were made when reviewing your project:		
Building Area	Stories	Sprinklers
4,035 SF	2	

PLAN REVIEW

Based on the plans submitted, the items listed below appear to be missing or not in conformance with the Oregon Residential Specialty Code and/or other City requirements.

Item #	Location on plans	Code Section	Clarification / Correction Required
1	✓	Appendix F AF103.5	Provide details for the radon mitigation system required to be installed in the proposed house. Show these details on a section view such as B/6.
2	4	R315	Indicate carbon monoxide alarms for the house. These are to be located either in each bedroom or in a common area within 15 feet of the bedroom doors.
3	B/3	R703.1.1	Indicate that there will be a minimum 1/8" space between the siding and the water resistive barrier under the siding or show that one of the exceptions to this requirement given in Section R703.1.1 will be installed.
4	2	R612.2	For windows whose sill is over 6 feet above the grade below, indicate that these windows will have a minimum 24- inch sill height above the floor or that a guard will be installed at the window to limit openings to those that will not pass a 4-inch sphere below this 24-inch height.
5	6	R403.1.1	The foundation plan on sheet 6 shows a section cut line labeled E/7 at the kitchen. Section E/7 shows a 6" wall on a 6" x 12" footing. It appears that the section should be labeled D/7 which shows an 8" wall on a 8" x 18" footing. The minimum code for a 2 story structure with 1500# soil bearing pressure is an 8" wall on 7" x 15" footing.
6			Transfer other red-lined corrections from plan set #1 to other sets of plans located in the Document Services section on the 2 nd floor of the 1900 SW 4 th Ave Building.

End of Checksheet



City of Portland, Oregon
Bureau of Development Services
Plan Review / Permitting Services
 FROM CONCEPT TO CONSTRUCTION

Dan Saltzman, Commissioner
 Paul L. Scarlett, Director
 Phone: (503) 823-7310
 Fax: (503) 823-4172
 TTY: (503) 823-6868
 www.portlandoregon.gov/bds

BDS Checksheet Response

Permit #: 12-136799-000-0023 Date: 6-26-2012

Customer name and phone number: _____

Note: Check which review you are responding to. Please provide specific information concerning the changes you have made in response to the checksheet. Note the checksheet item number. Describe the change, revision, or correction. Identify the location on the plans (i.e. page number and/or detail number). Use as many lines as needed. If the item is not in response to a checksheet, write "Applicant" in the column labeled "Checksheet item number."

- | | | | | |
|---|---|-------------------------------------|---|------------------------------------|
| <input type="checkbox"/> Planning | <input type="checkbox"/> Structural | <input type="checkbox"/> PDOT | <input type="checkbox"/> Fire | <input type="checkbox"/> Plumbing |
| <input checked="" type="checkbox"/> Life Safety | <input type="checkbox"/> BES Pollution Prevention | <input type="checkbox"/> BES | <input type="checkbox"/> Water | <input type="checkbox"/> Site Dev. |
| <input type="checkbox"/> Electrical | <input type="checkbox"/> Urban Forestry | <input type="checkbox"/> Addressing | <input type="checkbox"/> Parks & Recreation | |

Please use this sheet to submit your response to only one of the above review groups. If you need to respond to more than one review group, you will need a separate Checksheet Response Form for each group.

Checksheet item number	Description of changes, corrections, additions, etc.	Location on plans
1	RADON MITIGATION CONTROL DETAIL	SHEET # 3
3	1/8" SIDING / TQUGIZ WRAP NOTE	SHEET # 3
2	CARBON MONOXIDE DEP	SHEET # 4
4	WINDOW GUARD RAIL NOTE	SHEET # 2
5	FOUNDATION DET. LABELS CORRECTED	SHEET # 6

12-136799 RS



Information Notice to Owners About Construction Responsibilities

(ORS 701.055 (5))

Homeowners acting as their own general contractors to construct a new home or make a substantial improvement to an existing structure, can prevent many problems by being aware of the following responsibilities:

- ✓ • Homeowners who use labor provided by workers not licensed by the Construction Contractors Board, may be considered an employer, and the workers who provide the labor may be considered employees. **As an employer, you must comply with the following:**
- ✓ • **Oregon's Withholding Tax Law:** Employers must withhold income taxes from employee wages at the time employees are paid. You will be liable for the tax payments even if you don't actually withhold the tax from your employees. For more information, call the Department of Revenue at 503-378-4988.
- ✓ • **Unemployment Insurance Tax:** Employers are required to pay a tax for unemployment insurance purposes on the wages of all employees. For more information, call the Oregon Employment Department at 503-947-1488.
- ✓ • **Oregon's Business Identification Number (BIN):** is a combined number for both Oregon Withholding and Unemployment Insurance Tax. To file for a BIN, call 503-945-8091 or go to <http://www.oregon.gov/DOR/BUS/docs/211-055.pdf> for the appropriate forms.
- ✓ • **Workers Compensation Insurance:** Employers are subject to the Oregon Workers Compensation Law, and must obtain Workers Compensation Insurance for their employees. If you fail to obtain Workers Compensation Insurance, you could be subject to penalties and be liable for all claim costs if one of your workers is injured on the job. For more information, call the Workers Compensation Division at the Department of Consumer and Business Services at 503-947-7815.
- ✓ • **Tax Withholding:** Employers must withhold Social Security Tax and Federal Income Tax from employee wages. You may be liable for the tax payment, even if you didn't actually withhold the tax. For a Federal EIN number, call the IRS at 1-800-829-4933 or visit their website at www.irs.gov.

Other Responsibilities of Homeowners:

- ✓ • **Code Compliance:** As the permit holder for a construction project, the homeowner is responsible for notifying building officials at the appropriate times, so that the required inspections can be performed. Homeowners are also responsible for resolving any failure to meet code requirements that may be found through inspections.
- ✓ • **Property Damage and Liability Insurance:** Homeowners acting as their own contractors should contact their insurance agent to ensure adequate insurance coverage for accidents and omissions, such as falling tools, paint overspray, water damage from pipe punctures, fire, or work that must be redone. Liability Insurance must be sufficient to cover injuries to persons on the job site who are not otherwise covered as employees by Workers Compensation Insurance.
- ✓ • **Expertise:** Homeowners should make sure they have the skills to act as their own general contractor, and the expertise required to coordinate the work of both rough-in and finish trades.

CONSTRUCTION CONTRACTORS BOARD

700 Summer St NE, Suite 300, PO Box 14140, Salem, OR 97309-5052

Telephone: 503-378-4621 – Fax: 503-373-2007

Website Address: www.oregon.gov/ccb

Property Owner Statement Regarding Construction Responsibilities

Oregon Law requires residential construction permit applicants who are not licensed with the Construction Contractors Board to sign the following statement before a building permit can be issued. (ORS 701.055 (4))

This statement is required for residential building, electrical, mechanical, and plumbing permits. Licensed architect and engineer applicants, exempt from licensing under ORS 701.010 (7), need not submit this statement. This statement will be filed with the permit.

Please check the appropriate box:

I own, reside in, or will reside in the completed structure and my general contractor is:

Name

CCB#

Expiration Date

I will inform my general contractor that all subcontractors who work on the structure must be licensed with the Construction Contractors Board.

or

I will be performing work on property I own, a residence that I reside in, or a residence that I will reside in. If I hire subcontractors, I will hire only subcontractors licensed with the Construction Contractors Board. If I change my mind and hire a general contractor, I will select a contractor who is licensed with the CCB and will immediately give the name of the contractor to the office issuing this Building Permit.

I have read and understand the Information Notice to Homeowners About Construction Responsibilities, and I hereby certify that the information on this homeowner statement is true and accurate.

PETER RADULESCU

Print Name of Permit Applicant

Peter Radulescu

Signature of Permit Applicant

5.14.2012

Date

Permit #: _____

Address: _____

Issued by: _____ Date: _____

